

KENDALL COUNTY
ZONING AND PLATTING ADVISORY COMMITTEE
111 West Fox Street • Rooms 209 and 210 • Yorkville, IL • 60560
(630) 553-4141 Fax (630) 553-4179

AGENDA

May 2, 2017 - 9:00 a.m.

CALL TO ORDER

ROLL CALL: **County Board:** Robert Davidson, PBZ Committee Chair; **County Highway Department:** Fran Klaas, County Engineer; **Wills Burke Kelsey:** Greg Chismark, Stormwater Consultant; **County Health Department:** Aaron Rybski, Director Environmental Health; **Forest Preserve District:** David Guritz, Director; **SWCD:** Megan Andrews, Resource Conservationist; **Sheriff's Office:** Commander Jason Langston; **PBZ:** Brian Holdiman, Code Official; Matt Asselmeier, Senior Planner

APPROVAL OF AGENDA

APPROVAL OF MINUTES: Approval of the March 7, 2017 ZPAC meeting minutes.

PETITIONS:

1. **17-09 Semper Fi Land, Inc. (Robert Velazquez)**
Request Special Use Permit to Operate a Landscape Waste Composting Facility
Location 1996 Cannonball Trail (On the East Side of Cannonball Trail Approximately 0.5 Miles South of Galena Road; PIN: 02-15-101-003), Bristol Township
Purpose Petitioner Desires to Operate a Landscape Waste Composting Facility at the Property.

REVIEW OF PETITIONS THAT WENT TO COUNTY BOARD

1. 16-22 Jet's Towing

UPDATES OF PETITIONS

1. 16-14 Delaney Gun Range
2. 16-26 Pagel Rezoning
3. 17-05 DKR Group Special Use on Walker Road (Withdrawn)

OLD BUSINESS/ NEW BUSINESS

PUBLIC COMMENT

ADJOURNMENT- Next meeting on June 6, 2017

**ZONING, PLATTING & ADVISORY COMMITTEE (ZPAC)
March 7, 2017 – Meeting Minutes**

Senior Planner Matt Asselmeier called the meeting to order at 9:00 a.m.

Present:

Fran Klaas – Highway Department
Jason Langston – Sheriff's Office
Aaron Rybski – Health Department
David Guritz – Forest Preserve
Megan Andrews – Soil & Water Conservation District
Matt Asselmeier – PBZ Department

Absent:

Robert Davidson – PBZ Committee Chair
Brian Holdiman – PBZ Department
Greg Chismark – WBK Engineering, LLC

Audience: Doug Westphal, Jack Westphal, Attorney Tom Osterberger, Kevin Manning, Attorney Dan Kramer, and John Shaw

AGENDA

Mr. Guritz made a motion, seconded by Ms. Andrews, to approve the agenda as proposed. With a voice vote of all ayes the motion carried.

MINUTES

Mr. Guritz made a motion, seconded by Mr. Rybski, to approve the December 6, 2016 meeting minutes. With a voice vote of all ayes the motion carried.

PETITIONS

17-05 DKR Group and Keith and Kathleen Warpinski – Special Use Request for a Landscaping Business at the Property 0.31 Miles East of Route 47 on the North Side of Walker Road (PIN 05-21-400-011)

Mr. Asselmeier provided a summary of the request. DKR Group, Inc. would like to purchase the subject property from the Warpinskis in order to seasonally store equipment for K & D Enterprise Landscape Management, Inc. at the property. DKR Group, Inc. and K & D Enterprise Landscape Management, Inc. are both owned by Kevin Manning. The petitioner would continue to operate the main portion of his business from Rockdale. The petitioner plans to construct an approximately 5,800 square foot building on the site with a home planned for the future. The hours of operation for the business would be from 7:00 a.m. until 5:00 p.m., Monday through Friday with no landscaping work occurring on the premises. Elevations of the proposed building were provided to the Committee.

The subject property is zoned A-1 Agricultural and several farmsteads and farm fields are located around the subject property. Middle Aux Sable Creek runs along the northern boundary of the property. No business operations or buildings could be located in the flood zone.

Discussion occurred regarding the ROW dedication for the multi-use trails. The consensus was to have the trail along Walker Road and wait until the area is subdivided for the trail along the Middle Aux Sable Creek.

Doug Westphal stated that this portion of Walker Road has a six ton capacity from February 15th to April 30th. He would like to see a 50 foot wide ROW easement from the centerline. It was also noted that the home size was a typo.

Attorney Tom Osterberger presented information on behalf of Kevin Manning and DKR Group, Inc. He stated that the petitioner desired to use the property for cold storage. The inability to obtain a house could be an issue. Getting equipment out in April could also be an issue. Mr. Osterberger stated that the petitioner intended to operate two (2) crews out of the property and one (1) or two (2) other employees may be onsite. There are four (4) people on a crew.

Mr. Langston requested clarification of “no work on the premises.” Mr. Osterberger stated that no work would occur outside. Equipment would be pulled out and used offsite. All vehicle maintenance would occur indoors.

Mr. Rybski requested separate septic systems for the residential and business components of the site. He also requested that a restriction be added regarding the maintenance of vehicles.

Ms. Andrews reported that the NRI should be available next week.

The petitioners agreed to move the building fifteen feet (15') to the west in order not to encroach on the side yard setback. The petitioners also agreed to do a vegetative buffer with the adjoining properties.

Based on the discussion, the following restrictions would be placed on the special use permit:

1. The granting of this special use is only for a landscape operation.
2. No outside storage of vehicles, equipment, or materials is allowed. All vehicles and equipment associated with the business must be parked indoors during non-business hours.
3. Landscape plantings, permanent, and temporary structures shall not be installed in the floodplain without the issuance of a permit from the County. To assist with compliance with this restriction, the petitioners shall install posts every fifty feet (50') along the floodplain with signage indicating that a floodplain exists at that location. The posts and signage shall be erected within thirty (30) days of the petitioner acquiring the property. Thereafter, the posts and signage shall remain on the property for the duration of the special use permit.
4. No commercial related signage shall be allowed on the property.
5. The maximum number of employees for the business allowed on the property at one time by this special use permit shall be ten (10).
6. The hours of operation for the business allowed by this special use permit shall be restricted to Monday-Friday between the hours of 7:00 A.M. and 5:00 P.M. local time.
7. No maintenance of vehicles shall occur onsite unless maintenance occurs completely inside a building with the necessary infrastructure to properly capture oils and other mechanical fluids.
8. Upon the transfer of title on the property, the new owner shall deed a fifty foot (50') wide right-of-way easement along the entire frontage of Walker Road side to Kendall Township.
9. Landscaping for Neighboring Structure requires clarification.
10. The owner of the business allowed by this special use permit shall follow all applicable Federal, State, and Local laws as they relate to this type of business.
11. Failure to follow the above restrictions could result in the revocation of the special use permit as allowed by the Zoning Ordinance of Kendall County.

Mr. Klaas made a motion, seconded by Mr. Rybski, to forward the petition onto the Plan Commission with a favorable recommendation. With a voice vote of all ayes, the motion carried.

UPDATES OF PETITIONS

Mr. Asselmeier reported that the Delaney Gun Range Case will be heard by the Special Use Hearing Officer in April. The proposed rezoning and variances for Jets Towing on Eldamain Road will go back to the Plan Commission on March 22nd. If the Plan Commission issues a recommendation, the Zoning Board of Appeals will hear the petition in April. The Plan Commission unanimously recommended denial of the Pagel rezoning. The petitioners are gathering images of the property draining to address concerns that the Plan Commission had. This proposal goes before the ZBA in May.

REVIEW OF PETITIONS THAT WENT TO COUNTY BOARD

None

OLD BUSINESS

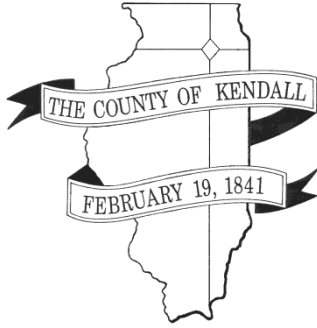
None

NEW BUSINESS

None

ADJOURNMENT

Mr. Klaas made a motion, seconded by Ms. Andres, to adjourn. With a voice vote of all ayes, the motion carried. The ZPAC, at 9:27 a.m., adjourned.



DEPARTMENT OF PLANNING, BUILDING & ZONING

111 West Fox Street • Room 203

Yorkville, IL • 60560

(630) 553-4141

Fax (630) 553-4179

Petition 17-09

Semper Fi Land, Inc. (Robert Velazquez)

A-1 Special Use – Composting of Landscape Waste

INTRODUCTION

Semper Fi Land, Inc., on behalf of Robert Velazquez, submitted a petition for a special use permit to operate a composting of landscape waste facility at 1996 Cannonball Trail. In 2012, the petitioner received a special use permit to operate a landscape business and residence at the subject property (Ordinance 2012-23).

SITE INFORMATION

PETITIONER Semper Fi Land, Inc. (Robert Velazquez)

ADDRESS 1996 Cannonball Trail

LOCATION On the East Side of Cannonball Trail about 0.5 Miles South of Galena Road



TOWNSHIP Bristol

PARCEL # 02-15-101-003

LOT SIZE 5.2 acres

EXITING LAND USE Residential/Agricultural

ZONING A-1 Agricultural District with a Special Use Permit

LRMP	Land Use	County: Planned Rural Residential (Max 0.6 Du/Ac) United City of Yorkville: Estate/Conservation Residential
	Roads	Cannonball Trail is a County Road classified as a Major Collector Road
	Trails	A multi-use trail is shown on the East Side of Cannonball Trail
	Floodplain/ Wetlands	There are no wetlands or floodplain on the property.

REQUESTED ACTION A-1 Special Use to Operate a Composting of Landscape Waste

APPLICABLE REGULATIONS Section 7.01 D.16 – A-1 Special Uses – Permits Composting of Landscape Waste and Food Waste with the following stipulations:

1. The facility shall meet all Illinois Environmental Protection Agency requirements as identified in Title 35, Subtitle G, Chapter 1, Sub-chapter 1, Park 830, Standards for compost facilities.
2. Operational personnel shall be present on site during all hours which the facility is open for the receipt of landscape waste.
3. The hours during which landscape waste may be received shall be 7:00am to 4:00pm Monday through Friday and 7:00am to 12:00 noon Saturday. Processing operations shall cease after each day's receipts have been processed and placed in windrows, not to exceed three (3) additional hours.
4. The decibel levels at the property line shall not exceed Illinois Pollution Control Board standards.
5. A locked gate shall restrict vehicle access during closed hours except that a "lock-box" shall allow access to emergency vehicles.
6. Water samples shall be taken by an independent testing service and analyzed by an independent laboratory. The locations, methods and frequency of sampling and testing shall be approved by the Kendall County Environmental Health Department Director. The test results shall be sent to the Environmental Health Department within forty-five (45) days of sampling.
7. Soil samples shall be taken by an independent testing service and analyzed by an independent laboratory. The locations, methods and frequency of sampling and testing shall be approved by the Kendall County Environmental Health Department Director. The test results shall be sent to the Environmental Health Department within forty-five (45) days of sampling.

8. Authorized Kendall County personnel shall be allowed on site during business hours for inspection and testing.
9. The facility operator shall send up-to-date copies of the State permit and related documents including Operational Plan, Surface Water Management Plan, Pest Control Plan, Site Drawing, and an Annual Report to the County Solid Waste Coordinator.
10. Truck weights shall be limited to 73,280 pounds.
11. The operator shall provide weight receipts to Kendall County.
12. Off-site debris and trash generated by the site must be cleaned-up on a daily basis on surrounding properties with the owner's permission.
13. Other conditions as appropriate for the particular facility. (*Amended 6/20/2006*)

Section 13.08 – Special Use Procedures

SURROUNDING LAND USE

Location	Adjacent Land Use	Adjacent Zoning	Land Resource Management Plan	Zoning within ½ Mile
North	Agricultural/Farming	Yorkville (R-2)	Suburban Residential (County) Estate Residential (Yorkville)	Yorkville, Montgomery and A-1
South	Agricultural/Farming	Yorkville (R-2D)	Suburban Residential (County) Estate Residential and Commercial Office (Yorkville)	Yorkville, M-1, B-1, B-2, B-3, R-3 and A-1
East	Agricultural/Farming	Yorkville (R-2)	Planned Rural Residential and Open Space (County) Estate Residential (Yorkville)	Yorkville and A-1
West	Agricultural/Farming	Yorkville (R-2)	Suburban Residential (Estate Residential)	Yorkville, A-1 and R-3

PHYSICAL DATA

ENDANGERED SPECIES REPORT

EcoCAT Report submitted and consultation was terminated. The EcoCat was included with the Application Materials; see Attachment 5.

NATURAL RESOURCES INVENTORY

LESA score was 169 indicating a low level of protection. The NRI was included with the Application Materials; see Attachment 5.

ACTION SUMMARY

BRISTOL TOWNSHIP

Petition information was sent to Bristol Township 4.25.17. No comments have been received from Bristol Township.

UNITED CITY OF YORKVILLE

Petition information was sent to the United City of Yorkville 4.25.17. This matter will be discussed at their June PZC meeting.

BUSINESS OPERATION

The petitioner desires to operate a landscape waste composting business at the subject property. This business would be in addition to the landscaping business that the petitioner currently possesses a special use permit for at the subject property. The owner of Semper Fi Land, Inc., Robert Velazquez, also lives on the subject property.

The petitioner submitted a business plan which is included with the Application Materials; see Attachment 5. As noted on page 5 of the Project Narrative, the petitioner plans to collect only landscape and yard waste and the site, no food waste or organic material will be collected. The majority of the waste (85%) will be turned into mulch with the remainder turned into compost material. The petitioner anticipates receiving approximately 100 to 150 cubic yards per day with a daily maximum of 250 cubic yards. The petitioner plans to monitor all truck loads to ensure that only clean material is deposited onsite. Anticipated equipment on the site include trucks, Morbark 1000 Tub Grinder, a wheel loader and skid loader. The petitioner has a windrow plan (see page 8 of the Project Narrative), and a plan to control dust, odor, noise, and vectors (see page 9 of the Project Narrative). The petitioner also supplied additional information on stormwater and leachate controls; Application Addendum Attachment 6.

Because the petitioner submitted documents at various stages, some of the figures referenced in the application materials may be numbered differently.

Per 415 ILCS 5/3.270, "landscape waste" means all accumulations of grass or shrubbery cuttings, leaves, tree limbs and other materials accumulated as the result of the care of lawns, shrubbery, vines and trees.

The proposed business will have between 2 and 5 employees.

The petitioner was agreeable to addressing Staff's concerns regarding hours of operation, tub grinder operation, noise restrictions, and capping the amount of material received. The details of a host agreement need to be finalized.

BUILDING CODES

No new buildings are planned as a result of this proposal. Any new structures constructed would be required to follow applicable building codes.

ACCESS

The property fronts Cannonball Trail. The petitioner plans to install a gravel driveway south of the lawn; see Attachments 7 and 8.

TRAILS

The petitioner already dedicated the necessary ROW for trails as required in the previous special use permit application.

PARKING

The petitioner already possesses a small amount of parking near the house and sheds; no additional parking is planned.

LIGHTING

No additional lighting is planned.

SIGNAGE

On page 5 of the Project Narrative, see Attachment 5, the petitioner outlined the type of signage that will be placed on the property.

SCREENING

All vehicles and equipment that can be moved shall be stored inside a building when not in use. The petitioner installed evergreen to separate the composting facility from the residential use. Additional screen may be required around the property.

STORMWATER

No portion of the property is in a flood area and no wetlands exist on the property.

The petitioner submitted a stormwater management proposal to WBK and this proposal is currently under review.

RECOMMENDATION

If approved, Staff recommends the following conditions be included in the approving special use ordinance:

1. The facility shall meet all Illinois Environmental Protection Agency requirements as identified in Title 35, Subtitle G, Chapter 1, Sub-chapter 1, Park 830, Standards for compost facilities.
2. Operational personnel shall be present on site during all hours which the facility is open for the receipt of landscape waste.
3. The hours during which landscape waste may be received shall be 7:00am to 3:00pm (**not 7:00 pm as originally proposed by the petitioner**) Monday through Friday. **The petitioner does not wish to have Saturday hours.** Processing operations shall cease after each day's receipts have been processed and placed in windrows, not to exceed three (3) additional hours.
4. The decibel levels at the property line shall not exceed Illinois Pollution Control Board standards **or 65 dBA between 7:00am and 10:00pm and 55 dBA between 10:00pm and 7:00am as measured from the property line on receiving residential lands. This restriction shall not apply to noise generated from maintenance vehicles. The noise level shall be measured at the property line. The petitioner agrees that the stricter noise regulations shall apply in cases of conflict.**
5. A locked gate shall restrict vehicle access during closed hours except that a "lock-box" shall allow access to emergency vehicles.
6. Water samples shall be taken by an independent testing service and analyzed by an independent laboratory. The locations, methods and frequency of sampling and testing shall be approved by the Kendall County Environmental Health Department Director. The test results shall be sent to the Environmental Health Department within forty-five (45) days of sampling. **Frequency of tests?**
7. Soil samples shall be taken by an independent testing service and analyzed by an independent laboratory. The locations, methods and frequency of sampling and testing shall be approved by the Kendall County Environmental Health Department Director. The test results shall be sent to the Environmental Health Department within forty-five (45) days of sampling. **Frequency of tests?**
8. Authorized Kendall County personnel shall be allowed on site during business hours for inspection and testing.
9. The facility operator shall send up-to-date copies of the State permit and related documents including Operational Plan, Surface Water Management Plan, Pest Control Plan, Site Drawing, and an Annual Report to the County Solid Waste Coordinator.
10. Truck weights shall be limited to 73,280 pounds.
11. The operator shall provide weight receipts to Kendall County. **Frequency?**

12. Off-site debris and trash generated by the site must be cleaned-up on a daily basis on surrounding properties with the owner's permission.
13. Tub grinders located on the property shall operate between the hours of 9:00am and 3:00pm, Monday through Friday.
14. The owner of the business allowed by this special use permit shall reside on the premises as his/her primary residence.
15. Waste collected on the site shall be clean landscape waste only; no food scrap waste shall be collected onsite.
16. The facility will be permitted to take in a maximum 26,000 cubic yards annually.
17. The site plan shall be kept on file as **Exhibit X** attached to the ordinance approving the special use permit.
18. The County Solid Waste Coordinator shall maintain a log of complaints received on the facility allowed by this special use permit.
19. If the business allowed by this special use permit receives any violations or citations from the Illinois Environmental Protection Agency, the business shall submit notifications of violations or citations to the Kendall County Solid Waste Coordinator within 30 days of receipt.
20. All vehicles and equipment with wheels shall be stored entirely within an enclosed structure when the business allowed by this special use permit is closed.

21. Host Fee

22. The business allowed by this special use permit shall follow all applicable federal, state, and local laws related to the operation of the business.
23. Failure to comply with the above regulations and restrictions could result in the revocation of the special use permit.
24. The special use permit awarded by this ordinance shall be considered separate from the special use permit awarded by Ordinance 2012-23. Nothing in the special use permit awarded for a composting of landscape waste business removes any obligations the property owner may have as it relates to the requirements of Ordinance 2012-23.
25. If one or more of the above conditions is declared invalid by a court of competent jurisdiction, the remaining conditions shall remain valid.

ATTACHMENTS

1. Zoning Plat
2. Plat of Easement
3. Site Operations
4. Aerial
5. Application Materials (Including Business Plan and Project Narrative, Proof of Ownership, NRI Summary, EcoCat, and Applicant's Version of Findings of Fact)
6. Application Addendum (Additional Business Information and Stormwater Information)
7. Entrance from Cannonball
8. Looking East
9. Looking East from Southeast Corner of Grass
10. Looking Southeast
11. Looking East from Driveway

12. Looking South from Driveway
13. Looking North from Driveway

ZONING PLAT FOR SPECIAL USE PERMIT

PART OF THE SOUTHWEST QUARTER OF SECTION 10 and PART OF THE NORTHWEST QUARTER OF SECTION 15, T37N-R7E, 3rd PM

BRISTOL TOWNSHIP KENDALL COUNTY ILLINOIS

Attachment 1-Zoning Plat

SCALE
1"=50'

DEVELOPER:
Robert Velazquez
1996 Cannonball Trail
Bristol, Illinois 60512

ZONING TRACT AREA
249,306 Sq.Ft. = 5.7233 Acres
(228,381 Sq.Ft. = 5.2429 Acres Excluding Road)

PRESENT ZONING:
A1-SU (Agricultural District - Special Use)

PROPOSED ZONING:
A1-SU (Agricultural District - Special Use)

P.I.N.
02-15-101-003

LEGAL DESCRIPTION OF TRACT TO BE REZONED:

That part of the Southwest Quarter of Section 10, Township 37 North, Range 7 East of the Third Principal Meridian, and that part of the Northwest Quarter of Section 15, Township and Range aforesaid, described as follows: Commencing at the Southwest Corner of said Southwest Quarter; thence Southeasterly along a line which if extended would intersect the Northerly Line of the former lands of Charles Hunt at a point on said Northerly Line which is 1551.80 feet Westerly of the West Line of a tract of land conveyed by Nelson C. Rider to Jerry W. Rider by a Warranty Deed recorded November 29, 1911 in Book 66 of Deeds, Page 25 and depicted in Plat Book 1 at Page 62, a distance of 938.61 feet to the center line of Cannonball Trail for a point of beginning; thence Southeasterly along the last described course extended, 447.72 feet to said Northerly Line; thence Easterly along said Northerly Line which forms an angle of 160°49'30" with the last described course measured clockwise therefrom, 296.83 feet; thence Northerly at right angles to the last described course, 309.14 feet; thence Northwesterly along a line which forms an angle of 132°19'35" with the last described course measured clockwise therefrom, 386.56 feet to the center line of Cannonball Trail; thence Southwesterly along said centerline to the point of beginning, in Bristol Township, Kendall County, Illinois.

BASE FLOOD ELEVATION

The Subject Property is not located in a Special Flood Zone Area as depicted on FEMA Flood Insurance Rate Map Number 17093C0035H with an effective date of January 8, 2014.

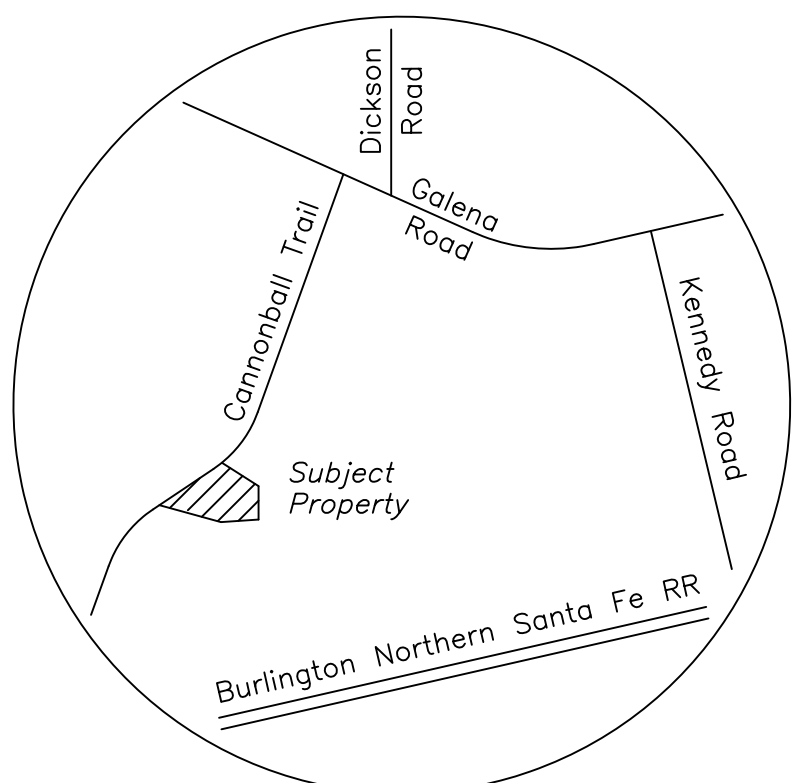
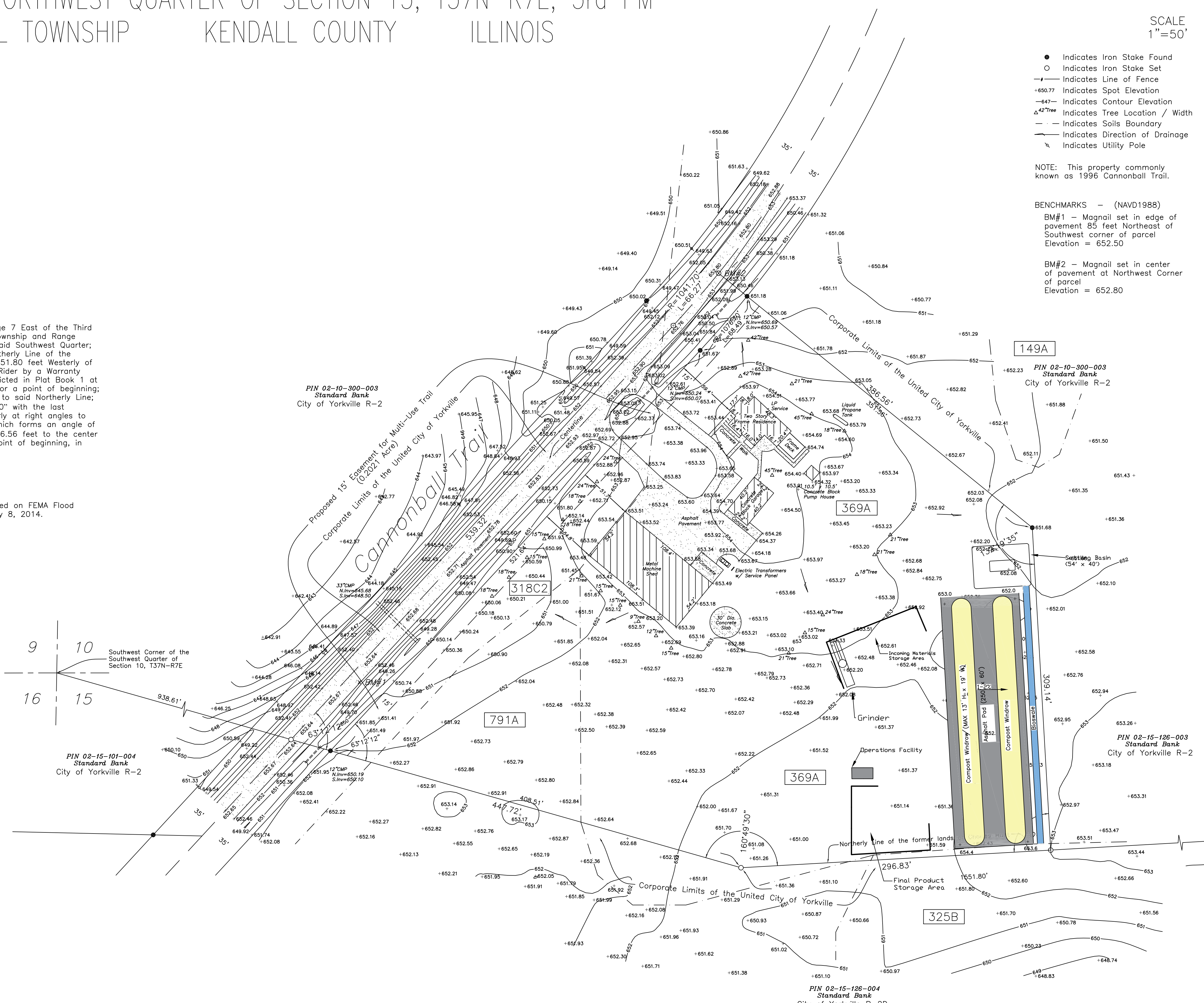
WETLANDS

There were no wetlands delineated on the Subject Property.

SOILS

Soil Type (USDA/NRCS - Web Soil Survey, 2016)

149A	Brenton silt loam, 0% to 2% slopes
318C2	Lorenzo loam, 4% to 6% slopes, eroded
325B	Dresden silt loam, 2% to 4% slopes
369A	Waupacan silt loam, 0% to 2% slopes
791A	Rush silt loam, 2% to 4% slopes



April 13, 2017

1107B South Bridge Street
Yorkville, Illinois 60560
Telephone (630)553-1580

Phillip D. Young and Associates, Inc.
LAND SURVEYING - TOPOGRAPHIC MAPPING - Lic.#184-002775

Environmental Consultants
Law Ref., IL
Website: www.gisconsultants.com

Deigan & Associates, LLC
2885 N. Henry St., Unit 100
Tel: (630) 578-3000

JOB NO. 16-082
JOB NAME Semper Fi
DWG FILE 17023B-Fig.1
REVISION DATE 04/13/2017

PLAT OF EASEMENT

PART OF THE SOUTHWEST QUARTER OF SECTION 10 and PART OF THE NORTHWEST QUARTER OF SECTION 15, T37N-R7E, 3rd PM BRISTOL TOWNSHIP KENDALL COUNTY ILLINOIS

State of Illinois)
) SS
County of Kendall)

Attachment 2-Plat of Easement

I, Phillip D. Young, an Illinois Professional Land Surveyor and an officer of Phillip D. Young and Associates, Inc., state that I have surveyed the attached described tract as shown by the plat hereon drawn which is a representation of said survey. Field work was completed February 24, 2017. This professional service conforms to the current Illinois minimum standard for a boundary survey.

Dated April 13, 2017 at Yorkville, Illinois

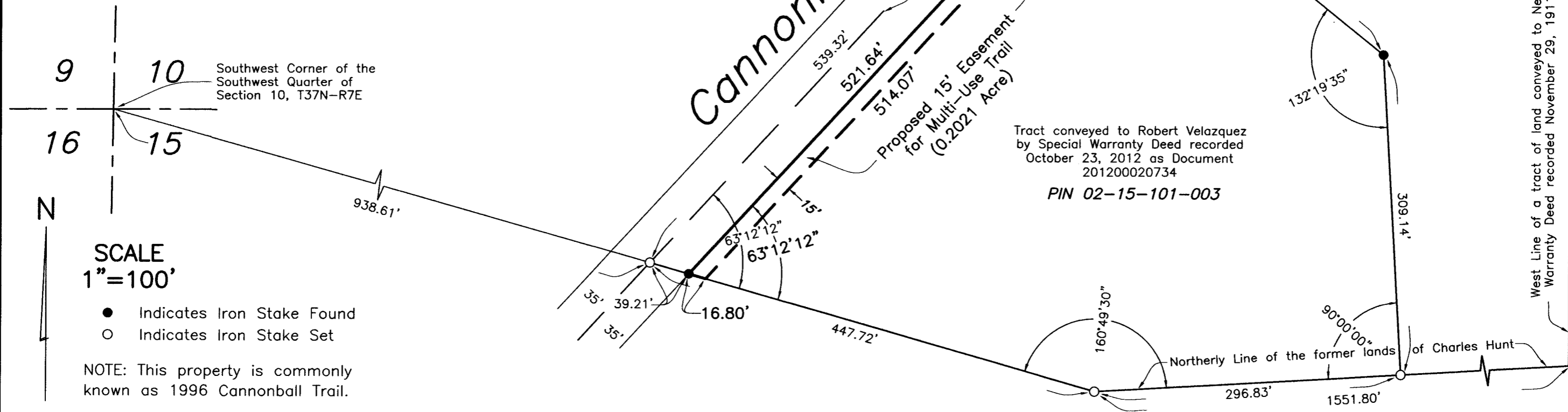
Phillip D. Young

Phillip D. Young
Illinois Professional Land Surveyor No. 2678
(Expires 11/30/18)



LEGAL DESCRIPTION:

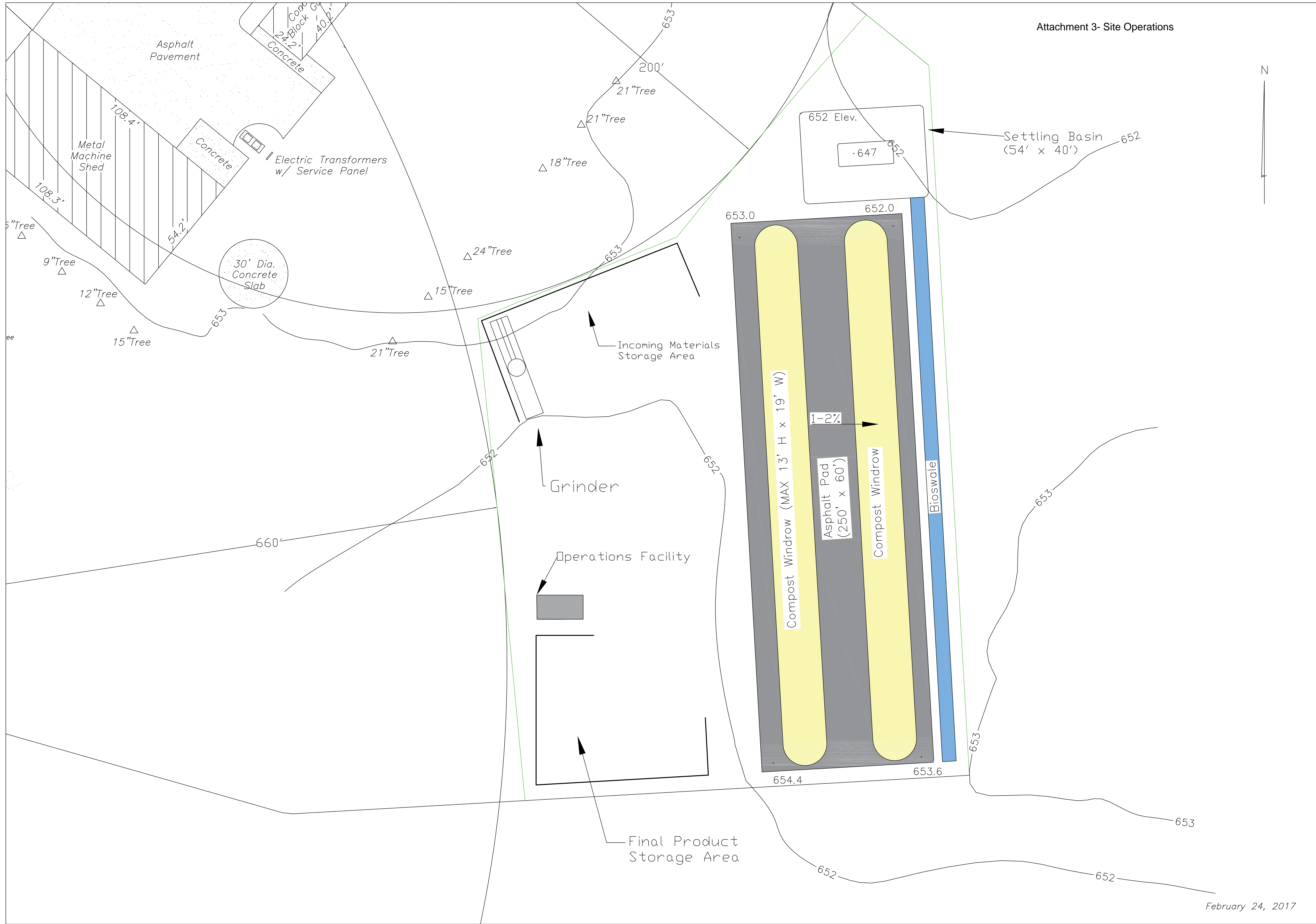
That part of the Southwest Quarter of Section 10, Township 37 North, Range 7 East of the Third Principal Meridian, and that part of the Northwest Quarter of Section 15, Township and Range aforesaid, described as follows: Commencing at the Southwest Corner of said Southwest Quarter; thence Southeasterly along a line which if extended would intersect the Northerly Line of the former lands of Charles Hunt at a point on said Northerly Line which is 1551.80 feet Westerly of the West Line of a tract of land conveyed by Nelson C. Rider to Jerry W. Rider by a Warranty Deed recorded November 29, 1911 in Book 66 of Deeds, Page 25 and depicted in Plat Book 1 at Page 62, a distance of 938.61 feet to the center line of Cannonball Trail; thence Southeasterly, along the line of the last described course, 39.21 feet to the Southeasterly Right-of-Way Line of Cannonball Trail for a point of beginning; thence Southeasterly along the last described course, 16.80 feet to a line which is 15.0 feet Southeasterly of and parallel with said Southeasterly Right-of-Way Line; thence Northeasterly, parallel with said Southeasterly Right-of-Way Line, 514.07 feet; thence Northeasterly, along a tangential curve to the left with a radius of 1091.70 feet and being 15.0 feet Southeasterly of and concentric with said Southeasterly Right-of-Way Line, 69.45 feet to the Northeasterly Line of a Tract conveyed to Robert Velazquez by Special Warranty Deed recorded October 23, 2012 as Document 201200020734; thence Northwesterly, along said Velazquez Tract, 15.0 feet to said Southeasterly Right-of-Way; thence Southwesterly along said Southeasterly Right-of-Way, being a curve the the right with a radius of 1076.70 feet, an arc distance of 68.49 feet; thence Southwesterly, along said Southeasterly Right-of-Way, 521.64 feet to the point of beginning in Bristol Township, Kendall County, Illinois.



1107B South Bridge Street
Yorkville, Illinois 60560
Telephone (630)553-1580

Phillip D. Young and Associates, Inc.
LAND SURVEYING - TOPOGRAPHIC MAPPING - Lic.#184-002775

JOB NO. 17023
JOB NAME DEIGAN & ASSOC
DWG FILE 17023C



JOB NO.	16-082
JOB NAME	Semper Fi
DWG FILE	17023B-3-Fig.3
REVISION DATE	

Figure 3
Site Operations

Deigan & Associates, LLC
Layout 28835 N. Herky Dr., Unit 120
Tel. (847) 578-5000

Environmental Consultants
Lake Bluff, IL 60044
Website: www.deiganassociates.com

Philip D. Young and Associates, Inc.
LAND SURVEYING - TOPOGRAPHIC MAPPING - Lic #184-00275



02-10

Cannonball Trl

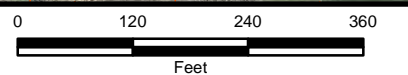
02-15



Kendall County GIS
111 West Fox Street - Room 309
Yorkville, Illinois 60560-1498
630.653.4939

Aerial : 2016

02-15-101-003
Bristol Twp.
Kendall County Illinois



1 inch = 200 feet

Created : 04/19/2017

Attachment 5-Application Materials



Deigan & Associates, LLC
Environmental Consultants

28835 N Herky Dr. Unit 120

Lake Bluff, Illinois 60044

Phone 847.578.5000

Fax 847.549.3242

www.deiganassociates.com

January 24, 2017


Department of Planning, Building & Zoning
Kendall County
111 West Fox Street
Yorkville, Illinois 60560

Re: Special Use Application for Compost Facility
Semper Fi Land Inc.
1996 Cannonball Trail
Bristol, Kendall County, Illinois 60512



To Whom It May Concern:

Enclosed for your review is a Special Use application to develop a landscape waste compost facility for Semper Fi Land, Inc. located at 1996 Cannonball Trail in Bristol, Kendall County, Illinois. Please contact the applicant and the undersigned with questions or should your Staff need additional information.


Sincerely,
Deigan & Associates, LLC



Steven M. Schilling, P.E.
Sr. Project Manager/Sr. Engineer



Gary J. Deigan
Principal


Enclosures

Sustainable Environmental Solutions

www.deiganassociates.com

Special Use Application

Landscape Waste Compost Facility

Owner:



Robert R. Velazquez
PRESIDENT

SEMPER FI LAND INC.
LAND SERVICES & PRESERVATION

VOSB CVE MBE DBE SBE

Facility Location:
1996 Cannonball Trail
Bristol, Kendall County, Illinois 60512

January 24, 2017

Submitted to:
Kendall County
Department of Planning, Building & Zoning
111 West Fox Street
Yorkville, Illinois 60560

Prepared by:



Deigan & Associates, LLC
Environmental Consultants

28835 N Herky Dr. Unit 120
Lake Bluff, Illinois 60044

Phone 847.578.5000

Fax 847.549.3242

www.deiganassociates.com

Sustainable Environmental Solutions

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DEPARTMENT OF PLANNING, BUILDING & ZONING
 111 West Fox Street • Yorkville, IL • 60560
 (630) 553-4141 Fax (630) 553-4179

APPLICATION

PROJECT NAME Semper Fi Compost Facility **FILE #:** 17-09

NAME OF APPLICANT Robert Velazquez		
CURRENT LANDOWNER/NAME(s) Robert Velazquez		
SITE INFORMATION ACRES 5.2	SITE ADDRESS OR LOCATION 1996 Cannonball Trail, Bristol, Illinois	ASSESSOR'S ID NUMBER (PIN) 02-15-101-003
EXISTING LAND USE Ag - Residential	CURRENT ZONING A-1	LAND CLASSIFICATION ON LRMP Suburban Residential
REQUESTED ACTION (Check All That Apply):		
<input checked="" type="checkbox"/> SPECIAL USE <input type="checkbox"/> MAP AMENDMENT (Rezone to _____) <input type="checkbox"/> VARIANCE <input type="checkbox"/> ADMINISTRATIVE VARIANCE <input type="checkbox"/> A-1 CONDITIONAL USE for: _____ <input type="checkbox"/> SITE PLAN REVIEW <input type="checkbox"/> TEXT AMENDMENT <input type="checkbox"/> RPD (<input type="checkbox"/> Concept; <input type="checkbox"/> Preliminary; <input type="checkbox"/> Final) <input type="checkbox"/> ADMINISTRATIVE APPEAL <input type="checkbox"/> PRELIMINARY PLAT <input type="checkbox"/> FINAL PLAT <input type="checkbox"/> OTHER PLAT (Vacation, Dedication, etc.) <input type="checkbox"/> AMENDMENT TO A SPECIAL USE (<input type="checkbox"/> Major; <input type="checkbox"/> Minor)		
1 PRIMARY CONTACT Robert Velazquez	PRIMARY CONTACT MAILING ADDRESS 1996 Cannonball Trail, Bristol, IL	PRIMARY CONTACT EMAIL [REDACTED]
PRIMARY CONTACT PHONE # [REDACTED]	PRIMARY CONTACT FAX #	PRIMARY CONTACT OTHER #(Cell, etc.)
2 ENGINEER CONTACT Gary Deigan	ENGINEER MAILING ADDRESS 28835 N. Herky Drive, Unit 120, Lake Bluff, IL	ENGINEER EMAIL [REDACTED]
ENGINEER PHONE # [REDACTED]	ENGINEER FAX #	ENGINEER OTHER #(Cell, etc.)
I UNDERSTAND THAT BY SIGNING THIS FORM, THAT THE PROPERTY IN QUESTION MAY BE VISITED BY COUNTY STAFF & BOARD/ COMMISSION MEMBERS THROUGHOUT THE PETITION PROCESS AND THAT THE PRIMARY CONTACT LISTED ABOVE WILL BE SUBJECT TO ALL CORRESPONDANCE ISSUED BY THE COUNTY.		
I CERTIFY THAT THE INFORMATION AND EXHIBITS SUBMITTED ARE TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND THAT I AM TO FILE THIS APPLICATION AND ACT ON BEHALF OF THE ABOVE SIGNATURES.		
SIGNATURE OF APPLICANT [REDACTED]		DATE 1-24-17

FEE PAID: \$ _____
CHECK #: _____

¹Primary Contact will receive all correspondence from County
²Engineering Contact will receive all correspondence from the County's Engineering Consultants



Deigan & Associates, LLC
Environmental Consultants

Project Narrative

Special Use Application – Sempre Fi Land Inc.
1996 Cannonball Trail, Bristol, Kendall County, Illinois

1.0 Applicant Identification and Location Information

The Special Use Application proposes to utilize the property located at 1996 Cannonball Trail in Bristol, Kendall County, Illinois (the “Site”), depicted in **Figure 1** (the Site Map), as a landscape waste composting facility operated by Semper Fi Land, Inc. (Semper Fi). The property is currently approved for operation as a landscape contracting Co. This special use application would simply allow yard waste to be processed into mulch as an important recycling benefit to managing yard waste. Semper Fi is a veteran-owned small, disadvantaged business enterprise, owned and operated by Mr. Robert Velazquez. Semper Fi has been operating as a business in Kendall County for over 10 years.

Semper Fi has completed the Special Use Application (including the application fee) which is included as an attachment.

According to the Plat of Survey, the legal description of the Site is as follows:

“THAT PART OF THE SOUTHWEST QUARTER OF SAID SECTION 10 TOWNSHIP 37 NORTH RANGE 7 EAST OF THE THIRD PRINCIPAL MERIDIAN AND THAT PART OF THE NORTHWEST QUARTER OF SAID SECTION 15, TOWNSHIP AND RANGE AFORESAID DESCRIBED AS FOLLOWS: COMMENCING AT THE SOUTHWEST CORNER OF SAID SOUTHWEST QUARTER; THENCE SHOUTHEASRTLY ALONG A LINE WHICH IF EXTENDED WOULD INTERSECT THE NORTHERLY LINE OF THE FORMER LANDS OF CHARLES HUNT AT A POINT ON SAID NORTHERLY LINE WHICH IS 1551.80 FEET WESTERLY OF THE WEST LINE OF A TRACT OF LAND CONVETED BY NELSON C. RIDER TO JERRY W. RIDER BY A WARRANTY DEED RECORDER NOVEMBER 29, 1911 IN BOOK 66 DEEDS, PAGE 25 AND DEPICTED IN PLAT BOOK 1 AT PAGE 62, A DISTANCE OF 938.61 FEET TO THE CENTER LINE OF CANNONBALL TRAIL, FOR A POINT OF BEGINNING; THENCE SOUTHEARLY ALONG THE LAST DESCRIBED COURSE EXTENDED, 447.72 FEET TO SAID NORTHERLY LINE; THENCE EASTERLY ALONG SAID NORTHERLY LINE, WHICH FORMS AN ANGLE OF 160 DEGREES 49 MINUTES 30 SECONDS WITH THE LAST DESCRIBED COURSE, MEASURED CLOCKWISE THEREFROM, 296.83 FEET; THENCE NORTHERLY AT RIGHT ANGLES TO THE LAST DESCRIBED COURSE, 309.14 FEET; THENCE NORTHWESTERLY ALONG A LINE WHICH FORMS AN ANGLE OF 132 DEGREES 19 MINUTES 35 SECONDS WITH THE LAST DESCRIBED COURSE, MEASURE CLOCKWISE THEREFROM, 386.56 FEET TO THE CETNER LINE OF CANNONBALL TRAIL; THENCE SOUTHWESTERLY ALONG CENTERLINE TO THE POINT OF BEGINNING, EXCEPTING THEREFORE THAT PART TAKEN FOR PUBLIC ROAD PURPOSES, IN BRISTOL TOWNSHIP KENDALL COUNTY ILLINOIS.”

A. Proposed Use of Site

Semper Fi has applied for all necessary Illinois EPA permits to become a landscape waste compost facility concurrently with its application for Special Use Zoning. A landscape waste compost facility provides important recycling and processing of landscape waste into mulch. Semper Fi will utilize only landscape waste including yard waste and other woody material for compost material. Food waste or other organic waste will not be received. Approximately 85% of the landscape waste will be processed into mulch and the other 15% of the material will be processed compost material that is used as a soil supplement for planting.

The site's existing use as landscape waste contractor yard and its rural setting with large buffer zones and proposed vegetative screening make this property a compatible use for compost/mulch production. The Semper Fi Owner resides on the property, thus further ensuring that the facility will be a good neighbor.

B. Days and Hours of Operation

Business hours for the landscape waste composting facility will be 7 AM to 3:00 PM Monday through Friday. The facility will be closed on Saturday and Sunday. The grinder will only be operated during the above business hours.

At the entrance of the compost facility a permanent sign will be placed containing pertinent information for operating such landscape waste compost facility. The sign shall read:

Semper Fi Land Inc. Landscape Waste Compost Facility
1996 Cannonball Trail, Bristol, Illinois 60512

Operating Hours: M – F 7 AM – 3 PM (post project contractor landscape waste unloading may occur until 7PM).

Materials Accepted: Wood materials including wood chips, branches and logs

Yard waste including leaves, grass clippings and small branches

COMPLAINTS CONCERNING THIS FACILITY CAN BE MADE TO THE FOLLOWING PERSONS: OWNER/OPERATOR: ROBERT VELAZQUEZ, (630) 518-8484 ILLINOIS ENVIRONMENTAL PROTECTION AGENCY, BUREAU OF LAND (217) 782-3397

It is important to note that IEPA or its delegated inspection program to the County will have authority to inspect this facility and cite non-compliance matters.

C. Employees & Training Procedures

It is estimated that 2-5 employees will be used for the Semper Fi composting operation. These employees can be broken down into the following job descriptions: facility owner, equipment operators, and landscape waste truck drivers.

The facility owner/manager is directly responsible for overall day-to-day operations. Additional employees on-site will include two equipment operators. Responsibilities will be to keep the operating areas clean and organized. The equipment operators will also be responsible for greeting visitors, completing paperwork, and directing customers to designated landscape waste areas for processing. Equipment operators move landscape waste from designated storage areas to the facility grinder for processing. Equipment operators will process materials to make mulch and compost. Semper Fi drivers will transport landscape waste from Semper Fi jobs for processing. Operating hours for material brought to the site are from 7 AM to 7 PM, all material brought to the site will be processed within the applicable IEPA standards. The tub grinder will only operate from 7AM to 3PM.

Semper Fi management and employees will be trained to ensure compliance with all conditions of the IEPA permit and Kendall County requirements.

D. Logistics

Landscape waste is processed at the facility as shown on **Figure 3**. Landscape waste is delivered to the facility by Semper Fi trucks, other landscape waste contractors, or homeowners who have generated landscape waste. To access the compost facility operations a driveway will be constructed on the southern portion of the Site, that provides access from Cannonball Trail. This proposed driveway will be the main path for incoming and outgoing trucks. The road will provide suitable load bearing capacity and appropriate turning radius for the types of trucks that enter and exit the Semper Fi Facility. As trucks enter the facility, they are directed to operations building to gather information on the incoming material and complete an inspection of the material. The visual inspection will ensure raw materials brought to the facility are only woody materials or landscape waste and are free of any materials that would pose as a hazard to human health, including glass or metal shards. The visual inspections will ensure materials brought to the site do not contain man made materials larger than four millimeters in size. Once incoming material is inspected and recorded, trucks are directed to the appropriate unloading area by employees. The quantity of incoming compost material and mulch will be measured by monitoring the size of the truck loads, and maintaining a count of loads per day. Records will be kept in the operations building onsite.

Semper Fi will accept woody material and yard waste including wood chips, branches, logs, leaves, grass clippings, and small tree limbs for compost material. The material accepted at the Site will consist of approximately 70% woody material and 30% landscape waste. The landscape waste brought to the facility will be sorted into material requiring further processing including size separation and grinding. The estimated amount of

landscape waste to be received by the facility ranges between 100 and 150 cubic yards per day. The maximum the facility anticipates receiving in a day is 250 cubic yards. This low volume will ensure timely processing (which ensures odors are mitigated) and reasonable, low profile material stockpiles.

The typical composition of the daily recycle stream is approximated in the following table. Percentages are based on waste composition by quantity of material received.

Daily Recycle Stream Categories	Material Types	% of Total Recycle Stream (By Weight)
Wood Material	Wood Chips	70%
	Branches	
	Logs	
Landscape Waste	Grass Clippings	30%
	Leaves	
	Small tree limbs	

This typical composition may vary widely based on the type of landscape jobs being completed in the area. Approximately 85% of material will be processed into mulch and 15% will be processed into compost material.

F. Composting and Mulching Procedure

Two equipment operators will be employed at the Site. The equipment operators will be responsible for maintaining the operations area, greeting and directing customers, managing paperwork, and processing composting material. Semper Fi anticipates receiving approximately 2,000 to 3,000 cubic yards of landscape waste per month to process during the 9-10 month landscape season. Incoming composting waste will be quantified through monitoring incoming truck loads and the various truck sizes.

Methods implemented to control the type of landscape waste received will include inspecting each load received to verify that non-compostable waste is not being transported to the Site. If non-compostable material is transported to the Site, the non-compostable material will be rejected and prohibited from being dumped on-site.

Staging areas on-site will be adequate in size and design to facilitate the unloading of landscape waste from delivery vehicles. The southeast portion of the Site property will be utilized for vehicle delivery and turnaround, staging of unprocessed materials (drop-off), tub grinder operations, and stockpiled compost material. The staging areas on-site comprise approximately 1.2 acres.

Prior to windrowing, the compost waste will be processed through a tub grinder. The maximum length of time required to process each day's receipt of waste into windrows will be by the end of day.

The windrows will be constructed for optimum oxygen transfer, while maintaining temperatures in the proper range. Windrow construction will include lifting the compostable material with an excavating bucket of a front-end loader, and letting it cascade to the ground to form a loose pile of compost. After windrowing the compostable material, the material will be lightly compacted with a loader or excavator bucket. The dimensions of the two windrow piles will each be approximately 13 feet high by 19 feet wide, and between 200-250 linear feet. Both windrow piles will be turned at least monthly (or more frequently as needed) using a front-end loader. The Site will be lined with trees that will provide a visual buffer and aesthetics. Some areas of the site may be fenced to prevent unknowing trespasser safety concerns around equipment.

Approximately 85% of landscape waste brought to the Site will be ground into mulch for reuse and resale. The woody material will be ground and placed in the designated storage areas for Semper Fi landscape jobs or resale to contractors and home owners.

The source and providers of landscape waste will include Semper Fi and others who have clean usable materials available. The end users will include Semper Fi, homeowners, and other landscape contractors.

H. Equipment

Semper Fi Trucks: The Semper Fi truck fleet will bring landscape waste to the Site from Semper Fi jobs for composting.

Tub Grinder: The role of the Morbark 1000 Tub Grinder is to reduce the landscape waste to mulch/compost material. The grinder can operate at a capacity of 30 tons/hour. The grinder is 48'2" in length, 8'6" wide, 12'11" in height, and weighs approximately 28,740 lbs.

Wheel Loader: A three-yard wheel loader will be used to support the unloading/sorting process and to move heavy objects around the facility.

Skid-steer Loader: A tracked skid-steer will be used for onsite operations, primarily for clean up around site operation equipment. They are also used for other site tasks when needed.

In the event of equipment break down causing facility operations to cease, proper equipment will be leased/rented until repairs can be made to ensure processing times and composting procedures are achieved.

I. Dust, Odor, Noise, and Vector Control

In the unlikely event that temporary odors are observed on-site, the compost piles will be immediately aerated. Compost piles will be aerated frequently to prevent potential odors at the Site.

All loads delivered to the Site will undergo visual inspection to ensure only landscape material is brought onsite prior to proper dumping. Loads that are observed with improper material will be directed off the premises by Semper Fi employees.

If noticeable dust is observed at the Site, Semper Fi Land, Inc. will wet the ground (or source of dust) with water to prevent further spreading. Noise mitigation strategies will be implemented at the Site through the use of a vegetative perimeter buffer. If noise issues persist at the Site, an engineered noise barrier will be installed at the Site. Further, the Site will only operate during regular business hours to not disrupt the surrounding residences.

Vectors, such as insects, ticks, rodents, some birds, and other animals, will be controlled through various strategies. One method of vector control would be density reduction, by focusing population density controls at the breeding sites. Methods would include environmental management (drainage, filling, leveling of depressions and borrow pits, etc.) or the use of insecticides (larvicides). Larvicides may only be used as a last resort and in extreme cases, and if larvicides are used, the chemical should not kill non-target organisms or contaminate soil or groundwater. Additionally, garbage will not be left out at the Site and odor will be controlled with methods previously described.

J. Daily Cleanup

The facility is maintained on a daily basis by placing incoming landscape waste into designated storage area for processing. Once material have been processed, material will be placed in the correct corresponding area for making compost material. The loading/unloading area is cleaned with the tracked skid-steer to maintain safe truck access. Facility is cleaned daily to minimize dust, debris, odors, and vectors onsite by utilizing equipment onsite, hand brooms, and/or wetting surfaces when necessary.

3. Stormwater Runoff Management

Stormwater and landscape waste leachate controls as required pursuant to 35 IAC 830.204 will be used. Stormwater or other water which comes into contact with landscape waste will be considered landscape waste leachate and will be collected and reused in the process,

properly disposed of off-site, or treated as necessary prior to discharge off-site. Particular design measures will prevent ponding of landscape waste leachate on-site.

The design of the facility will prevent any compost material from being placed within five feet of the water table pursuant to 35 IAC 830.203(a)(3). Published groundwater data (obtained from the ISGS ILWATER Interactive Online Map) shows that the static groundwater level at the nearest private water well located approximately 585 feet to the west of the Site is approximately 19 feet below ground surface (bgs). Further, the Site elevation at this well is noted as 669 feet above mean sea level (amsl). It is likely that groundwater elevation at the Site is similar to that of the nearby well. Thus, due to the location of the water table in relation to site elevation, compost material would not be placed within five feet of the water table. Additionally, during the sub-surface investigation on-site on September 2, 2016, a soil boring was advanced to 12 feet below ground surface (bgs). The water table was not encountered during this investigation, thus indicating that the water table is located greater than 12 feet bgs at the Site.

According to 35 IAC Part 830, Standards for Compost Facilities, soil on-site must be “relatively impermeable soil”, meaning soil located above the water table that has a hydraulic conductivity no greater than 1×10^{-5} centimeters per second for a thickness of at least one foot. Test results from the permeability tests reveal a hydraulic conductivity of 1.33 cm/sec. This result will require construction of an impermeable surface at the Site.

To ensure any stormwater that comes in contact with the Site will not infiltrate to the native soils, an impermeable surface will be constructed in the entire compost facility operations. The compost facility surface will be constructed of impermeable surfaces including asphalt, concrete, compacted asphalt grindings, or another impermeable surface. The impermeable surface will be sloped approximately 0.5% to 2% from west to east towards the bioswale that will collect and infiltration stormwater eliminating any non-stormwater discharge. Impermeable surfaces will be inspected frequently to ensure compliance. Measures will be taken to correct any impermeable surface imperfections that would otherwise allow infiltration to the native soils below.

Drainage on the eastern portion of the property will be directed to a 300' bioswale that will collect, infiltrate, and filter runoff from the site. During large storm events water will be diverted to an under drain system below the bioswale to collect water and transport to the settling basin depicted in **Figure 3**. The settling basin will allow for additional settlement/treatment of stormwater runoff that is not treated from the bioswale. Excess water from the settling basin will be utilized for dust control operations as well as composting moisture. This allows for a 100% recycling operation of stormwater. A Kendall County Stormwater Permit Application has been prepared for the facility using stormwater best management practices.

Semper Fi Land, Inc.
Bristol, Kendall County, Illinois
Application for Permit
REV – 0
January 24, 2017



According to the Illinois State Geological Survey (ISGS) Illinois Water Well (ILWATER) Interactive Online Map, the nearest well (API 120932485100) is located approximately 585 feet to the west-southwest of the Site (depicted in **Figure 3**).

According to the Federal Emergency Management Agency (FEMA) Flood Insurance Rate Map (FIRM) Map Number 17093C0035H, the Site is located outside the boundary of the 10-year floodplain.



Deigan & Associates, LLC
Environmental Consultants

Proof of Ownership

Special Use Application – Sempre Fi Land Inc.
1996 Cannonball Trail, Bristol, Kendall County, Illinois



AFTER RECORDING RETURN TO: !

- ex D: 11 T

Robert Velazquez
~~_____~~
~~_____~~

201200020734

DEBBIE
GILLETTE
KENDALL COUNTY, IL

RECORDED: 10/23/2012 12:10 PM
WD: 511.00 RHPFS FEE: 10.00
PAGES: 3

PERMANENT INDEX NUMBER:

02-15-101-003

PROPERTY ADDRESS:

1996 Cannonball Trail
Bristol, Illinois 60512

SPECIAL WARRANTY DEED

THIS INDENTURE is made as of September 28 2012 between PB IL OREO, LLC, an Illinois limited liability company, having an address of 70 W. Madison Street, Suite 200, Chicago, Illinois 60602 (the "Grantor"), and ROBERT VELAZQUEZ, having an address of 1275 Golfview Street, Aurora, Illinois 60506 (the "Grantee");

WITNESSETH, Grantor, for and in consideration of the sum of Ten Dollars in hand paid by the Grantee, the receipt whereof is hereby acknowledged, by these presents does hereby GRANT, SELL AND CONVEY unto the Grantee, his successors and assigns, the following described real estate, together with any and all improvements located thereon and all rights, easements and appurtenances thereto in any way belonging (collectively, the "Property"), situated in the County of Kendall, State of Illinois, and described on Exhibit A attached hereto.

658001645

Grantor hereby covenants, promises and agrees, to and with Grantee, its successors and assigns, that it has not done or suffered to be done, anything whereby the Property granted is, or may be, in any manner encumbered or charged, except as herein recited; and that the Property, against all persons lawfully claiming, or to claim the same, by, through or under it, it WILL WARRANT AND DEFEND.

[SIGNATURE PAGE FOLLOWS]

154.00 DT

STATE TAX
STATE OF ILLINOIS

OCT. 23. 12
KENDALL COUNTY

0000018059
REAL ESTATE
TRANSFER TAX
0030800
FP 103035 DT

FIDELITY NATIONAL TITLE

IN WITNESS WHEREOF, Grantor has signed this instrument the day and year first above written.

PB IL OREO, LLC

By: 
Its: MANAGING DIRECTOR

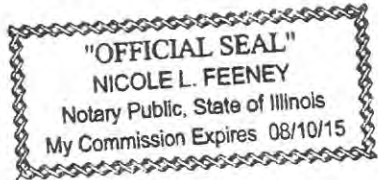
By: 
Its: James Thompson
Managing Director

STATE OF ILLINOIS)
) SS
COUNTY OF COOK)

The undersigned, Nicole L. Feeney, a notary public in and for said County, in the State aforesaid, DOES HEREBY CERTIFY that Andrew Cathelina and Edward Corbett, personally known to me to be the same persons whose names are subscribed to the foregoing instrument, appeared before me this day in person and severally acknowledged that they signed and delivered the said instrument as their and voluntary act, on behalf of PB IL OREO, LLC, for the uses and purposes therein set forth.

GIVEN under my hand and official seal this 28th day of September, 2012.


Notary Public



This instrument was prepared by: H. Jeffrey McCown, McCown Law Offices, 22837 S. Wirth, Frankfort, Illinois 60423

Exhibit A

Legal Description

THAT PART OF THE SOUTHWEST QUARTER OF SAID SECTION 10 TOWNSHIP 37 NORTH RANGE 7 EAST OF THE THIRD PRINCIPAL MERIDIAN AND THAT PART OF THE NORTHWEST QUARTER OF SAID SECTION 15, TOWNSHIP AND RANGE AFORESAID DESCRIBED AS FOLLOWS:

COMMENCING AT THE SOUTHWEST CORNER OF SAID SOUTHWEST QUARTER; THENCE SOUTHEASTERLY ALONG A LINE WHICH IF EXTENDED WOULD INTERSECT THE NORTHERLY LINE OF THE FORMER LANDS OF CHARLES HUNT AT A POINT ON SAID NORTHERLY LINE WHICH IS 1551.80 FEET WESTERLY OF THE WEST LINE OF A TRACT OF LAND CONVEYED BY NELSON C. RIDER TO JERRY W. RIDER BY A WARRANTY DEED RECORDED NOVEMBER 29, 1911 IN BOOK 66 DEEDS, PAGE 25 AND DEPICTED IN PLAT BOOK 1 AT PAGE 62, A DISTANCE OF 938.61 FEET TO THE CENTER LINE OF CANNONBALL TRAIL, FOR A POINT OF BEGINNING; THENCE SOUTHEASTERLY ALONG THE LAST DESCRIBED COURSE EXTENDED, 447.72 FEET TO SAID NORTHERLY LINE; THENCE EASTERLY ALONG SAID NORTHERLY LINE, WHICH FORMS AN ANGLE OF 160 DEGREES 49 MINUTES 30 SECONDS WITH THE LAST DESCRIBED COURSE, MEASURED CLOCKWISE THEREFROM, 296.83 FEET; THENCE NORTHERLY AT RIGHT ANGLES TO THE LAST DESCRIBED COURSE, 309.14 FEET; THENCE NORTHWESTERLY ALONG A LINE WHICH FORMS AN ANGLE OF 132 DEGREES 19 MINUTES 35 SECONDS WITH THE LAST DESCRIBED COURSE, MEASURED CLOCKWISE THEREFROM, 386.56 FEET TO THE CENTER LINE OF CANNONBALL TRAIL; THENCE SOUTHWESTERLY ALONG SAID CENTERLINE TO THE POINT OF BEGINNING IN BRISTOL TOWNSHIP KENDALL COUNTY ILLINOIS.

PERMANENT INDEX NUMBER:

02-15-101-003

PROPERTY ADDRESS:

1996 Cannonball Trail
Bristol, Illinois 60512

Kendall County Land Evaluation and Site Assessment (LESA):

Decision-makers in Kendall County use the Land Evaluation and Site Assessment (LESA) system to determine the suitability of a land use change and/or a zoning request as it relates to agricultural land. The LESA system was developed by the United States Department of Agriculture-Natural Resources Conservation Service (USDA-NRCS) and takes into consideration local conditions such as physical characteristics of the land, compatibility of surrounding land-uses, and urban growth factors. The LESA system is a two-step procedure that includes:

- **LAND EVALUATION (LE)** – The soils of a given area are rated and placed in groups ranging from the best to worst suited for a stated agriculture use, cropland or forestland. The best group is assigned a value of 100 and all other groups are assigned lower values. The Land Evaluation is based on data from the Kendall County Soil Survey. The Kendall County Soil and Water Conservation District is responsible for this portion of the LESA system.
- **SITE ASSESSMENT (SA)** – The site is numerically evaluated according to important factors that contribute to the quality of the site. Each factor selected is assigned values in accordance with the local needs and objectives. The Kendall County LESA Committee is responsible for this portion of the LESA system.

Table 4a: Land Evaluation Computation

Soil Type	Value Group	Relative Value	Acres	Product (Relative Value x Acres)
318C2	6	69	0.8	55.2
369A	2	94	3.9	366.6
791A	4	79	0.3	23.7
Totals			5.0	445.5
LE Score		LE= 445.5/5.0		LE= 89.1 (89)

The Land Evaluation score for this site is **89**, indicating that this site is predominately prime farmland well suited for agricultural production.

Table 4b: Site Assessment Computation

A.	Agricultural Land Uses	Points
	1. Percentage of area in agricultural uses within 1.5 miles of site. (20-10-5-0)	5
	2. Current land use adjacent to site. (30-20-15-10-0)	30
	3. Percentage of site in agricultural production in any of the last 5 years. (20-15-10-5-0)	10
	4. Size of site. (30-15-10-0)	0
B.	Compatibility / Impact on Uses	
	1. Distance from city or village limits. (20-10-0)	0
	2. Consistency of proposed use with County Land Resource Management Concept Plan and/or municipal comprehensive land use plan. (20-10-0)	10
	3. Compatibility of agricultural and non-agricultural uses. (15-7-0)	0
C.	Existence of Infrastructure	
	1. Availability of public sewage system. (10-8-6-0)	8
	2. Availability of public water system. (10-8-6-0)	8
	3. Transportation systems. (15-7-0)	7
	4. Distance from fire protection service. (10-8-6-2-0)	2
	Site Assessment Score:	80

Land Evaluation Value: 89 + Site Assessment Value: 80 = LESA Score: 169

LESA SCORE	LEVEL OF PROTECTION
0-200	Low
201-225	Medium
226-250	High
251-300	Very High

The **LESA Score for this site is 169** which indicates a **low level of protection** for the proposed project site. Note: Selecting the project site with the lowest total points will generally protect the best farmland located in the most viable areas and maintain and promote the agricultural industry in Kendall County.

LAND USE OPINION:

The Kendall County Soil and Water Conservation District (SWCD) Board has reviewed the proposed development plans for Petitioner Semper Fi Land Service for the proposed Semper Fi Compost Facility project. This parcel is located in Section 10 & 15 of Bristol Township (T.37N.-R.7E. of the 3rd Principal Meridian) in Kendall County. Based on the information provided by the petitioner and a review of natural resource related data available to the Kendall County SWCD, the SWCD Board has the following opinions and recommendations.

The Kendall County SWCD has always had the opinion that Prime Farmland should be preserved whenever feasible. A land evaluation, which is a part of the Land Evaluation and Site Assessment (LESA) was conducted on this parcel. The soils on this parcel scored a 89 out of a possible 100 points indicating the soils found on the project site are predominately prime farmland well suited for agricultural production. All of the soils identified onsite are designated as prime farmland. The proposed project is requesting an A-1 Special Use permit to operate a landscape waste compost facility.

For proposed land uses, soils can have potential limitations. This report indicates that for soils located on the parcel, 100% of the soils are very limited for shallow excavations; 85.5% of the soils are very limited for local roads/streets and 15% are rated as unsuitable for onsite conventional sewage disposal systems. This information is based on the soil in an undisturbed state and does not replace the need for site specific soil testing. Some soil reclamation, special design, or maintenance may be required to obtain suitable soil conditions to support development with significant limitations. Additionally, if the scope of the project includes the use of onsite septic systems, please consult with the Kendall County Health Department.

This site is located within the Fox River Watershed and Blackberry Creek subwatershed.

This development should include a soil erosion sediment control plan to be implemented during construction. Sediment may become a primary non-point source of pollution. Eroded soils during the construction phase can create unsafe conditions on roadways, degrade water quality and destroy aquatic ecosystems lower in the watershed.

For intense project uses it may be necessary to have a drainage tile survey completed on the parcel to locate any subsurface drainage tile if suspected onsite. Drainage tile expedites drainage and facilitates farming. It is imperative that these drainage tiles remain undisturbed. Impaired tile may affect a few acres or hundreds of acres of drainage.

The information that is included in this Natural Resources Information Report is to assure the Land Developers take into full consideration the limitations of that land that they wish to develop. Guidelines and recommendations are also a part of this report and should be considered in the planning process. The Natural Resource Information Report is required by the Illinois Soil and Water Conservation District Act (Ill. Compiled Statutes, Ch. 70, Par 405/22.02a).


Chair


Date



Deigan & Associates, LLC
Environmental Consultants

Endangered Species Consultation Report

Special Use Application – Sempre Fi Land Inc.
1996 Cannonball Trail, Bristol, Kendall County, Illinois

Applicant: Deigan & Associates
Contact: Katie Kult
Address: 28835 N. Herky Drive, Unit 120
Lake Bluff, IL 60044

IDNR Project Number: 1706246
Date: 01/16/2017

Project: Semper Fi Compost Facility
Address: 1996 Cannonball Trail, Bristol, IL

Description: The EcoCAT is being submitted for the development of a Compost Facility for the property located at 1996 Cannonball Trail in Bristol, Kendall County, Illinois as a landscape waste composting facility operated by Semper Fi Land, Inc. Semper Fi is owned and operated by Robert Velazquez. The compost facility will be developed in accordance to Title 35 Illinois Administrative Code 830 and other Federal, State, and Local rules and regulations. The Site is currently utilized as a residential dwelling and agricultural land.

Natural Resource Review Results

Consultation for Endangered Species Protection and Natural Areas Preservation (Part 1075)

The Illinois Natural Heritage Database contains no record of State-listed threatened or endangered species, Illinois Natural Area Inventory sites, dedicated Illinois Nature Preserves, or registered Land and Water Reserves in the vicinity of the project location.

Consultation is terminated. This consultation is valid for two years unless new information becomes available that was not previously considered; the proposed action is modified; or additional species, essential habitat, or Natural Areas are identified in the vicinity. If the project has not been implemented within two years of the date of this letter, or any of the above listed conditions develop, a new consultation is necessary. Termination does not imply IDNR's authorization or endorsement.

Location

The applicant is responsible for the accuracy of the location submitted for the project.

County: Kendall

Township, Range, Section:

37N, 7E, 10

37N, 7E, 15



IL Department of Natural Resources

Contact

Keith Shank
217-785-5500
Division of Ecosystems & Environment

Government Jurisdiction

Kendall County
Brian Holdiman
111 West Fox Street Room 203
Yorkville, Illinois 60560

Disclaimer

The Illinois Natural Heritage Database cannot provide a conclusive statement on the presence, absence, or condition of natural resources in Illinois. This review reflects the information existing in the Database at the time of this inquiry, and should not be regarded as a final statement on the site being considered, nor should it be a substitute for detailed site surveys or field surveys required for environmental assessments. If additional protected resources are encountered during the project's implementation, compliance with applicable statutes and regulations is required.

Terms of Use

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1. The IDNR EcoCAT website was developed so that units of local government, state agencies and the public could request information or begin natural resource consultations on-line for the Illinois Endangered Species Protection Act, Illinois Natural Areas Preservation Act, and Illinois Interagency Wetland Policy Act. EcoCAT uses databases, Geographic Information System mapping, and a set of programmed decision rules to determine if proposed actions are in the vicinity of protected natural resources. By indicating your agreement to the Terms of Use for this application, you warrant that you will not use this web site for any other purpose.
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EcoCAT operates on a state of Illinois computer system. We may use software to monitor traffic and to identify unauthorized attempts to upload, download, or change information, to cause harm or otherwise to damage this site. Unauthorized attempts to upload, download, or change information on this server is strictly prohibited by law.

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EcoCAT generates a public record subject to disclosure under the Freedom of Information Act. Otherwise, IDNR uses the information submitted to EcoCAT solely for internal tracking purposes.



EcoCAT Receipt	Project Code 1706246
-----------------------	-----------------------------

APPLICANT	DATE
------------------	-------------

Deigan & Associates
Gary Deigan
28835 N.Herky Drive, Unit 120
Lake Bluff, IL 60044

1/16/2017

DESCRIPTION	FEE	CONVENIENCE FEE	TOTAL PAID
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EcoCAT Consultation	\$ 500.00	\$ 11.75	\$ 511.75
---------------------	-----------	----------	-----------

TOTAL PAID \$ 511.75

Illinois Department of Natural Resources
One Natural Resources Way
Springfield, IL 62702
217-785-5500
dnr.ecocat@illinois.gov



Deigan & Associates, LLC
Environmental Consultants

Special Use Findings of Fact

Special Use Application – Sempre Fi Land Inc.
1996 Cannonball Trail, Bristol, Kendall County, Illinois

Please fill out the following findings of fact to the best of your capabilities. §13.08.J of the Zoning Ordinance outlines findings that the Hearing Officer shall consider in rendering a decision, but is not required to make an affirmative finding on all items in order to grant a **special use**. They are as follows:

That the establishment, maintenance, and operation of the special use will not be detrimental to, or endanger, the public health, safety, morals, comfort, or general welfare.

The facility will be constructed and operated in accordance with all Kendall County ordinances and Illinois EPA permits/regulations and will not be detrimental or endanger the public health, safety, morals, comfort, or general welfare.

That the special use will not be substantially injurious to the use and enjoyment of other properties in the immediate vicinity for the purposes already permitted, nor substantially diminish and impair property values within the neighborhood. The Zoning classification of property within the general area of the property in question shall be considered in determining consistency with this standard. The proposed use shall make adequate provisions for appropriate buffers, landscaping, fencing, lighting, building materials, open space and other improvements necessary to insure that the proposed use does not adversely impact adjacent uses and is compatible with the surrounding area and/or the County as a whole.

Property surrounding the Site is predominantly zoned agricultural land. The petitioners propose using the property as a compost business which is compatible with agricultural farming.

That adequate utilities, access roads and points of ingress and egress, drainage, and/or other necessary facilities have been or are being provided.

The proposed compost facility has adequate access from Cannonball Trail. The petitioners will submit a Stormwater Submittal in accordance with Article 5, Table 502 of the Countywide Stormwater Ordinance for review and approval prior to construction.

That the special use shall in all other respects conform to the applicable regulations of the district in which it is located, except as such regulations may in each instance be modified by the County Board pursuant to the recommendation of the Hearing Officer.

The proposed Special Use will allow for the existing permitted landscaping operation to effectively manage landscape waste. Petitioners have provided a construction and operating plan that conforms to the applicable regulations of the A-1 District.

That the special use is consistent with the purpose and objectives of the Land Resource Management Plan and other adopted County or municipal plans and policies.

This Special Use is consistent with the LRMP in providing an essential service to the surrounding land use categories contemplated by the Future Land Use Plan. The agricultural nature of this facility is consistent with the overall character of the area.

Attachment 6- Application Addendum



Deigan & Associates, LLC
Environmental Consultants

28835 N Herky Dr. Unit 120

Lake Bluff, Illinois 60044

Phone 847.578.5000

Fax 847.549.3242

www.deiganassociates.com

April 17, 2017

Matthew H. Asselmeier, AICP
Senior Planner
Kendall County Planning, Building & Zoning
111 West Fox Street
Yorkville, IL 60560-1498

Re: Addendum to Special Use Permit Application
Semper Fi Land Inc.
1996 Cannonball Trail
Bristol, Kendall County, Illinois 60512

Dear Mr. Asselmeier:

Enclosed are revised Plat of Survey and Site Plan for the Special Use Permit application to develop a landscape waste compost facility for Semper Fi Land, Inc. located at 1996 Cannonball Trail in Bristol, Kendall County, Illinois. These drawings replace Figures 1 and 3 in our original submittal. In addition, we have included a Stormwater Submittal of which the Plat of Survey and Site Plan are components.

Please contact the undersigned with questions.

Sincerely,

Deigan & Associates, LLC

[REDACTED]

Gary J. Deigan
Principal

[REDACTED]

Steven Schilling, P.E.
Sr. Project Manager/Sr. Engineer

Sustainable Environmental Solutions

www.deiganassociates.com

Addendum to Application for a Special Use Permit



Facility Location:
1996 Cannonball Trail
Bristol, Kendall County, Illinois 60512

April 17, 2017

Submitted to:
Kendall County Planning,
Building & Zoning Department

Prepared by:



Deigan & Associates, LLC
Environmental Consultants

28835 N Herky Dr. Unit 120
Lake Bluff, Illinois 60044

Phone 847.578.5000

Fax 847.549.3242

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Sustainable Environmental Solutions

www.deiganassociates.com

Addendum Contents

Supplemental Narrative Text – Stormwater Submittal

- Figure 1 – Zoning Plat for Special Use Permit (1-24”x36” plus 15-11”x17” Copies)
- Figure 3 – Site Operations Layout (1-24”x36” plus 15-11”x17” Copies)
- Figure 4 – ISGS Illinois Water Well Map
- Figure 5 – FEMA Flood Insurance Map
- Figure 6 – Settling Basin Detail

Stormwater Submittal

Applicant Identification and Location Information

The Kendall County Stormwater Application has been prepared for the development of a Compost Facility for the property located at 1996 Cannonball Trail in Bristol, Kendall County, Illinois (the “Site”), depicted in Figure 1 (the Site Map), as a landscape waste composting facility operated by Semper Fi Land, Inc. (Semper Fi). Semper Fi is owned and operated by Robert Velazquez.

The compost facility will be developed in accordance to Title 35 Illinois Administrative Code 830 and other Federal, State, and Local rules and regulations. The Site is currently utilized as a residential dwelling and agricultural land. Surrounding land uses include both residential and agricultural. According to the Kendall County Geographic Information Systems (GIS) Online Mapper, the Site is zoned agricultural – special use (A1-SU).

Immediately adjoining land uses relative to the Site include:

- North—Cannonball Trail followed by cultivated agricultural land.
- East— Cultivated agricultural land.
- West—Cannonball Trail followed by cultivated agricultural land.
- South—Cultivated agricultural land followed by residential use.

Logistics and Operation

The facility will operate as a composting facility that will utilize only landscape waste including yard waste and other woody material for compost material. Organic waste will not be received or processed at the facility. Approximately 70% of the landscape waste proposed to be received by the facility includes wood material (wood chips, branches and logs) and the other 30% of the material will be yard waste (compost) including leaves, grass clippings and small branches.

Landscape waste processed at the facility is delivered by Semper Fi trucks, other landscape waste contractors, or homeowners who have generated landscape waste. The facility will not accept organic waste. The estimated amount of landscape waste to be received by the facility ranges between 100 and 150 yards per day. The maximum the facility anticipates receiving in a day is 250 yards. Business hours for the landscape waste composting facility will be 7:00 a.m. to 3:00 p.m. Monday through Friday. The facility will be closed on Saturday and Sunday.

The material processed at the Site will consist of approximately 85% mulch and 15% compost. The landscape waste brought to the facility will be sorted into material requiring

further processing. The composting operation on-site will be a large-scale composting business, utilizing windrow composting methods to produce compost material. A mixture of composting ingredients will be placed in long, narrow piles. The initial step in constructing the compost pile will be to grind and shred ingredients using an on-site grinder. The grinder will only be operated during the Site operating hours mentioned above. Grinding ingredients also reduces the particle size which increases temperature and thus speeds up the composting process. Materials will then be mixed and the windrow piles will be constructed. The dimensions of the windrows will be approximately 13 feet high by 19 feet wide, and 250 linear feet. A tracked skid-steer and a three-yard wheel loader will be utilized to load the windrow piles. These machines will also be used to turn the windrow piles to redistribute the heat and also aerate the compost, aiding in the decomposition process.

Staging areas on-site will be adequate in size and design to facilitate the unloading of landscape waste from delivery vehicles. The southeast portion of the Site operations area will be utilized for vehicle delivery and turnaround, staging of unprocessed materials (drop-off), tub grinder operations, and stockpiled compost material. The processing and staging areas on-site comprise approximately 1.2 acres.

Stormwater Runoff Management

Stormwater and landscape waste leachate controls as required pursuant to 35 IAC 830.204 and the Kendall County Stormwater Ordinance. Stormwater or other water which comes into contact with landscape waste will be considered landscape waste leachate and will be collected and reused in the process, properly disposed of off-site, or treated as necessary prior to discharge off-site. Stormwater that comes in contact with the site will be collected in the adjacent bioswales within the Site operations area and the filtered water will be collected in the onsite operations settling basin. Further detail detailed design measures are discussed **Section B** and depicted in **Figure 3**. Design measures will prevent ponding of landscape waste leachate on-site.

Additionally, soil surfaces will not come into contact with the compost piles, as impervious surfaces will be present (depicted in **Figure 3**). Thus, the compost material will remain in aerobic conditions and drain into the onsite bioswale.

A. Hydrology of the Compositing Facility

According to the Illinois State Geological Survey (ISGS) Illinois Water Well (ILWATER) Interactive Online Map, the nearest well (API 120932485100) is located approximately 585 feet to the west-southwest of the Site. The ISGS Illinois Water Well Map is included as **Figure 4**.

According to the Federal Emergency Management Agency (FEMA) Flood Insurance Rate Map (FIRM) Number 17093C0035H, the Site is located outside the boundary of the 10-year and 100-year floodplain (depicted in **Figure 5**).

The design of the facility will prevent any compost material from being placed within five feet of the water table pursuant to 35 IAC 830.203(a)(3). Published groundwater data (obtained from the ISGS ILWATER Interactive Online Map) shows that the static groundwater level at the nearest private water well located approximately 585 feet to the west of the Site (discussed above) is approximately 19 feet below ground surface (bgs). Further, the Site elevation at this well is noted as 669 feet above mean sea level (amsl). Due to the relatively flat topography and no major water body (lake or ocean) nearby, it is likely that groundwater elevation at the Site is similar to that of the nearby well. Thus, it is inferred that due to the location of the water table in relation to site elevation, compost material would not be placed within five feet of the water table.

According to 35 IAC Part 830, Standards for Compost Facilities, soil on-site must be “relatively impermeable soil”, meaning soil located above the water table that has a hydraulic conductivity no greater than 1×10^{-5} centimeters per second (cm/sec) for a thickness of at least one foot. Test results from the permeability tests reveal a hydraulic conductivity of 1.33 cm/sec. During the sub-surface investigation on-site on September 2, 2016, a soil boring was advanced to 12 feet below ground surface (bgs). The water table was not encountered during this investigation, thus indicating that the water table is located greater than 12 feet bgs at the Site.

To ensure any stormwater that comes in contact with the Site is properly managed, an impermeable surface will be constructed within the entire composting area. The composting area surface will be constructed of impermeable surfaces including asphalt, concrete, compacted asphalt grindings, or another impermeable surface. The impermeable surface will be sloped approximately 1% to 2% from west to east towards the bioswale that will collect and filter the stormwater. Impermeable surfaces will be inspected frequently to ensure compliance. Measures will be taken to correct any impermeable surface imperfections that would otherwise allow infiltration to the native soils below.

Detailed below is the current stormwater runoff rate:

$$Q \text{ (Peak Runoff Rate)} \\ = C \text{ (Runoff Coefficient)} i \text{ (rainfall intensity)} A \text{ (Drainage Area)}$$

$$C = 0.2$$

$$i_{2 \text{ yr. } 24 \text{ hr.}} = 3.04 \frac{\text{inches}}{24 - \text{hour}}$$

$$i_{10 \text{ yr. } 24 \text{ hr.}} = 4.47 \frac{\text{inches}}{24 - \text{hour}}$$

$$A = 5.4 \text{ acres}$$

$$Q_{2 \text{ yr.}} = 3.23 \text{ cubic feet per second (cfs)}$$

$$Q_{10 \text{ yr.}} = 4.86 \text{ cfs}$$

Using the American Society of Civil Engineers Coefficient Table, a runoff coefficient of 0.2 was selected based on the current Site conditions being comprised of majority residential area with vegetation and portions being agricultural lands with crop coverage. Using the duration of 24-hours, the rainfall intensity constants for a 2-year storm and 10-year storm were selected from the Bulletin 70 Rainfall Distribution and Hydroclimatic Characteristics of Heavy Rainstorms in Illinois provided by Illinois State Water Survey.

B. Stormwater and Landscape Waste Leachate Controls

The Site composting operations only utilize the eastern portion of the property and a driveway connecting Cannonball Trail to the operations area; therefore, the western half of the property will continue to drain as it did prior to this development.

Material staged outdoors will be conducted on an improved surface consisting of concrete, asphalt, or compacted asphalt grindings. The Site will be sloped to allow drainage from the composting operations to the bioswale system discussed below. Materials to be staged outdoors will consist of mulch and compost material. Runoff that contacts material and equipment stored outside is managed through the constructed bioswale and settling basins.

Drainage within the operations area of the property will be directed to a 250' bioswale that will collect, infiltrate, and filter runoff from the site. The bioswale will include native plantings that aid in the filtration process through microbial activity removing any contaminants generated from the composting process. During large storm events, water will be diverted to an under-drain system below the bioswale to collect water and transport to the settling basin as depicted on **Figure 3**. The settling basin will allow for additional storage, infiltration and settlement/treatment of stormwater runoff that is not treated from the bioswale. Excess water from the settling basin will be utilized for dust control operations as well as composting moisture. This allows for a 100% recycling operation of stormwater.

A. Site Development Runoff Calculations

The Site development will consist of a 0.3 acre impervious asphalt pad. To be conservative, calculations have been based on 1.2-acres of impervious surface for the composting area. Detailed below is the stormwater runoff rate with the impervious surface used in the composting area.

$$Q \text{ (Peak Runoff Rate)} \\ = C(\text{Runoff Coefficient}) i \text{ (rainfall intensity)} A \text{ (Drainage Area)}$$

$$C = 0.7$$

$$i_{2 \text{ yr. } 24 \text{ hr.}} = 3.04 \frac{\text{inches}}{24 \text{ - hour}}$$

$$i_{10 \text{ yr. } 24 \text{ hr.}} = 4.47 \frac{\text{inches}}{24 \text{ - hour}}$$

$$A = 1.2 \text{ acres}$$

$$Q_{2 \text{ yr.}} = 2.51 \text{ cubic feet per second (cfs)}$$

$$Q_{10 \text{ yr.}} = 3.78 \text{ cfs}$$

Using the American Society of Civil Engineers Coefficient Table, a runoff coefficient of 0.7 was selected based on the Site being developed with an impervious surface. The Site is relatively flat, with an approximated drainage slope of 0.3%. Using the duration of 24-hours, the rainfall intensity constants for a 2-year storm and 10-year storm were selected from the Bulletin 70 Rainfall Distribution and Hydroclimatic Characteristics of Heavy Rainstorms in Illinois provided by Illinois State Water Survey.

B. Bioswale Sizing

The bioswale has been designed to infiltrate 50% of the largest designed storm event. Stormwater that falls onto the impervious site operations area will be directed to the 250' linear bioswale located along the east portion of the property. The impervious surface within the operations area will slope approximately 1% to 2% from west to east to allow for drainage into the bioswale and eliminate any non-stormwater discharge from the Site. The bioswale will be 250' in length, 5' in width, and a minimum 12" in depth. The bioswale will be backfilled with the permeable soils and planted with native species to promote infiltration. Test results from a Site permeability tests reveal a hydraulic conductivity of 1.33 cm/sec. Side slopes within the bioswale will be no greater than 3:1. Native plantings will include grasses and a couple of varieties of flower plants for a visual aesthetics. The

bioswale will be sloped approximately 0.3% to 0.5% longitudinally to allow for flow of excess filtered stormwater to the settling basin.

To accommodate large storm events a perforated pipe will be placed approximately 12” longitudinal below ground surface that will drain into a sedimentation basin discussed in the following Section. In the event the bioswale becomes inundated with stormwater, water will move to a 12” diameter perforated pipe embedded in open graded aggregate wrapped in filter fabric to transport to the settling basin. This pipe will be flat in order to encourage infiltration for stormwater cleansing before leaving the pipe to the settling basin.

$$d \text{ (pipe diameter)} = \sqrt{\frac{4 Q_{10 \text{ yr.}}}{\pi v}}$$

$$\text{Assumed velocity (v)} = 5 \text{ ft/s}$$

$$d \text{ (pipe diameter)} = 11.8 \text{ inches}$$

C. Settling Basin Sizing

Stormwater that is not able to be infiltrated through the natural soils will flow through the 12” diameter perforated pipe that is sloped longitudinally 0.5% to 2.0% towards the settling basin.

$$\text{Volume Storage} = i_{10 \text{ yr } 24 \text{ hr}} * C_{\text{Developed}} * A_{\text{Developed}}$$

$$\text{Volume Storage} = 4.47 \text{ in} * \frac{1 \text{ ft}}{12 \text{ in}} * 0.7 * 1.2 \text{ acres} * \frac{43560 \text{ ft}^2}{1 \text{ ac}}$$

$$\text{Volume Storage Needed} = 13,629.9 \text{ ft}^3$$

The bioswale provides approximately 1,650 ft³ of stormwater storage. The bioswale has been designed to infiltrate 50% of the largest designed storm event. The volume of stormwater storage required for a settling basin, if 50% of the stormwater is infiltrated in the bioswale and 1,650 ft³ of stormwater can be stored is 5,164 ft³. A conservative approach is to allow for excess storage in the basin.

$$\text{Basin Size (truncated right pyramid)} = \\ 54 \text{ ft (l)} \text{ by } 40 \text{ ft (w)} \text{ by } 5 \text{ ft (d)} = 5,250 \text{ ft}^3$$

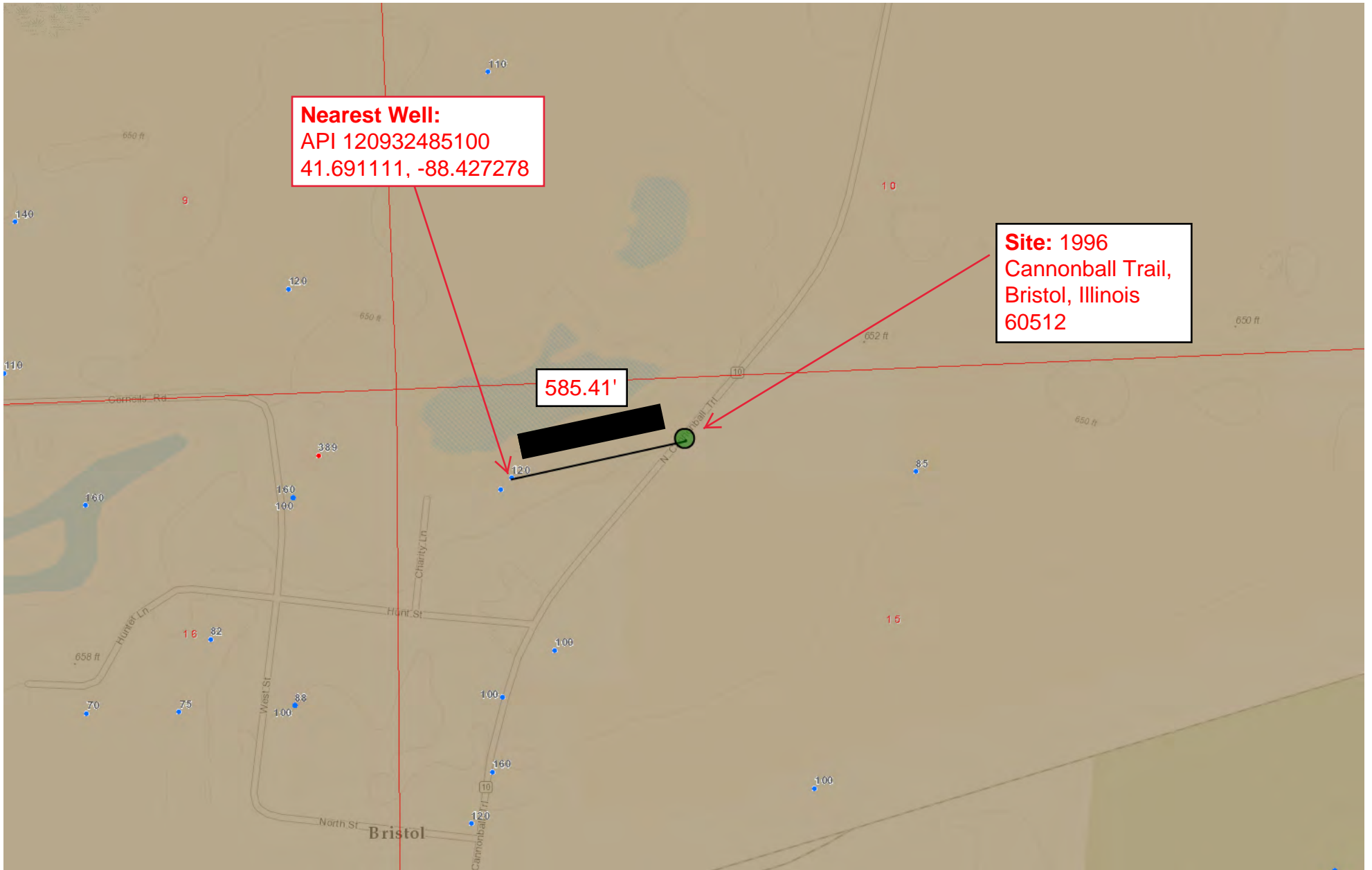
Semper Fi Land, Inc.
Bristol, Kendall County, Illinois
Application for Permit
REV – 0
April 17, 2017



The settling basin will allow for additional settlement/treatment of stormwater runoff that is not treated from the bioswale. Excess water from the settling basin will be utilized for dust control operations as well as composting moisture. This allows for a 100% recycling operation of stormwater. A detail of the settling basin layout and storage calculation is shown on **Figure 6**.

C. Additional Permitting Requirements

Construction of the facility will require a NPDES Permit for Construction Site Activities from the Illinois Environmental Protection Agency. A Notice of Intent for General Permit will be filed no later than 30 days prior to commencement of construction and will include a Storm Water Pollution Prevention Plan (SWPPP).



**ILLINOIS STATE
 GEOLOGICAL SURVEY**
 PRAIRIE RESEARCH INSTITUTE

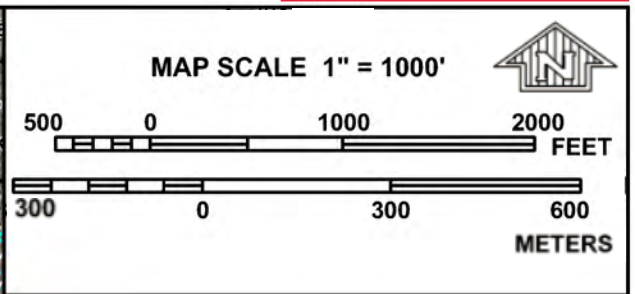
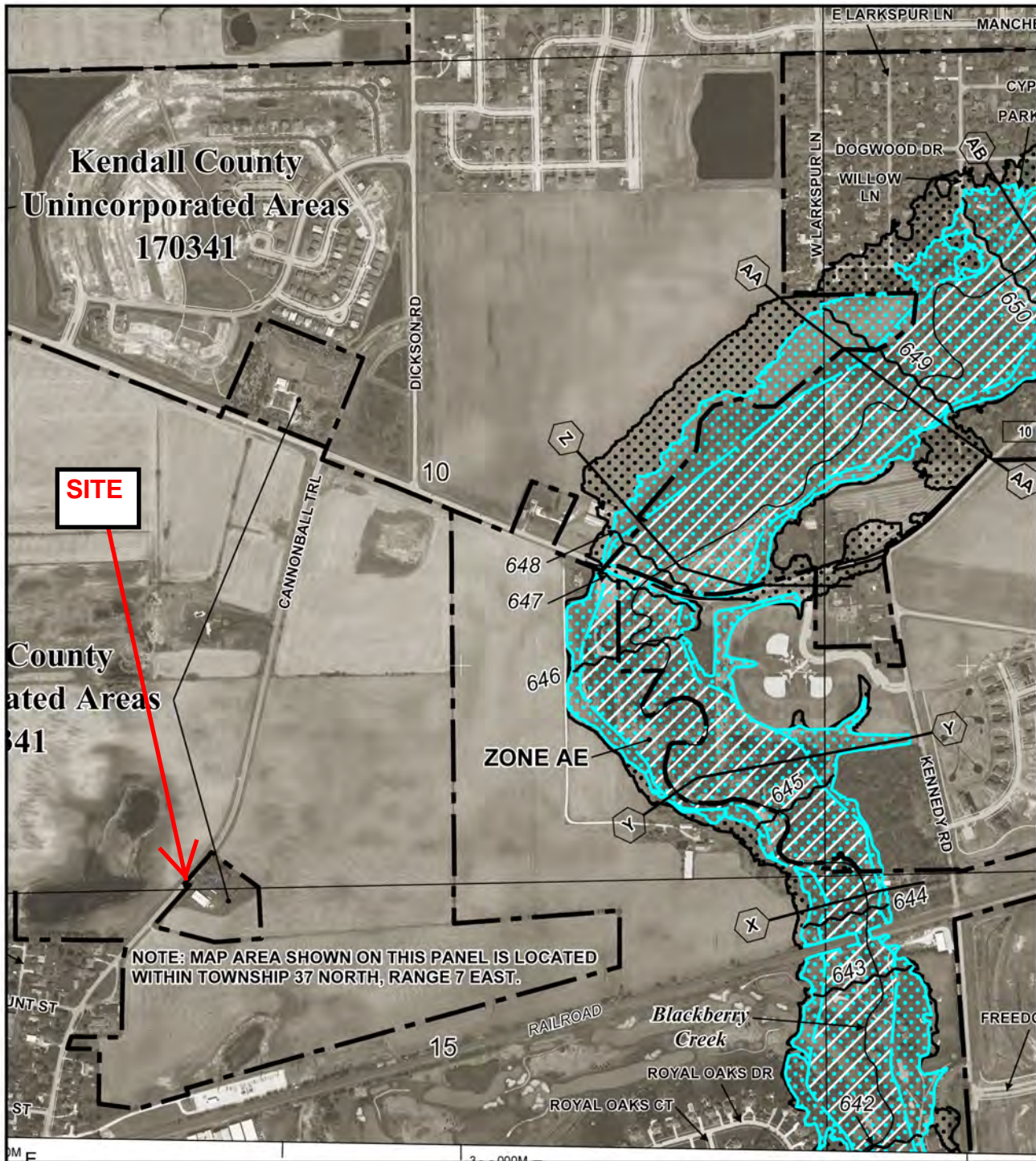
1996 Cannonball Trail, Bristol, Illinois

Date: Aug 12, 2016

FIGURE 4



FIGURE 5



NATIONAL FLOOD INSURANCE PROGRAM

PANEL 0035H

FIRM
FLOOD INSURANCE RATE MAP
KENDALL COUNTY,
ILLINOIS
AND INCORPORATED AREAS

PANEL 35 OF 225
(SEE MAP INDEX FOR FIRM PANEL LAYOUT)

CONTAINS:

COMMUNITY	NUMBER	PANEL	SUFFIX
KENDALL COUNTY	170341	0035	H
MONTGOMERY, VILLAGE OF	170328	0035	H
OSWEGO, VILLAGE OF	170345	0035	H
YORKVILLE, CITY OF	170347	0035	H

Notice to User: The **Map Number** shown below should be used when placing map orders; the **Community Number** shown above should be used on insurance applications for the subject community.

MAP NUMBER
17093C0035H
MAP REVISED
JANUARY 8, 2014

Federal Emergency Management Agency

NOTE: MAP AREA SHOWN ON THIS PANEL IS LOCATED WITHIN TOWNSHIP 37 NORTH, RANGE 7 EAST.

This is an official copy of a portion of the above referenced flood map. It was extracted using F-MIT On-Line. This map does not reflect changes or amendments which may have been made subsequent to the date on the title block. For the latest product information about National Flood Insurance Program flood maps check the FEMA Flood Map Store at www.msc.fema.gov



BY SAS	DATE 2-17-2017	SUBJECT STORMWATER SETTLING BASIN	SHEET NO. 1 OF 1
CHECKED BY	DATE	SEMPRE FI COMPOSTING	PROJECT NO. 16-082

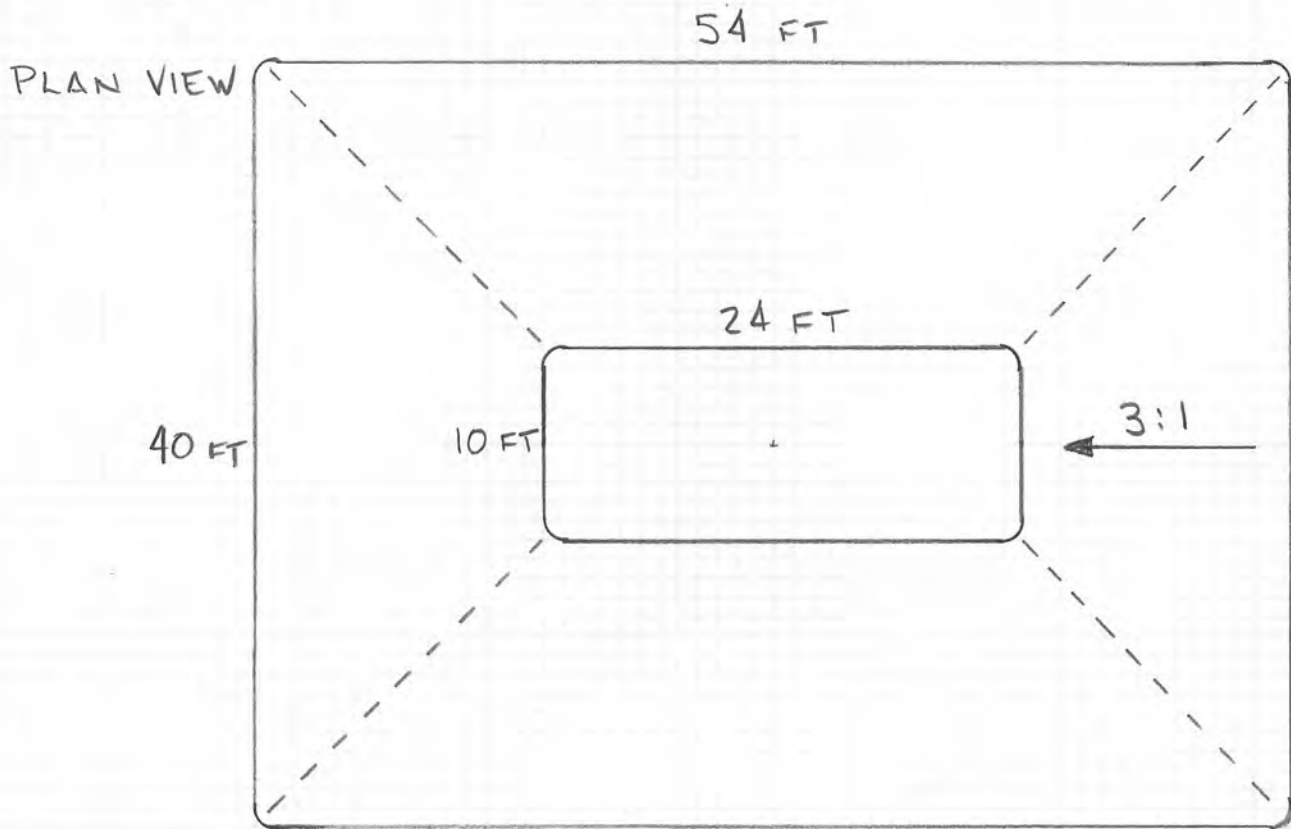
SETTLING BASIN (TRUNCATED RIGHT PYRAMID)
3:1 MAXIMUM SIDE SLOPES

5,200 FT³ STORAGE NEEDED

$$V = \frac{1}{6} \times H \times (B + (a+c) \times (b+d) + T)$$

$$= \frac{1}{6} \times 5 \times [(54 \times 40) + (54+24) \times (40+10) + (24 \times 10)] \quad * \text{ ALL IN FT}$$

$$= 5,250 \text{ FT}^3$$



ELEVATION



Bioswale

Definition

- Vegetated swale system with an infiltration trench designed to retain and temporarily store stormwater. Bioswales are planted with native grasses and forbs that enhance filtration, cooling, and cleansing of water in order to improve water quality and prevent sealing of subsoils.



© Conservation Design Forum

bioswale in a parking lot (Tellabs, Naperville, IL)
(Conservation Design Forum)

Applicability

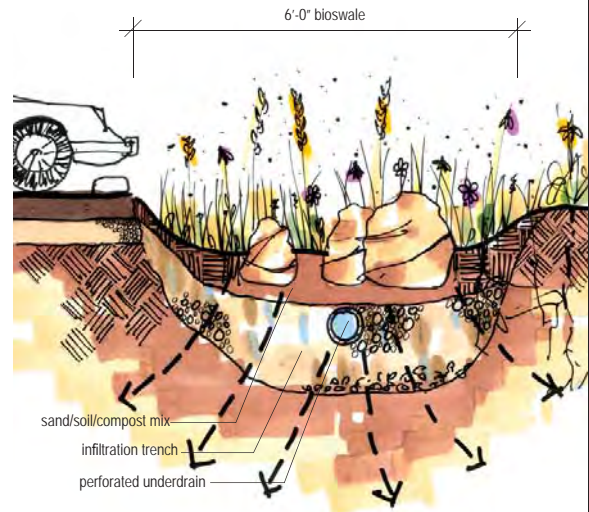
- Scale
 - Watershed/County
 - Town/Village
 - Neighborhood
 - Lot
- Applications
 - Retrofit
 - Preventive
 - Roofs
 - Parking Lots
 - Runoff Rate Control
 - Nutrient Control
 - New
 - Remedial
 - Streets
 - Lawn
 - Runoff Volume Control
 - BOD Control
 - Ongoing/ Maintenance
 - Driveways
 - Sensitive Areas
 - Physical Habitat Preservation/Creation
 - Sediment Pollution Control
 - Other Pollutant Control
- Effectiveness

Benefits

- Reduces impervious runoff volumes and rates.
- Recharges groundwater and sustains base flows.
- Reduces sediment and nutrient runoff.
- Can reduce detention needs.

Design Considerations

- Bioswales must be sized and designed to account for drainage area and soils.
- Filtration benefits can be improved by planting native deep-rooted vegetation.
- Infiltration storage should be designed to drain in 24 hours to prevent sealing of subsoils.
- Topsoil should be amended with compost and/or sand to improve organic content for filtering and to achieve adequate infiltration rates.
- Bioswales should be protected from construction site runoff to prevent sealing of topsoil and/or subsoils.
- Direct entry of stormwater runoff into infiltration trench should be prevented to preserve groundwater quality and to prevent sealing of subsoils.
- Underdrain should be sufficiently low in the trench to provide adequate drainage of aggregate base of adjacent paved areas but sufficiently high to provide infiltration storage.



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cross section of bioswale (Conservation Design Forum)

Attachment 7-Entrance
from Cannonball

**Proposed
Gravel Drive**



Attachment 8-
Looking East

Approximate
Location of
Operations



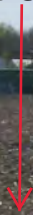
Attachment 9-Looking East at
Southeast Corner of Grass

Approximate Location
of Operations



Attachment 10-
Looking Southeast

Approximate
Location of
Operations



**Attachment 11-
Looking East from
Driveway**

Approximate
Location of
Operations



Attachment 12-Looking South from Driveway



Gravel Driveway

Gravel Driveway

Attachment 13-Looking North from Driveway



State of Illinois
County of Kendall

Zoning Petition
#12-32

ORDINANCE NUMBER 2012 - 23

GRANTING A SPECIAL USE FOR
1996 CANNONBALL TRAIL
SEMPER FI YARD SERVICES INC.

WHEREAS, Semper Fi Yard Services Inc. has filed a petition for a Special Use within the A-1 Agricultural Zoning District for a 5.2 acre property located on the east side of Cannonball Trail about 0.5 miles south of Galena Road, commonly known as 1996 Cannonball Trail (PIN# 02-15-101-003), in Bristol Township, and;

WHEREAS, said petition is to allow the operation of a landscape business and live in the house; and

WHEREAS, said property is currently zoned A-1 Agricultural; and

WHEREAS, said property is legally described as:

THAT PART OF THE SOUTHWEST QUARTER OF SECTION 10, TOWNSHIP 37 NORTH, RANGE 7 EAST OF THE THIRD PRINCIPAL MERIDIAN AND THAT PART OF THE NORTHWEST QUARTER OF SECTION 15 , TOWNSHIP AND RANGE AFORESAID DESCRIBED AS FOLLOWS: COMMENCING AT THE SOUTHWEST CORNER OF SAID SOUTHWEST QUARTER, THENCE SOUTHEASTERLY ALONG A LINE WHICH IF EXTENDED WOULD INTERSECT THE NORTHERLY LINE OF THE FORMER LANDS OF CHARLES HUNT AT A POINT OF SAID NORTHERLY LINE WHICH IS 1551.80 FEET WESTERLY OF THE WEST LINE OF A TRACT OF LAND CONVEYED BY NELSON C. RIDER TO JERRY W. RIDER BY A WARRANTY DEED RECORDED NOVEMBER 29, 1911 IN BOOK 66 DEEDS, PAGE 25 AND DEPICTED IN THE PLAT BOOK 1 AT PAGE 62, A DISTANCE OF 938.61 FEET TO THE CENTER LINE OF CANNONBALL TRAIL, FOR A POINT OF BEGINNING , THENCE SOUTHEASTERLY ALONG THE LAST DESCRIBED COURSE EXTENDED, 447.72 FEET TO SAID NORTHERLY LINE; THENCE ESATERLY ALONG SAID NOTEHRLY LINE, WHICH FORMS AN ANGEL OF 160°49' 30" WITH THE LAST DESCRIBED COURSE, MEASURED CLOCKWISE THEREFROM, 296.83 FET; THENCE NORTHERLY AT RIGHT ANGLES TO THE LAST DESCRIBED COURSE, 309.14 FEET; THENCE NORTHWESTERLY ALONG A LINE WHICH FORMS AN ANGLE OF 132°19'35" WITH THE LAST DESCRIBED COURSE, MEASURED CLOCKWISE THEREFROM, 386.56 FEET TO THE CENTER LINE OF CANNONBALL TRAIL; THENCE SOUTHWESTERLY ALONG SAID CENTER LINE TO THE POINT OF BEGINNING IN BRISTOL TOWNSHIP KENDALL COUNTY ILLINOIS AND CONTAINING 5.727 ACRES.

WHEREAS, all procedures required by the Kendall County Zoning Ordinance were followed including notice for public hearing, preparation of the findings of fact in accordance with Section 13.07.J of the Zoning Ordinance, and recommendation for approval by the Special Use Hearing Officer on October 1, 2012; and

WHEREAS, the findings of fact were approved as follows:

That the establishment, maintenance, and operation of the special use will not be detrimental to, or endanger, the public health, safety, morals, comfort, or general welfare. All equipment will be stored inside the structures and shall not be detrimental or endanger the public health, safety, morals,

comfort or general welfare.

*That the special use will not be injurious to the use and enjoyment of other properties in the immediate vicinity for the purposes already permitted, nor substantially diminish and impair property values within the neighborhood. The Zoning classification of property within the general area of the property in question shall be considered in determining consistency with this standard. The proposed use shall make adequate provisions for appropriate buffers, landscaping, fencing, lighting, building materials, open space and other improvements necessary to insure that the proposed use does not adversely impact adjacent uses and is compatible with the surrounding area and/or the County as a whole. **All property surrounding this piece of land is farm land. The petitioners will still be using the property as a landscape business which is compatible with agricultural farming. The zoning classification within the general area is still agricultural.***

*That the establishment of the special use will not impede the normal and orderly development and improvement of surrounding property for uses permitted in the district. **The special use permit requested is consistent with the existing zoning and uses within the district.***

*That adequate utilities, access roads, drainage, and/or other necessary facilities have been or are being provided. **All the utilities, access roads and drainage already exist for this site.***

*That adequate measures have been or will be taken to provide ingress and egress so designed as to minimize traffic congestion in the public streets. **The site currently has two entrances at the north and south end of the property. The proposed special use will add minimal additional traffic to the site and will not cause congestion on Cannonball Trail.***

*That the special use shall in all other respects conform to the applicable regulations of the district in which it is located, except as such regulations may in each instance be modified by the County Board pursuant to the recommendation of the Hearing Officer. **The building already exists and the petitioner is not requesting any variances.***

*That the special use is consistent with the spirit of the Land Resource Management Plan and other adopted County or municipal plans and policies. **This special use permit will be consistent with the County's LRMP and the City of Yorkville's future plan which calls for the property to be residential. The petitioners will live in the home and a landscape business will have the same equipment and hours of operation as the surrounding farms.***

WHEREAS, the Kendall County Board has considered the findings and recommendation of the Hearing Officer and finds that said petition is in conformance with the provisions and intent of the Kendall County Zoning Ordinance; and

WHEREAS, this special use shall be treated as a covenant running with the land and is binding on the successors, heirs, and assigns as to the same special use conducted on the property; and

NOW, THEREFORE, BE IT ORDAINED, that the Kendall County Board hereby grants approval of a special use zoning permit to operate a landscape business in accordance to the submitted Site Plan included as "Exhibit A" attached hereto and incorporated herein subject to the following conditions:

1. All equipment must be stored inside buildings at night.

2. Dedication of a 15' trail easement within sixty (60) days of the approval of the special use.
3. Plat of Dedication of 35' of right of way on the northwest side of the property within sixty (60) days of the approval of the special use. Please contact the Highway Department with any questions.
4. The current sign on Route 71 be permitted to be moved to this site and be lit.
5. Any existing or proposed storage of fuel, pesticides or other hazardous materials shall comply with any and all applicable codes and permit requirements including those required by the State Fire Marshall.

Failure to comply with the terms of this ordinance may be cited as a basis for amending or revoking this special use permit.

IN WITNESS OF, this ordinance has been enacted on October 16, 2012.

Attest:



Debbie Gillette
Kendall County Clerk



John Purcell
Kendall County Board Chairman

NORTH

P.I.N. 02-10-

ANCES IN FEET AND DECIMAL PARTS THEREOF. NO
INS TO BE ASSUMED FROM SCALING.

: YOUR DESCRIPTION AND SITE MARKINGS WITH THIS PLAT
ONCE REPORT ANY DISCREPANCIES WHICH YOU MAY FIND.

USE BUILDING LINE RESTRICTIONS OR EASEMENTS SHOWN ON
DED SUBDIVISION PLAT ARE SHOWN HEREON UNLESS THE
IONS ORDERED TO BE SURVEYED CONTAINS A PROPER
TION OF THE REQUIRED BUILDING LINES OR EASEMENTS.

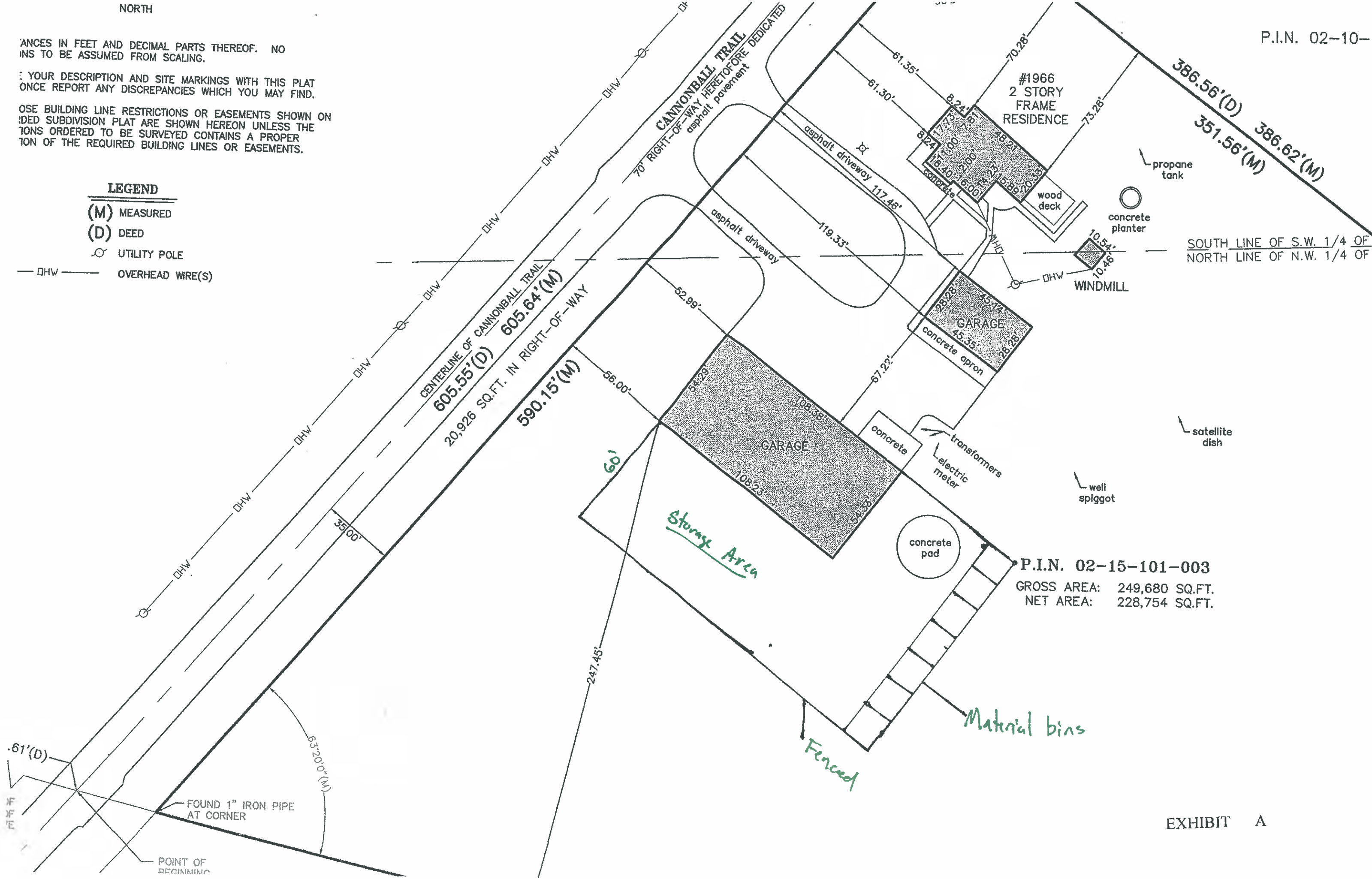
LEGEND

(M) MEASURED

(D) DEED

○ UTILITY POLE

— DHW — OVERHEAD WIRE(S)



386.56'(D) 386.62'(M)
351.56'(M)

SOUTH LINE OF S.W. 1/4 OF
NORTH LINE OF N.W. 1/4 OF

P.I.N. 02-15-101-003
GROSS AREA: 249,680 SQ.FT.
NET AREA: 228,754 SQ.FT.

EXHIBIT A