

**KENDALL COUNTY
REGIONAL PLANNING COMMISSION**
111 West Fox Street • Rooms 209 and 210 • Yorkville, IL • 60560
AGENDA

Wednesday, May 24, 2017 – 7:00 p.m.

CALL TO ORDER

ROLL CALL: Bill Ashton (Chair), Roger Bledsoe, Tom Casey, Larry Nelson, Ruben Rodriguez, John Shaw, Claire Wilson, Budd Wormley, Angela Zubko, and One Vacancy (Big Grove Township)

APPROVAL OF AGENDA

APPROVAL OF MINUTES Approval of Minutes from March 22, 2017 Meeting

PETITIONS

- | | | |
|----|--------------|---|
| 1. | 17-09 | Semper Fi Land, Inc. (Robert Velazquez) |
| | Request | Special Use Permit to Operate a Landscape Waste Composting Facility |
| | Location | 1996 Cannonball Trail (On the East Side of Cannonball Trail Approximately 0.5 Miles South of Galena Road; PIN: 02-15-101-003), Bristol Township |
| | Purpose | Petitioner Desires to Operate a Landscape Waste Composting Facility at the Property. |

OLD BUSINESS

1. Update on Letter to the Kendall County Forest Preserve District

NEW BUSINESS

None

REVIEW OF PETITIONS THAT WENT TO COUNTY BOARD

1. 16-22 – JA Schleining LLC d/b/a Jets Towing and Services; Map Amendment at 790 Eldamain Road
2. 16-26 – John and Sharon Pagel Living Trust; Map Amendment at 2380 Burkhart Drive

OTHER BUSINESS/ANNOUNCEMENTS

1. Plano Approved Comprehensive Plan at May 8th Meeting

CITIZENS TO BE HEARD/PUBLIC COMMENT

ADJOURNMENT Next regularly scheduled meeting on Wednesday, June 28, 2017

**KENDALL COUNTY
REGIONAL PLANNING COMMISSION**

*Kendall County Office Building
Rooms 209 & 210
111 W. Fox Street, Yorkville, Illinois*

Unapproved Meeting Minutes of March 22, 2017

Vice-Chairman Wormley called the meeting to order at 7:00 p.m.

ROLL CALL

Members Present: Tom Casey, Larry Nelson, Ruben Rodriguez, John Shaw, Claire Wilson, Budd Wormley, and Angela Zubko

Staff Present: Matthew H. Asselmeier, Senior Planner

Members Absent: Bill Ashton and Roger Bledsoe

In the Audience: Kelly Helland (Representing JA Schleining LLC d/b/a Jets Towing and Services), Josh Schleining, and Tammi Schleining

APPROVAL OF AGENDA

Ms. Zubko made a motion, seconded by Mr. Nelson, to approve the agenda. With a voice vote of all ayes, the motion carried.

APPROVAL OF MINUTES

Mr. Casey made a motion, seconded by Mr. Rodriguez, to approve the February 22, 2017, minutes with the amendment that the Schleining petition was laid over at the previous meeting and not tabled. With a voice vote of all ayes, the motion carried.

Ms. Zubko made a motion, seconded by Mr. Casey, to approve the February 25, 2017, Annual Meeting minutes. With a voice vote of all ayes, the motion carried.

Ms. Wilson arrived at 7:04 p.m.

PETITIONS

16-22 JA Schleining LLC d/b/a Jets Towing and Services

Ms. Helland presented information on behalf of the petitioner. She stated the petitioners are withdrawing the request for variances to the Zoning Ordinance pertaining to fencing, parking in the setback, and parking material. The petitioners are requesting a rezoning (map amendment) only. The petitioners shall construct a cedar board-on-board fence eight (8) feet in height. They will not park in the setbacks and they will use asphalt shavings (tar and chip) in the trailer parking area. The petitioners hope to have the parking area asphalted within one hundred twenty (120) days.

Ms. Zubko asked if the EcoCat had been resolved. Ms. Helland said that the EcoCat consultation had been terminated.

Mr. Nelson asked Mr. Asselmeier if any other changes to the property would be required if the rezoning was approved. Mr. Asselmeier stated that he was not aware of any additional required changes.

Ms. Helland noted that, after the rezoning, the owners cannot lease the home for a residential purpose or reside in the home.

Mr. Nelson asked what the Land Resource Management Plan classified this area. Mr. Asselmeier stated that the Land Resource Management Plan called for the area to be Mixed Use Business. The proposed rezoning meets the criteria of Mixed Use Business.

Mr. Rodriguez asked if the number of trailers could be limited on the property. Ms. Helland responded that, because this is a straight rezoning request with no variances, no limitations on the number of trailers could be placed on the property.

Ms. Helland reported that the fencing would go around the entire property, not just the area where the trailers and trucks were parked.

Mr. Wormley asked if there were any issues regarding inoperable vehicles. Ms. Helland stated that all of the trailers were plated. The petitioners were working on their rebuilders' license; they cannot get this license until they secured the appropriate zoning. Discussion occurred regarding the inoperable bus. Ms. Schleining said that they would resolve the bus issue after they get their rebuilders license, which could be within sixty (60) days depending on the State's timeline for processing the application.

Ms. Wilson asked if the petitioner plans to install signage. The petitioners would be required to follow the signage regulations in the Zoning Ordinance.

Mr. Nelson asked why Bristol Township wants to wait with commenting until after the Zoning Board of Appeals hearing. Mr. Asselmeier responded that Bristol Township wants to wait because, if they oppose this proposal, a supermajority would be required at the County Board for approval. Discussion occurred regarding Yorkville's official opposition to the proposal.

Ms. Zubko asked if the site plan for the project would change. Mr. Wormley asked if any stormwater issues existed. Mr. Asselmeier responded that the site plan would not change unless the petitioner changed their footprint.

Ms. Wilson made a motion to approve the petition rezoning 790 Eldmain Road from A-1 Agricultural to M-1 Limited Manufacturing with the knowledge that the variance requests have been withdrawn, seconded by Mr. Nelson.

Yes – Casey, Nelson, Rodriguez, Shaw, Wilson, Wormley, and Zubko (7)

No – None

The motion passed. This proposal will go to the Zoning Board of Appeals on April 3, 2017.

OLD BUSINESS

Mr. Asselmeier presented the proposed letter from the Kendall County Regional Planning Commission to the Kendall County Forest Preserve District regarding the Forest Preserve's compliance with the Zoning Ordinance.

Ms. Zubko suggested that Chairman Ashton be the only person to sign the letter.

Discussion occurred regarding the primary addressees of the letter. The consensus was that President Gilmour should be the first addressee and Director Guritz should be the second addressee. Each member of the Forest Preserve District should receive the letter.

Ms. Zubko made a motion to approve the letter with the following amendments:

1. Chairman Ashton shall be the only Commission member to sign the letter.
2. The letter should be addressed to President Gilmour and Director Guritz and in that order.
3. The other members of the Kendall County Forest Preserve District Board shall be given copies of the

letter.

Ms. Wilson seconded the motion.

With a voice vote of all ayes, the motion carried.

NEW BUSINESS

Mr. Nelson provided an update from the Ad-Hoc Zoning Ordinance Committee. The City of Plano will submit an application for a variance to the Stormwater Ordinance for their project at Foli Park. Ad-Hoc is also looking at updating the regulations for the Hearing Officer, including possibly partnering with one (1) of the municipalities. Ad-Hoc recommended that the Planning, Building and Zoning Committee explore a six (6) month moratorium on outdoor shooting ranges to allow for a review of outdoor shooting range regulations. Discussion also occurred regarding different future land uses in Plano's Comprehensive Plan, Yorkville's Comprehensive Plan, and the County's Comprehensive Plan. Ad-Hoc will also work on noise regulations in the future.

Discussion occurred regarding sending Yorkville a letter regarding the changes in their future land use map. The consensus was to wait until the future land use map had been evaluated. Mr. Asselmeier will check to see if Yorkville has an annual meeting on planning issues and if Yorkville filed a formal objection regarding the rezoning at 790 Eldamain Road.

Mr. Asselmeier presented a memo regarding the special use permit identification and tracking project. This project will build on the work previously done in this area.

REVIEW OF PETITIONS THAT WENT TO COUNTY BOARD

None

OTHER BUSINESS/ANNOUNCEMENTS

Petition 16-14, Robert Delaney's request for an Outdoor Shooting Range, this petition will be heard by the Special Use Hearing Officer on April 3, 2017.

Petition 16-26, John and Sharon Pagel Living Trust, the petitioner requested the ZBA hearing for the proposed rezoning from R-3 to R-1 be postponed until May so that they can obtain images of the property draining stormwater.

The Plan Commission of the City of Plano held a public hearing on their proposed Comprehensive Plan Update on March 6th at 7:00 p.m., at Plano City Hall. Mr. Asselmeier presented a memo regarding differences in Plano's proposed Comprehensive Plan and the existing Kendall County Land Resource Management Plan. The Commission requested a similar memo in relation to Yorkville's Comprehensive Plan.

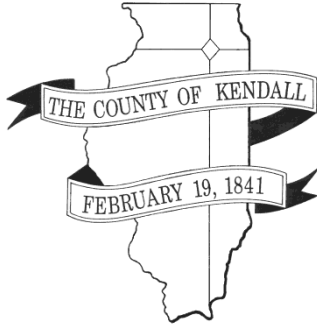
CITIZENS TO BE HEARD/ PUBLIC COMMENT

None

ADJOURNMENT

Ms. Wilson made a motion, seconded by Ms. Zubko to adjourn. With a voice vote of all ayes, the motion carried. The Regional Plan Commission meeting adjourned at 7:50 p.m.

Respectfully submitted by,
Matthew H. Asselmeier, AICP
Senior Planner



DEPARTMENT OF PLANNING, BUILDING & ZONING

111 West Fox Street • Room 203

Yorkville, IL • 60560

(630) 553-4141

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Petition 17-09

Semper Fi Land, Inc. (Robert Velazquez)

A-1 Special Use – Composting of Landscape Waste

INTRODUCTION

Semper Fi Land, Inc., on behalf of Robert Velazquez, submitted a petition for a special use permit to operate a composting of landscape waste facility at 1996 Cannonball Trail. In 2012, the petitioner received a special use permit to operate a landscape business and residence at the subject property (Ordinance 2012-23).

SITE INFORMATION

PETITIONER Semper Fi Land, Inc. (Robert Velazquez)

ADDRESS 1996 Cannonball Trail

LOCATION On the East Side of Cannonball Trail about 0.5 Miles South of Galena Road



TOWNSHIP Bristol

PARCEL # 02-15-101-003

LOT SIZE 5.2 acres

EXITING LAND USE Residential/Agricultural

ZONING A-1 Agricultural District with a Special Use Permit

LRMP	Land Use	County: Planned Rural Residential (Max 0.6 Du/Ac) United City of Yorkville: Estate/Conservation Residential
	Roads	Cannonball Trail is a County Road classified as a Major Collector Road
	Trails	A multi-use trail is shown on the East Side of Cannonball Trail
	Floodplain/ Wetlands	There are no wetlands or floodplain on the property.

REQUESTED ACTION A-1 Special Use to Operate a Composting of Landscape Waste

APPLICABLE REGULATIONS Section 7.01 D.16 – A-1 Special Uses – Permits Composting of Landscape Waste and Food Waste with the following stipulations:

1. The facility shall meet all Illinois Environmental Protection Agency requirements as identified in Title 35, Subtitle G, Chapter 1, Sub-chapter 1, Park 830, Standards for compost facilities.
2. Operational personnel shall be present on site during all hours which the facility is open for the receipt of landscape waste.
3. The hours during which landscape waste may be received shall be 7:00am to 4:00pm Monday through Friday and 7:00am to 12:00 noon Saturday. Processing operations shall cease after each day's receipts have been processed and placed in windrows, not to exceed three (3) additional hours.
4. The decibel levels at the property line shall not exceed Illinois Pollution Control Board standards.
5. A locked gate shall restrict vehicle access during closed hours except that a "lock-box" shall allow access to emergency vehicles.
6. Water samples shall be taken by an independent testing service and analyzed by an independent laboratory. The locations, methods and frequency of sampling and testing shall be approved by the Kendall County Environmental Health Department Director. The test results shall be sent to the Environmental Health Department within forty-five (45) days of sampling.
7. Soil samples shall be taken by an independent testing service and analyzed by an independent laboratory. The locations, methods and frequency of sampling and testing shall be approved by the Kendall County Environmental Health Department Director. The test results shall be sent to the Environmental Health Department within forty-five (45) days of sampling.

8. Authorized Kendall County personnel shall be allowed on site during business hours for inspection and testing.
9. The facility operator shall send up-to-date copies of the State permit and related documents including Operational Plan, Surface Water Management Plan, Pest Control Plan, Site Drawing, and an Annual Report to the County Solid Waste Coordinator.
10. Truck weights shall be limited to 73,280 pounds.
11. The operator shall provide weight receipts to Kendall County.
12. Off-site debris and trash generated by the site must be cleaned-up on a daily basis on surrounding properties with the owner's permission.
13. Other conditions as appropriate for the particular facility. (*Amended 6/20/2006*)

Section 13.08 – Special Use Procedures

SURROUNDING LAND USE

Location	Adjacent Land Use	Adjacent Zoning	Land Resource Management Plan	Zoning within ½ Mile
North	Agricultural/Farming	Yorkville (R-2)	Suburban Residential (County) Estate Residential (Yorkville)	Yorkville, Montgomery and A-1
South	Agricultural/Farming	Yorkville (R-2D)	Suburban Residential (County) Estate Residential and Commercial Office (Yorkville)	Yorkville, M-1, B-1, B-2, B-3, R-3 and A-1
East	Agricultural/Farming	Yorkville (R-2)	Planned Rural Residential and Open Space (County) Estate Residential (Yorkville)	Yorkville and A-1
West	Agricultural/Farming	Yorkville (R-2)	Suburban Residential (Estate Residential)	Yorkville, A-1 and R-3

PHYSICAL DATA

ENDANGERED SPECIES REPORT

EcoCAT Report submitted and consultation was terminated. The EcoCat was included with the Application Materials; see Attachment 5.

NATURAL RESOURCES INVENTORY

LESA score was 169 indicating a low level of protection. The NRI was included with the Application Materials; see Attachment 5.

ACTION SUMMARY

BRISTOL TOWNSHIP

Petition information was sent to Bristol Township April 25th. To date, no written comments have been received from Bristol Township. The Bristol Township Highway Commissioner and Township Supervisor attended the ZPAC meeting and expressed concerns about odor and size of trucks entering and leaving the property.

UNITED CITY OF YORKVILLE

Petition information was sent to the United City of Yorkville April 25th. This matter will be discussed at their June 6th EDC meeting and June 14th PZC meeting.

ZPAC

ZPAC met on the proposal on May 2nd. Discussion centered on creating a host fee, establishing a bond in case a cleanup is required, and planting trees as a screen along the eastern, southern and southwestern property lines. ZPAC unanimously recommended approval of the proposal subject to the following conditions and the minutes are included as Attachment 18:

1. The special use plat shall be amended to show a dedicated ROW instead of a trail.
2. The host fee shall be the same as the fee paid by Green Organics (\$0.80 per ton until November 30, 2019 then the fee goes to \$0.85 per ton starting December 1, 2019).
3. The host fee shall be converted to per cubic yard.
4. The host fee shall be paid monthly.
5. The petitioner shall create a form to track deliveries and quantities.
6. Sampling of water shall occur at least one (1) time per year.
7. Sampling of soil shall occur at least one (1) time per year.
8. The petitioner shall supply a bond to Kendall County to fund the cleanup of the site. The petitioner shall research dollar amounts for the bond.
9. No piles of materials shall be stacked higher than 20 feet.
10. The petitioner shall plant evergreen trees along the eastern, southern and southwestern property lines for screening.
11. The petitioner shall maintain the existing tree line.
12. The petitioner shall replace trees as quickly as possible if they die or severely damaged.

BUSINESS OPERATION

The petitioner desires to operate a landscape waste composting business at the subject property. This business would be in addition to the landscaping business that the petitioner currently possesses a special use permit for at the subject property. The owner of Semper Fi Land, Inc., Robert Velazquez, also lives on the subject property.

The petitioner submitted a business plan which is included with the Application Materials; see Attachment 5. As noted on page 5 of the Project Narrative, the petitioner plans to collect only landscape and yard waste at the site, no food waste or organic material will be collected. The majority of the waste (85%) will be turned into mulch with the remainder turned into compost material. The petitioner anticipates receiving approximately 100 to 150 cubic yards per day with a daily maximum of 250 cubic yards. The petitioner plans to monitor all truck loads to ensure that only clean material is deposited onsite. Anticipated equipment on the site include trucks, Morbark 1000 Tub Grinder, a wheel loader and skid loader. The petitioner has a windrow plan (see page 8 of the Project Narrative), and a plan to control dust, odor, noise, and vectors (see page 9 of the Project Narrative). The petitioner also supplied additional information on stormwater and leachate controls; Application Addendum Attachment 6.

Because the petitioner submitted documents at various stages, some of the figures referenced in the application materials may be numbered differently.

Per 415 ILCS 5/3.270, "landscape waste" means all accumulations of grass or shrubbery cuttings, leaves, tree limbs and other materials accumulated as the result of the care of lawns, shrubbery, vines and trees.

The proposed business will have between 2 and 5 employees.

The petitioner was agreeable to addressing Staff's concerns regarding hours of operation, tub grinder operation, noise restrictions, and capping the amount of material received. The details of a host agreement need to be finalized.

The petitioner provided a closure plan, which is included as Attachment 17. Staff contacted the petitioner's engineer with questions regarding accessing the \$53,750 mentioned in the plan. The petitioner and owner would be responsible for paying the \$50,000 civil penalty and \$10,000 per day penalty for not implementing the closure plan.

BUILDING CODES

No new buildings are planned as a result of this proposal. Any new structures constructed would be required to follow applicable building codes.

ACCESS

The property fronts Cannonball Trail. The petitioner plans to install a gravel driveway south of the lawn; see Attachments 7 and 8.

TRAILS

The petitioner already dedicated the necessary ROW for trails as required in the previous special use permit application.

PARKING

The petitioner already possesses a small amount of parking near the house and sheds; no additional parking is planned.

LIGHTING

No additional lighting is planned.

SIGNAGE

On page 5 of the Project Narrative, see Attachment 5, the petitioner outlined the type of signage that will be placed on the property.

SCREENING

All vehicles and equipment that can be moved shall be stored inside a building when not in use. The petitioner installed evergreen to separate the composting facility from the residential use. Additional screening may be required around the property. ZPAC requested that evergreens be planted along the eastern, southern and southwest property lines as a buffer

STORMWATER

No portion of the property is in a flood area and no wetlands exist on the property.

WBK submitted Attachment 15 regarding stormwater calculations. The petitioner response is included as Attachment 16. WBK submitted a follow-up response which is included as Attachment 19

HOST FEE

The other landscape waste composting facility in the County pays a host fee of \$0.80 per ton. This figure will increase to \$0.85 per ton on December 1, 2019. ZPAC recommended a similar host fee for this proposal.

The host fee agreement with the other landscape waste composting facility is a separate document from the special use permit. Because of the detail of a host fee agreement, Staff recommends that the host fee agreement be a separate document from the special use permit.

FINDINGS OF FACT

*That the establishment, maintenance, or operation of the special use will not be detrimental to or endanger the public health, safety, morals, comfort, or general welfare. **The establishment, maintenance and operation of the proposed business allowed by the special use permit could be detrimental to the public health and safety if appropriate restrictions are not implemented to monitor soil and water for contamination. The petitioner has plans to monitor the site for vectors. Odors could come from the***

site and negatively impact nearby properties if the waste is not properly turned.

*That the special use will not be substantially injurious to the use and enjoyment of other property in the immediate vicinity for the purposes already permitted, nor substantially diminish and impair property values within the neighborhood. The Zoning classification of property within the general area of the property in question shall be considered in determining consistency with this standard. The proposed use shall make adequate provisions for appropriate buffers, landscaping, fencing, lighting, building materials, open space and other improvements necessary to insure that the proposed use does not adversely impact adjacent uses and is compatible with the surrounding area and/or the County as a whole. **Provided appropriate buffering is established along the south, east, and southwest property lines, the operations of the business shall not be visible to adjoining properties. Odors could negatively impact the enjoyment of residential neighbors of their property. The petitioner plans to live on the property and, by so doing, will experience the same negative impacts, if any arise, that the neighbors experience as they relate to odors or vectors.***

*That adequate utilities, access roads and points of ingress and egress, drainage, and/or other necessary facilities have been or are being provided. **True, adequate utilities and roads already egress exist and the petitioner plans to construct a gravel road to improve ingress and egress. The petitioner's drainage plan is adequate for the proposed use.***

*That the special use shall in all other respects conform to the applicable regulations of the district in which it is located, except as such regulations may in each instance be modified by the County Board pursuant to the recommendation of the Hearing Officer. **True, the special use shall conform to the applicable regulations of the district.***

*That the special use is consistent with the purpose and objectives of the Land Resource Management Plan and other adopted County or municipal plans and policies. **True, the proposed use is consistent with agricultural uses outlined in the Land Resource Management Plan because of the types of materials gathered onsite, the size of the proposed operations and the ability of the property to revert to other agricultural uses if the business proposed by the special use ceases operations.***

RECOMMENDATION

If approved, Staff recommends the following conditions be included in the approving special use ordinance:

1. The facility shall meet all Illinois Environmental Protection Agency requirements as identified in Title 35, Subtitle G, Chapter 1, Sub-chapter 1, Park 830, Standards for compost facilities.
2. Operational personnel shall be present on site during all hours which the facility is open for the receipt of landscape waste.
3. The hours during which landscape waste may be received shall be 7:00am to 3:00pm (**not 7:00 pm as originally proposed by the petitioner**) Monday through Friday. The petitioner does not wish to have Saturday hours. Processing operations shall cease after each day's receipts have been processed and placed in windrows, not to exceed three (3) additional hours.
4. The decibel levels at the property line shall not exceed Illinois Pollution Control Board standards or 65 dBA between 7:00am and 10:00pm and 55 dBA between 10:00pm and 7:00am as measured from the property line on receiving residential lands. This restriction shall not apply to noise generated from maintenance vehicles. The petitioner agrees that the stricter noise regulations shall apply in cases of conflict.
5. A locked gate shall restrict vehicle access during closed hours except that a "lock-box" shall allow access to emergency vehicles.
6. Water samples shall be taken by an independent testing service and analyzed by an independent laboratory. The locations, methods and frequency of sampling and testing shall be approved by the Kendall County Environmental Health Department Director. The test results shall be sent to the Environmental Health Department within forty-five (45) days of sampling. Water sampling shall occur

at least one (1) time annually.

7. Soil samples shall be taken by an independent testing service and analyzed by an independent laboratory. The locations, methods and frequency of sampling and testing shall be approved by the Kendall County Environmental Health Department Director. The test results shall be sent to the Environmental Health Department within forty-five (45) days of sampling. Soil sampling shall occur at least one (1) time annually.
8. Authorized Kendall County personnel shall be allowed on site during business hours for inspection and testing.
9. The facility operator shall send up-to-date copies of the State permit and related documents including Operational Plan, Surface Water Management Plan, Pest Control Plan, Site Drawing, and an Annual Report to the County Solid Waste Coordinator.
10. Truck weights shall be limited to 73,280 pounds.
11. The operator shall provide weight receipts to Kendall County on a monthly basis.
12. Off-site debris and trash generated by the site must be cleaned-up on a daily basis on surrounding properties with the owner's permission.
13. Tub grinders located on the property shall operate between the hours of 9:00am and 3:00pm, Monday through Friday.
14. The owner of the business allowed by this special use permit shall reside on the premises as his/her primary residence.
15. Waste collected on the site shall be clean landscape waste only; no food scrap waste shall be collected onsite.
16. The facility will be permitted to take in a maximum 26,000 cubic yards annually.
17. One (1) non-illuminated sign, measuring no larger than 4 foot X 8 foot, stating the name of the business, hours of operation, contact information of the owner, types of material accepted and any other information required for posting by any agency authorized to regulate the business allowed by this special use permit may be placed on the property.
18. The site plan shall be kept on file as **Exhibit A** attached to the ordinance approving the special use permit.
19. No piles of materials shall be stacked higher than twenty (20) feet.
20. The petitioner shall plant Mission Arborvitae trees along the eastern, southern and southwestern property lines. When planted the trees shall be 5 feet in height and shall provide a complete buffer from the east, south, and southwest within 5 years of planting. The location of the trees shall be included on the site plan. The petitioner shall maintain the existing tree line and shall replace trees as quickly as possible if they die or are severely damaged.
21. The County Solid Waste Coordinator shall maintain a log of complaints received on the facility allowed by this special use permit.
22. If the business allowed by this special use permit receives any violations or citations from the Illinois Environmental Protection Agency, the business shall submit notifications of violations or citations to the Kendall County Solid Waste Coordinator within 30 days of receipt.
23. All vehicles and equipment with wheels shall be stored entirely within an enclosed structure when the business allowed by this special use permit is closed.

24. Upon approval of the special permit, but prior to the commencement of operations, the petitioner shall enter into a Host Agreement with Kendall County. A valid host agreement shall be required for the duration of the special use permit awarded by this ordinance.
25. The business allowed by this special use permit shall obtain a performance bond in the amount of the Illinois Environmental Protection Agency (IEPA) permitted closure cost estimate with the penal sum of the performance bond payable to either Kendall County or the IEPA. This bond shall be secured prior to the commencement of operations.
26. The business allowed by this special use permit shall follow all applicable federal, state, and local laws related to the operation of the business.
27. The special use permit awarded by this ordinance shall be considered separate from the special use permit awarded by Ordinance 2012-23. Nothing in the special use permit awarded for a composting of landscape waste business removes any obligations the property owner may have as it relates to the requirements of Ordinance 2012-23.
28. Failure to comply with the above restrictions and conditions shall be interpreted as a violation of the Zoning Ordinance of Kendall County and could result in the revocation of the special use permit or other legal actions.
29. If one or more of the above conditions is declared invalid by a court of competent jurisdiction, the remaining conditions shall remain valid.

ATTACHMENTS

1. Zoning Plat
2. Plat of Easement
3. Site Operations
4. Aerial
5. Application Materials (Including Business Plan and Project Narrative, Proof of Ownership, NRI Summary, EcoCat, and Applicant's Version of Findings of Fact)
6. Application Addendum (Additional Business Information and Stormwater Information)
7. Entrance from Cannonball
8. Looking East
9. Looking East from Southeast Corner of Grass
10. Looking Southeast
11. Looking East from Driveway
12. Looking South from Driveway
13. Looking North from Driveway
14. Ordinance 12-23
15. WBK Letter
16. Petitioner's Response to WBK Regarding Stormwater
17. Closure Plan
18. ZPAC Minutes
19. WBK Second Letter

ZONING PLAT FOR SPECIAL USE PERMIT
PART OF THE SOUTHWEST QUARTER OF SECTION 10 and
PART OF THE NORTHWEST QUARTER OF SECTION 15, T37N-R7E, 3rd PM
BRISTOL TOWNSHIP KENDALL COUNTY ILLINOIS

Attachment 1-Zoning Plat

SCALE
1"=50'

DEVELOPER:
Robert Velazquez
1999 Cannonball Trail
Bristol, Illinois 60512

ZONING TRACT AREA
249,306 Sq.Ft. = 5.7233 Acres
(228,381 Sq.Ft. = 5.2429 Acres Excluding Road)

PRESENT ZONING:
A1-SU (Agricultural District - Special Use)

PROPOSED ZONING:
A1-SU (Agricultural District - Special Use)

P.I.N.
02-15-101-003

LEGAL DESCRIPTION OF TRACT TO BE REZONED:

That part of the Southwest Quarter of Section 10, Township 37 North, Range 7 East of the Third Principal Meridian, and that part of the Northwest Quarter of Section 15, Township and Range aforesaid, described as follows: Commencing at the Southeast Corner of said Southwest Quarter, thence Southwesterly along a line which if extended would intersect the Northern Line of the former lands of Charles Hunt at a point on said Northern Line which is 1551.80 feet Westward of the West Line of a tract of land surveyed by Nelson C. Rider to Jerry M. Rider by a Warranty Deed recorded November 29, 1911 in Book 89 of Deeds, Page 26 and depicted in Plat Book 1 at thence Southwesterly along the east deer/bed course extended, 447.72 feet to said Northern Line, thence Easterly along said Northern Line which forms an angle of 164°49'30" with the last described course measured clockwise therefrom, 298.83 feet; thence Northernly at right angles to the last described course, 306.14 feet; thence Northernly along a line which forms an angle of 137°18'35" with the last described course measured clockwise therefrom, 368.58 feet to the center line of Cannonball Trail; thence Southwesterly along said center line to the point of beginning, in Bristol Township, Kendall County, Illinois.

BASE FLOOD ELEVATION

The Subject Property is not located in a Special Flood Zone Area as depicted on FEMA Flood Insurance Rate Map Number 1709300035H with an effective date of January 8, 2014.

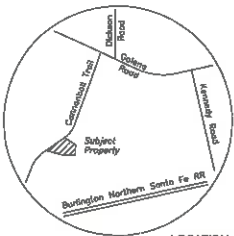
WETLANDS

There were no wetlands delineated on the Subject Property.

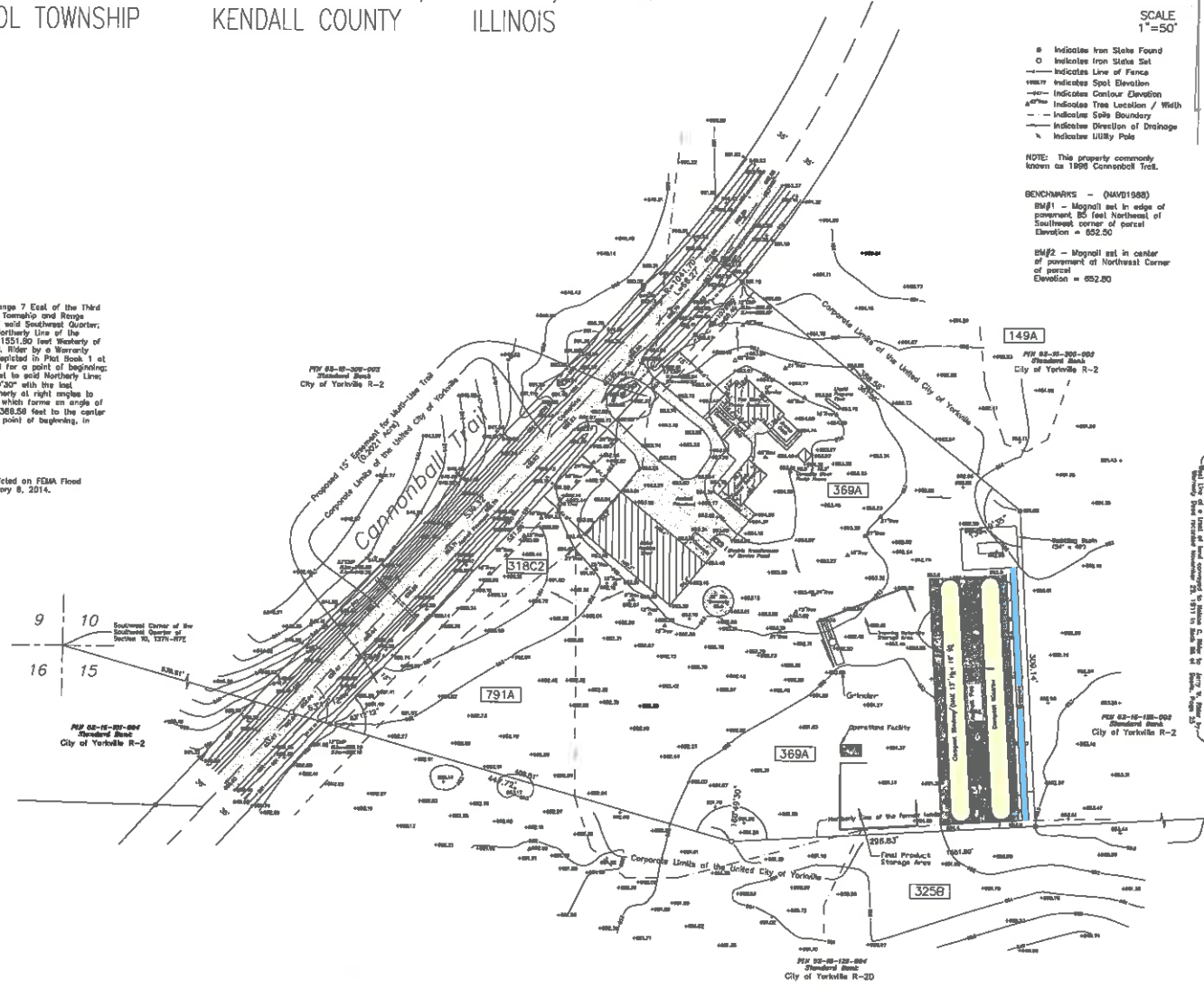
SOILS

Soil Type (USDA/NRCS - Web Soil Survey, 2016)

149A	Benton silt loam, 0% to 2% slopes
318C2	Lorenzo loam, 4% to 8% slopes, eroded
325B	Dresden silt loam, 2% to 4% slopes
369A	Waukegan silt loam, 0% to 2% slopes
791A	Rush silt loam, 2% to 4% slopes



LOCATION SKETCH
Not to Scale



Legend:
 ● Indicates from Stake Found
 ○ Indicates Iron Stake Set
 --- Indicates Line of Fence
 +888.17 Indicates Spot Elevation
 --- Indicates Contour Elevation
 P Indicates Tree Location / Width
 --- Indicates Sale Boundary
 --- Indicates Direction of Drainage
 X Indicates Utility Pole

NOTE: This property commonly known as 1999 Cannonball Trail.

BENCHMARKS - (NAVD1988)
 BM#1 - Magnall set in edge of pavement 85 feet Northwest of Southwest corner of parcel Elevation = 852.50
 BM#2 - Magnall set in center of pavement at Northwest Corner of parcel Elevation = 852.80

16-093
 Senior PL
 170238-Plat 1
 04/13/2017
 Philip D. Young and Associates, Inc.
 LAND SURVEYING - TOPOGRAPHIC MAPPING - Lic.#164-002775
 1107B South Bridge Street
 Yorkville, Illinois 61560
 Telephone (530)553-1580
 Environmental Consultants
 Design & Associates, LLC
 1001 W. Main St.
 Yorkville, Illinois 61560
 Phone: (530) 553-1580
 Fax: (530) 553-1581
 E-mail: info@youngandassociates.com
 www.youngandassociates.com

April 13, 2017

PLAT OF EASEMENT PART OF THE SOUTHWEST QUARTER OF SECTION 10 and PART OF THE NORTHWEST QUARTER OF SECTION 15, T37N-R7E, 3rd PM BRISTOL TOWNSHIP KENDALL COUNTY ILLINOIS

LEGAL DESCRIPTION:

That part of the Southwest Quarter of Section 10, Township 37 North, Range 7 East of the Third Principal Meridian, and that part of the Northwest Quarter of Section 15, Township and Range aforesaid, described as follows: Commencing at the Southwest Corner of said Southwest Quarter; thence Southeasterly along a line which if extended would intersect the Northerly Line of the former lands of Charles Hunt at a point on said Northerly Line which is 1551.80 feet Westerly of the West Line of a tract of land conveyed by Nelson C. Rider to Jerry W. Rider by a Warranty Deed recorded November 29, 1911 in Book 66 of Deeds, Page 25 and depicted in Plat Book 1 at Page 62, a distance of 938.61 feet to the center line of Cannonball Trail; thence Southeasterly, along the line of the last described course, 39.21 feet to the Southeasterly Right-of-Way Line of Cannonball Trail for a point of beginning; thence Southeasterly along the last described course, 16.80 feet to a line which is 15.0 feet Southeasterly of and parallel with said Southeasterly Right-of-Way Line; thence Northeasterly, parallel with said Southeasterly Right-of-Way Line, 514.07 feet; thence Northeasterly, along a tangential curve to the left with a radius of 1091.70 feet and being 15.0 feet Southeasterly of and concentric with said Southeasterly Right-of-Way Line, 69.45 feet to the Northeasterly Line of a Tract conveyed to Robert Velazquez by Special Warranty Deed recorded October 23, 2012 as Document 201200020734; thence Northwesterly, along said Velazquez Tract, 15.0 feet to said Southeasterly Right-of-Way; thence Southwesterly along said Southeasterly Right-of-Way, being a curve the right with a radius of 1076.70 feet, an arc distance of 68.49 feet; thence Southwesterly, along said Southeasterly Right-of-Way, 521.64 feet to the point of beginning in Bristol Township, Kendall County, Illinois.

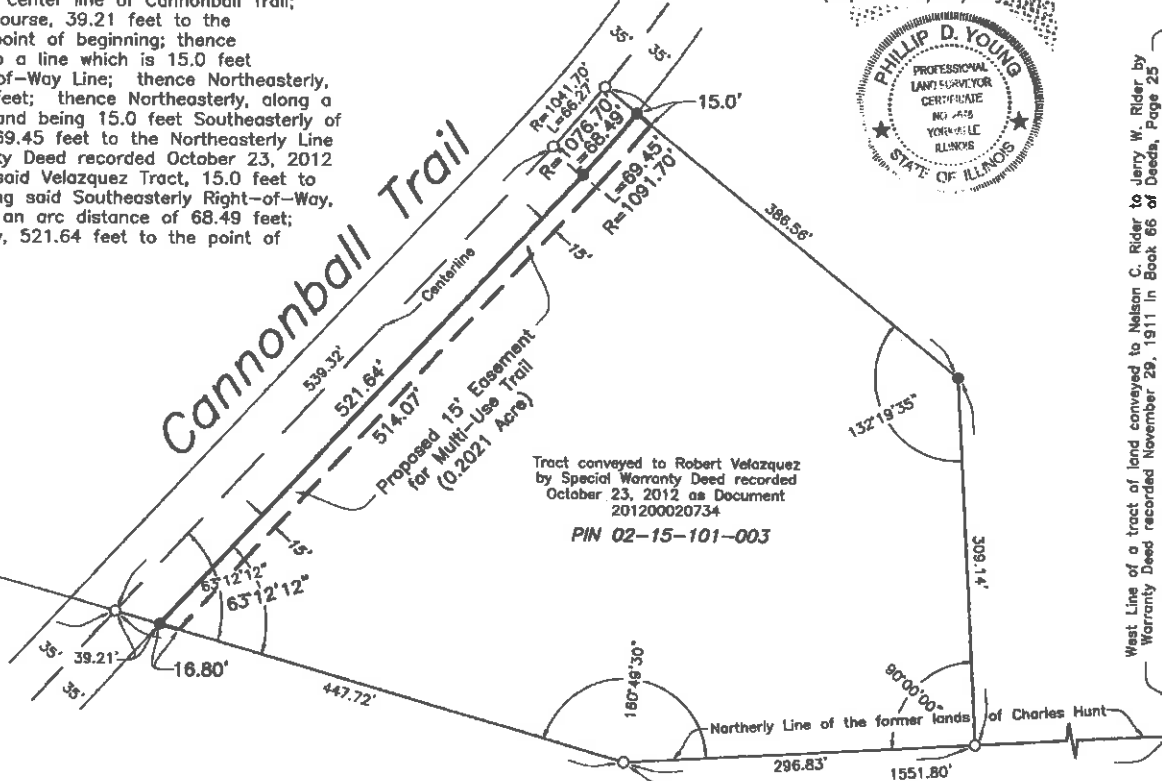
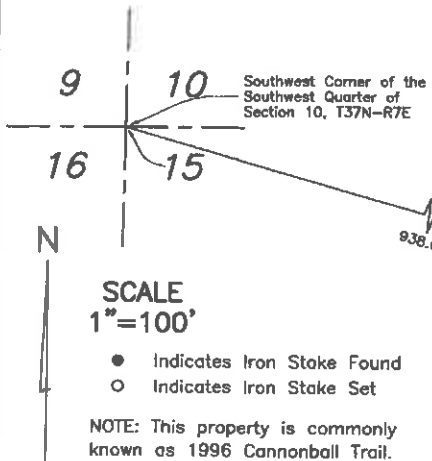
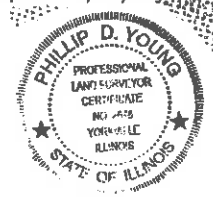
State of Illinois)
County of Kendall) SS

Attachment 2-Plat of Easement

I, Phillip D. Young, an Illinois Professional Land Surveyor and an officer of Phillip D. Young and Associates, Inc., state that I have surveyed the attached described tract as shown by the plat hereon drawn which is a representation of said survey. Field work was completed February 24, 2017. This professional service conforms to the current Illinois minimum standard for a boundary survey.

Dated April 13, 2017 at Yorkville, Illinois

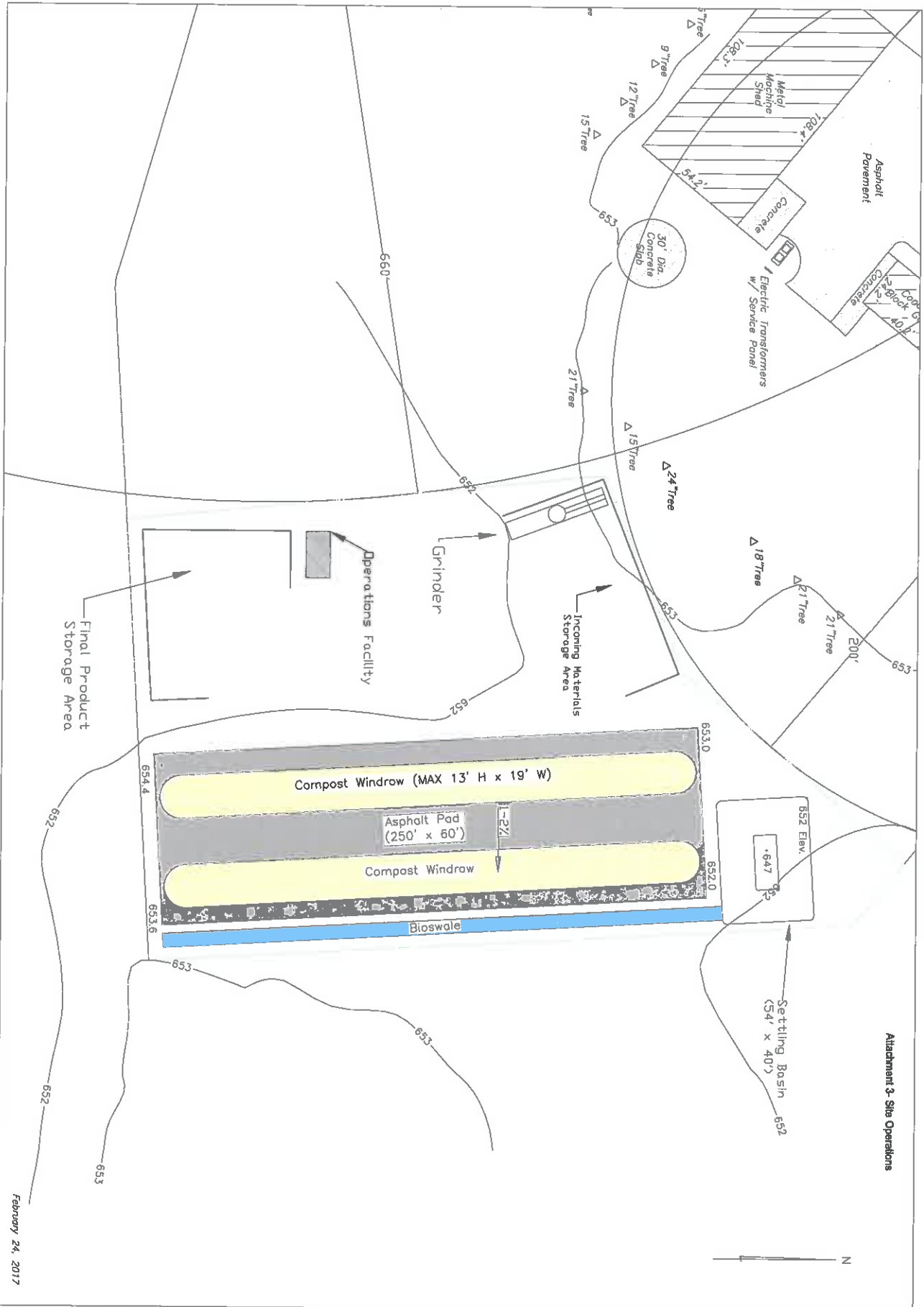

Phillip D. Young
Illinois Professional Land Surveyor No. 2678
(Expires 11/30/18)



1107B South Bridge Street
Yorkville, Illinois 60560
Telephone (630)563-1580

Phillip D. Young and Associates, Inc.
LAND SURVEYING - TOPOGRAPHIC MAPPING - Lic.#184-002775

JOB NO. 17023
JOB NAME DEGAN & ASSOC
DWG FILE 17023C



JOB NO.	18-082
JOB NAME	Semper FI
DWG FILE	170238-2-Fig.3
REVISION DATE	

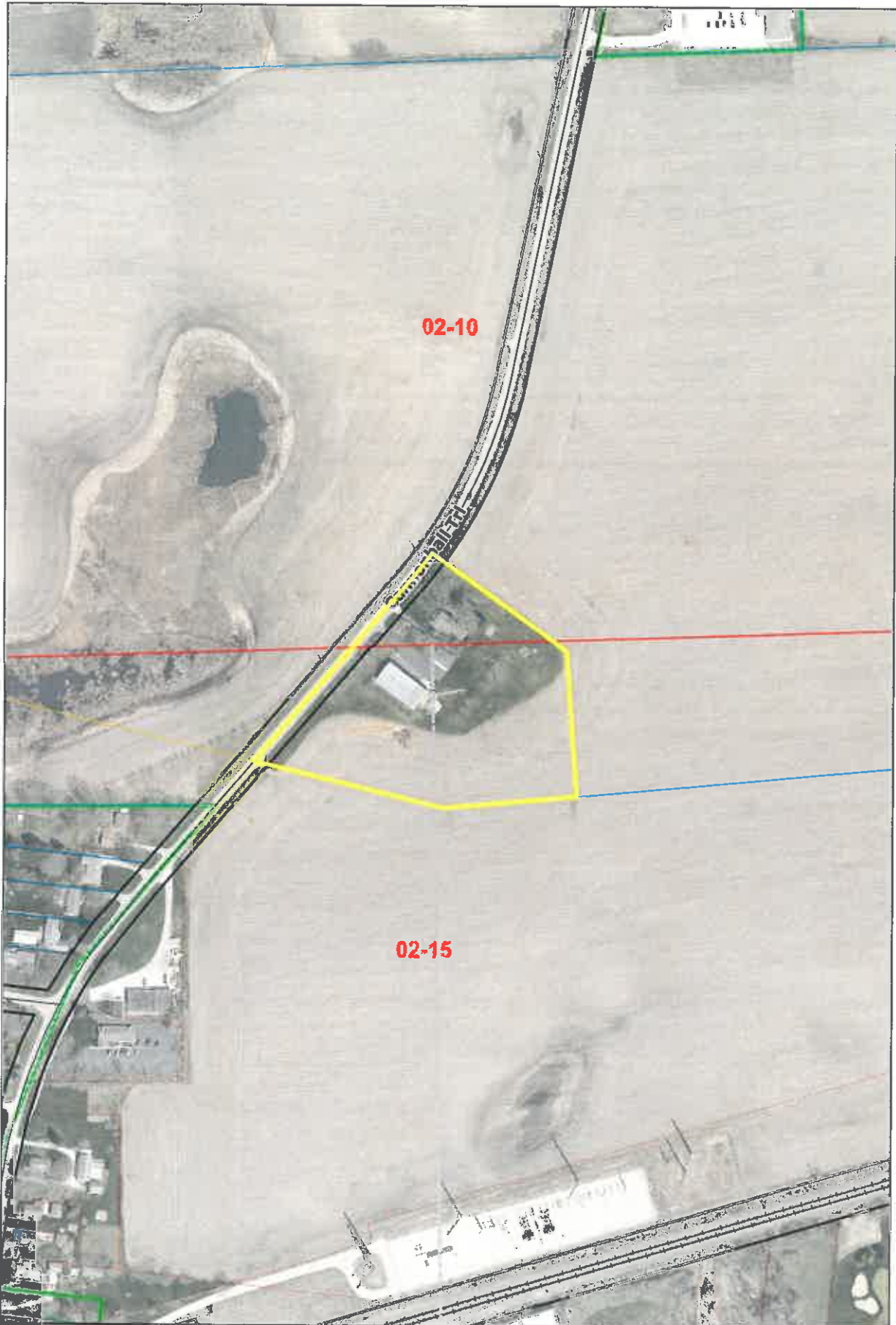
Figure 3
Site Operations

Deigan & Associates, LLC
Layout 28825 N. Herby Dr., Unit 120
Tel: (847) 578-5000

Environmental Consultants
Lake Bluff, IL 60144
Website: www.deiganassociates.com

Phillip D. Young and Associates, Inc.
LAWYER - SURVEYOR - ENGINEER - ARCHITECT

February 24, 2017




02-10

02-15

**Kendall County GIS**
111 South First Street - Room 209
Yorkville, Illinois 62458
618.347.4576

02-15-101-003
Bristol Twp.
Kendall County Illinois


0 120 240 360
Feet
1 inch = 200 feet

Aerial : 2016

Attachment 5-Application Materials



Deigan & Associates, LLC
Environmental Consultants

28835 N Herky Dr. Unit 120

Lake Bluff, Illinois 60044

Phone 847.578.5000

Fax 847.549.3242

www.deiganassociates.com

January 24, 2017

Department of Planning, Building & Zoning
Kendall County
111 West Fox Street
Yorkville, Illinois 60560

Re: Special Use Application for Compost Facility
Semper Fi Land Inc.
1996 Cannonball Trail
Bristol, Kendall County, Illinois 60512

To Whom It May Concern:

Enclosed for your review is a Special Use application to develop a landscape waste compost facility for Semper Fi Land, Inc. located at 1996 Cannonball Trail in Bristol, Kendall County, Illinois. Please contact the applicant and the undersigned with questions or should your Staff need additional information.

Sincerely,
Deigan & Associates, LLC

Steven M. Schilling, P.E.
Sr. Project Manager/Sr. Engineer

Gary J. Deigan
Principal

Enclosures

Sustainable Environmental Solutions

www.deiganassociates.com

Special Use Application Landscape Waste Compost Facility

Owner:



Robert R. Velazquez

SEMPER FI LAND INC.

VOSB CVE MBE DBE SBE

Facility Location:
1996 Cannonball Trail
Bristol, Kendall County, Illinois 60512

January 24, 2017

Submitted to:
Kendall County
Department of Planning, Building & Zoning
111 West Fox Street
Yorkville, Illinois 60560

Prepared by:



Deigan & Associates, LLC
Environmental Consultants

28835 N Herky Dr. Unit 120
Lake Bluff, Illinois 60044

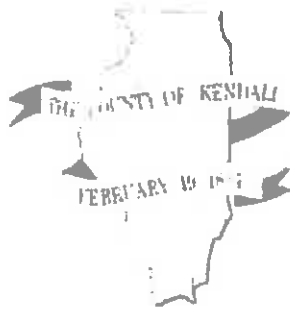
Phone 847.578.5000

Fax 847.549.3242

www.deiganassociates.com

Sustainable Environmental Solutions

www.deiganassociates.com




DEPARTMENT OF PLANNING, BUILDING & ZONING

111 West Fox Street • Yorkville, IL • 60560
 (630) 553-4141 Fax (630) 553-4179

APPLICATION

PROJECT NAME Semper Fi Compost Facility FILE #. 17-09

NAME OF APPLICANT		
Robert Velazquez		
CURRENT LANDOWNER/NAME(s)		
Robert Velazquez		
SITE INFORMATION	SITE ADDRESS OR LOCATION	ASSESSOR'S ID NUMBER (PIN)
ACRES 5.2	1996 Cannonball Trail, Bristol, Illinois	02-15-101-003
EXISTING LAND USE	CURRENT ZONING	LAND CLASSIFICATION ON LRMP
Ag - Residential	A-1	Suburban Residential
REQUESTED ACTION (Check All That Apply)		
<input checked="" type="checkbox"/> SPECIAL USE	<input type="checkbox"/> MAP AMENDMENT (Rezone to _____)	<input type="checkbox"/> VARIANCE
<input type="checkbox"/> ADMINISTRATIVE VARIANCE	<input type="checkbox"/> A-1 CONDITIONAL USE for _____	<input type="checkbox"/> SITE PLAN REVIEW
<input type="checkbox"/> TEXT AMENDMENT	<input type="checkbox"/> RPD (<input type="checkbox"/> Concept, <input type="checkbox"/> Preliminary, <input type="checkbox"/> Final)	<input type="checkbox"/> ADMINISTRATIVE APPEAL
<input type="checkbox"/> PRELIMINARY PLAT (etc.)	<input type="checkbox"/> FINAL PLAT	<input type="checkbox"/> OTHER PLAT (Vacation, Dedication, etc.)
<input type="checkbox"/> AMENDMENT TO A SPECIAL USE (<input type="checkbox"/> Major, <input type="checkbox"/> Minor)		
PRIMARY CONTACT	PRIMARY CONTACT MAILING ADDRESS	PRIMARY CONTACT EMAIL
Robert Velazquez	1996 Cannonball Trail, Bristol, IL	XXXXXXXXXX@XXXXXX.COM
PRIMARY CONTACT PHONE #	PRIMARY CONTACT FAX #	PRIMARY CONTACT OTHER #(Cell, etc.)
XXXXXXXXXX		
ENGINEER CONTACT	ENGINEER MAILING ADDRESS	ENGINEER EMAIL
Gary Deigan	28835 N. Herky Drive, Unit 120, Lake Bluff, IL	XXXXXXXXXX@XXXXXX.COM
ENGINEER PHONE #	ENGINEER FAX #	ENGINEER OTHER # (Cell, etc.)
XXXXXXXXXX		
I UNDERSTAND THAT BY SIGNING THIS FORM, THAT THE PROPERTY IN QUESTION MAY BE VISITED BY COUNTY STAFF & BOARD/ COMMISSION MEMBERS THROUGHOUT THE PETITION PROCESS AND THAT THE PRIMARY CONTACT LISTED ABOVE WILL BE SUBJECT TO ALL CORRESPONDANCE ISSUED BY THE COUNTY.		
I CERTIFY THAT THE INFORMATION AND EXHIBITS SUBMITTED ARE TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND THAT I AM TO FILE THIS APPLICATION AND ACT ON BEHALF OF THE ABOVE SIGNATURES.		
SIGNATURE OF APPLICANT		DATE 1-24-17

FEE PAID: \$ _____
 CHECK #: _____

¹Primary Contact will receive all correspondence from County
²Engineering Contact will receive all correspondence from the County's Engineering Consultants



Deigan & Associates, LLC
Environmental Consultants

Project Narrative

Special Use Application – Sempre Fi Land Inc.
1996 Cannonball Trail, Bristol, Kendall County, Illinois

Sustainable Environmental Solutions
www.deiganassociates.com

1.0 Applicant Identification and Location Information

The Special Use Application proposes to utilize the property located at 1996 Cannonball Trail in Bristol, Kendall County, Illinois (the "Site"), depicted in **Figure 1** (the Site Map), as a landscape waste composting facility operated by Semper Fi Land, Inc. (Semper Fi). The property is currently approved for operation as a landscape contracting Co. This special use application would simply allow yard waste to be processed into mulch as an important recycling benefit to managing yard waste. Semper Fi is a veteran-owned small, disadvantaged business enterprise, owned and operated by Mr. Robert Velazquez. Semper Fi has been operating as a business in Kendall County for over 10 years.

Semper Fi has completed the Special Use Application (including the application fee) which is included as an attachment.

According to the Plat of Survey, the legal description of the Site is as follows:

"THAT PART OF THE SOUTHWEST QUARTER OF SAID SECTION 10 TOWNSHIP 37 NORTH RANGE 7 EAST OF THE THIRD PRINCIPAL MERIDIAN AND THAT PART OF THE NORTHWEST QUARTER OF SAID SECTION 15, TOWNSHIP AND RANGE AFORESAID DESCRIBED AS FOLLOWS: COMMENCING AT THE SOUTHWEST CORNER OF SAID SOUTHWEST QUARTER; THENCE SHOUTHEASRTLY ALONG A LINE WHICH IF EXTENDED WOULD INTERSECT THE NORTHERLY LINE OF THE FORMER LANDS OF CHARLES HUNT AT A POINT ON SAID NORTHERLY LINE WHICH IS 1551.80 FEET WESTERLY OF THE WEST LINE OF A TRACT OF LAND CONVETED BY NELSON C. RIDER TO JERRY W. RIDER BY A WARRANTY DEED RECORDER NOVEMBER 29, 1911 IN BOOK 66 DEEDS, PAGE 25 AND DEPICTED IN PLAT BOOK 1 AT PAGE 62, A DISTANCE OF 938.61 FEET TO THE CENTER LINE OF CANNONBALL TRAIL, FOR A POINT OF BEGINNING; THENCE SOUTHEARLY ALONG THE LAST DESCRIBED COURSE EXTENDED, 447.72 FEET TO SAID NORTHERLY LINE; THENCE EASTERLY ALONG SAID NORTHERLY LINE, WHICH FORMS AN ANGLE OF 160 DEGREES 49 MINUTES 30 SECONDS WITH THE LAST DESCRIBED COURSE, MEASURED CLOCKWISE THEREFROM, 296.83 FEET; THENCE NORTHERLY AT RIGHT ANGLES TO THE LAST DESCRIBED COURSE, 309.14 FEET; THENCE NORTHWESTERLY ALONG A LINE WHICH FORMS AN ANGLE OF 132 DEGREES 19 MINUTES 35 SECONDS WITH THE LAST DESCRIBED COURSE, MEASURE CLOCKWISE THEREFROM, 386.56 FEET TO THE CETNER LINE OF CANNONBALL TRAIL; THENCE SOUTHWESTERLY ALONG CENTERLINE TO THE POINT OF BEGINNING, EXCEPTING THEREFORE THAT PART TAKEN FOR PUBLIC ROAD PURPOSES. IN BRISTOL TOWNSHIP KENDALL COUNTY ILLINOIS."

A. Proposed Use of Site

Semper Fi has applied for all necessary Illinois EPA permits to become a landscape waste compost facility concurrently with its application for Special Use Zoning. A landscape waste compost facility provides important recycling and processing of landscape waste into mulch. Semper Fi will utilize only landscape waste including yard waste and other woody material for compost material. Food waste or other organic waste will not be received. Approximately 85% of the landscape waste will be processed into mulch and the other 15% of the material will be processed compost material that is used as a soil supplement for planting.

The site's existing use as landscape waste contractor yard and its rural setting with large buffer zones and proposed vegetative screening make this property a compatible use for compost/mulch production. The Semper Fi Owner resides on the property, thus further ensuring that the facility will be a good neighbor.

B. Days and Hours of Operation

Business hours for the landscape waste composting facility will be 7 AM to 3:00 PM Monday through Friday. The facility will be closed on Saturday and Sunday. The grinder will only be operated during the above business hours.

At the entrance of the compost facility a permanent sign will be placed containing pertinent information for operating such landscape waste compost facility. The sign shall read:

Semper Fi Land Inc. Landscape Waste Compost Facility
1996 Cannonball Trail, Bristol, Illinois 60512
Operating Hours: M – F 7 AM – 3 PM (post project contractor landscape waste unloading may occur until 7PM).

Materials Accepted: Wood materials including wood chips, branches and logs
Yard waste including leaves, grass clippings and small branches

COMPLAINTS CONCERNING THIS FACILITY CAN BE MADE TO THE FOLLOWING PERSONS: OWNER/OPERATOR: ROBERT VELAZQUEZ, (630) 518-8484 ILLINOIS ENVIRONMENTAL PROTECTION AGENCY, BUREAU OF LAND (217) 782-3397

It is important to note that IEPA or its delegated inspection program to the County will have authority to inspect this facility and cite non-compliance matters.

C. Employees & Training Procedures

It is estimated that 2-5 employees will be used for the Semper Fi composting operation. These employees can be broken down into the following job descriptions: facility owner, equipment operators, and landscape waste truck drivers.

The facility owner/manager is directly responsible for overall day-to-day operations. Additional employees on-site will include two equipment operators. Responsibilities will be to keep the operating areas clean and organized. The equipment operators will also be responsible for greeting visitors, completing paperwork, and directing customers to designated landscape waste areas for processing. Equipment operators move landscape waste from designated storage areas to the facility grinder for processing. Equipment operators will process materials to make mulch and compost. Semper Fi drivers will transport landscape waste from Semper Fi jobs for processing. Operating hours for material brought to the site are from 7 AM to 7 PM, all material brought to the site will be processed within the applicable IEPA standards. The tub grinder will only operate from 7AM to 3PM.

Semper Fi management and employees will be trained to ensure compliance with all conditions of the IEPA permit and Kendall County requirements.

D. Logistics

Landscape waste is processed at the facility as shown on **Figure 3**. Landscape waste is delivered to the facility by Semper Fi trucks, other landscape waste contractors, or homeowners who have generated landscape waste. To access the compost facility operations a driveway will be constructed on the southern portion of the Site, that provides access from Cannonball Trail. This proposed driveway will be the main path for incoming and outgoing trucks. The road will provide suitable load bearing capacity and appropriate turning radius for the types of trucks that enter and exit the Semper Fi Facility. As trucks enter the facility, they are directed to operations building to gather information on the incoming material and complete an inspection of the material. The visual inspection will ensure raw materials brought to the facility are only woody materials or landscape waste and are free of any materials that would pose as a hazard to human health, including glass or metal shards. The visual inspections will ensure materials brought to the site do not contain man made materials larger than four millimeters in size. Once incoming material is inspected and recorded, trucks are directed to the appropriate unloading area by employees. The quantity of incoming compost material and mulch will be measured by monitoring the size of the truck loads, and maintaining a count of loads per day. Records will be kept in the operations building onsite.

Semper Fi will accept woody material and yard waste including wood chips, branches, logs, leaves, grass clippings, and small tree limbs for compost material. The material accepted at the Site will consist of approximately 70% woody material and 30% landscape waste. The landscape waste brought to the facility will be sorted into material requiring further processing including size separation and grinding. The estimated amount of

landscape waste to be received by the facility ranges between 100 and 150 cubic yards per day. The maximum the facility anticipates receiving in a day is 250 cubic yards. This low volume will ensure timely processing (which ensures odors are mitigated) and reasonable, low profile material stockpiles.

The typical composition of the daily recycle stream is approximated in the following table. Percentages are based on waste composition by quantity of material received.

Daily Recycle Stream Categories	Material Types	% of Total Recycle Stream (By Weight)
Wood Material	Wood Chips	70%
	Branches	
	Logs	
Landscape Waste	Grass Clippings	30%
	Leaves	
	Small tree limbs	

This typical composition may vary widely based on the type of landscape jobs being completed in the area. Approximately 85% of material will be processed into mulch and 15% will be processed into compost material.

F. Composting and Mulching Procedure

Two equipment operators will be employed at the Site. The equipment operators will be responsible for maintaining the operations area, greeting and directing customers, managing paperwork, and processing composting material. Semper Fi anticipates receiving approximately 2,000 to 3,000 cubic yards of landscape waste per month to process during the 9-10 month landscape season. Incoming composting waste will be quantified through monitoring incoming truck loads and the various truck sizes.

Methods implemented to control the type of landscape waste received will include inspecting each load received to verify that non-compostable waste is not being transported to the Site. If non-compostable material is transported to the Site, the non-compostable material will be rejected and prohibited from being dumped on-site.

Staging areas on-site will be adequate in size and design to facilitate the unloading of landscape waste from delivery vehicles. The southeast portion of the Site property will be utilized for vehicle delivery and turnaround, staging of unprocessed materials (drop-off), tub grinder operations, and stockpiled compost material. The staging areas on-site comprise approximately 1.2 acres.

Prior to windrowing, the compost waste will be processed through a tub grinder. The maximum length of time required to process each day's receipt of waste into windrows will be by the end of day.

The windrows will be constructed for optimum oxygen transfer, while maintaining temperatures in the proper range. Windrow construction will include lifting the compostable material with an excavating bucket of a front-end loader, and letting it cascade to the ground to form a loose pile of compost. After windrowing the compostable material, the material will be lightly compacted with a loader or excavator bucket. The dimensions of the two windrow piles will each be approximately 13 feet high by 19 feet wide, and between 200-250 linear feet. Both windrow piles will be turned at least monthly (or more frequently as needed) using a front-end loader. The Site will be lined with trees that will provide a visual buffer and aesthetics. Some areas of the site may be fenced to prevent unknowing trespasser safety concerns around equipment.

Approximately 85% of landscape waste brought to the Site will be ground into mulch for reuse and resale. The woody material will be ground and placed in the designated storage areas for Semper Fi landscape jobs or resale to contractors and home owners.

The source and providers of landscape waste will include Semper Fi and others who have clean usable materials available. The end users will include Semper Fi, homeowners, and other landscape contractors.

II. Equipment

Semper Fi Trucks: The Semper Fi truck fleet will bring landscape waste to the Site from Semper Fi jobs for composting.

Tub Grinder: The role of the Morbark 1000 Tub Grinder is to reduce the landscape waste to mulch/compost material. The grinder can operate at a capacity of 30 tons/hour. The grinder is 48'2" in length, 8'6" wide, 12'11" in height, and weighs approximately 28,740 lbs.

Wheel Loader: A three-yard wheel loader will be used to support the unloading/sorting process and to move heavy objects around the facility.

Skid-steer Loader: A tracked skid-steer will be used for onsite operations, primarily for clean up around site operation equipment. They are also used for other site tasks when needed.

In the event of equipment break down causing facility operations to cease, proper equipment will be leased/rented until repairs can be made to ensure processing times and composting procedures are achieved.

I. Dust, Odor, Noise, and Vector Control

In the unlikely event that temporary odors are observed on-site, the compost piles will be immediately aerated. Compost piles will be aerated frequently to prevent potential odors at the Site.

All loads delivered to the Site will undergo visual inspection to ensure only landscape material is brought onsite prior to proper dumping. Loads that are observed with improper material will be directed off the premises by Semper Fi employees.

If noticeable dust is observed at the Site, Semper Fi Land, Inc. will wet the ground (or source of dust) with water to prevent further spreading. Noise mitigation strategies will be implemented at the Site through the use of a vegetative perimeter buffer. If noise issues persist at the Site, an engineered noise barrier will be installed at the Site. Further, the Site will only operate during regular business hours to not disrupt the surrounding residences.

Vectors, such as insects, ticks, rodents, some birds, and other animals, will be controlled through various strategies. One method of vector control would be density reduction, by focusing population density controls at the breeding sites. Methods would include environmental management (drainage, filling, leveling of depressions and borrow pits, etc.) or the use of insecticides (larvicides). Larvicides may only be used as a last resort and in extreme cases, and if larvicides are used, the chemical should not kill non-target organisms or contaminate soil or groundwater. Additionally, garbage will not be left out at the Site and odor will be controlled with methods previously described.

J. Daily Cleanup

The facility is maintained on a daily basis by placing incoming landscape waste into designated storage area for processing. Once material have been processed, material will be placed in the correct corresponding area for making compost material. The loading/unloading area is cleaned with the tracked skid-steer to maintain safe truck access. Facility is cleaned daily to minimize dust, debris, odors, and vectors onsite by utilizing equipment onsite, hand brooms, and/or wetting surfaces when necessary.

3. Stormwater Runoff Management

Stormwater and landscape waste leachate controls as required pursuant to 35 IAC 830.204 will be used. Stormwater or other water which comes into contact with landscape waste will be considered landscape waste leachate and will be collected and reused in the process.

properly disposed of off-site, or treated as necessary prior to discharge off-site. Particular design measures will prevent ponding of landscape waste leachate on-site.

The design of the facility will prevent any compost material from being placed within five feet of the water table pursuant to 35 IAC 830.203(a)(3). Published groundwater data (obtained from the ISGS IL.WATER Interactive Online Map) shows that the static groundwater level at the nearest private water well located approximately 585 feet to the west of the Site is approximately 19 feet below ground surface (bgs). Further, the Site elevation at this well is noted as 669 feet above mean sea level (amsl). It is likely that groundwater elevation at the Site is similar to that of the nearby well. Thus, due to the location of the water table in relation to site elevation, compost material would not be placed within five feet of the water table. Additionally, during the sub-surface investigation on-site on September 2, 2016, a soil boring was advanced to 12 feet below ground surface (bgs). The water table was not encountered during this investigation, thus indicating that the water table is located greater than 12 feet bgs at the Site.

According to 35 IAC Part 830, Standards for Compost Facilities, soil on-site must be "relatively impermeable soil", meaning soil located above the water table that has a hydraulic conductivity no greater than 1×10^{-5} centimeters per second for a thickness of at least one foot. Test results from the permeability tests reveal a hydraulic conductivity of 1.33 cm/sec. This result will require construction of an impermeable surface at the Site.

To ensure any stormwater that comes in contact with the Site will not infiltrate to the native soils, an impermeable surface will be constructed in the entire compost facility operations. The compost facility surface will be constructed of impermeable surfaces including asphalt, concrete, compacted asphalt grindings, or another impermeable surface. The impermeable surface will be sloped approximately 0.5% to 2% from west to east towards the bioswale that will collect and infiltration stormwater eliminating any non-stormwater discharge. Impermeable surfaces will be inspected frequently to ensure compliance. Measures will be taken to correct any impermeable surface imperfections that would otherwise allow infiltration to the native soils below.

Drainage on the eastern portion of the property will be directed to a 300' bioswale that will collect, infiltrate, and filter runoff from the site. During large storm events water will be diverted to an under drain system below the bioswale to collect water and transport to the settling basin depicted in **Figure 3**. The settling basin will allow for additional settlement/treatment of stormwater runoff that is not treated from the bioswale. Excess water from the settling basin will be utilized for dust control operations as well as composting moisture. This allows for a 100% recycling operation of stormwater. A Kendall County Stormwater Permit Application has been prepared for the facility using stormwater best management practices.

Semper Fi Land, Inc.
Bristol, Kendall County, Illinois
Application for Permit
REV – 0
January 24, 2017



According to the Illinois State Geological Survey (ISGS) Illinois Water Well (ILWATER) Interactive Online Map, the nearest well (API 120932485100) is located approximately 585 feet to the west-southwest of the Site (depicted in **Figure 3**).

According to the Federal Emergency Management Agency (FEMA) Flood Insurance Rate Map (FIRM) Map Number 17093C0035H, the Site is located outside the boundary of the 10-year floodplain.

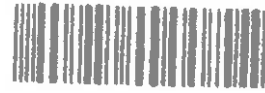


Deigan & Associates, LLC
Environmental Consultants

Proof of Ownership

Special Use Application – Sempre Fi Land Inc
1996 Cannonball Trail, Bristol, Kendall County, Illinois

Sustainable Environmental Solutions
www.deiganassociates.com



AFTER RECORDING RETURN TO: !

- ex Bill R
Robert Velazquez
~~XXXXXXXXXXXXXXXXXXXX~~
~~XXXXXXXXXXXXXXXXXXXX~~

201200020/34

DEBBIE
GILLETTE
KENDALL COUNTY, IL

RECORDED: 10/23/2012 12:10 PM
WD: 511.00 RNSPS FEE: 10.00
PAGES: 3

PERMANENT INDEX NUMBER:

02-15-101-003

PROPERTY ADDRESS:

1996 Cannonball Trail
Bristol, Illinois 60512

SPECIAL WARRANTY DEED

THIS INDENTURE is made as of September 28 2012 between PB IL OREO, LLC, an Illinois limited liability company, having an address of 70 W. Madison Street, Suite 200, Chicago, Illinois 60602 (the "Grantor"), and ROBERT VELAZQUEZ, having an address of 1275 Golfview Street, Aurora, Illinois 60506 (the "Grantee");

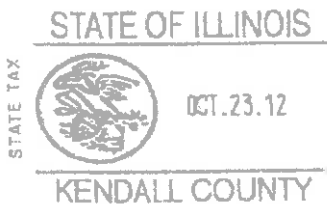
65800/645

WITNESSETH, Grantor, for and in consideration of the sum of Ten Dollars in hand paid by the Grantee, the receipt whereof is hereby acknowledged, by these presents does hereby GRANT, SELL, AND CONVEY unto the Grantee, his successors and assigns, the following described real estate, together with any and all improvements located thereon and all rights, easements and appurtenances thereto in any way belonging (collectively, the "Property"), situated in the County of Kendall, State of Illinois, and described on Exhibit A attached hereto.

Grantor hereby covenants, promises and agrees, to and with Grantee, its successors and assigns, that it has not done or suffered to be done, anything whereby the Property granted is, or may be, in any manner encumbered or charged, except as herein recited; and that the Property, against all persons lawfully claiming, or to claim the same, by, through or under it, it WILL WARRANT AND DEFEND.

[SIGNATURE PAGE FOLLOWS]

154.00 DT



# 000018059	REAL ESTATE TRANSFER TAX
	0030800
	FP 103035

FIDELITY NATIONAL TITLE

3

IN WITNESS WHEREOF, Grantor has signed this instrument the day and year first above written.

PB II. OREO, LLC

By: 
Its: MANAGING DIRECTOR

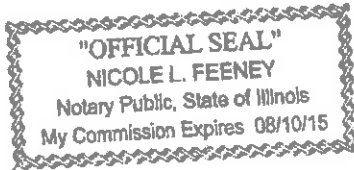
By: 
Its: James Thompson
Managing Director

STATE OF ILLINOIS)
) SS
COUNTY OF COOK)

The undersigned, Nicole L. Feeney, a notary public in and for said County, in the State aforesaid, DOES HEREBY CERTIFY that Andrew Catalina and Edward Corbett, personally known to me to be the same persons whose names are subscribed to the foregoing instrument, appeared before me this day in person and severally acknowledged that they signed and delivered the said instrument as their and voluntary act, on behalf of PB II. OREO, LLC, for the uses and purposes therein set forth.

GIVEN under my hand and official seal this 28th day of September, 2012.


Notary Public



This instrument was prepared by: H. Jeffrey McCown, McCown Law Offices, 22837 S. Wirth, Frankfort, Illinois 60423

Exhibit A

Legal Description

THAT PART OF THE SOUTHWEST QUARTER OF SAID SECTION 10 TOWNSHIP 37 NORTH RANGE 7 EAST OF THE THIRD PRINCIPAL MERIDIAN AND THAT PART OF THE NORTHWEST QUARTER OF SAID SECTION 15. TOWNSHIP AND RANGE AFORESAID DESCRIBED AS FOLLOWS:

COMMENCING AT THE SOUTHWEST CORNER OF SAID SOUTHWEST QUARTER; THENCE SOUTHEASTERLY ALONG A LINE WHICH IF EXTENDED WOULD INTERSECT THE NORTHERLY LINE OF THE FORMER LANDS OF CHARLES HUNT AT A POINT ON SAID NORTHERLY LINE WHICH IS 1551.80 FEET WESTERLY OF THE WEST LINE OF A TRACT OF LAND CONVEYED BY NELSON C. RIDER TO JERRY W. RIDER BY A WARRANTY DEED RECORDED NOVEMBER 29, 1911 IN BOOK 66 DEEDS, PAGE 25 AND DEPICTED IN PLAT BOOK 1 AT PAGE 62, A DISTANCE OF 938.61 FEET TO THE CENTER LINE OF CANNONBALL TRAIL, FOR A POINT OF BEGINNING; THENCE SOUTHEASTERLY AOLNG THE LAST DESCRIBED COURSE EXTENDED, 447.72 FEET TO SAID NORTHERLY LINE; THENCE EASTERLY ALONG SAID NORTHERLY LINE, WHICH FORMS AN ANGLE OF 160 DEGREES 49 MINUTES 30 SECONDS WITH THE LAST DESCRIBED COURSE, MEASURED CLOCKWISE THEREFROM, 296.83 FEET; THENCE NORTHERLY AT RIGHT ANGLES TO THE LAST DESCRIBED COURSE, 309.14 FEET; THENCE NORTHWESTERLY ALONG A LINE WHICH FORMS AN ANGLE OF 132 DEGREES 19 MINUTES 35 SECONDS WITH THE LAST DESCRIBED COURSE, MEASURED CLOCKWISE THEREFROM, 386.56 FEET TO THE CENTER LINE OF CANNONBALL TRAIL; THENCE SOUTHWESTERLY ALONG SAID CENTERLINE TO THE POINT OF BEGINNING IN BRISTOL TOWNSHIP KENDALL COUNTY ILLINOIS.

PERMANENT INDEX NUMBER:

02-15-101-003

PROPERTY ADDRESS:

1996 Cannonball Trail
Bristol, Illinois 60512

Kendall County Land Evaluation and Site Assessment (LESA):

Decision-makers in Kendall County use the Land Evaluation and Site Assessment (LESA) system to determine the suitability of a land use change and/or a zoning request as it relates to agricultural land. The LESA system was developed by the United States Department of Agriculture-Natural Resources Conservation Service (USDA-NRCS) and takes into consideration local conditions such as physical characteristics of the land, compatibility of surrounding land-uses, and urban growth factors. The LESA system is a two-step procedure that includes:

- **LAND EVALUATION (LE)** – The soils of a given area are rated and placed in groups ranging from the best to worst suited for a stated agriculture use, cropland or forestland. The best group is assigned a value of 100 and all other groups are assigned lower values. The Land Evaluation is based on data from the Kendall County Soil Survey. The Kendall County Soil and Water Conservation District is responsible for this portion of the LESA system.
- **SITE ASSESSMENT (SA)** – The site is numerically evaluated according to important factors that contribute to the quality of the site. Each factor selected is assigned values in accordance with the local needs and objectives. The Kendall County LESA Committee is responsible for this portion of the LESA system.

Table 4a: Land Evaluation Computation

Soil Type	Value Group	Relative Value	Acres	Product (Relative Value x Acres)
318C2	6	69	0.8	55.2
369A	2	94	3.9	366.6
791A	4	79	0.3	23.7
Totals			5.0	445.5
LE Score		LE= 445.5/5.0		LE= 89.1 (89)

The Land Evaluation score for this site is **89**, indicating that this site is predominately prime farmland well suited for agricultural production.

Table 4b: Site Assessment Computation

A.	Agricultural Land Uses	Points
	1. Percentage of area in agricultural uses within 1.5 miles of site. (20-10-5-0)	5
	2. Current land use adjacent to site. (30-20-15-10-0)	30
	3. Percentage of site in agricultural production in any of the last 5 years. (20-15-10-5-0)	10
	4. Size of site. (30-15-10-0)	0
B.	Compatibility / Impact on Uses	
	1. Distance from city or village limits. (20-10-0)	0
	2. Consistency of proposed use with County Land Resource Management Concept Plan and/or municipal comprehensive land use plan. (20-10-0)	10
	3. Compatibility of agricultural and non-agricultural uses. (15-7-0)	0
C.	Existence of Infrastructure	
	1. Availability of public sewage system. (10-8-6-0)	8
	2. Availability of public water system. (10-8-6-0)	8
	3. Transportation systems. (15-7-0)	7
	4. Distance from fire protection service. (10-8-6-2-0)	2
	Site Assessment Score:	80

Land Evaluation Value: 89 + Site Assessment Value: 80 = LESA Score: 169

LESA SCORE	LEVEL OF PROTECTION
0-200	Low
201-225	Medium
226-250	High
251-300	Very High

The LESA Score for this site is **169** which indicates a low level of protection for the proposed project site. Note: Selecting the project site with the lowest total points will generally protect the best farmland located in the most viable areas and maintain and promote the agricultural industry in Kendall County.

LAND USE OPINION:

The Kendall County Soil and Water Conservation District (SWCD) Board has reviewed the proposed development plans for Petitioner Semper Fi Land Service for the proposed Semper Fi Compost Facility project. This parcel is located in Section 10 & 15 of Bristol Township (T.37N.-R.7E. of the 3rd Principal Meridian) in Kendall County. Based on the information provided by the petitioner and a review of natural resource related data available to the Kendall County SWCD, the SWCD Board has the following opinions and recommendations.

The Kendall County SWCD has always had the opinion that Prime Farmland should be preserved whenever feasible. A land evaluation, which is a part of the Land Evaluation and Site Assessment (LESA) was conducted on this parcel. The soils on this parcel scored a 89 out of a possible 100 points indicating the soils found on the project site are predominately prime farmland well suited for agricultural production. All of the soils identified onsite are designated as prime farmland. The proposed project is requesting an A-1 Special Use permit to operate a landscape waste compost facility.

For proposed land uses, soils can have potential limitations. This report indicates that for soils located on the parcel, 100% of the soils are very limited for shallow excavations; 85.5% of the soils are very limited for local roads/streets and 15% are rated as unsuitable for onsite conventional sewage disposal systems. This information is based on the soil in an undisturbed state and does not replace the need for site specific soil testing. Some soil reclamation, special design, or maintenance may be required to obtain suitable soil conditions to support development with significant limitations. Additionally, if the scope of the project includes the use of onsite septic systems, please consult with the Kendall County Health Department.

This site is located within the Fox River Watershed and Blackberry Creek subwatershed.

This development should include a soil erosion sediment control plan to be implemented during construction. Sediment may become a primary non-point source of pollution. Eroded soils during the construction phase can create unsafe conditions on roadways, degrade water quality and destroy aquatic ecosystems lower in the watershed.

For intense project uses it may be necessary to have a drainage tile survey completed on the parcel to locate any subsurface drainage tile if suspected onsite. Drainage tile expedites drainage and facilitates farming. It is imperative that these drainage tiles remain undisturbed. Impaired tile may affect a few acres or hundreds of acres of drainage.

The information that is included in this Natural Resources Information Report is to assure the Land Developers take into full consideration the limitations of that land that they wish to develop. Guidelines and recommendations are also a part of this report and should be considered in the planning process. The Natural Resource Information Report is required by the Illinois Soil and Water Conservation District Act (Ill. Compiled Statutes, Ch. 70, Par 405/22.02a).


Chair

Date



Deigan & Associates, LLC
Environmental Consultants

Endangered Species Consultation Report

Special Use Application – Sempre Fi Land Inc.
1996 Cannonball Trail, Bristol, Kendall County, Illinois

Sustainable Environmental Solutions
www.deiganassociates.com

Applicant: Deigan & Associates
Contact: Katie Kult
Address: 28835 N. Herky Drive, Unit 120
Lake Bluff, IL 60044

IDNR Project Number: 1706246
Date: 01/16/2017

Project: Semper Fi Compost Facility
Address: 1996 Cannonball Trail, Bristol, IL

Description: The EcoCAT is being submitted for the development of a Compost Facility for the property located at 1996 Cannonball Trail in Bristol, Kendall County, Illinois as a landscape waste composting facility operated by Semper Fi Land, Inc. Semper Fi is owned and operated by Robert Velazquez. The compost facility will be developed in accordance to Title 35 Illinois Administrative Code 830 and other Federal, State, and Local rules and regulations. The Site is currently utilized as a residential dwelling and agricultural land.

Natural Resource Review Results

Consultation for Endangered Species Protection and Natural Areas Preservation (Part 1075)

The Illinois Natural Heritage Database contains no record of State-listed threatened or endangered species, Illinois Natural Area Inventory sites, dedicated Illinois Nature Preserves, or registered Land and Water Reserves in the vicinity of the project location.

Consultation is terminated. This consultation is valid for two years unless new information becomes available that was not previously considered; the proposed action is modified; or additional species, essential habitat, or Natural Areas are identified in the vicinity. If the project has not been implemented within two years of the date of this letter, or any of the above listed conditions develop, a new consultation is necessary. Termination does not imply IDNR's authorization or endorsement.

Location

The applicant is responsible for the accuracy of the location submitted for the project.

County: Kendall

Township, Range, Section:

37N, 7E, 10

37N, 7E, 15



IL Department of Natural Resources

Contact

Keith Shank
217-785-5500
Division of Ecosystems & Environment

Government Jurisdiction

Kendall County
Brian Holdiman
111 West Fox Street Room 203
Yorkville, Illinois 60560

Disclaimer

The Illinois Natural Heritage Database cannot provide a conclusive statement on the presence, absence, or condition of natural resources in Illinois. This review reflects the information existing in the Database at the time of this inquiry, and should not be regarded as a final statement on the site being considered, nor should it be a substitute for detailed site surveys or field surveys required for environmental assessments. If additional protected resources are encountered during the project's implementation, compliance with applicable statutes and regulations is required.

Terms of Use

By using this website, you acknowledge that you have read and agree to these terms. These terms may be revised by IDNR as necessary. If you continue to use the EcoCAT application after we post changes to these terms, it will mean that you accept such changes. If at any time you do not accept the Terms of Use, you may not continue to use the website.

1. The IDNR EcoCAT website was developed so that units of local government, state agencies and the public could request information or begin natural resource consultations on-line for the Illinois Endangered Species Protection Act, Illinois Natural Areas Preservation Act, and Illinois Interagency Wetland Policy Act. EcoCAT uses databases, Geographic Information System mapping, and a set of programmed decision rules to determine if proposed actions are in the vicinity of protected natural resources. By indicating your agreement to the Terms of Use for this application, you warrant that you will not use this web site for any other purpose.
2. Unauthorized attempts to upload, download, or change information on this website are strictly prohibited and may be punishable under the Computer Fraud and Abuse Act of 1986 and/or the National Information Infrastructure Protection Act.
3. IDNR reserves the right to enhance, modify, alter, or suspend the website at any time without notice, or to terminate or restrict access.

Security

EcoCAT operates on a state of Illinois computer system. We may use software to monitor traffic and to identify unauthorized attempts to upload, download, or change information, to cause harm or otherwise to damage this site. Unauthorized attempts to upload, download, or change information on this server is strictly prohibited by law.

Unauthorized use, tampering with or modification of this system, including supporting hardware or software, may subject the violator to criminal and civil penalties. In the event of unauthorized intrusion, all relevant information regarding possible violation of law may be provided to law enforcement officials.

Privacy

EcoCAT generates a public record subject to disclosure under the Freedom of Information Act. Otherwise, IDNR uses the information submitted to EcoCAT solely for internal tracking purposes.



EcoCAT Receipt	Project Code 1706246
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APPLICANT	DATE
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Deigan & Associates Gary Deigan 28835 N.Herky Drive, Unit 120 Lake Bluff, IL 60044	1/16/2017
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DESCRIPTION	FEE	CONVENIENCE FEE	TOTAL PAID
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EcoCAT Consultation	\$ 500.00	\$ 11.75	\$ 511.75
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TOTAL PAID \$ 511.75

Illinois Department of Natural Resources
One Natural Resources Way
Springfield, IL 62702
217-785-5500
dnr.ecocat@illinois.gov



Deigan & Associates, LLC
Environmental Consultants

Special Use Findings of Fact

Special Use Application – Sempre Fi Land Inc
1996 Cannonball Trail, Bristol, Kendall County, Illinois

Sustainable Environmental Solutions
www.deiganassociates.com

Please fill out the following findings of fact to the best of your capabilities. §13.08.J of the Zoning Ordinance outlines findings that the Hearing Officer shall consider in rendering a decision, but is not required to make an affirmative finding on all items in order to grant a special use. They are as follows:

That the establishment, maintenance, and operation of the special use will not be detrimental to, or endanger, the public health, safety, morals, comfort, or general welfare.

The facility will be constructed and operated in accordance with all Kendall County ordinances and Illinois EPA permits/regulations and will not be detrimental or endanger the public health, safety, morals, comfort, or general welfare.

That the special use will not be substantially injurious to the use and enjoyment of other properties in the immediate vicinity for the purposes already permitted, nor substantially diminish and impair property values within the neighborhood. The Zoning classification of property within the general area of the property in question shall be considered in determining consistency with this standard. The proposed use shall make adequate provisions for appropriate buffers, landscaping, fencing, lighting, building materials, open space and other improvements necessary to insure that the proposed use does not adversely impact adjacent uses and is compatible with the surrounding area and/or the County as a whole.

Property surrounding the Site is predominantly zoned agricultural land. The petitioners propose using the property as a compost business which is compatible with agricultural farming.

That adequate utilities, access roads and points of ingress and egress, drainage, and/or other necessary facilities have been or are being provided.

The proposed compost facility has adequate access from Cannonball Trail. The petitioners will submit a Stormwater Submittal in accordance with Article 5, Table 502 of the Countywide Stormwater Ordinance for review and approval prior to construction.

That the special use shall in all other respects conform to the applicable regulations of the district in which it is located, except as such regulations may in each instance be modified by the County Board pursuant to the recommendation of the Hearing Officer.

The proposed Special Use will allow for the existing permitted landscaping operation to effectively manage landscape waste. Petitioners have provided a construction and operating plan that conforms to the applicable regulations of the A-1 District.

That the special use is consistent with the purpose and objectives of the Land Resource Management Plan and other adopted County or municipal plans and policies.

This Special Use is consistent with the LRMP in providing an essential service to the surrounding land use categories contemplated by the Future Land Use Plan. The agricultural nature of this facility is consistent with the overall character of the area.

Attachment 6- Application Addendum



Deigan & Associates, LLC
Environmental Consultants

28835 N Herky Dr. Unit 120

Lake Bluff, Illinois 60044

Phone 847.578.5000

Fax 847.549.3242

www.deiganassociates.com

April 17, 2017

Matthew H. Asselmeier, AICP
Senior Planner
Kendall County Planning, Building & Zoning
111 West Fox Street
Yorkville, IL 60560-1498

Re: Addendum to Special Use Permit Application
Semper Fi Land Inc.
1996 Cannonball Trail
Bristol, Kendall County, Illinois 60512

Dear Mr. Asselmeier:

Enclosed are revised Plat of Survey and Site Plan for the Special Use Permit application to develop a landscape waste compost facility for Semper Fi Land, Inc. located at 1996 Cannonball Trail in Bristol, Kendall County, Illinois. These drawings replace Figures 1 and 3 in our original submittal. In addition, we have included a Stormwater Submittal of which the Plat of Survey and Site Plan are components.

Please contact the undersigned with questions.

Sincerely,

Deigan & Associates, LLC


Gary J. Deigan
Principal


Steven Schilling, P.E.
Sr. Project Manager/Sr. Engineer

Sustainable Environmental Solutions

www.deiganassociates.com

Addendum to Application for a Special Use Permit

SEMPER FI  **LAND INC.**

Facility Location:
1996 Cannonball Trail
Bristol, Kendall County, Illinois 60512

April 17, 2017

Submitted to:
Kendall County Planning,
Building & Zoning Department

Prepared by:



Deigan & Associates, LLC
Environmental Consultants

28835 N Herky Dr. Unit 120
Lake Bluff, Illinois 60044

Phone 847.578.5000

Fax 847.549.3242

www.deiganassociates.com

Sustainable Environmental Solutions

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Addendum Contents

Supplemental Narrative Text – Stormwater Submittal

**Figure 1 – Zoning Plat for Special Use Permit (1-
24"x36" plus 15-11"x17" Copies)**

**Figure 3 – Site Operations Layout (1-24"x36" plus
15-11"x17" Copies)**

Figure 4 – ISGS Illinois Water Well Map

Figure 5 – FEMA Flood Insurance Map

Figure 6 – Settling Basin Detail

Stormwater Submittal

Applicant Identification and Location Information

The Kendall County Stormwater Application has been prepared for the development of a Compost Facility for the property located at 1996 Cannonball Trail in Bristol, Kendall County, Illinois (the “Site”), depicted in Figure 1 (the Site Map), as a landscape waste composting facility operated by Semper Fi Land, Inc. (Semper Fi). Semper Fi is owned and operated by Robert Velazquez.

The compost facility will be developed in accordance to Title 35 Illinois Administrative Code 830 and other Federal, State, and Local rules and regulations. The Site is currently utilized as a residential dwelling and agricultural land. Surrounding land uses include both residential and agricultural. According to the Kendall County Geographic Information Systems (GIS) Online Mapper, the Site is zoned agricultural – special use (A1-SU).

Immediately adjoining land uses relative to the Site include:

- North—Cannonball Trail followed by cultivated agricultural land.
- East— Cultivated agricultural land.
- West—Cannonball Trail followed by cultivated agricultural land.
- South—Cultivated agricultural land followed by residential use.

Logistics and Operation

The facility will operate as a composting facility that will utilize only landscape waste including yard waste and other woody material for compost material. Organic waste will not be received or processed at the facility. Approximately 70% of the landscape waste proposed to be received by the facility includes wood material (wood chips, branches and logs) and the other 30% of the material will be yard waste (compost) including leaves, grass clippings and small branches.

Landscape waste processed at the facility is delivered by Semper Fi trucks, other landscape waste contractors, or homeowners who have generated landscape waste. The facility will not accept organic waste. The estimated amount of landscape waste to be received by the facility ranges between 100 and 150 yards per day. The maximum the facility anticipates receiving in a day is 250 yards. Business hours for the landscape waste composting facility will be 7:00 a.m. to 3:00 p.m. Monday through Friday. The facility will be closed on Saturday and Sunday.

The material processed at the Site will consist of approximately 85% mulch and 15% compost. The landscape waste brought to the facility will be sorted into material requiring

further processing. The composting operation on-site will be a large-scale composting business, utilizing windrow composting methods to produce compost material. A mixture of composting ingredients will be placed in long, narrow piles. The initial step in constructing the compost pile will be to grind and shred ingredients using an on-site grinder. The grinder will only be operated during the Site operating hours mentioned above. Grinding ingredients also reduces the particle size which increases temperature and thus speeds up the composting process. Materials will then be mixed and the windrow piles will be constructed. The dimensions of the windrows will be approximately 13 feet high by 19 feet wide, and 250 linear feet. A tracked skid-steer and a three-yard wheel loader will be utilized to load the windrow piles. These machines will also be used to turn the windrow piles to redistribute the heat and also aerate the compost, aiding in the decomposition process.

Staging areas on-site will be adequate in size and design to facilitate the unloading of landscape waste from delivery vehicles. The southeast portion of the Site operations area will be utilized for vehicle delivery and turnaround, staging of unprocessed materials (drop-off), tub grinder operations, and stockpiled compost material. The processing and staging areas on-site comprise approximately 1.2 acres.

Stormwater Runoff Management

Stormwater and landscape waste leachate controls as required pursuant to 35 IAC 830.204 and the Kendall County Stormwater Ordinance. Stormwater or other water which comes into contact with landscape waste will be considered landscape waste leachate and will be collected and reused in the process, properly disposed of off-site, or treated as necessary prior to discharge off-site. Stormwater that comes in contact with the site will be collected in the adjacent bioswales within the Site operations area and the filtered water will be collected in the onsite operations settling basin. Further detail detailed design measures are discussed **Section B** and depicted in **Figure 3**. Design measures will prevent ponding of landscape waste leachate on-site.

Additionally, soil surfaces will not come into contact with the compost piles, as impervious surfaces will be present (depicted in **Figure 3**). Thus, the compost material will remain in aerobic conditions and drain into the onsite bioswale.

A. Hydrology of the Compositing Facility

According to the Illinois State Geological Survey (ISGS) Illinois Water Well (ILWATER) Interactive Online Map, the nearest well (API 120932485100) is located approximately 585 feet to the west-southwest of the Site. The ISGS Illinois Water Well Map is included as **Figure 4**.

According to the Federal Emergency Management Agency (FEMA) Flood Insurance Rate Map (FIRM) Number 17093C0035H, the Site is located outside the boundary of the 10-year and 100-year floodplain (depicted in **Figure 5**).

The design of the facility will prevent any compost material from being placed within five feet of the water table pursuant to 35 IAC 830.203(a)(3). Published groundwater data (obtained from the ISGS ILWATER Interactive Online Map) shows that the static groundwater level at the nearest private water well located approximately 585 feet to the west of the Site (discussed above) is approximately 19 feet below ground surface (bgs). Further, the Site elevation at this well is noted as 669 feet above mean sea level (amsl). Due to the relatively flat topography and no major water body (lake or ocean) nearby, it is likely that groundwater elevation at the Site is similar to that of the nearby well. Thus, it is inferred that due to the location of the water table in relation to site elevation, compost material would not be placed within five feet of the water table.

According to 35 IAC Part 830, Standards for Compost Facilities, soil on-site must be “relatively impermeable soil”, meaning soil located above the water table that has a hydraulic conductivity no greater than 1×10^{-5} centimeters per second (cm/sec) for a thickness of at least one foot. Test results from the permeability tests reveal a hydraulic conductivity of 1.33 cm/sec. During the sub-surface investigation on-site on September 2, 2016, a soil boring was advanced to 12 feet below ground surface (bgs). The water table was not encountered during this investigation, thus indicating that the water table is located greater than 12 feet bgs at the Site.

To ensure any stormwater that comes in contact with the Site is properly managed, an impermeable surface will be constructed within the entire composting area. The composting area surface will be constructed of impermeable surfaces including asphalt, concrete, compacted asphalt grindings, or another impermeable surface. The impermeable surface will be sloped approximately 1% to 2% from west to east towards the bioswale that will collect and filter the stormwater. Impermeable surfaces will be inspected frequently to ensure compliance. Measures will be taken to correct any impermeable surface imperfections that would otherwise allow infiltration to the native soils below.

Detailed below is the current stormwater runoff rate:

$$Q \text{ (Peak Runoff Rate)} \\ = C \text{ (Runoff Coefficient)} i \text{ (rainfall intensity)} A \text{ (Drainage Area)}$$

$$C = 0.2$$

$$i_{2 \text{ yr. } 24 \text{ hr.}} = 3.04 \frac{\text{inches}}{24 - \text{hour}}$$

$$i_{10 \text{ yr. } 24 \text{ hr.}} = 4.47 \frac{\text{inches}}{24 - \text{hour}}$$

$$A = 5.4 \text{ acres}$$

$$Q_{2 \text{ yr.}} = 3.23 \text{ cubic feet per second (cfs)}$$

$$Q_{10 \text{ yr.}} = 4.86 \text{ cfs}$$

Using the American Society of Civil Engineers Coefficient Table, a runoff coefficient of 0.2 was selected based on the current Site conditions being comprised of majority residential area with vegetation and portions being agricultural lands with crop coverage. Using the duration of 24-hours, the rainfall intensity constants for a 2-year storm and 10-year storm were selected from the Bulletin 70 Rainfall Distribution and Hydroclimatic Characteristics of Heavy Rainstorms in Illinois provided by Illinois State Water Survey.

B. Stormwater and Landscape Waste Leachate Controls

The Site composting operations only utilize the eastern portion of the property and a driveway connecting Cannonball Trail to the operations area; therefore, the western half of the property will continue to drain as it did prior to this development.

Material staged outdoors will be conducted on an improved surface consisting of concrete, asphalt, or compacted asphalt grindings. The Site will be sloped to allow drainage from the composting operations to the bioswale system discussed below. Materials to be staged outdoors will consist of mulch and compost material. Runoff that contacts material and equipment stored outside is managed through the constructed bioswale and settling basins.

Drainage within the operations area of the property will be directed to a 250' bioswale that will collect, infiltrate, and filter runoff from the site. The bioswale will include native plantings that aid in the filtration process through microbial activity removing any contaminants generated from the composting process. During large storm events, water will be diverted to an under-drain system below the bioswale to collect water and transport to the settling basin as depicted on **Figure 3**. The settling basin will allow for additional storage, infiltration and settlement/treatment of stormwater runoff that is not treated from the bioswale. Excess water from the settling basin will be utilized for dust control operations as well as composting moisture. This allows for a 100% recycling operation of stormwater.

A. Site Development Runoff Calculations

The Site development will consist of a 0.3 acre impervious asphalt pad. To be conservative, calculations have been based on 1.2-acres of impervious surface for the composting area. Detailed below is the stormwater runoff rate with the impervious surface used in the composting area.

$$Q \text{ (Peak Runoff Rate)} \\ = C \text{ (Runoff Coefficient)} i \text{ (rainfall intensity)} A \text{ (Drainage Area)}$$

$$C = 0.7$$

$$i_{2 \text{ yr. } 24 \text{ hr.}} = 3.04 \frac{\text{inches}}{24 - \text{hour}}$$

$$i_{10 \text{ yr. } 24 \text{ hr.}} = 4.47 \frac{\text{inches}}{24 - \text{hour}}$$

$$A = 1.2 \text{ acres}$$

$$Q_{2 \text{ yr.}} = 2.51 \text{ cubic feet per second (cfs)}$$

$$Q_{10 \text{ yr.}} = 3.78 \text{ cfs}$$

Using the American Society of Civil Engineers Coefficient Table, a runoff coefficient of 0.7 was selected based on the Site being developed with an impervious surface. The Site is relatively flat, with an approximated drainage slope of 0.3%. Using the duration of 24-hours, the rainfall intensity constants for a 2-year storm and 10-year storm were selected from the Bulletin 70 Rainfall Distribution and Hydroclimatic Characteristics of Heavy Rainstorms in Illinois provided by Illinois State Water Survey.

B. Bioswale Sizing

The bioswale has been designed to infiltrate 50% of the largest designed storm event. Stormwater that falls onto the impervious site operations area will be directed to the 250' linear bioswale located along the east portion of the property. The impervious surface within the operations area will slope approximately 1% to 2% from west to east to allow for drainage into the bioswale and eliminate any non-stormwater discharge from the Site. The bioswale will be 250' in length, 5' in width, and a minimum 12" in depth. The bioswale will be backfilled with the permeable soils and planted with native species to promote infiltration. Test results from a Site permeability tests reveal a hydraulic conductivity of 1.33 cm/sec. Side slopes within the bioswale will be no greater than 3:1. Native plantings will include grasses and a couple of varieties of flower plants for a visual aesthetics. The

bioswale will be sloped approximately 0.3% to 0.5% longitudinally to allow for flow of excess filtered stormwater to the settling basin.

To accommodate large storm events a perforated pipe will be placed approximately 12” longitudinal below ground surface that will drain into a sedimentation basin discussed in the following Section. In the event the bioswale becomes inundated with stormwater, water will move to a 12” diameter perforated pipe embedded in open graded aggregate wrapped in filter fabric to transport to the settling basin. This pipe will be flat in order to encourage infiltration for stormwater cleansing before leaving the pipe to the settling basin.

$$d \text{ (pipe diameter)} = \sqrt{\frac{4 Q_{10 \text{ yr.}}}{\pi v}}$$

$$\text{Assumed velocity } (v) = 5 \text{ ft/s}$$

$$d \text{ (pipe diameter)} = 11.8 \text{ inches}$$

C. Settling Basin Sizing

Stormwater that is not able to be infiltrated through the natural soils will flow through the 12” diameter perforated pipe that is sloped longitudinally 0.5% to 2.0% towards the settling basin.

$$\text{Volume Storage} = i_{10 \text{ yr } 24 \text{ hr}} * C_{\text{Developed}} * A_{\text{Developed}}$$

$$\text{Volume Storage} = 4.47 \text{ in} * \frac{1 \text{ ft}}{12 \text{ in}} * 0.7 * 1.2 \text{ acres} * \frac{43560 \text{ ft}^2}{1 \text{ ac}}$$

$$\text{Volume Storage Needed} = 13,629.9 \text{ ft}^3$$

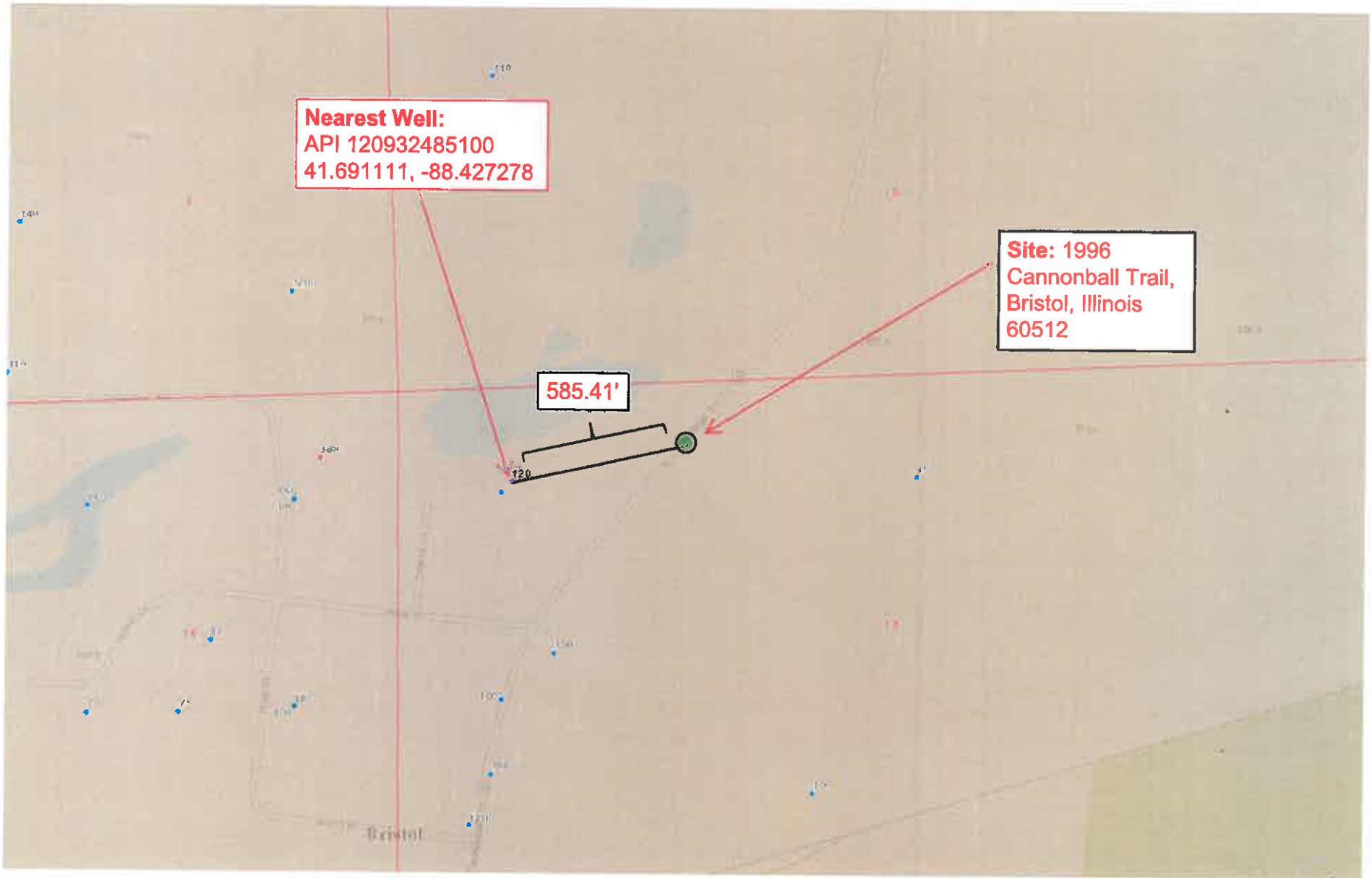
The bioswale provides approximately 1,650 ft³ of stormwater storage. The bioswale has been designed to infiltrate 50% of the largest designed storm event. The volume of stormwater storage required for a settling basin, if 50% of the stormwater is infiltrated in the bioswale and 1,650 ft³ of stormwater can be stored is 5,164 ft³. A conservative approach is to allow for excess storage in the basin.

$$\text{Basin Size (truncated right pyramid)} = 54 \text{ ft } (l) \text{ by } 40 \text{ ft } (w) \text{ by } 5 \text{ ft } (d) = 5,250 \text{ ft}^3$$

The settling basin will allow for additional settlement/treatment of stormwater runoff that is not treated from the bioswale. Excess water from the settling basin will be utilized for dust control operations as well as composting moisture. This allows for a 100% recycling operation of stormwater. A detail of the settling basin layout and storage calculation is shown on **Figure 6**.

C. Additional Permitting Requirements

Construction of the facility will require a NPDES Permit for Construction Site Activities from the Illinois Environmental Protection Agency. A Notice of Intent for General Permit will be filed no later than 30 days prior to commencement of construction and will include a Storm Water Pollution Prevention Plan (SWPPP).



ILLINOIS STATE
GEOLOGICAL SURVEY
PRAIRIE RESEARCH INSTITUTE

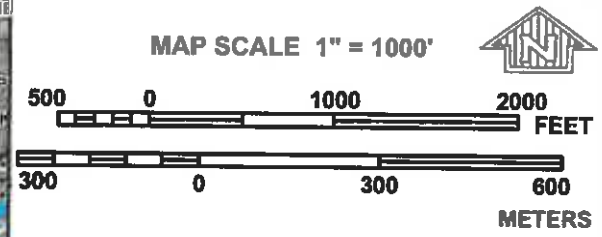
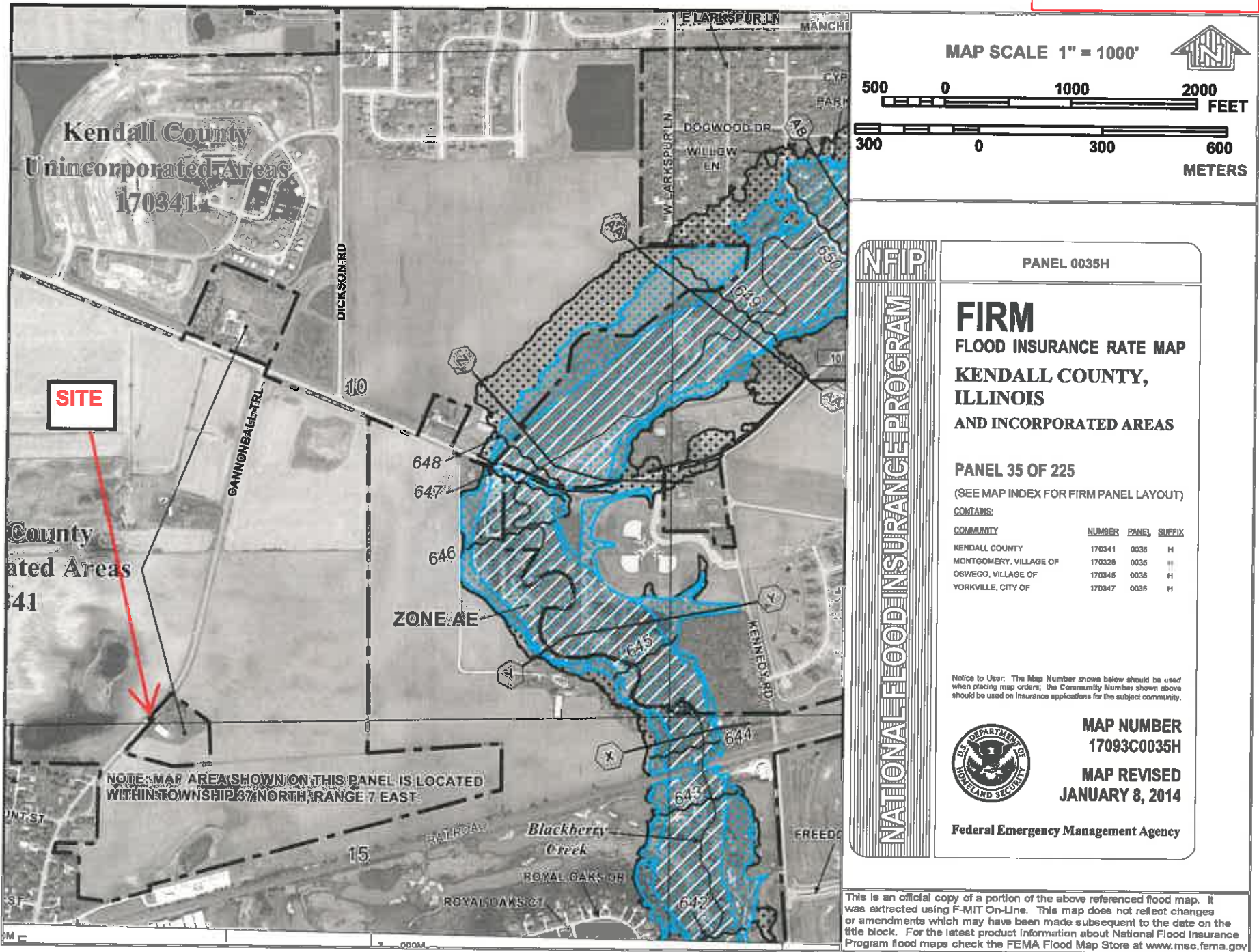
1996 Cannonball Trail, Bristol, Illinois

Date: Aug 12, 2016

FIGURE 4



FIGURE 5



NATIONAL FLOOD INSURANCE PROGRAM

PANEL 0035H

FIRM
FLOOD INSURANCE RATE MAP
KENDALL COUNTY,
ILLINOIS
AND INCORPORATED AREAS

PANEL 35 OF 225
 (SEE MAP INDEX FOR FIRM PANEL LAYOUT)

CONTAINS:

COMMUNITY	NUMBER	PANEL	SUFFIX
KENDALL COUNTY	170341	0035	H
MONTGOMERY, VILLAGE OF	170328	0035	H
OSWEGO, VILLAGE OF	170345	0035	H
YORKVILLE, CITY OF	170347	0035	H

Notice to User: The Map Number shown below should be used when placing map orders; the Community Number shown above should be used on insurance applications for the subject community.



MAP NUMBER
17093C0035H
MAP REVISED
JANUARY 8, 2014

Federal Emergency Management Agency

This is an official copy of a portion of the above referenced flood map. It was extracted using F-MIT On-Line. This map does not reflect changes or amendments which may have been made subsequent to the date on the title block. For the latest product information about National Flood Insurance Program flood maps check the FEMA Flood Map Store at www.msc.fema.gov

BY SAS	DATE 2-17-2017	SUBJECT STORMWATER SETTLING BASIN	SHEET NO. 1 OF 1
CHECKED BY	DATE	SEMPRE FI COMPOSTING	PROJECT NO. 16-082

SETTLING BASIN (TRUNCATED RIGHT PYRAMID)

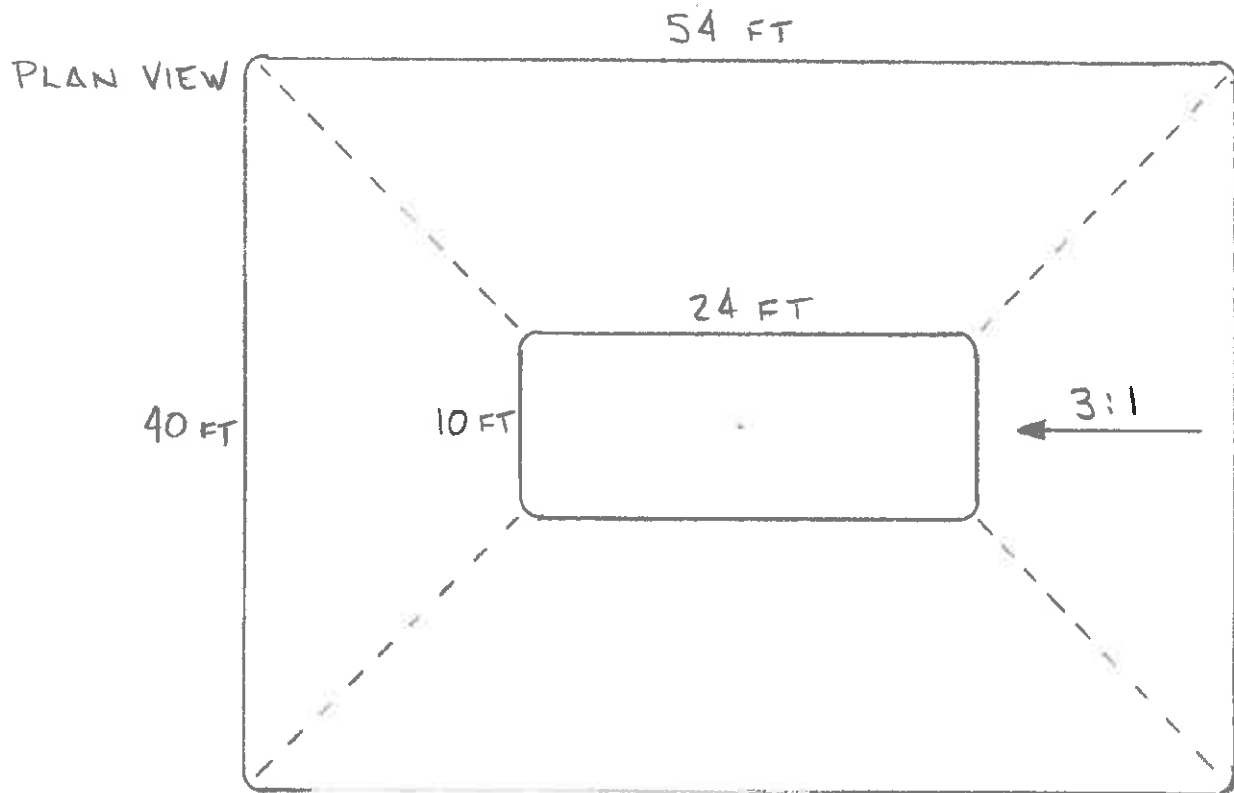
3:1 MAXIMUM SIDE SLOPES

5,200 FT³ STORAGE NEEDED

$$V = \frac{1}{6} \times H \times (B + (a+c) \times (b+d) + T)$$

$$= \frac{1}{6} \times 5 \times [(54 \times 40) + (54+24) \times (40+10) + (24 \times 10)] \quad * \text{ ALL IN FT}$$

$$= 5,250 \text{ FT}^3$$



ELEVATION



Bioswale

Definition

- Vegetated swale system with an infiltration trench designed to retain and temporarily store stormwater. Bioswales are planted with native grasses and forbs that enhance filtration, cooling, and cleansing of water in order to improve water quality and prevent sealing of subsoils.



© Conservation Design Forum

bioswale in a parking lot (Tollabs, Naperville, IL)
(Conservation Design Forum)

Applicability

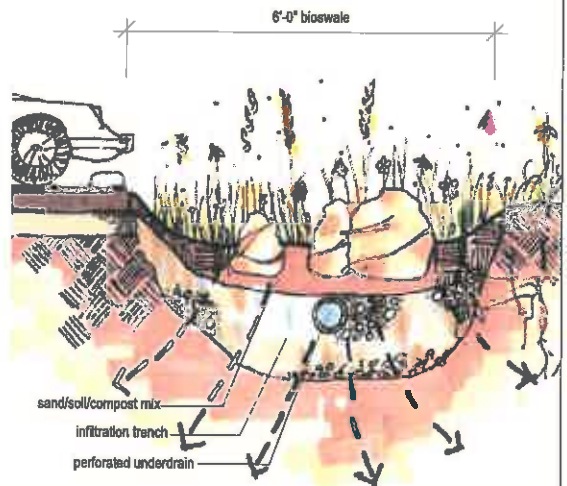
- Scale
 - Watershed/County
 - Town/Village
 - Neighborhood
 - Lot
- Applications
 - Retrofit
 - Preventive
 - Roofs
 - Parking Lots
 - New
 - Remedial
 - Streets
 - Lawn
 - Ongoing/ Maintenance
 - Driveways
 - Sensitive Areas
- Effectiveness
 - Runoff Rate Control
 - Nutrient Control
 - Runoff Volume Control
 - BOD Control
 - Physical Habitat Preservation/Creation
 - Sediment Pollution Control
 - Other Pollutant Control

Benefits

- Reduces impervious runoff volumes and rates.
- Recharges groundwater and sustains base flows.
- Reduces sediment and nutrient runoff.
- Can reduce detention needs.

Design Considerations

- Bioswales must be sized and designed to account for drainage area and soils.
- Filtration benefits can be improved by planting native deep-rooted vegetation.
- Infiltration storage should be designed to drain in 24 hours to prevent sealing of subsoils.
- Topsoil should be amended with compost and/or sand to improve organic content for filtering and to achieve adequate infiltration rates.
- Bioswales should be protected from construction site runoff to prevent sealing of topsoil and/or subsoils.
- Direct entry of stormwater runoff into infiltration trench should be prevented to preserve groundwater quality and to prevent sealing of subsoils.
- Underdrain should be sufficiently low in the trench to provide adequate drainage of aggregate base of adjacent paved areas but sufficiently high to provide infiltration storage.



© Conservation Design Forum

cross section of bioswale (Conservation Design Forum)

**Attachment 7-Entrance
from Cannonball**

**Proposed
Gravel Drive**

**Attachment 8-
Looking East**

**Approximate
Location of
Operations**



Attachment 9-Looking East at
Southeast Corner of Grass

Approximate Location
of Operations



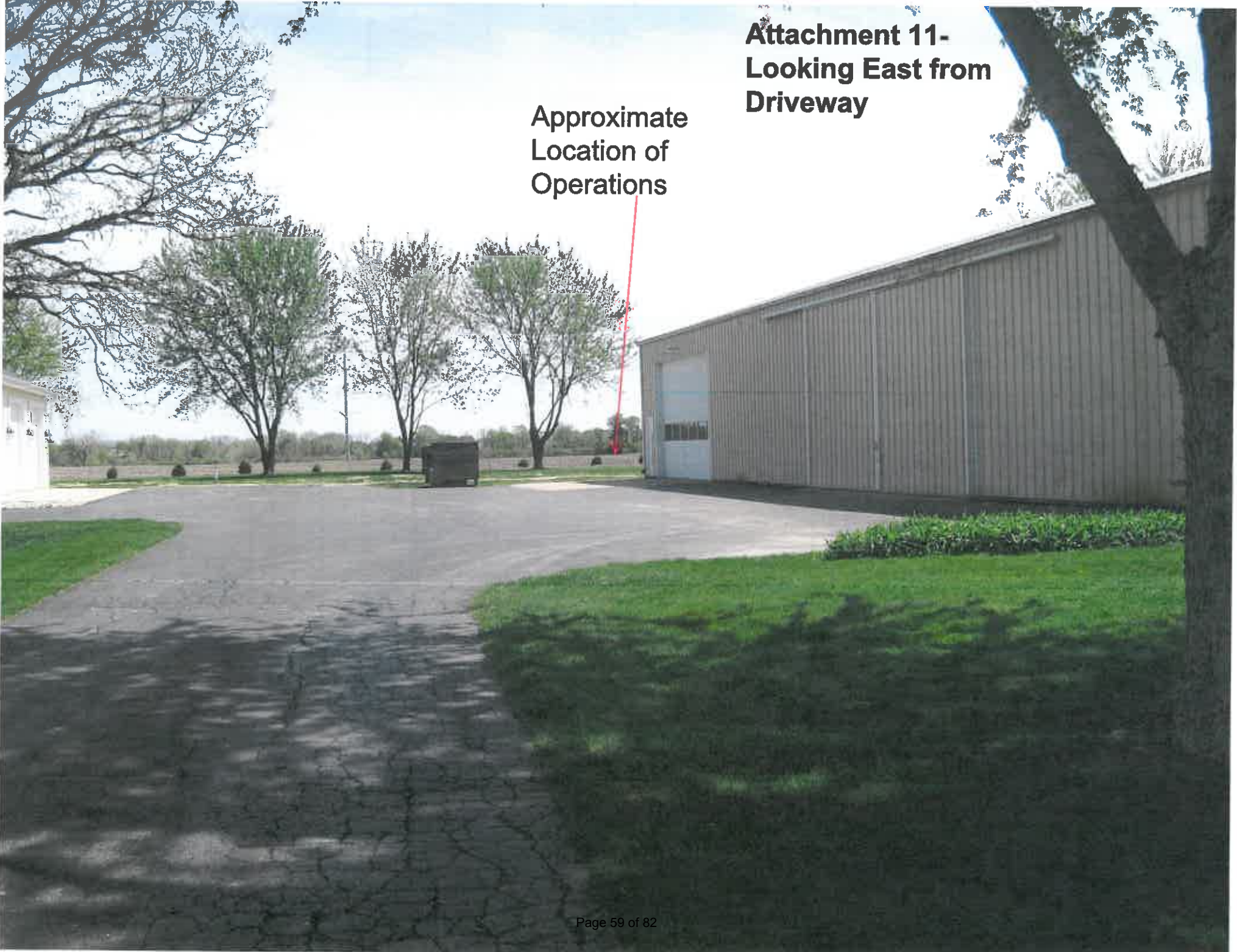
**Attachment 10-
Looking Southeast**

**Approximate
Location of
Operations**



**Attachment 11-
Looking East from
Driveway**

Approximate
Location of
Operations



Attachment 12-Looking South from Driveway

Gravel Driveway

Gravel Driveway



Attachment 13-Looking
North from Driveway



State of Illinois
County of Kendall

Zoning Petition
#12-32

ORDINANCE NUMBER 2012 - 23

GRANTING A SPECIAL USE FOR
1996 CANNONBALL TRAIL
SEMPER FI YARD SERVICES INC.

WHEREAS, Semper Fi Yard Services Inc. has filed a petition for a Special Use within the A-1 Agricultural Zoning District for a 5.2 acre property located on the east side of Cannonball Trail about 0.5 miles south of Galena Road, commonly known as 1996 Cannonball Trail (PIN# 02-15-101-003), in Bristol Township, and;

WHEREAS, said petition is to allow the operation of a landscape business and live in the house; and

WHEREAS, said property is currently zoned A-1 Agricultural; and

WHEREAS, said property is legally described as:

THAT PART OF THE SOUTHWEST QUARTER OF SECTION 10, TOWNSHIP 37 NORTH, RANGE 7 EAST OF THE THIRD PRINCIPAL MERIDIAN AND THAT PART OF THE NORTHWEST QUARTER OF SECTION 15 , TOWNSHIP AND RANGE AFORESAID DESCRIBED AS FOLLOWS: COMMENCING AT THE SOUTHWEST CORNER OF SAID SOUTHWEST QUARTER, THENCE SOUTHEASTERLY ALONG A LINE WHICH IF EXTENDED WOULD INTERSECT THE NORTHERLY LINE OF THE FORMER LANDS OF CHARLES HUNT AT A POINT OF SAID NORTHERLY LINE WHICH IS 1551.80 FEET WESTERLY OF THE WEST LINE OF A TRACT OF LAND CONVEYED BY NELSON C. RIDER TO JERRY W. RIDER BY A WARRANTY DEED RECORDED NOVEMBER 29, 1911 IN BOOK 66 DEEDS, PAGE 25 AND DEPICTED IN THE PLAT BOOK 1 AT PAGE 62, A DISTANCE OF 938.61 FEET TO THE CENTER LINE OF CANNONBALL TRAIL, FOR A POINT OF BEGINNING , THENCE SOUTHEASTERLY ALONG THE LAST DESCRIBED COURSE EXTENDED, 447.72 FEET TO SAID NORTHERLY LINE; THENCE ESATERLY ALONG SAID NORTHERLY LINE, WHICH FORMS AN ANGLE OF 160°49' 30" WITH THE LAST DESCRIBED COURSE, MEASURED CLOCKWISE THEREFROM, 296.83 FET; THENCE NORTHERLY AT RIGHT ANGLES TO THE LAST DESCRIBED COURSE, 309.14 FEET; THENCE NORTHWESTERLY ALONG A LINE WHICH FORMS AN ANGLE OF 132°19'35" WITH THE LAST DESCRIBED COURSE, MEASURED CLOCKWISE THEREFROM, 386.56 FEET TO THE CENTER LINE OF CANNONBALL TRAIL; THENCE SOUTHWESTERLY ALONG SAID CENTER LINE TO THE POINT OF BEGINNING IN BRISTOL TOWNSHIP KENDALL COUNTY ILLINOIS AND CONTAINING 5.727 ACRES.

WHEREAS, all procedures required by the Kendall County Zoning Ordinance were followed including notice for public hearing, preparation of the findings of fact in accordance with Section 13.07.J of the Zoning Ordinance, and recommendation for approval by the Special Use Hearing Officer on October 1, 2012; and

WHEREAS, the findings of fact were approved as follows:

That the establishment, maintenance, and operation of the special use will not be detrimental to, or endanger, the public health, safety, morals, comfort, or general welfare. All equipment will be stored inside the structures and shall not be detrimental or endanger the public health, safety, morals,

comfort or general welfare.

That the special use will not be injurious to the use and enjoyment of other properties in the immediate vicinity for the purposes already permitted, nor substantially diminish and impair property values within the neighborhood. The Zoning classification of property within the general area of the property in question shall be considered in determining consistency with this standard. The proposed use shall make adequate provisions for appropriate buffers, landscaping, fencing, lighting, building materials, open space and other improvements necessary to insure that the proposed use does not adversely impact adjacent uses and is compatible with the surrounding area and/or the County as a whole. All property surrounding this piece of land is farm land. The petitioners will still be using the property as a landscape business which is compatible with agricultural farming. The zoning classification within the general area is still agricultural.

That the establishment of the special use will not impede the normal and orderly development and improvement of surrounding property for uses permitted in the district. The special use permit requested is consistent with the existing zoning and uses within the district.

That adequate utilities, access roads, drainage, and/or other necessary facilities have been or are being provided. All the utilities, access roads and drainage already exist for this site.

That adequate measures have been or will be taken to provide ingress and egress so designed as to minimize traffic congestion in the public streets. The site currently has two entrances at the north and south end of the property. The proposed special use will add minimal additional traffic to the site and will not cause congestion on Cannonball Trail.

That the special use shall in all other respects conform to the applicable regulations of the district in which it is located, except as such regulations may in each instance be modified by the County Board pursuant to the recommendation of the Hearing Officer. The building already exists and the petitioner is not requesting any variances.

That the special use is consistent with the spirit of the Land Resource Management Plan and other adopted County or municipal plans and policies. This special use permit will be consistent with the County's LRMP and the City of Yorkville's future plan which calls for the property to be residential. The petitioners will live in the home and a landscape business will have the same equipment and hours of operation as the surrounding farms.

WHEREAS, the Kendall County Board has considered the findings and recommendation of the Hearing Officer and finds that said petition is in conformance with the provisions and intent of the Kendall County Zoning Ordinance; and

WHEREAS, this special use shall be treated as a covenant running with the land and is binding on the successors, heirs, and assigns as to the same special use conducted on the property; and

NOW, THEREFORE, BE IT ORDAINED, that the Kendall County Board hereby grants approval of a special use zoning permit to operate a landscape business in accordance to the submitted Site Plan included as "Exhibit A" attached hereto and incorporated herein subject to the following conditions:

1. All equipment must be stored inside buildings at night.

2. Dedication of a 15' trail easement within sixty (60) days of the approval of the special use.
3. Plat of Dedication of 35' of right of way on the northwest side of the property within sixty (60) days of the approval of the special use. Please contact the Highway Department with any questions.
4. The current sign on Route 71 be permitted to be moved to this site and be lit.
5. Any existing or proposed storage of fuel, pesticides or other hazardous materials shall comply with any and all applicable codes and permit requirements including those required by the State Fire Marshall.

Failure to comply with the terms of this ordinance may be cited as a basis for amending or revoking this special use permit.

IN WITNESS OF, this ordinance has been enacted on October 16, 2012.

Attest:



Debbie Gillette
Kendall County Clerk



John Purcell
Kendall County Board Chairman

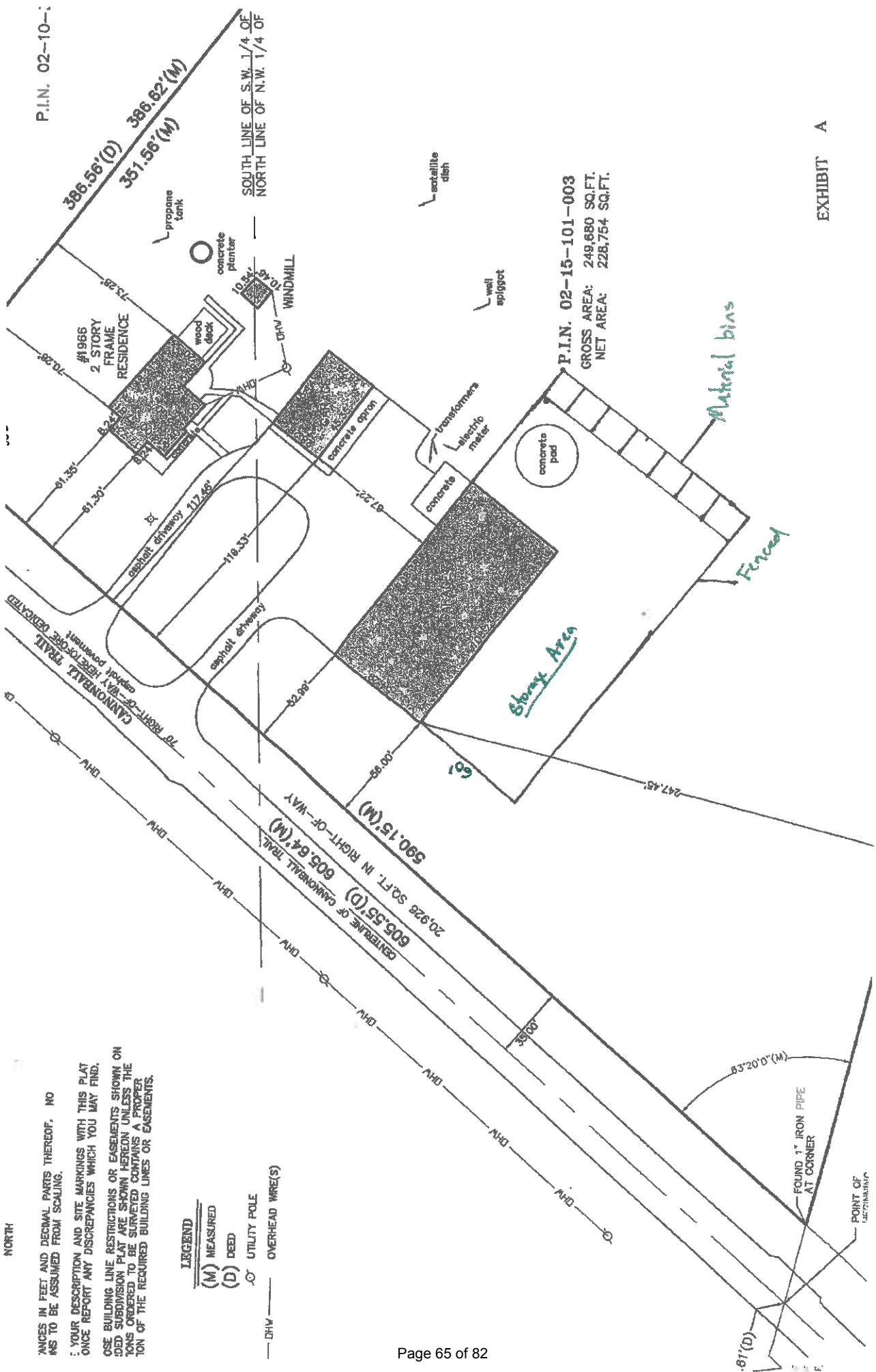
NORTH

ANCES IN FEET AND DECIMAL PARTS THEREOF. NO
INGS TO BE ASSUMED FROM SCALING.

YOUR DESCRIPTION AND SITE MARKINGS WITH THIS PLAT
ONCE REPORT ANY DISCREPANCIES WHICH YOU MAY FIND.
USE BUILDING LINE RESTRICTIONS OR EASEMENTS SHOWN ON
IDED SUBDIVISION PLAT ARE SHOWN HEREON UNLESS THE
IONS ORDERED TO BE SURVEYED CONTAINS A PROPER
TION OF THE REQUIRED BUILDING LINES OR EASEMENTS.

LEGEND

- (M) MEASURED
- (D) DEED
- UTILITY POLE
- OVERHEAD WIRE(S)



P.I.N. 02-10-

386.56'(D)
351.56'(M)

SOUTH LINE OF S.W. 1/4 OF
NORTH LINE OF N.W. 1/4 OF

P.I.N. 02-15-101-003
GROSS AREA: 249,680 SQ.FT.
NET AREA: 228,754 SQ.FT.

EXHIBIT A

Attachment 15-WBK Letter



May 1, 2017

Mr. Matthew Asselmeier, AICP
Senior Planner
Kendall County Planning, Building & Zoning
111 West Fox Street
Yorkville, IL 60560

Subject: Semper Fi Land Inc. 1996 Cannonball Trail
Kendall County (WBK Project No. 16-0100.K)

Dear Mr. Asselmeier:

WBK Engineering LLC has completed a review of the documents submitted for the subject project. The following material was provided to us for review:

- Plat of Survey prepared by Philip D. Young and Associates, Inc. dated April 13, 2017 and received April 18, 2017.
- Figure 3 Site Operations Plan prepared by Deigan and Associates dated February 24, 2017 and received April 18, 2017.
- Stormwater Submittal prepared by Deigan and Associates dated April 17, 2017 and received April 18, 2017.

The following comments require resolution prior to our recommendation for a special use:

Figure 3

1. Depict the limits of grading and project disturbance. Will areas west of the compost piles (incoming storage area and final product storage area) drain west or north and east to the settling basin?
2. Depict proposed grades for areas around the Incoming Materials and Final Product storage areas.
3. Will gravel be placed to accommodate vehicle operations near storage areas and the tub grinder? If so depict all gravel areas including access roads.
4. Depict the normal and emergency discharge locations from the settling basin.
5. Provide a bioswale cross section and depict proposed piping.

Stormwater Submittal

1. Page 5 identifies runoff which comes in contact with landscape waste as landscape waste leachate. This will be reused, disposed off-site or treated and discharged. However, the bioswale is intended to infiltrate the leachate into the ground. Does the bioswale provide adequate treatment pursuant to the leachate control requirements.
2. Runoff rate calculations using the rational method are acceptable. The rate shall be based on a tributary area to a point of discharge or point of concern. One calculation has an area of 5.4 acres. Define this area. Where is it draining to? Another calculation has an area of 1.2 acres. What is the basis for this area? That calculation states it is considered impervious surface but uses a C value that is too low.

WBK Engineering, LLC
WBKEngineering.com



Part of the M&M (Smart) Family

St. Charles Office
116 West Main Street, Suite 201
St. Charles, IL 60174
630.443.7755

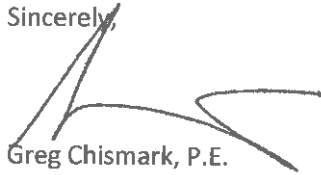
Aurora Office
8 East Galena Boulevard, Suite 402
Aurora, IL 60506
630.701.2245

3. The rainfall intensity used in the rational method shall come from the IDF curves for northeastern Illinois. Because the rational method is not dimensionally consistent. The rainfall intensity is determined by the time of concentration. The 24 hour rainfall depth (in) from Bulletin 70 is not the same as the intensity (in/hr) in the IDF curves.
4. The rational method runoff rates shall consider the 100 year event.
5. The rational method is intended to derive peak flows and not total runoff volumes. The County ordinance provides a simple chart to determine runoff volumes for 100 year and 2 year design events.
6. The bioswale sizing calculation identifies soil testing. Provide the test locations and results for infiltration. Any soil borings or infiltrometer test results should be submitted with the report.

The applicant's design professionals are responsible for performing and checking all design computations, dimensions, details, and specifications in accordance with all applicable codes and regulations, and obtaining all permits necessary to complete this work. In no way does this review relieve applicant's design professionals of their duties to comply with the law and any applicable codes and regulations, nor does it relieve the Contractors in any way from their sole responsibility for the quality and workmanship of the work and for strict compliance with the permitted plans and specifications.

If you have any questions or comments, please contact me at (630) 443-7755.

Sincerely,



Greg Chismark, P.E.
Municipal Practice Principal

Attachment 16-Stormwater Response



Deigan & Associates, LLC
Environmental Consultants

Illinois:

28835 N Herky Dr. Unit 120

Lake Bluff, Illinois 60044

Phone 847.578.5000

Fax 847.549.3242

www.deiganassociates.com

May 8, 2017

Matthew H. Asselmeier, AICP
Senior Planner
Kendall County Planning, Building & Zoning
111 West Fox Street
Yorkville, IL 60560-1498

Dear Mr. Asselmeier:

This letter is in response to the comments included in a letter dated May 1, 2017 from WBK Engineering, LLC regarding the Stormwater Submittal for Semper Fi Land, Inc. 1996 Cannonball Trail.

The proposed facility is in an area with little to no elevation change and where infiltration is the controlling natural stormwater attribute. Grading of the site will be minimal and only as necessary to provide drainage for the “composting area” (the impervious asphalt pad required by the IEPA). The design of the bioswale and settling basin are intended to mitigate the impacts of the composting area through treatment, storage, and infiltration. This agrees with Sec. 102.2(j) of the Kendall County Stormwater Ordinance “To require stormwater storage and encouraging the use of and infiltration of stormwater in preference to stormwater conveyance.” The proposed facility provides all three elements from Sec. 102.2(j) including storage in the bioswale and settling basin; use of stormwater for process water in composting; and infiltration in the natural soils, bioswale, and settling basin.

Responses to specific inquiries in the letter are detailed below:

Regarding Figure 3.

1. Depict the limits of grading and project disturbance. Will areas west of the compost piles (incoming storage area and final product storage area) drain west or north and east to the settling basin?

The limits of grading and project disturbance are depicted on Figure 3 by the green line. Nearly all of the disturbance will be due to the asphalt pad and construction of the bioswale and settling basin. Areas West of the composting area will continue existing infiltration and drainage patterns to the West/Southwest.

Sustainable Environmental Solutions

www.deiganassociates.com

2. Depict proposed grades for areas around the Incoming Materials and Final Product storage areas.

No grading is proposed nor needed for the areas around the Incoming Materials and Final Product storage areas. Existing grades will remain in these areas.

3. Will gravel be placed to accommodate vehicle operations near storage areas and the tub grinder? If so depict all gravel areas including access roads.

Gravel will not be used to accommodate vehicle operations. Even small amounts of gravel can cause significant damage to the tub grinder and can contaminate the compost. Wood chips which are readily available from the facility operations will be used to control mud and dust at the facility. Wood chips have the added benefit of storing stormwater and promoting infiltration.

4. Depict the normal and emergency discharge locations from the settling basin.

Discharge under normal conditions is not expected from the settling basin. Water from the basin will be reused to enhance the water content of the compost, infiltrate, or evaporate under normal conditions. Under emergency conditions, a rock protected outfall (elevation 652 ft.) will be located in the Southwest corner of the basin (as depicted on the revised Figure 3). This emergency discharge will follow the existing natural infiltration and drainage pattern to the West/Southwest (on to the facility property.)

5. Provide a bioswale cross section and depict proposed piping.

The bioswale will be constructed in accordance with the Illinois Urban Manual. Attached is Standard Drawing IUM-500. The bioswale will be 6 feet wide and include a 12" perforated underdrain pipe. The pipe will outfall into the settling basin as indicated on the revised Figure 3.

Regarding the Stormwater Submittal.

1. Page 5 identifies runoff which comes in contact with landscape waste as landscape waste leachate. This will be reused, disposed off-site or treated and discharged. However, the bioswale is intended to infiltrate the leachate into the ground. Does the bioswale provide adequate treatment pursuant to the leachate control requirements.

Landscape waste leachate is a term defined by the IEPA. The "leachate" will not have any detrimental chemical composition but has the potential to have some suspended solids and nutrients such as nitrogen. This is no different than the stormwater that may contact the organic material found on forest floors. Bioswales are highly effective at filtering suspended solids and reducing nutrients in stormwater. This is why the Kendall County Stormwater Management Ordinance considers bioswales a "Best Management Practice".

2. *Runoff rate calculations using the rational method are acceptable. The rate shall be based on a tributary area to a point of discharge or point of concern. One calculation has an area of 5.4 acres. Define this area. Where is it draining to? Another calculation has an area of 1.2 acres. What is the basis for this area? That calculation states it is considered impervious surface but uses a C value that is too low.*
3. *The rainfall intensity used in the rational method shall come from the IDF curves for northeastern Illinois. Because the rational method is not dimensionally consistent. The rainfall intensity is determined by the time of concentration. The 24 hour rainfall depth (in) from Bulletin 70 is not the same as the intensity (in/hr) in the IDF curves.*
4. *The rational method runoff rates shall consider the 100 year event.*
5. *The rational method is intended to derive peak flows and not total runoff volumes. The County ordinance provides a simple chart to determine runoff volumes for 100 year and 2 year design events.*

To simplify the determination of detention volume, we will use Table 203 from the Ordinance as suggested:

The bioswale and settling basin are intended to manage the runoff from the composting area (asphalt pad). Assuming it is 90 percent impervious (C factor of 0.9), a detention volume of 0.475 acre-ft/acre is required.

250 ft. x 60 ft. = 15,000 sq.ft. = 0.344 acres x 0.475 acre-ft/acre = 0.1634 acre-ft = 7,117 cu.ft. required detention.

Bioswale dimensions are 3.25 ft. deep x 6 ft. wide x 250 ft. long = 4,875 cu.ft. in volume. Assuming an average porosity of 0.50 for the bioswale cross-section. The bioswale will provide 4,875 cu.ft x 0.50 = 2,437 cu.ft. of storage.

Total storage = settling basin volume + bioswale storage = 5,250 cu.ft. + 2,437 cu.ft. = 7,687.5 cu.ft. > 7,117 cu.ft. required detention.

This is a conservative calculation as the infiltration from the bioswale and settling basin are ignored.

6. *The bioswale sizing calculation identifies soil testing. Provide the test locations and results for infiltration. Any soil borings or infiltrometer test results should be submitted with the report.*

Soil testing results are attached.

The intent of the design of the proposed facility is to meet the objectives of the Kendall County Stormwater Management Ordinance by providing stormwater storage and encouraging the use of and infiltration of stormwater in preference to stormwater conveyance. We feel this design meets this objective and all the objectives of the Ordinance.

Please contact me if you have any questions or comments.

Sincerely,

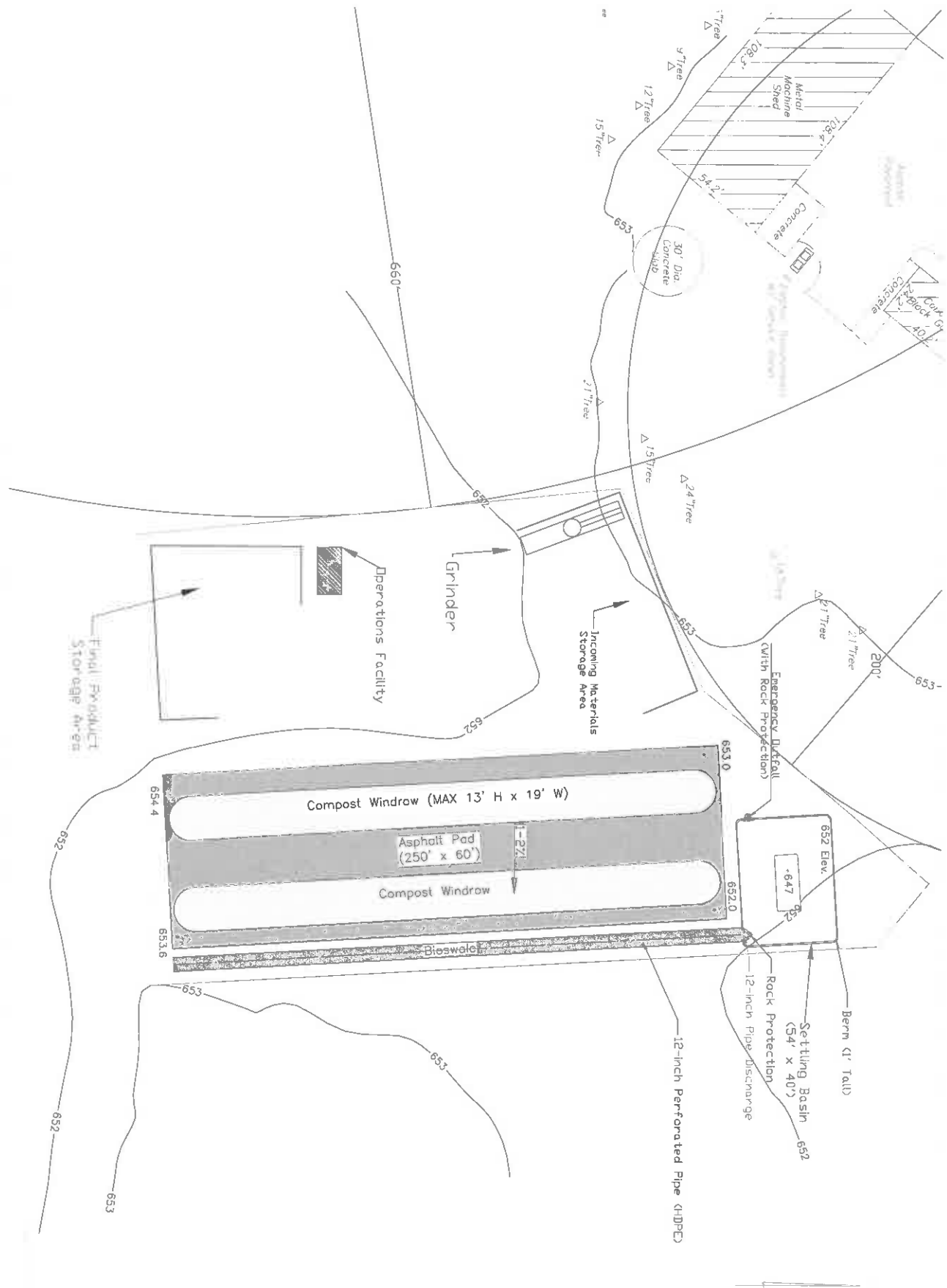
Deigan & Associates, LLC

A handwritten signature in black ink, appearing to read "Steven Schilling". The signature is written in a cursive style with a large initial "S".

Steven Schilling, P.E.
Senior Project Manager/Senior Engineer

Attachments:

Revised Figure 3
Illinois Urban Manual Standard Drawing No. IUM-500
Soil Sample Analysis

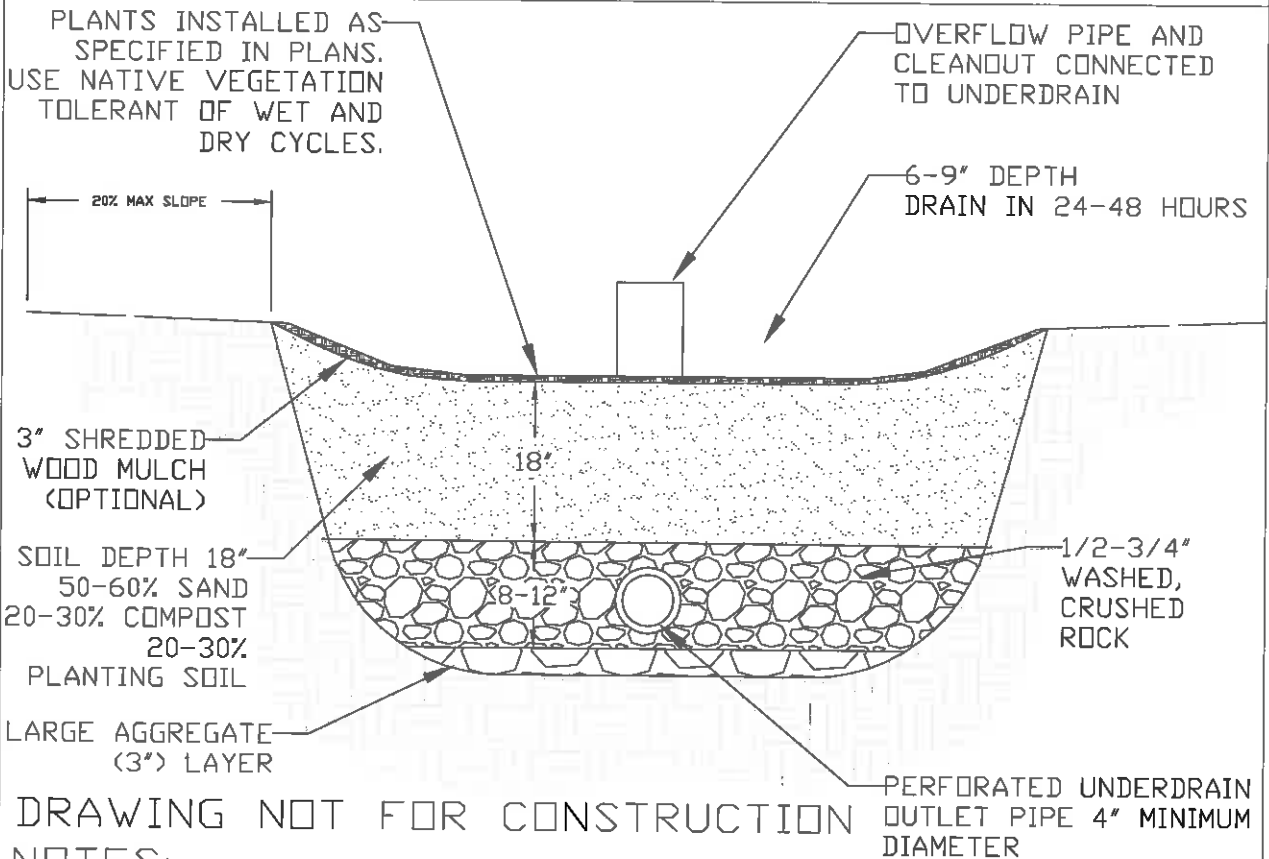


16-082
 Sencer Pl.
 17023B-3-Fig.3

Figure 3 Deigan & Associates, LLC
 Site Operations Layout 28835 N. Herky Dr., Unit 120
 Lake Bluff, IL 60044
 Tel: (847) 578-5020
 Website: www.deiganassociates.com

Environmental Consultants
 Lake Bluff, IL 60044
 Website: www.deiganassociates.com

BIORETENTION FACILITY PLAN



NOTES:

1. LOCATE FACILITIES AT LEAST 100 FEET FROM ANY WELLS OR SOURCE WATER LOCATIONS.
2. LOCATE FACILITY AT LEAST 25 FEET FROM ANY SEPTIC FIELDS AND UPGRADIENT IF POSSIBLE.
3. LOCATE FACILITY AT LEAST 25 FEET AND DOWNGRADEMENT FROM BASEMENTS.
4. LOCATE FACILITY 5 FEET OR GREATER FROM A SLAB OR FOUNDATION.
5. RECOMMENDED MINIMUM AREA SHALL BE 200 SQUARE FEET WITH THE LENGTH AT A 2:1 RATIO OF THE WIDTH.
6. ADDITIONAL REGULATIONS MAY BE REQUIRED BY LOCAL ORDINANCES.
7. A GEOTEXTILE FABRIC SEPARATING THE LARGE AGGREGATE AND SOIL IS OPTIONAL.
7. DRAWING NOT TO SCALE.

REFERENCE
 Project _____
 Designed _____ Date _____
 Checked _____ Date _____
 Approved _____ Date _____



STANDARD DWG. NO.
 IUM-500
 SHEET 1 OF 1
 DATE 11-18-13



25231 West Chicago Avenue, Suite 100 • Ingleside, Illinois 60041 • 847.457.8200

September 16, 2016

Project No.: 09-16-G44

Mr. Gary J. Deigan
Deigan & Associates, LLC
28835 North Herky Drive, Suit 120
Lake Bluff, IL 60044

Re: Subsurface Exploration and Geotechnical Engineering Analysis Report
Sampfer Fi Compost Facility, 1996 Cannonball Trail, Bristol, IL

Dear Mr. Gary J. Deigan:

E4L Engineering, LLC (E4L) has performed laboratory testing on the soil sample from the Sampfer Fi Compost Facility for permeability. The sample was taken, sealed, and labeled by the client and picked up by an E4L representative from their office.

The sample tested consisted of brown sand with some gravel and the permeability of the sample was 1.33 cm/sec.

Thank you for giving us the opportunity to work with you on this project. If you have any questions with regard to the information and recommendations presented in this report or if we can be of further assistance, please do not hesitate to contact us.

Respectfully,
E4L Engineering, LLC

Peter M. Sidorczuk, P.E.
Geotechnical Engineer



Semper Fi Land, Inc.
Bristol, Kendall County, Illinois
Application for Permit
REV – 0
March 13, 2017



Deigan & Associates, LLC
Environmental Consultants

the Site, trucks will be on a schedule so as to allow incremented hauling and to avoid heavy traffic at the Site.

5.0 Closure Plan

At the end of the facility's operating life, Semper Fi will close the Site in a manner which minimizes the need for further maintenance and controls by removing all landscape waste/compost material from the Site. This closure approach will eliminate the potential for post-closure environmental problems related to the Semper Fi site activities including residual waste constituents, leachate, contaminated rainfall, release of waste, waste decomposition products making their way to groundwater, nearby surface water, and the atmosphere to the extent necessary to prevent threats to human health and the environment. Due to the nature of the material accepted at the facility, no equipment decontamination or site sampling for contaminants will be necessary after closure.

A. Anticipated Closure Steps

The final closure of the facility will result in the following steps necessary for closure:

1. The landscape waste that has yet to be processed into compost material will be placed into trucks for transport to designated landscape waste compost facilities for sale.
2. Compost material that does not meet the finishing standards will be properly disposed of at a licensed landfill.
2. Processed compost material will be sold to contractors and the general public. Material not sold before operations cease will be transported to a licensed compost facility and/or licensed solid waste facility.
3. The final volume of waste and cleanup/decontamination residues will be sent to a licensed solid waste facility for disposal.

Estimate of Cost to Close Facility

The cost to close the facility will be directly related to the inventory of compost material at the time of closure. The maximum amount expected to be at the facility at the time of closure is 5,000 cubic yards. For purposes of determining closure costs, it is assumed that maximum amount expected to be at the facility is 5,000 yards of landscape waste/compost material and 3,000 gallons of liquids/stormwater and sediment are present on-site at the time of necessary closure.

Task	Estimated Units	Unit Cost	Extended Cost
Load, Transport, and Dispose of landscape waste/compost material	5,000 yards	\$10/cy	\$50,000
Flush and Vacuum Truck Perimeter Collection Drain System	3,000-gallons	\$0.25/gal	\$750
Process Area/Equipment Cleanup	1 Job	\$3,000	\$3,000
TOTAL			\$53,750

Steps taken to ensure that damage to the environment does not occur during temporary suspension of the Site will include environmental monitoring on-site during the closure process. D&A, the selected environmental monitor, will monitor the Site to ensure that the air, soil vapor, groundwater, and soil are not impacted by closure activities.

Material remaining at time of closure will be transported to a licensed landfill for disposal. All manifests generated during the closure process will be kept in the operating record. Equipment used onsite, will undergo a decontamination process by cleaning equipment with water and soap. Any leachate generate will be collected in the bioswale for infiltration and natural treatment. Water collected in the settling basin will be vacuumed out by an environmental tanker truck and basin will be cleaned to remove any residues. Cleaning byproduct will be vacuumed out and transported to a waste water treatment plant for disposal. The timeframe anticipated to complete the closure of the site when the facility has commenced closure is estimated at 20 to 30 days. An expected year of closure is unknown at this time.

Until completion of closure has been certified, operators on-site will maintain a copy of the closure plan at the Site, which will be available during inspections of the Site. During inspections on-site, shall the closure plan need to be modified, the on-site operators will maintain the most recent and accurate closure plan. The closure plan will be implemented by the on-site operators within 30 days following the beginning of the closure. During the 30-day closure period, the operators will post visible signs at all access gates leading into the Site. The text on the signs will read “This facility is closed for all composting activities and all receipt of landscape waste materials. No dumping allowed. Violators will be prosecuted.” in a font that is not less than three inches high. Upon closure of the Site, the operators will send notice of closure to the Agency within 30 days. A compost closure report will be submitted to the Agency, on a form provided by the agency, which will cover the time elapsed since the last inspection.

All facility equipment and materials will be removed from the site prior to vacating the premise eliminating any post-closure costs.

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REV – 0
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Upon completed closure of the Site, the operators will prepare and submit an affidavit, on a form provided by the agency, to the Agency stating that the facility has been closed in accordance with the closure plan.

A. Use of Site after Closure

Following closure, the site would be suitable for agricultural use as part of the A1-SU, agricultural use – special use zoning district, subject to local review/approval.

**ATTACHMENT 18
ZONING, PLATTING & ADVISORY COMMITTEE (ZPAC)
May 2, 2017 – Meeting Minutes**

Senior Planner Matt Asselmeier called the meeting to order at 9:05 a.m.

Present:

John Burscheid – Highway Department
Jason Langston – Sheriff's Office
Aaron Rybski – Health Department
David Guritz – Forest Preserve (Arrived at 9:12 a.m.)
Megan Andrews – Soil & Water Conservation District
Robert Davidson – PBZ Committee Chair (Arrived at 9:14 a.m.)
Matt Asselmeier – PBZ Department

Absent:

Brian Holdiman – PBZ Department
Greg Chismark – WBK Engineering, LLC

Audience: Robert Velazquez, Jeff Corneils and Robert Walker

AGENDA

Mr. Rybski made a motion, seconded by Ms. Andrews, to approve the agenda as proposed. With a voice vote of all ayes the motion carried.

MINUTES

Ms. Andrews made a motion, seconded by Mr. Rybski, to approve the March 7, 2017 meeting minutes. With a voice vote of all ayes the motion carried.

PETITION

17-09 Semper Fi Land, Inc. (Robert Velazquez) – Special Use Request to Operate a Landscape Waste Composting Facility at 1996 Cannonball Trail Approximately 0.5 Miles South of Galena Road in Bristol Township (PIN 02-15-101-003)

Mr. Asselmeier provided a summary of the request. The petitioner desires to operate a landscape waste composting facility at the subject property. The petitioner already possesses a special use permit to operate a landscaping business at the property; the petitioner lives at the subject property. The property is zoned A-1 Agricultural District. All of the adjoining properties are zoned Residential and are inside the boundaries of the United City of Yorkville. The Land Resource Management Plan calls for the area to be Rural Residential.

As part of the previous special use permit, the petitioner had to dedicate a certain amount of land for trails. The petitioner has dedicated the requested land. The Highway Department requested that the special use plat classify this area as right-of-way instead of trails only.

The EcoCat consultation was terminated and the LESA score was 169. Ms. Andrews stated that the proposed use would not prevent the property from reverting to other agricultural uses in the future.

The petitioner agreed to follow the standard noise regulations of 65 dBA during the day and 55 dBA during the night as measured at the property line.

The petitioner will have a sign as listed in their business plan.

The petitioner agreed to have all vehicles and equipment that could be placed inside during non-operational hours be placed inside one of the buildings.

WBK provided a letter regarding the petitioner's stormwater plans. The petitioner is working with his engineer to address the items mentioned in the letter.

The requirements for landscape waste composting facilities were discussed and the petitioner agreed to all of the requirements of the Zoning Ordinance. The petitioner agreed to cease operations at 3:00 p.m. and not have Saturday hours.

Mr. Rybski discussed soil and water sampling and host fee as they relate to this type of business. Mr. Rybski felt that the regulations were scalable and that the proposed business should follow the same regulations as other landscape waste composting facilities. The water and soil sampling should occur at least once per year; the Health Department would conduct additional sampling if complaints arose. The Health Department also conducts site visits. For the other company, the weights are reported with the payment of the host fee. The petitioner would like to cap the amount of material at 26,000 cubic yards per year. Based on the proposed host fee of \$0.80 per ton, the petitioner would have to pay about \$6,700 per year. The petitioner agreed to track type of material and quantity measured by size of truck. The conversion factor is 3.3. The petitioner agreed to pay the same host fee on a monthly basis.

Mr. Davidson asked what the petitioner was going to do with the yard waste. Mr. Velazquez responded he would process everything in a tub grinder and make into a compost or mulch for reuse on projects. Mr. Davidson requested a bond be created to fund a cleanup of the site if the petitioner abandoned the property. The petitioner agreed to research bond information. Mr. Davidson also requested a limit be placed on the amount of material be placed on the property. The petitioner agreed to cap the height of piles of material at 20 feet. The petitioner hopes to start operations in 2018.

Mr. Langston asked where the petitioner would get his material and if the business would cause an increase in traffic on Cannonball Trail. Mr. Velazquez responded that the majority of material would be generated from his business, but that he would accept material from other sources, small landscape businesses. He plans to have a maximum five (5) people onsite and does not anticipate an increase of traffic on Cannonball Trail because of his business.

Discussion occurred regarding fencing and buffering. The petitioner agreed to install evergreens along the east, south, and southwest portion of the property.

A gravel road shall be installed this fall.

Mr. Corneils expressed concerns regarding odor. There was no definitive answer to this concern, but Mr. Velazquez believes that the size of the operation will minimize odor.

Mr. Walker asked about the size of trucks going onto the property. The petitioner responded that material be dumped at his shop and then hauled to the site.

Mr. Rybski made a motion, seconded by Ms. Andrews, to forward the petition onto the Plan Commission with a favorable recommendation subject to the following conditions:

1. The special use plat shall be amended to show a dedicated ROW instead of a trail.
2. The host fee shall be the same as the fee paid by Green Organics (\$0.80 per ton until November 30, 2019 then the fee goes to \$0.85 per ton starting December 1, 2019).
3. The host fee shall be converted to per cubic yard.
4. The host fee shall be paid monthly.
5. The petitioner shall create a form to track deliveries and quantities.
6. Sampling of water shall occur at least one (1) time per year.
7. Sampling of soil shall occur at least one (1) time per year.
8. The petitioner shall supply a bond to Kendall County to fund the cleanup of the site. The petitioner shall research dollar amounts for the bond.
9. No piles of materials shall be stacked higher than 20 feet.
10. The petitioner shall plant evergreen trees along the eastern, southern and southwestern property lines for screening.
11. The petitioner shall maintain the existing tree line.
12. The petitioner shall replace trees as quickly as possible if they die or severely damaged.

By a roll call vote, the motion passed unanimously.

UPDATES OF PETITIONS

Mr. Asselmeier reported that the Delaney Gun Range Case will go before the PBZ Committee on May 8th and the Pagel rezoning case will also go before the PBZ Committee on May 8th.

The request by DKR Group on Walker Road was withdrawn by the petitioner.

REVIEW OF PETITIONS THAT WENT TO COUNTY BOARD

Mr. Asselmeier reported that the rezoning of 790 Eldamain Road from A-1 to M-1 went to the County Board on April 18th. Because Yorkville filed a formal objection, eight (8) members of the County Board were needed to approval the proposal and seven (7) members of the Board were present when the item came up for discussion. The proposal will go before the County Board on May 2nd.

OLD BUSINESS

None

NEW BUSINESS

None

ADJOURNMENT

Ms. Andrews made a motion, seconded by Mr. Guritz, to adjourn. With a voice vote of all ayes, the motion carried. The ZPAC, at 9:50 a.m., adjourned.

May 12, 2017

Mr. Matthew Asselmeier, AICP
Senior Planner
Kendall County Planning, Building & Zoning
111 West Fox Street
Yorkville, IL 60560

Subject: Semper Fi Land Inc. 1996 Cannonball Trail
Kendall County (WBK Project No. 16-0100.K)

Dear Mr. Asselmeier:

WBK Engineering LLC has completed a review of the documents submitted for the subject project. The following material was provided to us for review:

- Response letter prepared by Deigan and Associates dated May 8, 2017 and received May 9, 2017 via e-mail.

The following comments require resolution prior to our recommendation for a special use:

Figure 3

1. Depict a plan scale and calculate the area of project disturbance.
2. Depict proposed or existing grades for areas around the Incoming Materials and Final Product storage areas. There are no elevations depicted at the southwest corner of the site that would confirm a drainage pattern. Depicting all existing spot elevations surveyed would help define existing drainage patterns.
3. The proposed emergency discharge from the settling basin is one foot lower than the proposed and existing grades to the west. The routing of emergency overflow appears to be east on to adjacent property.
4. Dimension the bioswale on the plan or the cross section. The response letter identifies the width but it is not depicted on the plans.
5. Depict silt fence along the east and south property line adjacent to areas of disturbance.

Stormwater Submittal

1. If the project disturbance is less than one acre stormwater storage is not required. Verify disturbance and stormwater storage requirements.

The applicant's design professionals are responsible for performing and checking all design computations, dimensions, details, and specifications in accordance with all applicable codes and regulations, and obtaining all permits necessary to complete this work. In no way does this review relieve applicant's design professionals of their duties to comply with the law and any applicable codes and regulations, nor does it relieve the Contractors in any way from their sole responsibility for the quality and workmanship of the work and for strict compliance with the permitted plans and specifications.

If you have any questions or comments, please contact me at (630) 443-7755.

Sincerely,

Greg Chismark, P.E.
Municipal Practice Principal