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**KENDALL COUNTY  
REGIONAL PLANNING COMMISSION**  
111 West Fox Street • Rooms 209 and 210 • Yorkville, IL • 60560  
**AGENDA**

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Wednesday, June 24, 2020 – 7:00 p.m.

CALL TO ORDER

ROLL CALL: Bill Ashton (Chair), Roger Bledsoe, Tom Casey, Dave Hamman, Karin McCarthy-Lange, Larry Nelson (Secretary), Ruben Rodriguez (Vice-Chairman), Bob Stewart, Claire Wilson, and One Vacancy

APPROVAL OF AGENDA

APPROVAL OF MINUTES      Approval of Minutes from February 26, 2020 Meeting (Pages 3-7)

PETITIONS

1.            **19 – 39 – John Dollinger on Behalf of Hansel Ridge, LLC (Current Owner), Jason Shelley on Behalf of Goprobball, LLC (Prospective Buyer), and James and Denise Maffeo (Prospective Buyer) (Pages 8-132)**  
Request:      Map Amendment Rezoning the Subject Property from A-1 Agricultural to B-3 Highway Business District and Special Use Permits for Indoor and Outdoor Storage and to B-2 General Business District  
PIN:            Northeastern 8.69 +/- Acres of 09-13-200-002  
Location:      195 Route 52, Seward Township  
Purpose:        Petitioners Would Like to Operate an Indoor and Outdoor Storage Facility on the Property and Market the East Side of the Property for Additional Business Uses.

CITIZENS TO BE HEARD/PUBLIC COMMENT

NEW BUSINESS

OLD BUSINESS

1.            Announcement of June 29, 2020, Meeting with Other Advisory Boards Regarding the Zoning Ordinance Project (Page 133)

REVIEW OF PETITIONS THAT WENT TO COUNTY BOARD

1.            Petition 19-34 Outdoor Storage at 7821 Route 71
2.            Petition 19-37 LRMP Amendment at County Line and Route 52 in Seward Township
3.            Petition 19-38 Map Amendment at County Line and Route 52 in Seward Township for the Indoor Athletic Facility
4.            Petition 19-41 Text Amendment to the Kendall County Zoning Ordinance Pertaining to Citation Authority, Hearing Officer and Fines

OTHER BUSINESS/ANNOUNCEMENTS

ADJOURNMENT      Special Meeting on June 29, 2020; Next Regular Meeting on July 22, 2020

If special accommodations or arrangements are needed to attend this County meeting, please contact the Administration Office at 630-553-4171, a minimum of 24-hours prior to the meeting time.

## Kendall County Regional Planning Commission 6-24-2020 Remote Meeting Attendance



In accordance with the Governor's Executive Order 2020-07, Kendall County Board Chairman Scott Gryder is encouraging social distancing by allowing remote attendance to the Kendall County Regional Planning Commission Meeting scheduled for Wednesday, June 24<sup>th</sup>, 2020, at 7:00 p.m. Instructions for joining the meeting are listed below.

For your safety and others, please attend the meeting by phone or computer, if possible. The County Board Room located on the 2<sup>nd</sup> floor of the County Office Building, 111 W. Fox St, in Yorkville, will have limited seating available. Masks are required when social distancing is not possible. If you plan to attend in person, please follow all social distancing requirements.

If anyone from the public would like to make a comment during the meeting there will be an allotted time on the agenda for public comment, and all of the county board rules of order still apply. We will also accept public comment by emailing: [masselmeier@co.kendall.il.us](mailto:masselmeier@co.kendall.il.us). Members of the public may contact Kendall County PBZ Department prior to the meeting for assistance making public comment at 630-553-4139; email correspondence is preferred.

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### Join Microsoft Teams Meeting

+1 309-248-0701 United States, Rock Island (Toll)

Conference ID: 287 325 516#

[Local numbers](#) | [Reset PIN](#) | [Learn more about Teams](#) | [Meeting options](#)

Kendall County

[Legal](#)

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Kendall County Regional Planning Commission Meeting Information:

<https://www.co.kendall.il.us/transparency/agendas-packets-and-meetings-schedules/planning-building-and-zoning/kcrpc-kendall-county-regional-plan-commission>

For information about how to join a Microsoft Teams meeting, please see the following link.

<https://support.office.com/en-us/article/join-a-meeting-in-teams-1613bb53-f3fa-431e-85a9-d6a91e3468c9>

**KENDALL COUNTY  
REGIONAL PLANNING COMMISSION**

*Kendall County Office Building  
Rooms 209 & 210  
111 W. Fox Street, Yorkville, Illinois*

**Unapproved - Meeting Minutes of February 26, 2020 - 7:00 p.m.**

Chairman Ashton called the meeting to order at 7:02 p.m.

**ROLL CALL**

Members Present: Bill Ashton, Roger Bledsoe, Tom Casey, Dave Hamman, Karin McCarthy-Lange, Larry Nelson, Ruben Rodriguez, Bob Stewart, and Claire Wilson

Members Absent: None

Staff Present: Scott Koeppel, County Administrator

Others Present: None

Chairman Ashton introduced Bob Stewart from Kendall Township.

**APPROVAL OF AGENDA**

Member Wilson made a motion, seconded by Member Bledsoe, to approve the agenda. With a voice vote of nine (9) ayes, the motion carried.

**APPROVAL OF MINUTES**

Member Nelson made a motion, seconded by Member McCarthy-Lange, to approve the minutes of the January 22, 2020, meeting. With a voice vote of nine (9) ayes, the motion carried.

Member Nelson made a motion, seconded by Member McCarthy-Lange, to approve the minutes of the February 1, 2020, Annual Meeting. With a voice vote of nine (9) ayes, the motion carried.

**PETITIONS**

**19-41 Kendall County Planning, Building and Zoning Committee**

Mr. Koeppel summarized the request from Mr. Asselmeier's memo.

For the last several months, the Planning, Building and Zoning Committee has been discussing allowing the Planning, Building and Zoning Department to issue citations in an effort to streamline and increase the time for obtaining compliance for violations to the Zoning Ordinance.

In summary, this proposal does the following:

1. Moves the procedure for handling violations of the signage portion of the Ordinance (Section 12) to the same section as the procedure for handling other violations of the Zoning Ordinance. Violations to the signage portions of the Zoning Ordinance will be treated the same as violations of other portions of the Zoning Ordinance.
2. Establishes the procedures for issuing citations and other remedies of violations to the Zoning Ordinance.
3. Abolishes the Hearing Officer for Zoning Ordinance violations. All citations will be sent to court for hearings.

4. Clarifies the fines the County may pursue in cases of violations.
5. Sets the fine structure for violations of the site plan review portions of the Zoning Ordinance as the same as other violations of the Zoning Ordinance.
6. Moves the procedure for handling violations of the site plan review portions of the Zoning Ordinance to the same section as the procedure for handling other violations of the Zoning Ordinance. Violations to the site plan portions of the Zoning Ordinance will be treated the same as violations of other portions of the Zoning Ordinance.

On October 7, 2019, the Planning, Building and Zoning Committee voted to initiate this text amendment and have the State's Attorney's Office assist in preparing the amendment. On November 12, 2019, the Committee reviewed the changes Staff incorporated based on the State's Attorney's Office's comments and the Committee did not object to the changes to the proposal. The Committee was asked to review retaining the Hearing Officer. At their meeting on January 13, 2020, the Committee chose not to amend the proposal and remove the Hearing Officer.

This proposal was sent to the townships on January 22, 2020. To date, no comments have been received from the townships.

ZPAC reviewed this proposal at their meeting on February 4, 2020. ZPAC recommended approval of the proposal without objection; three (3) members were absent.

The redlined copy of the proposal was provided.

Mr. Koeppel noted that this proposal was similar to a parking ticket. This proposal is similar to the enforcement language in the Junk and Debris Ordinance and Inoperable Vehicle Ordinance. Compliance remains the primary goal.

Member Wilson asked about eliminating the Hearing Officer. Mr. Koeppel said that the County has a low volume of citations and the State's Attorney's Office favors cases going to courts. Municipalities have administrative adjudication because municipalities want control and collect fees. The Hearing Officer could be brought back if the number of cases increased.

Member Nelson asked if the County was in the field looking for violations. Mr. Koeppel responded that the County was complaint driven. However, now, if an inspector sees something while in the field, they can start the citation process. The County will not patrol per se. Member Nelson expressed concerns about selective enforcement.

Member Wilson requested clarification on the notice. Mr. Koeppel said that the party is given time to comply before a court date is set. The goal is resolve the glaring cases.

Member McCarthy-Lange encouraged having a paper trail for complaints. Mr. Koeppel stated the County has an existing complaint process which will remain in place if this proposal is adopted.

Member Wilson asked about the complaint process. Mr. Koeppel responded that someone submits the complaint. The complaint is then investigated. Cases currently go to the Planning, Building and Zoning Committee, which has the discretion for giving someone additional time to remedy a violation. If this proposal is approved, the party would have time to remedy the violation and then would go to court.



Member Nelson asked if devices were installed in County vehicles showing where and when they are going on investigations. Mr. Koepfel responded that GPS devices are not presently installed on or in Planning, Building and Zoning vehicles. Member Nelson suggested that such devices should be installed in the vehicles.

Member Wilson asked if violations go to tenants or to the property owner in the cases where the tenant committed the violation. Mr. Koepfel said the tenant would be notified, if possible. The owner would also get notified. The Planning, Building and Zoning Department would work with people to obtain compliance.

Member Wilson asked about the definition of “served upon”. Mr. Koepfel responded hand delivered.

Member Nelson made a motion, seconded by Member Hamman, that a condition be added that written administrative procedures be established regarding enforcement documentation and processing and that the Department provide quarterly reports to the Regional Planning Commission on the number of violations.

The votes were as follows:

Ayes (8): Ashton, Bledsoe, Casey, Hamman, McCarthy-Lange, Nelson, Rodriguez, and Stewart  
Nays (1): Wilson  
Absent (0): None

Member Wilson voted no because she felt that the proposal contains specific written procedures. Discussion occurred regarding the availability of certain information in complaints.

Member Nelson made a motion, seconded by Member Hamman, to forward the proposal to the Kendall County Zoning Board of Appeals as amended.

The votes were as follows:

Ayes (9): Ashton, Bledsoe, Casey, Hamman, McCarthy-Lange, Nelson, Rodriguez, Stewart, and Wilson  
Nays (0): None  
Absent (0): None

The motion passed. The proposal goes to the Zoning Board of Appeals on March 2, 2020.

### **CITIZENS TO BE HEARD/ PUBLIC COMMENT**

None

### **NEW BUSINESS**

#### **Approval to Initiate Text Amendments to Section 1:00 “Title” of the Kendall County Zoning Ordinance**

Mr. Koepfel summarized the proposal.

Mr. Nelson noted that the goal of the proposal was to have all of the sections in one (1), searchable document.

#### **Approval to Initiate Text Amendments to Section 2:00 “Intent and Purpose” of the Kendall County Zoning Ordinance**

No discussion occurred specifically on this topic.

#### **Approval to Initiate Text Amendments to Section 3:00 “Rules and Definitions” of the Kendall County Zoning Ordinance and Related Appendices**

Member Wilson asked about the purpose of Floor Area Ratio, specifically why grain elevators and petroleum tanks were included in the definition.

Member Casey asked about furriers.

**Approval to Initiate Text Amendments to Section 4:00 “General Provisions” of the Kendall County Zoning Ordinance**

Member Wilson asked about number of buildings in Section 4:10. The Section applies to residential buildings. Discussion occurred about adding a definition of principal building.

Member Nelson made a motion, seconded by Member Hamman, to layover the initiation of the Petitions until March.

With a voice vote of nine (9) ayes, the motion carried.

Further discussion on these matters will occur at the March 25, 2020, Comprehensive Land Plan and Ordinance Committee meeting.

Member Wilson asked if a way existed to get rid of some of the regulations. The response was some of the regulations were proposed for removal.

**OLD BUSINESS**

**Discussion of Amending the Future Land Use Map in Land Resource Management Plan by Having the Transportation Plan Correspond to the 2019-2039 Long Range Transportation Plan, Updating Municipal Boundaries, Reclassifying Islands in the Fox River from Unknown to Open Space and Reclassifying the Remaining Unknown Properties to Match Adjoining Land Use Classifications**

Mr. Koeppel summarized the request.

In December 2019, the County Board approved a 2019-2039 Long Range Transportation Plan.

This Plan has several changes from the Future Land Use Map contained in the Land Resource Management Plan. Fran Klaas suggested the following changes to the Land Resource Management Plan:

**Remove**

- Prairie Parkway
- Lisbon / Helmar Bypass.
- Caton Farm Road West Route 71
- Fox River Drive Westerly Bypass of Village of Newark.
- Whitfield Road Extension North to Griswold Springs Road
- Gates Lane West of Route 47
- County has now taken position to keep WIKADUKE Trail on the existing Stewart Road alignment all the way to Rance Road and then extend a new alignment northeasterly to Route 30 and Heggs Road, using the Village of Oswego’s alignment for the WIKADUKE Trail.

**Add**

- Millington Road Extending North of Lions Road to Connect to Route 34.
- Walker Road Relocated West of Route 71 to Make Connection to New Fox River Drive / Crimmins Rd intersection
- Westerly Extension of Collins Road West of Minkler Road to Route 71.

At their January meeting, the PBZ Committee suggested connecting Millbrook Road with the Millbrook Bridge.  
KCRPC Meeting Minutes 2.26.20

At their February meeting, the PBZ Committee suggested having Douglas Road's alignment correspond to the Village of Oswego's plans, aligning Cannonball Trail to Dickson Road and Gordon Street, aligning Millbrook Road and Whitfield Road behind the existing bank building, extending Cherry Road into the Henneberry Woods Forest Preserve, adding the extension of Johnson Road east from Ridge Road to the County Line, changing the Suburban Residential classification for the properties south of the Johnson Road extension to Mixed Use Business, and having the former FS property on Wabena Road be classified as Mixed Use Business.

In addition to the changes to the Transportation Plan changes, Staff is proposing to update the Future Land Use Map to reflect municipal annexations that occurred since the last map update, correct the classification of the Minooka School District property near the intersection of Route 52 and County Line Road, and to classify the parcels of land shown as "Unknown" on the Future Land Use Map.

Member Nelson requested that Fran Klaas attend an upcoming Comprehensive Land Plan and Ordinance Committee meeting to discuss the reasons for some of the proposal. Mr. Koepfel suggested that Chairman Gryder, who is also the Chair of the Highway Committee, attend the meeting as well. Discussion also occurred about having a joint meeting of the Highway Committee and Comprehensive Land Plan and Ordinance Committee.

Discussion occurred regarding Miller Road and the importance of placing roads on the Future Land Use Map.

Discussion occurred regarding changing future land uses along and near Route 47 in Lisbon Township.

#### **REVIEW OF PETITIONS THAT WENT TO COUNTY BOARD**

Petition 19-47, regarding the kennel and veterinary at the northeast corner of Ridge Road and Bell Road, was approved.

#### **OTHER BUSINESS/ANNOUNCEMENTS**

Chairman Ashton reported that the text amendment to the Zoning Ordinance pertaining adding truck storage area or yard to the list of permitted uses in the M-1 was proposed by the owner of 3485 Route 126. The owner of this property wants to change the Future Land Use Map and rezone his property to M-1 in order to have that business on the property.

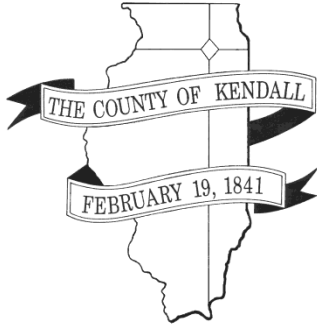
Discussion occurred regarding cannabis regulations.

Discussion occurred regarding a proposal in Springfield, SB 2466, related to the revocation of special use permits. A conviction would be required to revoke a special use permit.

#### **ADJOURNMENT**

Member Wilson made a motion, seconded by Member Rodriguez, to adjourn. With a voice vote of nine (9) ayes, the motion passed. The Kendall County Regional Plan Commission meeting adjourned at 8:29 p.m.

Respectfully submitted by,  
Matthew H. Asselmeier, AICP  
Senior Planner



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**DEPARTMENT OF PLANNING, BUILDING & ZONING**

111 West Fox Street • Room 203

Yorkville, IL • 60560

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**Petition 19-39**

**John Dollinger on Behalf of Hansel Ridge, LLC (Current Owner)  
Jason Shelley on Behalf of Goprobball, LLC (Prospective Buyer)  
and James and Denise Maffeo (Prospective Buyer)  
Map Amendment Rezoning Property from A-1 to B-3 and  
Special Use Permit for Indoor and Outdoor Storage and to B-2**

**INTRODUCTION**

Goprobball, LLC would like to sell the northeastern portion of the subject property to James and Denise Maffeo for an indoor and outdoor storage business called Four Seasons Storage and market the frontage along County Line Road for future commercial development.

The site plan is included as Attachment 15. The landscaping plan is included as Attachment 16. The lighting plan is included as Attachment 17.

In March 2020, the County Board approved Resolution 2020-18, reclassifying the subject property on the Future Land Use Map as Commercial. At the same meeting, the County Board approved Ordinance 2020-02 rezoning the northwestern portion of the subject property to B-4 Commercial Recreation District in order to facilitate the construction of an indoor athletic facility.

The Petitioners are working on preliminary and final plats for a four (4) lot commercial subdivision which is still under review.

**SITE INFORMATION**

**PETITIONERS:** John Dollinger on Behalf of Hansel Ridge, LLC (Current Owner), Jason Shelley on Behalf of Goprobball, LLC (Prospective Buyer), and James and Denise Maffeo (Prospective Buyer)

**ADDRESS:** Portion of the Northern 18.7 Acres of 195 Route 52

**LOCATION:** Northwest Corner of Route 52 and County Line Road



TOWNSHIP: Seward

PARCEL #: Northeastern Part of 09-13-200-002

LOT SIZE: 40 Acres (Total Existing Parcel) 4.01 +/- Acres for B-3 Special Use Area and 4.67 +/- Acres for B-2 Area

EXISTING LAND USE: Agricultural

ZONING: A-1 Agricultural District

LRMP: Future Land Use	Commercial
Roads	County Line Road is a Township Maintained Arterial Road.
Trails	None
Floodplain/Wetlands	None

REQUESTED ACTION: Map Amendment Rezoning Property from A-1 Agricultural to B-3 Highway Business District and Special Use Permits for Indoor and Outdoor Storage and to B-2 General Business District

APPLICABLE REGULATIONS: Section 13.07 – Map Amendment Procedures

Section 13.08 – Special Use Procedures

Section 9.04.C.20 (B-3 Special Uses) – Outdoor Storage Provided Such Storage is Screen from Adjacent and Surrounding Properties

Section 9.04.C.28 (B-3 Special Uses) – Self-Service Storage Facilities

**SURROUNDING LAND USE**

Location	Adjacent Land Use	Adjacent Zoning	Land Resource Management Plan	Zoning within 1/2 Mile
North	Agricultural	A-1	Public/Institutional and Suburban Residential (1 DU/Acre)	A-1 and A-1 SU
South	Agricultural/Farmstead/Fertilizer and Grain Operation	A-1 and A-1 SU	Public/Institutional and Suburban Residential	A-1 and A-1 SU
East	Agricultural	A-1 (Will County)	Suburban Development	A-1 (Will County)
West	Agricultural	A-1 and B-4	Suburban Residential	A-1 and A-1 SU and B-4

The aerial of the property is included as Attachment 2. Pictures of the property are included as Attachments 3-7.

Minooka School District 111 owns the adjacent properties to the north and west of the subject property.

The A-1 special use to the north is for a church. The A-1 special use to the south is for a fertilizer and grain storage operation. The A-1 special use to the west appears to be for an airstrip. The property at 276 Route 52 has a special use permit for a landscaping business.

Seven (7) existing houses are within one half (1/2) mile of the subject property.

## **PHYSICAL DATA**

### **ENDANGERED SPECIES REPORT**

EcoCAT Report submitted and consultation was terminated, see Attachment 1, Pages 24-26.

### **NATURAL RESOURCES INVENTORY**

The LESA Score was 217 indicating a medium level of protection. The NRI Report is included as Attachment 18.

## **ACTION SUMMARY**

### **SEWARD TOWNSHIP**

The original petition information was sent to Seward Township on October 25, 2019. The Seward Township Planning Commission reviewed this request at their meeting on January 14, 2020. Concerns were expressed regarding traffic congestion and the potential for increased vehicular accidents. Discussion also occurred regarding drainage. The property's proximity to Shorewood and its location were the reasons for seeking the change to the Land Resource Management Plan and for the requested map amendments and special use permits. The Seward Township Planning Commission recommended approval of the request. The minutes of this meeting are included as Attachment 10.

The Seward Township Board reviewed the original request at their meeting on January 14, 2020. They echoed the concerns of the Seward Township Planning Commission regarding traffic and drainage. The Seward Township Board recommended approval of the request. The minutes of this meeting are included as Attachment 11.

### **VILLAGE OF SHOREWOOD**

The original petition information was sent to the Village of Shorewood on October 25, 2019. The Village of Shorewood submitted an email on January 6, 2020, stating that they were in discussions with the Petitioner and would have further review at upcoming Village Zoning Commission meeting. This email is included as Attachment 12.

As of the date of this memo, the Petitioner is in pre-annexation negotiations with the Village of Shorewood. No annexation was planned until the property becomes contiguous with the Village.

### **TROY FIRE PROTECTION DISTRICT**

The Troy Fire Protection District has no objections to commercial uses at this location, see Attachment 8.

### **ZPAC**

ZPAC reviewed the original proposal at their meetings on November 5, 2019, and January 7, 2020. At the November 5<sup>th</sup> meeting, discussion occurred regarding well and septic service at the site. The Petitioner agreed to a right-of-way dedication along the County Line Road frontage. At the January 7<sup>th</sup> meeting, the Petitioner provided updated septic information and updated traffic information. The final size of the detention pond had yet been determined. The Petitioner was working on a pre-annexation agreement with Shorewood that would allow the Village to annex the property when the property becomes contiguous to the Village. It was noted that the Village of Shorewood would like the special use to apply to only the storage portion of the property and that the acreage between the

storage units and County Line Road be zoned business without a special use permit and that a formal subdivision occur. The Petitioner agreed to a sixty foot (60') right-of-way dedication as measured from the centerline of County Line Road including a ten foot (10') dedication for utilities. It was also noted that the Village of Shorewood requested the removal of some fencing and the reorientation of some of the storage buildings. It was noted that the landscaping plan and signage plan required more definition. ZPAC recommended forwarding the proposal to the Kendall County Regional Planning Commission without objection; two (2) members were absent. The minutes of these meetings are included as Attachments 13 and 14 respectively.

## **GENERAL**

Per State law, the rezoning portion of the request cannot be conditioned. However, the special use portion of the request could be conditioned.

According to the revised site plan, a strip of land would remain east of the proposed indoor and outdoor storage area that would be used for future commercial and/or retail development, which is the B-2 map amendment portion of the request.

## **BUSINESS OPERATION**

According to the proposed site plan (see Attachment 15), Mr. and Mrs. Maffeo would like to construct one (1) three thousand two hundred sixty-four (3,264) square foot metal storage and office building, eight (8) four thousand eight hundred (4,800) square foot storage buildings, four (4) three thousand two hundred (3,200) square foot storage buildings, one (1) four thousand two hundred fifty (4,250) square foot storage building, and one (1) five thousand (5,000) square foot storage building. The storage buildings on the periphery of the site are planned to face inward and substitute as part of the fencing.

The office building will contain offices, restrooms, and inside storage for vehicles. The facility will be used for general storage uses; no illegal or flammable materials will be stored or distributed out of the facility. No other active businesses will be operated out of the storage facility.

The renderings of the office building and other storage buildings are included as Attachment 16, Pages 3 and 4.

Originally, the Petitioners planned to develop the site in two phases. Phase I will commence in Summer 2020 and consists of the metal storage and office building, the southern storage buildings, paved parking area, and the six foot (6') privacy fence. Phase II will commence in Spring 2023 and will consist of the remaining metal storage buildings.

The outdoor storage area would be placed where the Phase II structures are planned. The outdoor storage area would be removed upon construction the Phase II structures. The outdoor parking area would be asphalt.

Mr. and Mrs. Maffeo anticipate employing between one (1) and five (5) part-time employees. One (1) employee would be for maintenance and the remaining employees would staff the office on a shift-basis to ensure that at least one (1) employee was onsite during business hours.

Access to the facility would be twenty-four (24) hours via access through the security gate between the office building and southern most storage building. Hours of operation are 7:00 a.m. until 7:00 p.m. daily.

## **BUILDING AND BUILDING CODES**

All structures constructed on the site will require building and occupancy permits.

## **ENVIRONMENTAL HEALTH**

The proposed facilities would be served by well and septic. The Petitioner provided septic plan information which is included as Attachment 9. According to the site plan, the septic area would be south and west of the proposed office building.

## **STORMWATER**

According to the proposed site plan, one (1) approximately ninety thousand, five hundred (90,500) square foot

wet bottom stormwater detention pond is planned for the property. The pond would be approximately eleven feet (11') feet deep at its deepest area. The pond is sized to handle runoff from future commercial development on the proposed B-2 portion of the site.

The Petitioners have applied for a stormwater management permit.

### **ROAD ACCESS**

The property fronts County Line Road. As noted at the ZPAC meeting, the Petitioners were agreeable to a right-of-way dedication.

As part of the subdivision, the Petitioners will create a private road connecting County Line Road to the entrance of the storage facility.

### **PARKING AND INTERNAL TRAFFIC CIRCULATION**

The site plan shows three (3) parking spaces, including one (1) handicapped accessible parking space.

### **LIGHTING**

Based on the original lighting plan submitted as Attachment 17, there will be lights on all of the buildings and lights between buildings. The total number of lights on buildings is sixty-three (63) with eleven (11) additional lights throughout the property. None of the lighting will leave the site.

### **SIGNAGE**

One (1) monument sign was shown on the landscaping plan (Attachment 16). No size dimensions were provided. The sign will be illuminated.

### **SECURITY**

Access to the storage area will be through a gate with a key pad. No information was provided regarding the dimensions of the gate. The gate width was not provided. One (1) four foot (4') wide gate is located on the northeast corner of the site.

Some of the lighting will be for security purposes and security cameras will be provided.

The proposal calls for six foot (6') privacy fence around most of the perimeter of the property. A six foot (6') ornamental fence is shown on the site plan on the eastern side of the site. Pictures of the ornamental fence are included in Attachment 16.

The Petitioners' Attorney indicated that the fence will be installed as part of Phase I.

No fencing is planned along the detention ponds.

### **LANDSCAPING**

Based on the landscaping plan submitted as Attachment 16, twelve (12) shade trees, three (3) evergreen shrubs, seventeen (17) deciduous shrubs, and ten (10) perennials would be planted on the property. The trees would be between twelve feet and fifteen feet (12'-15') in height at the time of planting and would grow between thirty feet and sixty feet (30'-60') in height. Based on the information in Attachment 16, page 2, no trees or bushes would be planted north of the storage area. The balance of the site would be covered in lawn.

### **NOISE CONTROL**

Little noise is anticipated from the proposed operations.

### **REFUSE PLAN**

The site plan called for dumpsters to be provided onsite.

### **RELATION TO OTHER SPECIAL USES**

If approved, this would be the second active special use permit for a storage facility on non A-1 zoned property in unincorporated Kendall County.



## FINDINGS OF FACT-MAP AMENDMENTS

§ 13.07.F of the Zoning Ordinance outlines findings that the Zoning Board of Appeals must make in order recommend in favor of the applicant on map amendment applications. They are listed below in *italics*. Staff has provided findings in **bold** below based on the recommendation:

*Existing uses of property within the general area of the property in question. **The surrounding properties are used agricultural or uses similar to agricultural uses such as farmsteads and fertilizer operations.***

*The Zoning classification of property within the general area of the property in question. **The surrounding properties are zoned A-1, A-1 with a special use, or B-4.***

*The suitability of the property in question for the uses permitted under the existing zoning classification. **The property is presently zoned A-1 and can be used for farming.***

*The trend of development, if any, in the general area of the property in question, including changes, if any, which may have taken place since the day the property in question was in its present zoning classification. **The Zoning Board of Appeals shall not recommend the adoption of a proposed amendment unless it finds that the adoption of such an amendment is in the public interest and is not solely for the interest of the applicant. The Zoning Board of Appeals may recommend the adoption of an amendment changing the zoning classification of the property in question to any higher classification than that requested by the applicant. For the purpose of this paragraph the R-1 District shall be considered the highest classification and the M-2 District shall be considered the lowest classification. The trend of development in the area is stable with residential growth and special uses normally found in agricultural zoned areas.***

*Consistency with the purpose and objectives of the Land Resource Management Plan and other adopted County or municipal plans and policies. **The Future Land Use Map was amended earlier in 2020 to reclassify the subject property as Commercial. The property to the west is planned to be used for recreational purposes. Minooka School District #111 plans to construct a school in the area. The Village of Shorewood's Future Land Use Map calls for this property to be Commercial and Government/Institutional. The proposed map amendments are consistent with the purpose and objectives of the Land Resource Management Plan.***

## FINDINGS OF FACT-SPECIAL USE PERMIT

§ 13.08.J of the Zoning Ordinance outlines findings that the Zoning Board of Appeals must make in order recommend in favor of the applicant on special use permit applications. They are listed below in *italics*. Staff has provided findings in **bold** below based on the recommendation:

*That the establishment, maintenance, or operation of the special use will not be detrimental to or endanger the public health, safety, morals, comfort, or general welfare. **The operation of the special use will not be detrimental to the public health, safety, morals, comfort, or general welfare provided that the operator of the business allowed by this special use permit develops the site according to the submitted site plan and landscaping plan, dedicates land for right-of-way, follows the agreed upon hours of operation, and follows the Kendall County Inoperable Vehicle Ordinance, Kendall County Junk and Debris Ordinance, and related ordinances.***

*That the special use will not be substantially injurious to the use and enjoyment of other property in the immediate vicinity for the purposes already permitted, nor substantially diminish and impair property values within the neighborhood. The Zoning classification of property within the general area of the property in question shall be considered in determining consistency with this standard. The proposed use shall make adequate provisions for appropriate buffers, landscaping, fencing, lighting, building materials, open space and other improvements necessary to insure that the proposed use does not adversely impact adjacent uses and is compatible with the surrounding area and/or the County as a whole. **Provided that the business operates as proposed, no injury should occur to other property and property values should not be negatively impacted.***

*That adequate utilities, access roads and points of ingress and egress, drainage, and/or other necessary facilities have been or are being provided. **The proposed use will be a low utility user and adequate utilities are planned for the development of the site. A private road is planned from County Line Road to the subject use. A right-of-way dedication is planned along County Line Road. The Petitioners will***

**have to secure a stormwater management permit.**

*That the special use shall in all other respects conform to the applicable regulations of the district in which it is located, except as such regulations may in each instance be modified by the County Board pursuant to the recommendation of the Zoning Board of Appeals. This is true.*

*That the special use is consistent with the purpose and objectives of the Land Resource Management Plan and other adopted County or municipal plans and policies. True, the proposed use is consistent with an objective found on Page 6-34 of the Kendall County Land Resource Management Plan which calls for “a strong base of agricultural, commercial and industrial uses that provide a broad range of job opportunities, a healthy tax base, and improved quality of services to County residents” through the encouragement “. . . of locally owned businesses.”*

## **RECOMMENDATION**

Staff recommends approval of the requested map amendments.

Staff also recommends approval of the requested special use permits for an outdoor storage business and a self-service storage facility subject to the following conditions and restrictions:

1. The site shall be developed substantially in accordance with the attached site plan (Attachment 15), landscaping plan (Attachment 16), and lighting plan (Attachment 17).
2. The operator(s) of the businesses allowed by this special use permit shall plant the vegetation and install the fencing identified in the landscaping plan (Attachment 16) within ninety (90) days of the approval of the special use permit ordinance. Dead or damaged vegetation shall be replaced on a timetable approved by the Kendall County Planning, Building and Zoning Department. The trees shown on the landscaping plan shall be between twelve feet and fifteen feet (12'-15') in height at the time of planting.
3. One (1) two (2)-sided illuminated sign may be installed on the subject property in substantially the location shown on the landscaping plan (Attachment 16). The sign shall be **Insert Dimensions**.
4. Within sixty days (60) days of approval of this special use permit ordinance, the property owners shall convey land along the entire length of County Line Road side of the property at a depth of sixty feet (60') as measured from the centerline of County Line Road to Seward Township for County Line Road right-of-way.
5. The owners of the business allowed by this special use permit shall construct all of the storage buildings shown on the attached site plan (Attachment 15) on or before December 31, 2023. Either December 31, 2023, or upon completion of the final self-service storage building, whichever occurs first, the special use permit for an outdoor storage business shall automatically cease. The final self-service storage building shall be considered complete when all occupancy permits for the self-service storage buildings are issued. The completion and expiration dates listed in this condition may be extended upon approval by the Kendall County Planning, Building and Zoning Committee.
6. A maximum of twelve (12) items, including, but not limited to, boats, trailers, and motor vehicles may be stored outdoors as part of the outdoor storage business special use permit.
7. None of the vehicles stored on premises shall be considered agricultural equipment as they relate to the businesses allowed by these special use permits.
8. All of the vehicles stored on the premises shall be maintained in good condition with no deflated tires and shall be licensed if required by law.
9. The hours of operation for the businesses allowed by these special use permits shall be daily from 7:00 a.m. until 7:00 p.m. The operator(s) of the businesses allowed by these special use permit may reduce these hours of operation. Patrons may access the storage area at any time.
10. The total maximum number of employees combined for the businesses allowed by these special use permit shall be five (5), including the business owners.
11. The owners of the businesses allowed by these special use permits shall diligently monitor the property for leaks from items stored on the premises and shall promptly clean up the site if leaks

occur.

12. The operator(s) of the business allowed by this special use permit shall provide the Kendall County Sheriff's Department and Troy Fire Protection District with passcodes to the gate upon the request of these agencies.
13. The operator(s) of the businesses allowed by these special use permits acknowledge and agree to follow Kendall County's Right to Farm Clause.
14. The operator(s) of the businesses allowed by these special use permits shall follow all applicable Federal, State, and Local laws related to the operation of these types of businesses.
15. Failure to comply with one or more of the above conditions or restrictions could result in the amendment or revocation of the special use permits.
16. If one or more of the above conditions is declared invalid by a court of competent jurisdiction, the remaining conditions shall remain valid.

#### **ATTACHMENTS**

1. Application Materials (Including the Petitioner's Findings of Fact and EcoCat)
2. Aerial
3. Looking West
4. Looking East
5. Looking Southwest
6. Looking South
7. Looking Northwest
8. October 10, 2019, Troy Fire Protection District Email
9. Septic Plan Information
10. January 14, 2020 Seward Township Planning Commission Minutes
11. January 14, 2020 Seward Township Board Meeting Minutes
12. January 6, 2020 Email from the Village of Shorewood.
13. November 5, 2019 ZPAC Minutes
14. January 7, 2020 ZPAC Minutes
15. Site Plan
16. Landscaping Plan
17. Lighting Plan
18. NRI



**DEPARTMENT OF PLANNING, BUILDING & ZONING**

111 West Fox Street • Yorkville, IL • 60560  
 (630) 553-4141 Fax (630) 553-4179

**APPLICATION**

PROJECT NAME Goprobball, LLC

FILE #: 19-39

<b>NAME OF APPLICANT</b> Goprobball, LLC		
<b>CURRENT LANDOWNER/NAME(s)</b> Hansel Ridge, LLC		
<b>SITE INFORMATION</b>	<b>SITE ADDRESS OR LOCATION</b>	<b>ASSESSOR'S ID NUMBER (PIN)</b>
ACRES 18.75	Vacant Land County Line Road	part of 09-13-200-002
<b>EXISTING LAND USE</b> row crops	<b>CURRENT ZONING</b> A-1	<b>LAND CLASSIFICATION ON LRMP</b> A-1
<b>REQUESTED ACTION (Check All That Apply):</b>		
<input checked="" type="checkbox"/> SPECIAL USE	<input checked="" type="checkbox"/> MAP AMENDMENT (Rezone to <u>See attached</u> )	<input type="checkbox"/> VARIANCE
<input type="checkbox"/> ADMINISTRATIVE VARIANCE	<input type="checkbox"/> A-1 CONDITIONAL USE for: _____	<input type="checkbox"/> SITE PLAN REVIEW
<input type="checkbox"/> TEXT AMENDMENT	<input type="checkbox"/> RPD ( <input type="checkbox"/> Concept; <input type="checkbox"/> Preliminary; <input type="checkbox"/> Final)	<input type="checkbox"/> ADMINISTRATIVE APPEAL
<input type="checkbox"/> PRELIMINARY PLAT	<input type="checkbox"/> FINAL PLAT	<input type="checkbox"/> OTHER PLAT (Vacation, Dedication, etc.)
<input type="checkbox"/> AMENDMENT TO A SPECIAL USE ( <input type="checkbox"/> Major; <input type="checkbox"/> Minor)		
<b><sup>1</sup>PRIMARY CONTACT</b> Daniel J. Kramer	<b>PRIMARY CONTACT MAILING ADDRESS</b> 1107A S. Bridge Street, Yorkville, IL 60560	<b>PRIMARY CONTACT EMAIL</b> dkramer@dankramerlaw.com
<b>PRIMARY CONTACT PHONE #</b> 630-553-9500	<b>PRIMARY CONTACT FAX #</b> 630-553-5764	<b>PRIMARY CONTACT OTHER # (Cell, etc.)</b>
<b><sup>2</sup>ENGINEER CONTACT</b> John Tebrugge	<b>ENGINEER MAILING ADDRESS</b>	<b>ENGINEER EMAIL</b> info@tebruggeengineering.com
<b>ENGINEER PHONE #</b> 815-786-0195	<b>ENGINEER FAX #</b>	<b>ENGINEER OTHER # (Cell, etc.)</b>
I UNDERSTAND THAT BY SIGNING THIS FORM, THAT THE PROPERTY IN QUESTION MAY BE VISITED BY COUNTY STAFF & BOARD/ COMMISSION MEMBERS THROUGHOUT THE PETITION PROCESS AND THAT THE PRIMARY CONTACT LISTED ABOVE WILL BE SUBJECT TO ALL CORRESPONDANCE ISSUED BY THE COUNTY.		
I CERTIFY THAT THE INFORMATION AND EXHIBITS SUBMITTED ARE TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND THAT I AM TO FILE THIS APPLICATION AND ACT ON BEHALF OF THE ABOVE SIGNATURES.		
<b>SIGNATURE OF APPLICANT</b>		<b>DATE</b> 9-27-19.

FEE PAID: \$ 1965  
 CHECK #: 5351

<sup>1</sup>Primary Contact will receive all correspondence from County  
<sup>2</sup>Engineering Contact will receive all correspondence from the County's Engineering Consultants

Please fill out the following findings of fact to the best of your capabilities. § 13.07.F of the Zoning Ordinance lists the Finding of Fact criteria the Zoning Board of Appeals must answer in order to make a recommendation to the County Board on any **map amendment** request. They are as follows:

*Existing uses of property within the general area of the property in question.*

Both the Village of Shorewood and the City of Joliet have various residential and commercial uses along major intersections within the Mile and a Half Planning Jurisdiction in the area of the property. Further there is an intense agricultural grain warehouse to the south property on the south side of Route 52. The land to the west and north is agricultural land which would not be disturbed by our intended use.

*The Zoning classification of property within the general area of the property in question.*

A-1 Agricultural, Special Use for intense Agricultural Use, and a mixture of municipal residential and commercial not adjacent but in the general area

*The suitability of the property in question for the uses permitted under the existing zoning classification.*

The property is suitable for row crop agricultural as is indicated by farming on the site. The Kendall County Land Resource Management Plan called for the subject property to be used for school purposes, which intention has now been abandoned in that the School District sold the land to a private investor and has no intention of building a school.

*The trend of development, if any, in the general area of the property in question, including changes, if any, which may have taken place since the day the property in question was in its present zoning classification. The Zoning Board of Appeals shall not recommend the adoption of a proposed amendment unless it finds that the adoption of such an amendment is in the public interest and is not solely for the interest of the applicant. The Zoning Board of Appeals may recommend the adoption of an amendment changing the zoning classification of the property in question to any higher classification than that requested by the applicant. For the purpose of this paragraph the R-1 District shall be considered the highest classification and the M-2 District shall be considered the lowest classification.*

The trend of development is basically stable with slow residential growth coming back after the market crash. The recreational indoor baseball facility and outdoor recreational uses blend well with the need for facilities that my client currently is experiencing in the Village of Shorewood. The facility would further provide active sports fields indoors for traveling teams for both baseball and softball that currently have to travel great distances to find suitable facilities for year round sports.

*Consistency with the purpose and objectives of the Land Resource Management Plan and other adopted County or municipal plans and policies.*

Having the recreational facility both indoor and outdoor is as consistent as one can come with the institutional school use which would have provided an indoor gym and athletic facilities as well as educational facilities. We believe the proposed use of the subject property by Petitioners comports to the change in ownership but intention of the use of the property by the Kendall County Land Resource Plan

Special Use Findings of Fact for B-3 Special Use Zoning

1. The proposed storage Special Use is set to the rear of the 8.6092 acres and is a good destination use for the rear portion of the proposed B-3 Zoning District Property. It will be totally fenced and provide a valuable service for the outlying residential users for the Village of Shorewood and the Joliet Area. It will be a totally secure facility.

It creates no adverse public health, safety or moral conflicts.

2. The proposed use is a good buffer to the baseball/recreational facility to the rear, and the combination street drive entrance promotes future arterial traffic on County Line Road with only one road cut. Adequate buffers in terms of fencing and landscaping to the east are provided. To the north there would be a detention facility which serves as a buffer. To the south there would some landscaping and again the street as the setback.
3. The proposed use is a very low utility user in that it will only need private septic and well for a small office. Electrical service will be provided to the facility along the private drive shared with the recreational sports facility to the west.
4. No variances of any kind are requested and the facility will be designed in totally compliance with Kendall County Zoning Requirements.
5. Given the fact that the Comprehensive Plan will be modified to accommodate both the storage use, the B-3 uses along the front of the property adjoining County Line Road and is complimentary to the sports facility in the back in that it will have very little in and out traffic and share the joint expense of the private roadway. We believe permitting business zoning in this area of County Line Road and Route 52 given the large elevator use to the southwest compliments the development in the area and would be a compliment to any residential use in the vicinity that would be developed in the future either at the Village of Shorewood's approval or by Kendall County Zoning.

B3 SPECIAL USE ZONING APPLICATION REQUIREMENTS  
FOR JAMES MOFFEO

1. Enclosed please find detailed Storage Facilities Site Plan.

The proposed drawing shows the entire intended buildout, which could involve the buildings being turned in an East/Westerly direction, but within the same footprint. The Applicant will construct the Office Building adjacent to the private roadway and one of the East/West Buildings first and then probably do in terms of phasing two buildings going in a North/South direction with the smaller units at the time.

The fencing around the entire facility will either be a solid fencing in conformity with the Kendall County fence standard not in excess of 6 ft. or will be a cyclone fence with slatted totally opaque materials contained therein. There will be a limited number of lights in the parking area, and battery packs on the building.

Parking for customer use including Handicapped at the small office building at the Southwestern end of the property is duly noted with three customer spaces and one handicap space. Appropriate drive distance aisles will be provided between buildings, but no permit parking shall be permitted thereon.

2. We are attaching a preliminary Landscape Plan.
3. We are attaching a preliminary Photometric Plan which shows Street lighting on the private roadway and in the Parking lot of the GoPro Baseball facility. On the Storage Facility we expect battery packed lighting on the buildings themselves.
4. Signage will be contained in a Signage Easement common to both properties with a permanent monument sign at the corner of the private roadway and Countyline Road. When we submit detailed Site Plan drawings we will have a Sign Easement for the permanent signage and will provide enough signage space for future business users along the B3 so that we only need one central sign for both filings. It is anticipated the sign will be lit because the baseball facility primarily operates during the months where we have shorter daylight times and we do need notice to customers where it is at to the rear of the property. There will be no fencing on the GoPro Facility.
5. Each business will have a refuse area and on the detailed Site Plan, we will show a fenced in trash containment area.  
  
Both business the Special Use and GoPro will anticipate starting business sometime in 2020 and commence construction so long as all Zoning is in place around mid 2020 or late Spring, 2020.
6. Attached is a Business Plan for the Storage Facility.
7. Attached is the B3 Special Use Findings for the Storage Facility.

8. Attached is a drawing of the main Office Building and indoor Storage Facility (1 building) for B3 Special Use. (Color rendering)
9. Attached is a drawing for Unit Building elevation B3 (color rendering) Storage Building, small units will be the same design.



## LEGAL DESCRIPTION OF TRACT 2 (B-3 Special Use Parcel):

That Part of the Northeast Quarter of Section 13, Township 35 North, Range 8 East of the Third Principal Meridian described as follows: Commencing at the Northeast Corner of said Northeast Quarter; thence Southerly, along the East Line of said Northeast Quarter, 1142.05 feet; thence Westerly, parallel with the North Line of said Northeast Quarter, 599.06 feet; thence Southerly, parallel with the West Line of said Northeast Quarter, 165.29 feet for the point of beginning; thence Easterly, parallel with said North Line, 332.25 feet; thence Southerly, parallel with said West Line, 525.07 feet to a line which is 1834.37 feet Southerly of (as measured along the East Line of said Northeast Quarter) and parallel with the North Line of said Northeast Quarter; thence Westerly, parallel with said North Line, 332.25 feet to a line drawn Southerly from the point of beginning, parallel with said West Line; thence Northerly, parallel with said West Line, 527.0 feet to the point of beginning in Seward Township, Kendall County, Illinois.

## LEGAL DESCRIPTION OF TRACT 3 (B2 Zoning Parcel):

That Part of the Northeast Quarter of Section 13, Township 35 North, Range 8 East of the Third Principal Meridian described as follows: Commencing at the Northeast Corner of said Northeast Quarter; thence Southerly, along the East Line of said Northeast Quarter, 1142.05 feet; thence Westerly, parallel with the North Line of said Northeast Quarter, 51.55 feet to a point hereinafter referred to as "Point A"; thence Southerly, along a line which forms an angle of 89°33'03" with the prolongation of the last described course, measured counter-clockwise therefrom, 692.32 feet to a line which is 1834.37 feet Southerly of (as measured along the East Line of said Northeast Quarter) and parallel with the North Line of said Northeast Quarter for the point of beginning; thence Northerly, along the line of the last described course 692.32 feet to "Point A"; thence Westerly, parallel with said North Line, 547.51 feet; thence Southerly, parallel with the West Line of said Northeast Quarter, 165.29 feet; thence Easterly, parallel with said North Line, 332.25 feet; thence Southerly, parallel with said West Line, 525.07 feet to a line which is 1834.37 feet Southerly of (as measured along the East Line of said Northeast Quarter) and parallel with the North Line of said Northeast Quarter; thence Easterly, parallel with said North Line, 213.85 feet to the point of beginning in Seward Township, Kendall County, Illinois.

STATE OF ILLINOIS     )  
  )  
COUNTY OF KENDALL    )

CONSENT TO KENDALL COUNTY ZONING AND SPECIAL USE APPLICATION

NOW COMES HANSEL RIDGE, LLC, AN ILLINOIS LIMITED LIABILITY COMPANY, OWNER, who does hereby consent to the Kendall County Zoning and Special Use Application submitted by GOPROBALL, LLC AN ILLINOIS LIMITED LIABILITY COMPANY for B-4 Commercial Recreation and B-3 Business District and Special Use for Outdoor Storage.

OWNER  
HANSEL RIDGE, LLC, AN ILLINOIS LIMITED LIABILITY COMPANY

BY:

[Redacted Signature]

Authorized Representative

*[Handwritten Signature]*  
[Redacted Name] *infact*

Dated: 9/27/19



**SPECIAL WARRANTY DEED**

201900000682

**DEBBIE GILLETTE**  
RECORDER - KENDALL COUNTY, IL

**PREPARED BY:**

John F. Dixon  
Law Offices of John F. Dixon, LLC  
1415 West 55<sup>th</sup> Street  
Suite 101  
Countryside, IL 60525  
Tel: (708) 352-1800  
Fax: (708) 352-1888

RECORDED: 1/17/2019 10:23 AM  
WD: 41.00 RHSPS FEE: 16.00  
STATE TAX: 385.00  
COUNTY TAX: 192.50  
PAGES: 6

COUNTY OF KENDALL *Jm*  
REAL ESTATE TRANSFER TAX  
\$ 192.50

(The Above Space For Recorder's Use Only)

**THE GRANTOR, D.W. Burke & Associates, LLC**, an Illinois limited liability company ("Grantee"), of the Village of Hinsdale, County of DuPage, State of Illinois, for and in consideration of the sum of TEN & 00/100 (\$10.00) DOLLARS and other good and valuable consideration in hand paid, CONVEYS and WARRANTS to **HANSEL RIDGE, L.L.C.**, an Illinois limited liability company, of the Village of Channahon, County of Grundy, State of Illinois ("Grantee"), the receipt of which is acknowledged, does grant, bargain, sell and convey, with covenant of Special Warranty to Grantee, all of Grantor's right, title and interest in and to the real property situated in the County of Kendall, in the State of Illinois, as legally described in **Exhibit A**, attached hereto and made a part hereof. This conveyance is with: (i) all of Grantor's right, title and interest in and to all rights, benefits, privileges, easements, tenements and appurtenances, including all of Grantor's right, title and interest in and to any adjacent streets, roads, alleys, easement and rights-of-way; (ii) all of Grantor's right, title and interest and to any and all improvements and buildings located on the Property; and (iii) all of Grantor's right, title and interest in any and all fixtures affixed or attached to, or situated on, or acquired or used in connection with the Property (the Property, together with the rights, appurtenances and interest, improvements, buildings, and fixtures being collectively called the Property). However, the conveyance is subject to those exceptions and encumbrances below.

**SUBJECT TO:** See Permitted Exceptions in Exhibit B attached hereto

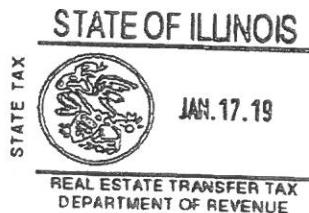
**SUBSEQUENT TAX BILLS TO:**

Hansel Ridge, L.L.C.  
7502 E. Hansel Road  
Channahon, IL 60410

**AFTER RECORDING RETURN TO:**

Castle Law  
Attn: Theresa Dollinger  
822 129<sup>th</sup> Infantry Drive  
Suite 104  
Joliet, Illinois 60435

*C.T.L./CY*  
*18gn6190000682*  
*1022KB*



REAL ESTATE TRANSFER TAX
0038500
FP 326656

DATE: December 20, 2018

GRANTOR:

D.W. Burke & Associates, LLC,  
An Illinois limited liability company

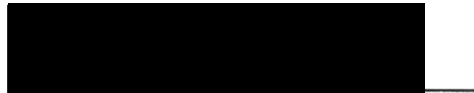
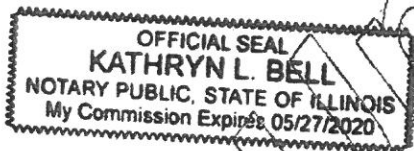


Donald W. Burke, Jr., Manager

STATE OF ILLINOIS     )  
  ) S.S.  
COUNTY OF COOK     )

I, a notary public in and for the county and state above, do certify that **DONALD W. BURKE, JR.**, as **MANAGER OF D.W. BURKE & ASSOCIATES, LLC**, an Illinois limited liability company, and being known to me to be the same person whose name is subscribed to the above instrument, appeared before me this day in person and acknowledged that he signed and delivered the instrument as his free and voluntary act, for the uses and purposes stated above.

GIVEN under my hand and official seal, this 20<sup>th</sup> day of December, 2018



Notary Public

**EXHIBIT A**

**LEGAL DESCRIPTION**

PARCEL 1: THAT PART OF THE NORTHEAST 1/4 OF SECTION 13, TOWNSHIP 35 NORTH, RANGE 8 EAST OF THE THIRD PRINCIPAL MERIDIAN, LYING NORTH OF THE NORTH RIGHT OF WAY OF U.S. ROUTE 52, LYING EAST OF THE EAST LINE OF THE WEST 1500 FEET OF SAID NORTHEAST 1/4, AND LYING SOUTH OF THE FOLLOWING DESCRIBED LINE: COMMENCING AT THE NORTHEAST CORNER OF SAID SECTION 13; THENCE SOUTH 00 DEGREES 00 MINUTES 03 SECONDS EAST, ON THE EAST LINE OF SAID NORTHEAST 1/4, 1142.05 FEET, TO THE POINT OF BEGINNING; THENCE SOUTH 89 DEGREES 31 MINUTES 49 SECONDS WEST, PARALLEL WITH THE NORTH LINE OF SAID NORTHEAST 1/4, 1152.42 FEET, TO THE EAST LINE OF THE WEST 1500 FEET OF SAID NORTHEAST 1/4, FOR THE TERMINUS OF SAID LINE, ALL IN KENDALL COUNTY, ILLINOIS.

PARCEL 2: THAT PART OF THE NORTHEAST QUARTER OF SECTION 13, TOWNSHIP 35 NORTH, RANGE 8 EAST OF THE THIRD PRINCIPAL MERIDIAN, LYING SOUTH OF THE SOUTHERLY RIGHT OF WAY OF U.S. ROUTE 52 PER DEDICATION RECORDED JANUARY 13, 1933 IN KENDALL COUNTY, ILLINOIS.

PROPERTY INDEX NUMBER: 09-13-200-002

COMMONLY KNOWN AS: 195 US Highway 52, Minooka, IL 60447

Unofficial

**EXHIBIT B**

**PERMITTED EXCEPTIONS**

1. Taxes that accrued, but not yet due and payable.
2. Rights, if any, of public and quasi-public utilities in the Land as disclosed by underground telephone lines, utility poles, gas main, and overhead electric lines as show on Survey number 404-1931-as prepared by Ruettiger, Toelli & Associates, Inc. dated September 20, 2004.
3. Rights of way for drainage tiles, ditches, feeders, laterals and underground pipes, if any.
4. Rights of the public, the State of Illinois, County of Kendall and the municipality in and to that part of the Land, if any, taken or used for road purposes, including that portion thereof falling within the public highway known as Route 69 running along the Southerly line and Southeasterly corner of the Land as same was originally constituted by instrument of dedication recorded January 12, 1933 in Book 86 Deeds, Page 44.
5. Easement in favor of the Commonwealth Edison Company, and its/their respective successors and assigns, to install, operate and maintain all equipment necessary for the purpose of serving the Land and other property with warning siren, together with the right of access to said equipment, and the provisions relating thereto contained in the grant recorded/filed as Document No. 81-4692, affecting the West Line of the Land.
6. No right of way dedication was found for County Line Road per the notes on the Plat of Survey Prepared by Ruettiger, Tonelli & Associates, Inc. dated September 20, 2004



Debbie Gillette

Kendall County Clerk & Recorder

STATE OF ILLINOIS

COUNTY OF KENDALL

Donald W. Burke, JR., being duly sworn on oath, states that affiant owns 195 US Highway 52, Minooka, IL 60447 And further states that: (please check the appropriate box)

- A.  That the attached deed is not in violation of 765 ILS 205/1(a), in that the sale or exchange is of an entire tract of land not being part of a larger tract of land; or
- B.  That the attached deed is not in violation of 765 ILCS 205/1(b) for one of the following reasons: (please circle the appropriate number)
1. The division or subdivision of land into parcels or tracts of 5.0 acres or more in size which does not involve any new streets or easements of access;
  2. The division of lots or blocks of less than one (1) acre in any recorded subdivision which does not involve any new streets or easements of access;
  3. The sale or exchange of parcels of land between owners of adjoining and contiguous land;
  4. The conveyance of parcels of land or interests therein for use as right of way for railroads or other public utility facilities and other pipe lines which does not involve any new streets or easements of access;
  5. The conveyance of land owned by a railroad or other public utility which does not involve any new streets or easements of access;
  6. The conveyance of land for highway or other public purposes or grants or conveyances relating to the dedication of land for public use or instruments relating to the vacation of land impressed with a public use;
  7. Conveyances made to correct descriptions in prior conveyances;
  8. The sale or exchange of parcels or tracts of land following the division into not more than two (2) parts of a particular parcel or tract of land existing on July 17, 1959, and not involving any new streets or easements of access;
  9. The sale of a single lot of less than 5.0 acres from a larger tract when a survey is made by an Illinois Registered Land Surveyor; provided, that this exemption shall not apply to the sale of any subsequent lots from the same larger tract of land, as determined by the dimensions and configuration of the larger tract on October 1, 1973, and provided also that this exemption does not invalidate any local requirements applicable to the subdivision of land;
  10. The conveyance is of land described in the same manner as title was taken by grantor(s).

AFFIANT further states that he makes this affidavit for the purpose of inducing the Recorder of Deeds of Kendall County, Illinois, to accept the attached deed for recording.

SUBSCRIBED AND SWORN BEFORE ME

This 21st day of December, 2018

[Redacted Signature]

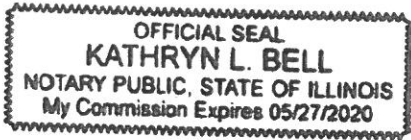
Signature of Notary Public

D.W. Burke & Associates, LLC

By: Donald W. Burke, Jr., Manager

[Redacted Signature]

By: Kody L. Lake, Attorney-in-fact



Unofficial





# WARRANTY DEED ILLINOIS STATUTORY

## THE GRANTOR (NAME AND ADDRESS)

Hansel Ridge, LLC  
7502 E. Hansel Rd.  
Channahon, IL 60410

202000004426

DEBBIE GILLETTE  
RECORDER - KENDALL COUNTY, IL

RECORDED: 3/20/2020 12:20 PM  
WD: 57.00 RHSPS FEE: 10.00  
STATE TAX: 320.00  
COUNTY TAX: 164.00  
PAGES: 4

(The Above Space for Recorder's Use Only)

THE GRANTOR **Hansel Ridge, LLC**, a limited liability company licensed to conduct business in Illinois for and in consideration of TEN AND 00/100 DOLLARS (\$10.00), and other good and valuable considerations in hand paid, CONVEYS AND WARRANTS to **GoProBall, LLC**, an Illinois limited liability company, whose principal place of business is located 24317 W. 143<sup>rd</sup> St., Plainfield, IL 60544, in fee simple forever, the following described real estate situated in the County of Kendall, in the State of Illinois, to wit:

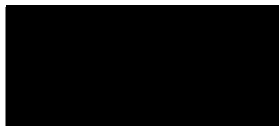
**SEE ATTACHED LEGAL DESCRIPTION ATTACHED AS EXHIBIT "A"**

Permanent Index Number(s): 09-13-200-002 (part of)  
Property Address: 195 US Rt. 52, Minooka, IL 60447

**SUBJECT TO:** covenants, conditions and restrictions of record and building lines and easements, if any, provided they do not interfere with the current use and enjoyment of the Real Estate; and general real estate taxes not due and payable at the time of Closing.

Dated this 10<sup>th</sup> day of Feb., 2020.

Fidelity  
Title



HANSEL RIDGE, LLC

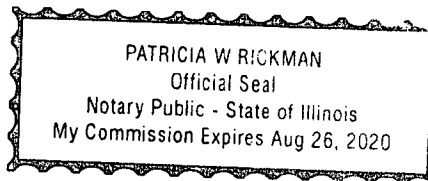
By   
John Dollinger

STATE OF ILLINOIS       )  
  ) SS,  
COUNTY OF                    )

I, the undersigned, a Notary Public in and for said County, in the State aforesaid, CERTIFY THAT John Dollinger, personally known to me to be the same person whose name is subscribed to the foregoing instrument, appeared before me this day in person, and acknowledged that he signed, sealed and delivered in the instrument as his free and voluntary act, for the uses and purposes therein set forth.

Given under my hand and notarial seal, this 10<sup>th</sup> day of Feb., 2020.

  
Notary Public



THIS INSTRUMENT PREPARED BY:  
Theresa Dollinger  
Castle Law  
822 129<sup>th</sup> Infantry Dr., #104  
Joliet, IL 60435

MAIL TO:

Daniel J. Kramer  
1107A S. Bridge St.  
Yorkville, IL 60560

SEND SUBSEQUENT TAX BILLS TO:

GoProBall, LLC  
24317 W. 143<sup>rd</sup> St.  
Plainfield, IL 60544

**EXHIBIT A  
LEGAL DESCRIPTION**

THAT PART OF THE NORTHEAST QUARTER OF SECTION 13, TOWNSHIP 35 NORTH, RANGE 8 EAST OF THE THIRD PRINCIPAL MERIDIAN DESCRIBED AS FOLLOWS:

COMMENCING AT THE NORTHEAST CORNER OF SAID NORTHEAST QUARTER; THENCE SOUTHERLY, ALONG THE EAST LINE OF SAID NORTHEAST QUARTER, 1142.05 FEET FOR THE POINT OF BEGINNING; THENCE WESTERLY, PARALLEL WITH THE NORTH LINE OF SAID NORTHEAST QUARTER, 1146.61 FEET TO A LINE WHICH IS 1500.00 FEET (NORMALLY DISTANT) EASTERLY OF THE WEST LINE OF SAID NORTHEAST QUARTER; THENCE SOUTHERLY, PARALLEL WITH SAID WEST LINE, 679.29 FEET; THENCE EASTERLY, PARALLEL WITH SAID NORTH LINE, 423.0 FEET; THENCE SOUTHERLY, PARALLEL WITH SAID WEST LINE 53.0 FEET; THENCE EASTERLY PARALLEL WITH SAID NORTH LINE, 720.57 FEET TO SAID EAST LINE OF THE NORTHEAST QUARTER; THENCE NORTHERLY, ALONG SAID EAST LINE, 732.32 FEET TO THE POINT OF BEGINNING IN SEWARD TOWNSHIP, KENDALL COUNTY, ILLINOIS.

Unofficial



# QUIT CLAIM DEED

Statutory (Illinois)

## THE GRANTOR,

GOPROBALL, LLC, an Illinois  
Limited Liability Company  
Of the Village of Plainfield  
in the County of Kendall  
and State of Illinois

for and in consideration of \$10.00 in hand paid, CONVEY and QUIT CLAIM TO:

FOUR SEASONS STORAGE, LLC, an Illinois Limited Liability Company  
whose address is: 1223 Buell Avenue, Joliet, Illinois 60435

all interest in the following described Real Estate situated in the County of Kendall in the State of Illinois to wit:

SUBJECT TO: Existing easements, covenants, and restrictions of record, and 2019 and subsequent years real estate taxes.

Hereby releasing and waiving all rights under and by virtue of the Homestead Exemption Laws of the State of Illinois.

Permanent Real Estate Index Number: part of 09-13-200-002  
Address of Real Estate: 8.6902 acres vacant land, County Line Road, Seward Township, Kendall County, Illinois

Dated this 27th day of March, 2020.

GOPROBALL, LLC, an Illinois Limited Liability Company

BY:

  
\_\_\_\_\_  
Jason Shelley, Manager

GOPROBALL, LLC, an Illinois Limited Liability Company  
BY:

[Redacted]  
James Maffeo, Manager

Quit Claim Deed

STATE OF ILLINOIS        )  
  ) SS.  
COUNTY OF Kendall    )

I, the undersigned, a Notary Public in and for said County, in the State aforesaid, CERTIFY THAT James Maffeo and Jason Shelley personally known to me to be the same person \_\_ whose name is subscribed to the foregoing instrument, appeared before me this day in person, and acknowledged that he signed, sealed and delivered this instrument as his free and voluntary act, for the uses and purposes therein set forth, including the release and waiver of the right of homestead.

Given under my hand and notarial seal this 27th Day of March, 2020.

[Redacted]  
Notary Public

SEND SUBSEQUENT TAX BILLS TO:  
Four Seasons Storage, LLC  
1223 Buell Ave.  
Joliet, IL 60435



THIS DOCUMENT PREPARED BY:  
AFTER RECORDING, RETURN TO:  
Attorney Daniel J. Kramer  
1107A S. Bridge Street  
Yorkville, IL 60560

This Transaction EXEMPT under provisions of 35ILCS 200/31-45, Par. \_\_\_\_.  
Dated March 27, 2020.  
Signed [Redacted]

## LEGAL DESCRIPTION OF TRACT 2 (B-3 Special Use Parcel):

That Part of the Northeast Quarter of Section 13, Township 35 North, Range 8 East of the Third Principal Meridian described as follows: Commencing at the Northeast Corner of said Northeast Quarter; thence Southerly, along the East Line of said Northeast Quarter, 1142.05 feet; thence Westerly, parallel with the North Line of said Northeast Quarter, 599.06 feet; thence Southerly, parallel with the West Line of said Northeast Quarter, 165.29 feet for the point of beginning; thence Easterly, parallel with said North Line, 332.25 feet; thence Southerly, parallel with said West Line, 525.07 feet to a line which is 1834.37 feet Southerly of (as measured along the East Line of said Northeast Quarter) and parallel with the North Line of said Northeast Quarter; thence Westerly, parallel with said North Line, 332.25 feet to a line drawn Southerly from the point of beginning, parallel with said West Line; thence Northerly, parallel with said West Line, 527.0 feet to the point of beginning in Seward Township, Kendall County, Illinois.

## LEGAL DESCRIPTION OF TRACT 3 (B2 Zoning Parcel):

That Part of the Northeast Quarter of Section 13, Township 35 North, Range 8 East of the Third Principal Meridian described as follows: Commencing at the Northeast Corner of said Northeast Quarter; thence Southerly, along the East Line of said Northeast Quarter, 1142.05 feet; thence Westerly, parallel with the North Line of said Northeast Quarter, 51.55 feet to a point hereinafter referred to as "Point A"; thence Southerly, along a line which forms an angle of 89°33'03" with the prolongation of the last described course, measured counter-clockwise therefrom, 692.32 feet to a line which is 1834.37 feet Southerly of (as measured along the East Line of said Northeast Quarter) and parallel with the North Line of said Northeast Quarter for the point of beginning; thence Northerly, along the line of the last described course 692.32 feet to "Point A"; thence Westerly, parallel with said North Line, 547.51 feet; thence Southerly, parallel with the West Line of said Northeast Quarter, 165.29 feet; thence Easterly, parallel with said North Line, 332.25 feet; thence Southerly, parallel with said West Line, 525.07 feet to a line which is 1834.37 feet Southerly of (as measured along the East Line of said Northeast Quarter) and parallel with the North Line of said Northeast Quarter; thence Easterly, parallel with said North Line, 213.85 feet to the point of beginning in Seward Township, Kendall County, Illinois.

(FILE WITH THE RECORDER OF DEEDS OF KENDALL COUNTY)

STATE OF ILLINOIS )  
 )ss.  
COUNTY OF KENDALL )


DOCUMENT #

DANIEL J. KRAMER, being duly sworn on oath, states that he resides at 1107A S. Bridge Street, Yorkville, IL 60560. That the attached deed represents:

1. The subject property is unsubdivided property.
2. A distinct separate parcel qualifying for a Kendall County building permit prior to August 10, 1971.
3. The division of subdivision of the land is into parcels or tracts of five acres or more in size which does not involve any new streets or easements of access.
4. The division is of lots or blocks of less than one acre in any recorded subdivision which does not involve any new streets or easements of access.
5. The sale of exchange of parcels of land is between owners of adjoining and contiguous land.
6. The conveyance is of parcels of land or interests therein for use as right of way for railroads or other public utility facilities, which does not involve any new streets or easement of access.
7. The conveyance is of land owned by a railroad or other public utility which does not involve any new streets or easements of access.
8. The conveyance is of land for highway or other public purposes or grants of conveyances relating to the dedication of land for public use or instruments relating to the vacation of land impressed with a public use.
9. The conveyance is made to correct descriptions in prior conveyances.
10. The sale or exchange is of parcels or tracts of land following the division into no more than two parts of a particular parcel or tract of land existing on July 17, 1959, and not involving any new streets or easements of access.
11. The sale is of a single lot of less than five acres from a larger tract, evidenced by a survey made by a registered surveyor which single lot is the first sale from said larger tract as determined by the dimensions and configurations thereof on October 1, 1973, and which sale does not violate any local requirements applicable to the subdivision of land.


CIRCLE NUMBER ABOVE WHICH IS APPLICABLE TO ATTACHED DEED.

Affiant further states that he makes this affidavit for the purpose of inducing the Recorder of Deeds of Kendall County, Illinois, to accept the attached deed for recording.

  
DANIEL J. KRAMER, Attorney at Law

SUBSCRIBED AND SWORN to before me

this 27th day of March, 2020.

  
Notary Public





KENDALL COUNTY  
DISCLOSURE OF BENEFICIARIES FORM

1. Applicant Hansel Ridge, LLC  
Address 7502 E Hansel Rd  
City Channahon State IL Zip 60410

2. Nature of Benefit Sought \_\_\_\_\_

3. Nature of Applicant: (Please check one)  
 Natural Person  
 Corporation  
 Land Trust/Trustee  
 Trust/Trustee  
 Partnership  
 Joint Venture

4. If applicant is an entity other than described in Section 3, briefly state the nature and characteristics of the applicant:

Limited Liability Company

5. If your answer to Section 3 you have checked letter b, c, d, e, or f, identify by name and address each person or entity who is a 5% shareholder in case of a corporation, a beneficiary in the case of a trust or land trust, a joint venture in the case of a joint venture, or who otherwise has proprietary interest, interest in profits and losses or right to control such entity:

NAME	ADDRESS	INTEREST
<u>John Dollinger</u>	[REDACTED]	<u>50% Member</u>
<u>Edward Dollinger</u>	[REDACTED]	<u>50% Member</u>

6. Name, address, and capacity of person making this disclosure on behalf of the applicant:

Theresa Dollinger, [REDACTED]

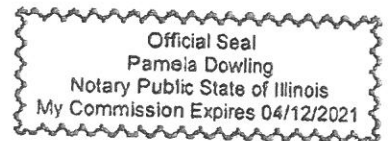
I, Theresa Dollinger, Attorney for Hansel Ridge LLC, being first duly sworn under oath that I am the person making this disclosure on behalf of the applicant, that I am duly authorized to make the disclosure, that I have read the above and foregoing Disclosure of Beneficiaries, and that the statements contained therein are true in both substance and fact.

Subscribed and sworn to before me this 27<sup>th</sup> day of September, A.D. 2019

(seal)

[REDACTED]

Notary Public



KENDALL COUNTY  
DISCLOSURE OF BENEFICIARIES FORM

1. Applicant Goprobball, LLC  
 Address 24317 W 143rd Street  
 City Plainfield State IL Zip 60544
2. Nature of Benefit Sought run baseball/soccer facility
3. Nature of Applicant: (Please check one)  
 Natural Person  
 Corporation/LLC  
 Land Trust/Trustee  
 Trust/Trustee  
 Partnership  
 Joint Venture

4. If applicant is an entity other than described in Section 3, briefly state the nature and characteristics of the applicant:

5. If your answer to Section 3 you have checked letter b, c, d, e, or f, identify by name and address each person or entity who is a 5% shareholder in case of a corporation, a beneficiary in the case of a trust or land trust, a joint venture in the case of a joint venture, or who otherwise has proprietary interest, interest in profits and losses or right to control such entity:

NAME	ADDRESS	INTEREST
<u>Jason Shelley</u>	[REDACTED]	<u>85%</u>
<u>James Maffeo</u>	[REDACTED]	<u>15%</u>

6. Name, address, and capacity of person making this disclosure on behalf of the applicant:

Jason Shelley [REDACTED] 9-26-19

I, Colleen Hanson VERIFICATION Manager, being first duly sworn under oath that I am the person making this disclosure on behalf of the applicant, that I am duly authorized to make the disclosure, that I have read the above and foregoing Disclosure of Beneficiaries, and that the statements contained therein are true in both substance and fact.

Subscribed and sworn to before me this 26th day of September, A.D. 2019

(seal)



[REDACTED] Notary Public



*Applicant:* Goprobball, LLC  
*Contact:* Attorney Daniel J. Kramer  
*Address:* 1107A South Bridge St  
 Yorkville, IL 60560  
  
*Project:* GoProbball  
*Address:* County Line Road, Shorewood

*IDNR Project Number:* 2003132  
*Date:* 09/25/2019

*Description:* Indoor/Outdoor facility for baseball and soccer fields

### Natural Resource Review Results

#### Consultation for Endangered Species Protection and Natural Areas Preservation (Part 1075)

The Illinois Natural Heritage Database contains no record of State-listed threatened or endangered species, Illinois Natural Area Inventory sites, dedicated Illinois Nature Preserves, or registered Land and Water Reserves in the vicinity of the project location.

**Consultation is terminated.** This consultation is valid for two years unless new information becomes available that was not previously considered; the proposed action is modified; or additional species, essential habitat, or Natural Areas are identified in the vicinity. If the project has not been implemented within two years of the date of this letter, or any of the above listed conditions develop, a new consultation is necessary. Termination does not imply IDNR's authorization or endorsement.

#### Location

The applicant is responsible for the accuracy of the location submitted for the project.

*County:* Kendall

*Township, Range, Section:*  
35N, 8E, 13



#### **IL Department of Natural Resources**

##### **Contact**

Adam Rawe  
 217-785-5500  
 Division of Ecosystems & Environment

#### **Government Jurisdiction**

Kendall County Planning, Building, and Zoning  
 Matt Asselmeier  
 111 W Fox Street  
 Yorkville, Illinois 60560

#### **Disclaimer**

The Illinois Natural Heritage Database cannot provide a conclusive statement on the presence, absence, or condition of natural resources in Illinois. This review reflects the information existing in the Database at the time of this inquiry, and should not be regarded as a final statement on the site being considered, nor should it be a substitute for detailed site surveys or field surveys required for environmental assessments. If additional protected resources are encountered during the project's implementation, compliance with applicable statutes and regulations is required.

IDNR Project Number: 2003132

### **Terms of Use**

By using this website, you acknowledge that you have read and agree to these terms. These terms may be revised by IDNR as necessary. If you continue to use the EcoCAT application after we post changes to these terms, it will mean that you accept such changes. If at any time you do not accept the Terms of Use, you may not continue to use the website.

1. The IDNR EcoCAT website was developed so that units of local government, state agencies and the public could request information or begin natural resource consultations on-line for the Illinois Endangered Species Protection Act, Illinois Natural Areas Preservation Act, and Illinois Interagency Wetland Policy Act. EcoCAT uses databases, Geographic Information System mapping, and a set of programmed decision rules to determine if proposed actions are in the vicinity of protected natural resources. By indicating your agreement to the Terms of Use for this application, you warrant that you will not use this web site for any other purpose.
2. Unauthorized attempts to upload, download, or change information on this website are strictly prohibited and may be punishable under the Computer Fraud and Abuse Act of 1986 and/or the National Information Infrastructure Protection Act.
3. IDNR reserves the right to enhance, modify, alter, or suspend the website at any time without notice, or to terminate or restrict access.

### **Security**

EcoCAT operates on a state of Illinois computer system. We may use software to monitor traffic and to identify unauthorized attempts to upload, download, or change information, to cause harm or otherwise to damage this site. Unauthorized attempts to upload, download, or change information on this server is strictly prohibited by law.

Unauthorized use, tampering with or modification of this system, including supporting hardware or software, may subject the violator to criminal and civil penalties. In the event of unauthorized intrusion, all relevant information regarding possible violation of law may be provided to law enforcement officials.

### **Privacy**

EcoCAT generates a public record subject to disclosure under the Freedom of Information Act. Otherwise, IDNR uses the information submitted to EcoCAT solely for internal tracking purposes.

IDNR Project Number: 2003132



<b>EcoCAT Receipt</b>	<b>Project Code</b> 2003132
-----------------------	-----------------------------

APPLICANT	DATE
-----------	------

Goprobball, LLC Attorney Daniel J. Kramer 1107A South Bridge St Yorkville, IL 60560	9/25/2019
--	-----------

DESCRIPTION	FEE	CONVENIENCE FEE	TOTAL PAID
-------------	-----	-----------------	------------

EcoCAT Consultation	\$ 125.00	\$ 2.81	\$ 127.81
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	<b>TOTAL PAID</b>	<b>\$ 127.81</b>
--	-------------------	------------------

Illinois Department of Natural Resources  
 One Natural Resources Way  
 Springfield, IL 62702  
 217-785-5500  
[dnr.ecocat@illinois.gov](mailto:dnr.ecocat@illinois.gov)

Maffeo Business Plan

10-08-19

Timeline

- Phase 1 Construction Spring - Summer 2020
- Phase 2 Construction Spring 2023

Plan

- Phase 1 60' x 45' x 16 ' Metal Building  
Office  
Restrooms  
Inside storage for recreational vehicles
  
- Phase 2 2 200' x 30' Metal Buildings  
Mini Storage Warehouse  
245' x 300' Paved outside Area  
4 200' x 30' Metal Storage Warehouse  
6 foot Privacy Fence Surrounding entire area  
Dumpsters Provided  
No lighting plan completed at this time

Employees

One employee /3-5 days per week

Hours

Outside Storage/ 24 hour access

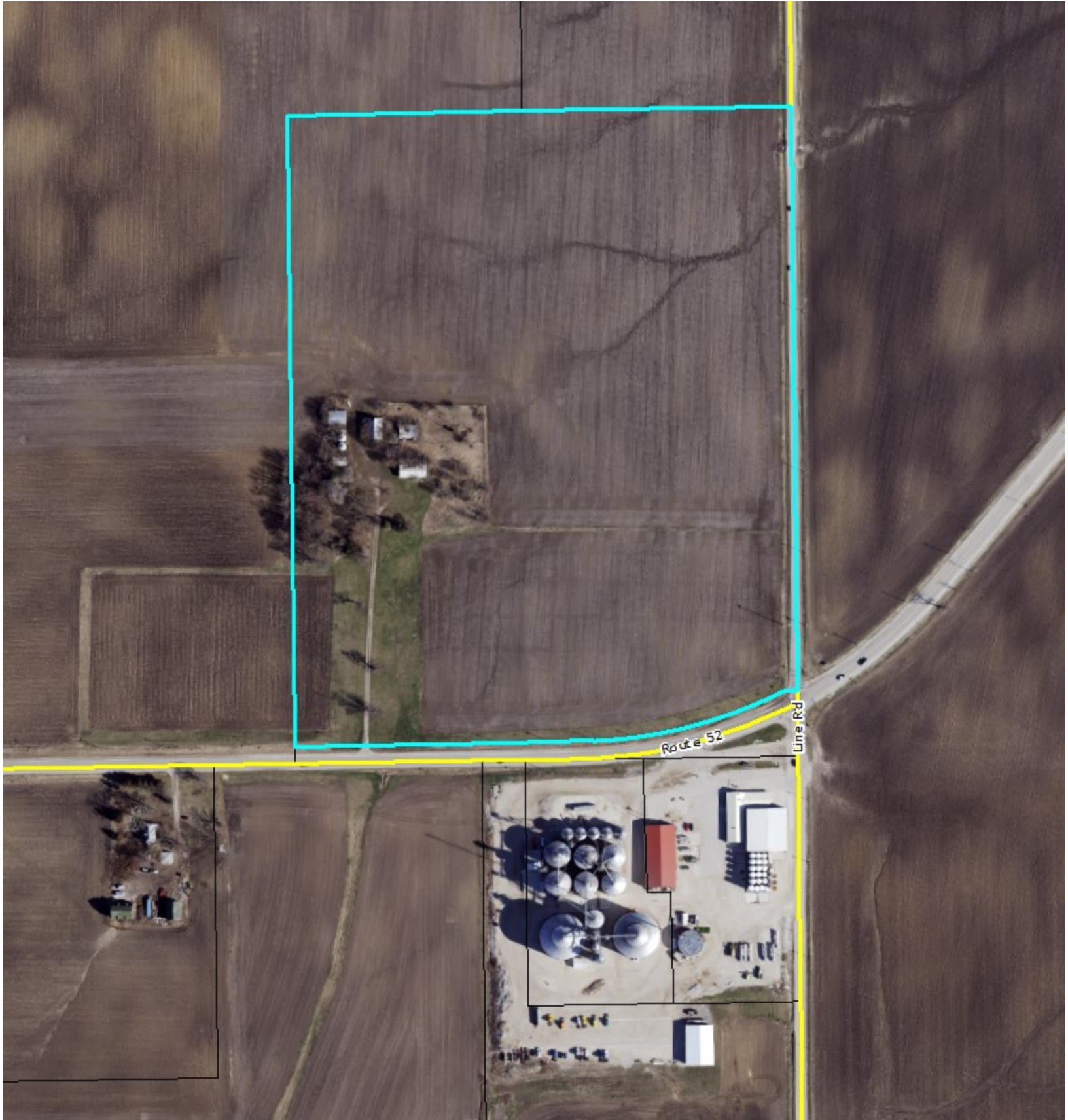
Mini Warehouses / 7 AM – 7 PM daily

Office building by appointment

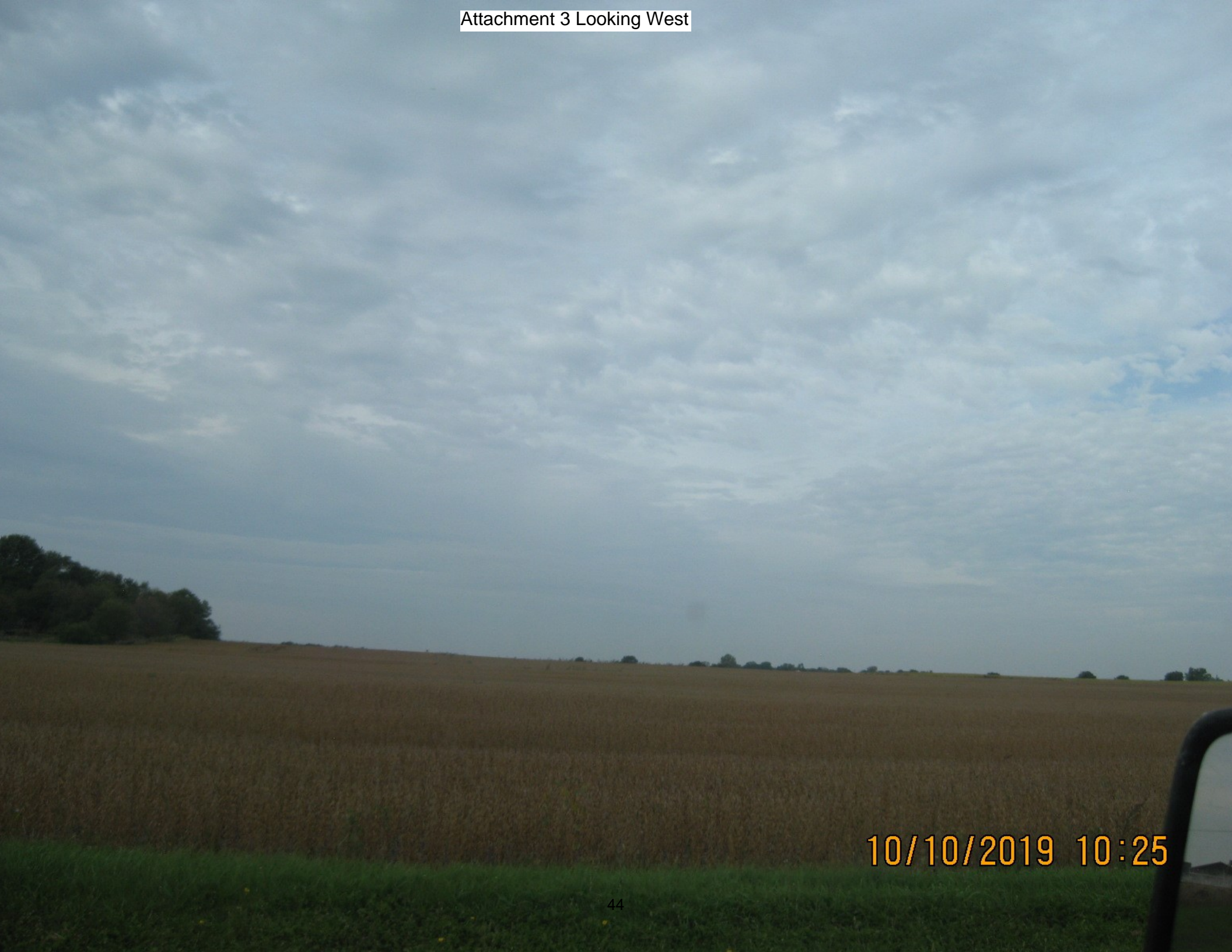
Signage

Lighted sign for both buildings









10/10/2019 10:25





10/10/2019 10:25





10/10/2019 10:26





10/10/2019 10:26





10/10/2019 10:25

**Matt Asselmeier**

---

**From:** andrew doyle <adoyle@troyfpd.com>  
**Sent:** Thursday, October 10, 2019 1:29 PM  
**To:** Matt Asselmeier  
**Subject:** [External]RE: 195 Route 52 Question

Mr. Asselmeier,

Thank you for reaching out to our department regarding the rezoning change for 195 Route 52. We currently do not have any concerns regarding the proposed changes.

Thank you,  
Andy

*Andrew Doyle*

Andrew Doyle, Fire Chief  
Troy Fire Protection District  
700 Cottage St.  
Shorewood, IL 60404  
815-725-2149 Main Line  
815-651-2102 Direct Line  
815-725-0772 Fax Line  
815-791-0391 Cell Phone  
www.troyfirepd.com



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---

**From:** Matt Asselmeier [mailto:masselmeier@co.kendall.il.us]  
**Sent:** Thursday, October 10, 2019 12:36 PM  
**To:** andrew doyle  
**Subject:** 195 Route 52 Question

Chief Doyle:

Kendall County received a request to change its Future Land Use Map for the northern portion of 195 Route 52 (PIN 09-13-200-002) from Public Institutional to Commercial. The property owner also wants to rezone the property from A-1 Agricultural to B-3 Highway Business District with a special use permit for indoor/outdoor storage and B-4 Commercial Recreation District to construct an indoor athletic facility.

Does the Troy Fire Protection District have any general concerns about this type of proposal?

I am at the initial phase of reviewing this application and will send you more information as I proceed with my review.

Thanks,

Matthew H. Asselmeier, AICP  
Senior Planner  
Kendall County Planning, Building & Zoning  
111 West Fox Street  
Yorkville, IL 60560-1498  
PH: 630-553-4139  
Fax: 630-553-4179

--

This email was Malware checked by UTM 9. <http://www.sophos.com>



***KENDALL COUNTY HEALTH DEPARTMENT***

811 W. John Street, Yorkville, IL 60560-9249 630/553-9100 Administration Fax 630/553-9605



**Public Health**  
Prevent. Promote. Protect.

November 27, 2019

RE: Proposed Development with Private Onsite Wastewater Disposal Systems  
RE: PIN # 09-13-200-002

To Whom it May Concern,

A preliminary planning meeting was held today, November 27, 2019, with Dan Kramer, Ted McCannon, and myself, Lauren Belville, to discuss preliminary design plans for the onsite wastewater disposal systems needed to service the two proposed facilities, namely the proposed Go Pro Baseball Academy and the proposed Storage Facility, to be included in the development of this parcel 09-13-200-002.

After reviewing and discussing the preliminary design plans for the onsite wastewater treatment systems, at this current time we do not have any objections or restrictions as to the use of private onsite wastewater disposal systems as a means for sewage disposal for these proposed facilities. Formal design review will occur at a later date after formal permit application and required plans are submitted.

If you have any questions or concerns regarding this matter please contact me directly at 630-553-8054.

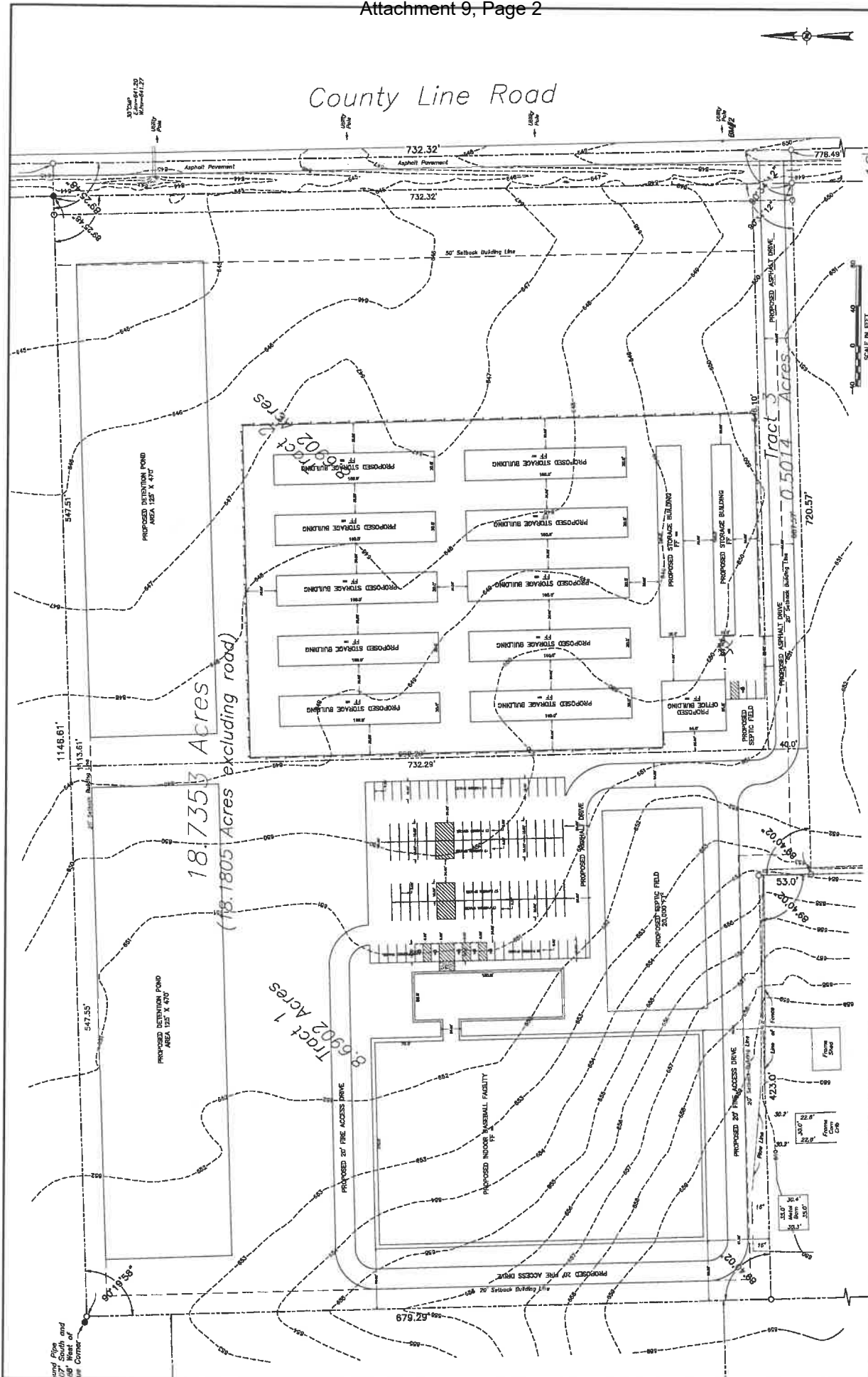
Sincerely,

Lauren Belville, LEHP  
Well & Septic Program Coordinator  
Environmental Health Services  
Kendall County Health Department

Kendall County Location  
811 West John Street  
Yorkville, Illinois 60560  
630/553-9100 Fax 630/553-9605

**Kendall-Grundy Community Action**  
A Unit of Kendall County Health Department  
  
Helping People. Changing Lives.

Grundy County Location  
1802 N. Division St., Rm. 602  
Morris, Illinois 60450  
815/941-3262 Fax 815/942-3925



SHEET NO. **5**  
 OF 6 SHEETS

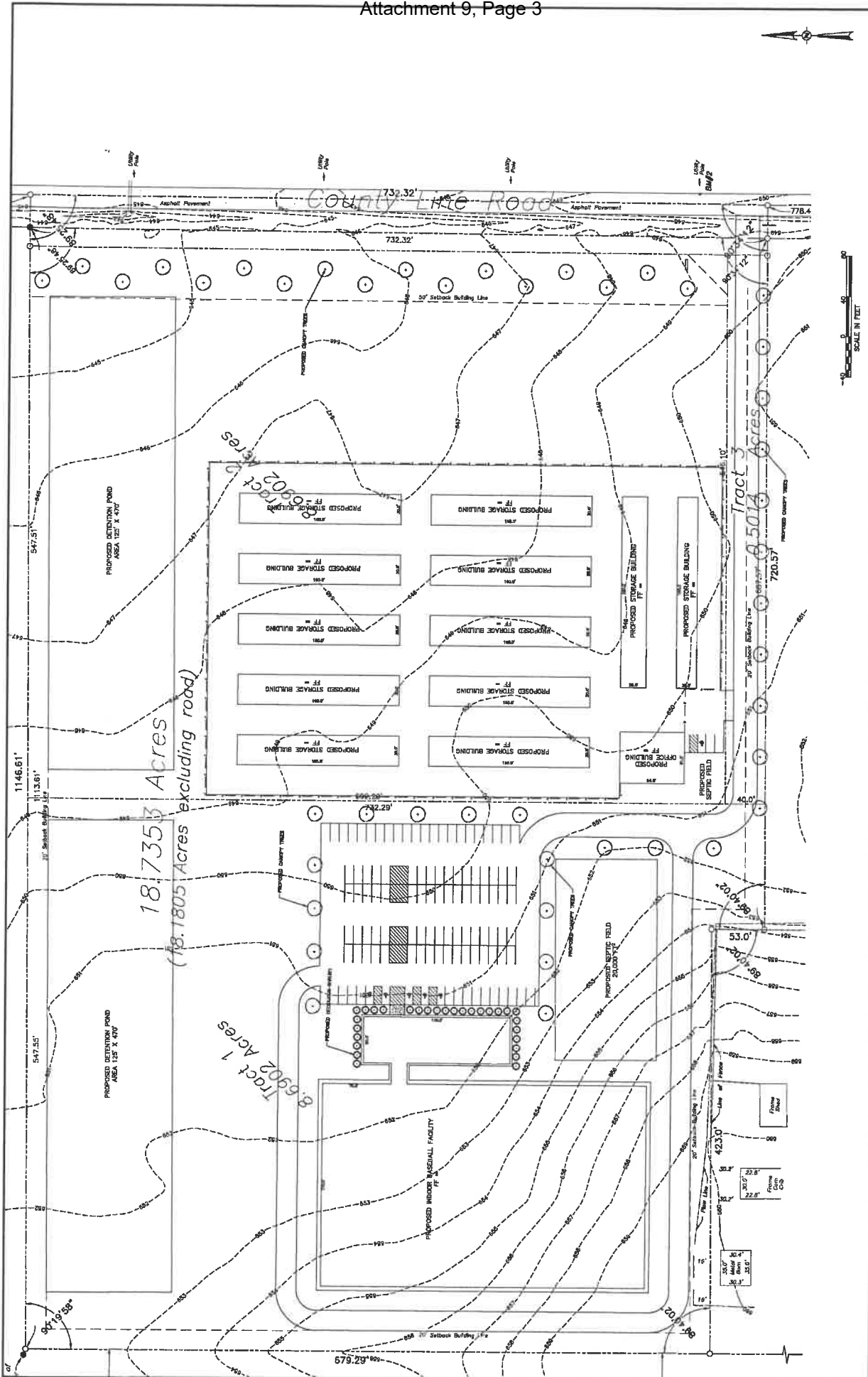
DATE: 12/11/13  
 SCALE: 1" = 40'

GO PRO BALL SITE PLAN  
 CIVIL SITE PLAN

PREPARED FOR:  
 GO PRO BALL, LLC  
 6821 SAHARA DR, PLAINFIELD, IL

**TEBRUGGE ENGINEERING**  
 1000 N. WASHINGTON ST., SUITE 200  
 PLAINFIELD, IL 62551  
 PHONE: 618-238-8888 FAX: 618-238-8889  
 WWW.TEBRUGGEENGINEERING.COM





	PREPARED FOR: <b>GO PRO BALL, LLC</b> 6821 SAHARA DR., PLAINFIELD, IL	PROJECT NO.: 18-47-01 SCALE: 1" = 40' DATE: 03/20/23	SHEET NO.: <b>1</b> OF 1 SHEET
	<b>GO PRO BALL SITE PLAN</b> <b>LANDSCAPE PLAN</b>		



#	Date	Comments

**Attachment 9, Page 5**

Revisions

Project Name: **GO PRO BASEBALL SITE**

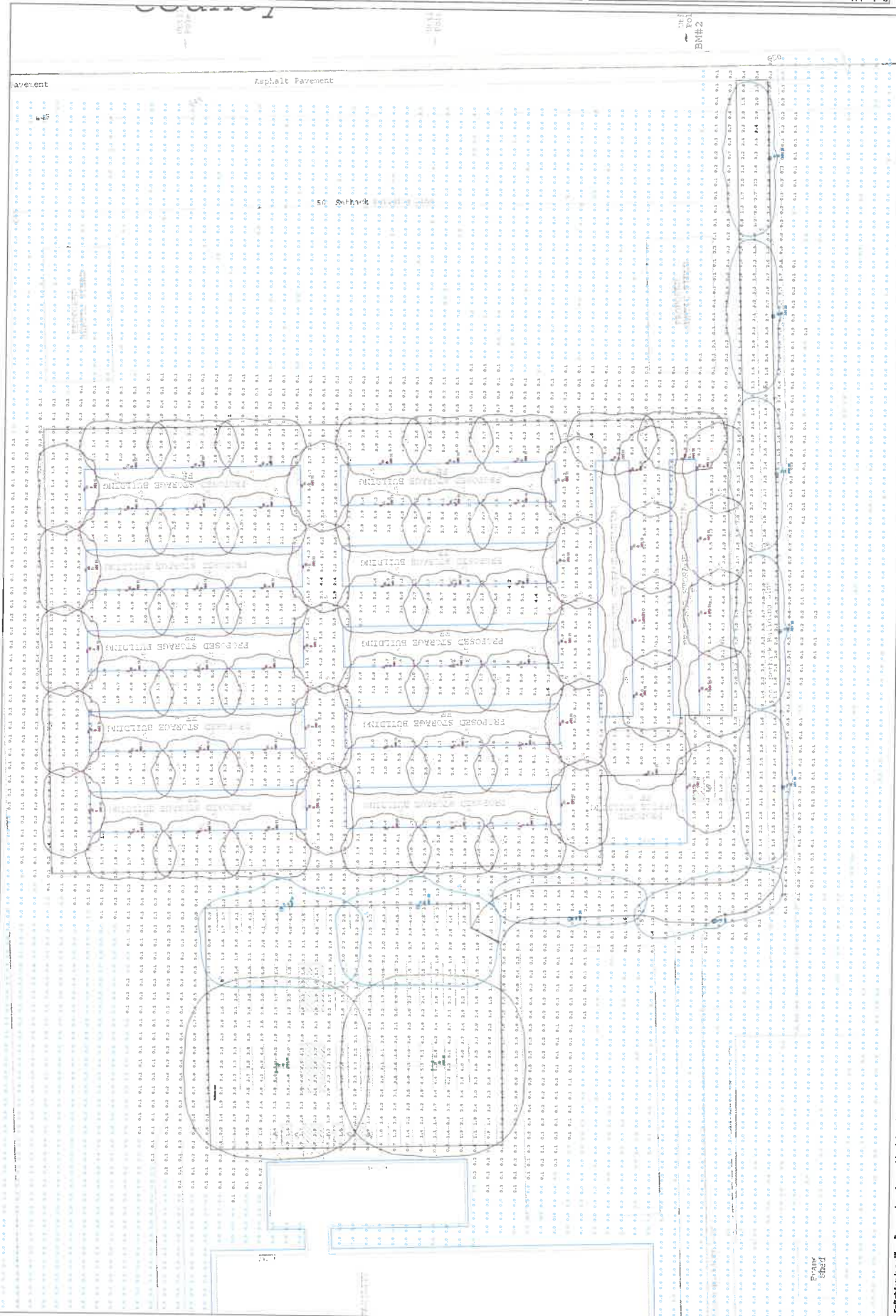
Location: **KENDALL CO, IL**

Scale: 1" = 30'

Date: 01/18/2019

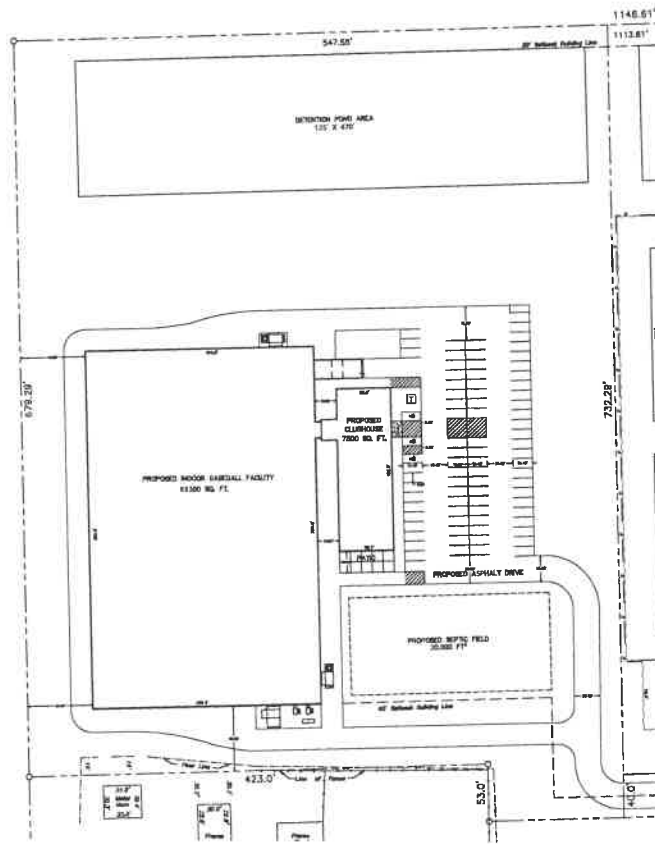
Drawn By: **Joel Collins**

Drawn By: **joelcollins@enlighten.com**





Luminaire	Location Summary	Label	X	Y	Z	Orient	TH
1	UNC3-2414K-105-4	11,45,500	11,45,500	11	180	0	
2	UNC3-2414K-105-4	11,45,500	11,45,500	11	180	0	
3	UNC3-2414K-105-4	11,45,500	11,45,500	11	180	0	
4	UNC3-2414K-105-4	11,47,27	11,47,27	11	180	0	
5	UNC3-2414K-105-4	11,065,999	11,097,27	11	180	0	
6	UNC3-2414K-105-4	11,067,429	11,047,27	11	180	0	
7	UNC3-2414K-105-4	11,144,424	11,149,039	11	180	0	
8	UNC3-2414K-105-4	11,145,873	11,069,039	11	180	0	
9	UNC3-2414K-105-4	11,147,003	11,049,039	11	180	0	
10	UNC3-2414K-105-4	11,204,998	11,150,908	11	180	0	
11	UNC3-2414K-105-4	11,207,377	11,059,908	11	180	0	
12	UNC3-2414K-105-4	11,207,377	11,059,908	11	180	0	
13	UNC3-2414K-105-4	11,264,922	11,152,576	11	180	0	
14	UNC3-2414K-105-4	11,265,821	11,102,576	11	180	0	
15	UNC3-2414K-105-4	11,267,351	11,052,576	11	180	0	
16	UNC3-2414K-105-4	11,018,875	11,335,418	11	180	0	
17	UNC3-2414K-105-4	11,021,854	11,335,418	11	180	0	
18	UNC3-2414K-105-4	11,021,854	11,335,418	11	180	0	
19	UNC3-2414K-105-4	11,090,988	11,297,187	11	180	0	
20	UNC3-2414K-105-4	11,061,268	11,337,187	11	180	0	
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88	UNC3-2414K-105-4	11,300,453	11,981,014	11	0	0	
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92	UNC3-2414K-105-4	11,300,453	11,981,014	11	0	0	
93	UNC3-2414K-105-4	11,300,453	11,981,014	11	0	0	
94	UNC3-2414K-105-4	11,300,453	11,981,014	11	0	0	
95	UNC3-2414K-105-4	11,300,453	11,981,014	11	0	0	
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97	UNC3-2414K-105-4	11,300,453	11,981,014	11	0	0	
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100	UNC3-2414K-105-4	11,300,453	11,981,014	11	0	0	



**PROPOSED SITE PLAN**

SCALE: 1" = 40'



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 architecture • planning • design  
 1906 West 58th Street, Suite 604B  
 Chicago, IL 60649

NEW FACILITY FOR:

**GO PRO BASEBALL**  
 NW CORNER  
 COUNTY LINE  
 RD. NEAR RTE  
 52  
 KENDALL  
 COUNTY, IL

CONCEPT  
 BUILDING &  
 SITE PLAN

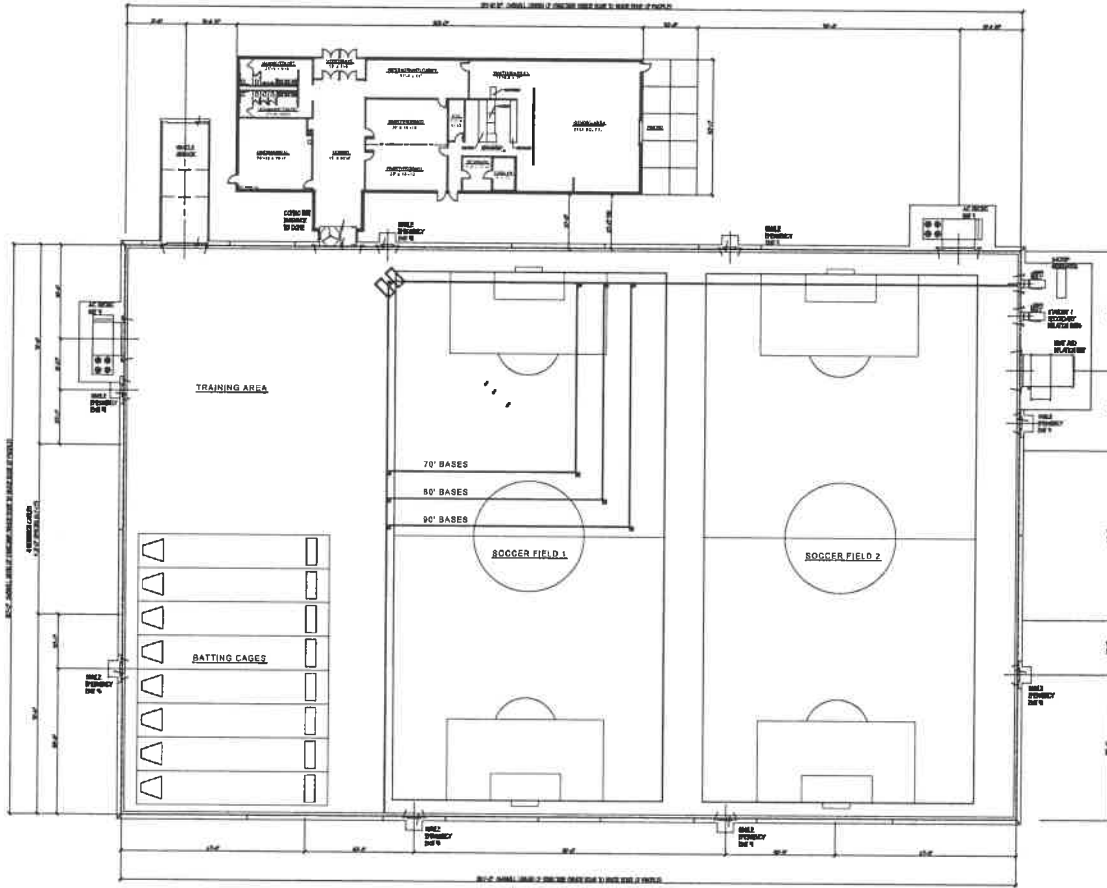
OWNER:

**GO PRO SPORTS  
 ACADEMY**  
 24317 143RD ST.  
 PLAINFIELD, IL

**SP-1**

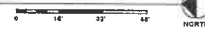
PROJECT #: 19066  
 DATE: 10-24-19  
 REVISIONS:

SCALE: AS NOTED  
 COPYRIGHT 2019  
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 ALL RIGHTS RESERVED



**FLOOR PLAN**

SCALE: 1/8" = 1'-0"



arete design studio  
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 1203 West 134th Street, Moline, Illinois 61704  
 314.484.7520

NEW FACILITY FOR:

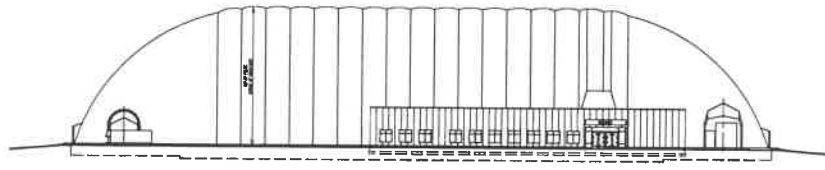
**GO PRO BASEBALL**  
 NW CORNER COUNTY LINE RD. NEAR RTE 52  
 KENDALL COUNTY, IL

CONCEPT BUILDING & SITE PLAN

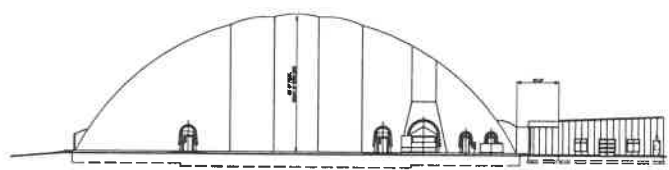
OWNER:  
 GO PRO SPORTS ACADEMY  
 24317 143RD ST.  
 PLAINFIELD, IL

**FP-1**

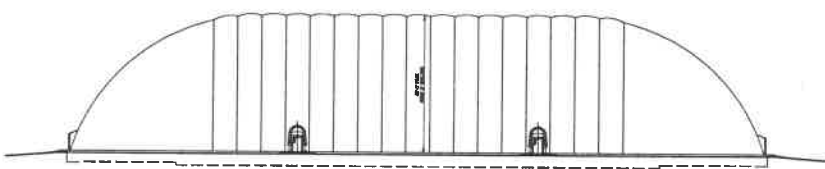
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 REVISIONS:  
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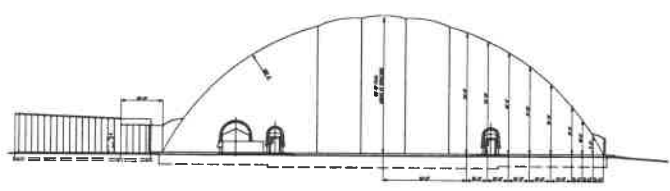
4 EAST ELEVATION  
SCALE: 1/8" = 1'-0"



3 SOUTH ELEVATION  
SCALE: 1/8" = 1'-0"



2 WEST ELEVATION  
SCALE: 1/8" = 1'-0"



1 NORTH ELEVATION  
SCALE: 1/8" = 1'-0"

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NEW FACILITY  
FOR:  
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BASEBALL  
NW CORNER  
COUNTY LINE  
RD, NEAR RTE  
52  
KENDALL  
COUNTY, IL

CONCEPT  
BUILDING &  
SITE PLAN

OWNER:  
GO PRO SPORTS  
ACADEMY  
24317 143RD St.  
PLAINFIELD, IL

EL-1

PROJECT #: 19066  
DATE: 10-24-19  
REVISIONS:  
SCALE: AS NOTED  
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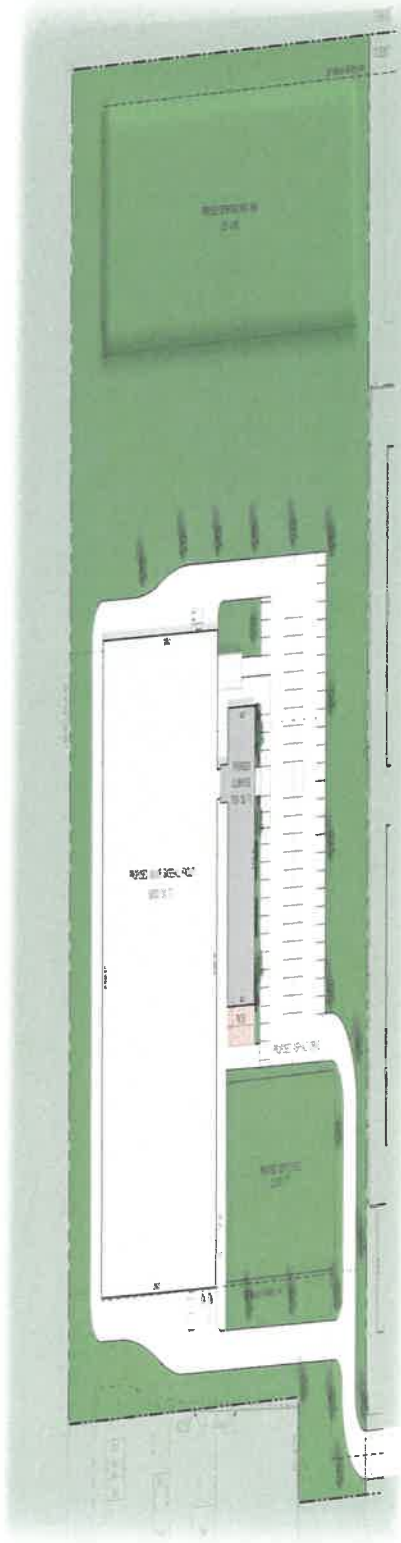
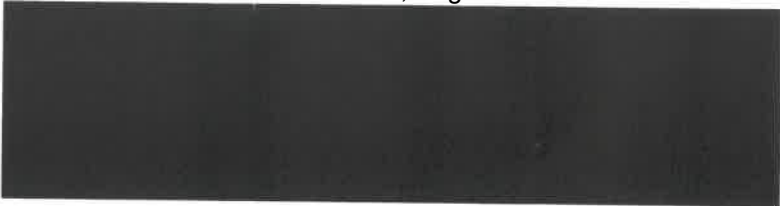








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NEW FACILITY  
FOR  
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HWY CORNER  
COUNTY LINE  
RD. NEAR RTE  
52  
KENDALL  
COUNTY, IL

CONCEPT  
BUILDING &  
SITE PLAN

OWNER

GO PRO SPORTS  
ACADEMY  
24317 143RD ST.  
PLAINFIELD, IL

SP-1



**SEWARD TOWNSHIP PLAN COMMISSION MINUTES**

**JANUARY 14, 2020**

The Seward Township Plan Commission met on January 14, 2020 at 6:00 p.m. . Members present included Rob Lombardo, Jessica Nelsen, Eleanor Beutel and Suzanne Casey. Daniel Dugan was absent. Following the pledge to the flag, Chairman Lombard initiated discussion of the two proposals for the evening.

The first presentation was by Michael Cook of Cook Engineering representing the proposal for a Veterinary Clinic/Doggy Daycare on 6.99 acres at the Northeast corner of Bell Road and Ridge Road. The Developer was not present. Grading and drainage, signage and the construction of the buildings was all presented, with clarifying questions asked. A discussion of the traffic on Ridge Road followed, and the corner in question being one that experiences heavy traffic coming north from Minooka. The explanation was that only individuals would be coming and going, and not large numbers of people at one time. Additionally, members questioned the septic and well components of the project, and the explanation of the detailed Department of Public Health review that would be executed at the time of construction seemed to satisfy members present. When questioned as to why this location was selected, it did not appear that it was for business reasons, but rather land available for purchase in an area that seemed desirable for such a business.

In summary, the committee felt that if the grading plans, signage, and construction, landscaping and traffic flow were all considered by the developer, the plan would be an appropriate addition to the township. The motion to approve was made by Jessica, and seconded by Eleanor. Motion to approve carried.

The next proposal for consideration, the construction of a Sports Dome, as well as several storage units, was presented by Daniel Kramer on behalf of the developer, who was not present. Numerous questions were raised by the committee and by public members present. Drainage, septic and well, and landscaping were all presented and questioned. Considerable discussion occurred relative to the storage units, their location, and road access in and out of that facility. Two community members/residents who reside directly next to and across the street from the proposed project were present and expressed concerns. It was the committee's understanding from the presenter, Mr. Kramer, that given the traffic patterns in this congested area, and the expectation for continued growth, there would be road access/widening at the entrance into the storage facility/dome, and a parking lot area that could be expanded into restaurant or other gathering options for individuals coming to the sport dome in the future. This would lessen the potential for congestion/accidents at the entrance off County Line. Additionally, it was clarified that the land being purchased was not from the School District but from the Dollinger family. The Sports Dome would, however, be located adjacent to school district property, and potentially a school in the future. There was less concern expressed for

-2-

the Sports Dome, than for the construction of several storage units. Again, the question was raised as to why this land was selected for the development, and the answer was essentially that it was for sale and in a geographic area close to Shorewood. After lengthy discussion, a motion to approve was made by Jessica Nelson and seconded by Rob Lombardo. Motion carried.

It should be noted that in both presentations, discussion was had regarding the traffic congestion in this area, and the impact of establishing such businesses in areas where traffic/congestion/accidents are already an issue. The committee was advised that traffic management by either County or State follows growth build-out, and until the area grows, and emerging traffic patterns produce a need for road re-routing, traffic lights, etc. will not be considered. For some members, traffic and accidents still remained a concern.

The meeting adjourned at 7:15 p.m.

Minutes submitted by Suzanne Casey

January 15, 2020

STATE OF ILLINOIS  
Kendall County  
Town of Seward

The Board of Trustees met at the office of the Town Clerk at Seward Town Hall on January 14, 2020.

Present:

Mrs. Jean Homerding, Supervisor  
Ms Sharleen Smith, Clerk  
Mr. Tom Fleming, Trustee  
Mr. Dan Roberts, Trustee  
Mr. Jim Martin, Trustee  
Mrs. Anne Vickery, Road Commissioner  
Mr. Phil Chaney, Trustee

Jean Homerding, Chairperson and Sharleen Smith, Clerk conducted the following business.

The Seward Township January 14, 2020 meeting was called to order at 7:40 p.m. All Trustees were present and there were 6 visitors. After the Pledge of Allegiance, the minutes of the December meeting were read. A motion to approve the minutes was made by Jim Martin and seconded by Tom Fleming. All in favor motion carried. Balances in all funds were reviewed and reported. An itemized list is attached. The following are the balances of the township funds Corporate Fund \$439,530.75, Road and Bridge \$936,523.69, Hard Road \$657,597.49, Special Bridge \$838,562.69, and General Assistance \$6,384.33.

Phil Chaney made a motion to approve the Corporate Fund bills in the amount of \$8,611.37. Jim Martin seconded all members voting, Aye and the motion carried.

Motion to approve the bills in the Road and Bridge Fund in the amount \$27,458.49 was made by Tom Fleming and seconded by Dan Roberts. All members voting Aye, motion carried.

Motion to approve the bills in the Hard Road Fund in the amount \$2,107.69 was made by Jim Martin and seconded by Phil Chaney. All members voting Aye, motion carried.

Correspondence: We received a "thank you" from Joliet Hospice for our donation.



**Old Business:** none

**In new business:** There was some discussion about the 2 new businesses applying for a special use permit. Since most of the Trustees were at the Planning Commission meeting, much of their concerns were voiced and reflected in those minutes. However, of special note, for both the Doggy Day Care and Clinic and also the Go pro facility and storage units, it was noted that flooding can be an issue even with the creating of retention ponds. It was asked if the companies had checked out the tiles that were already in the fields and how they were going to impact the new facilities. Both claimed that the retention ponds and sewers would handle the drainage issues. It is still a major concern for the trustees. Also the traffic pattern on Rte 52 for the Go pro facility is a huge concern. This is a terrible intersection now. It was asked if IDOT is involved in a traffic study. Mr Kramer, the lawyer for Go pro said he is trying to get them involved but says that is not his concern, that is an IDOT issue. Again there is strong concern about the safety of Kendall County residents with the added traffic at that intersection. Mr. Kramer stated that they would encourage people to use Baltz Road but that just moves the danger up to around the curve. Dan Roberts made a motion to approve both projects which was the recommendation of the Planning Committee with **STRONG CONCERNS** regarding the drainage issues and the traffic issues. Tom Fleming seconded, all in favor, motion carried.

Tom Fleming discussed possibilities about helping Grundy County and/or Kendall County PADS. No decision was made.

The Tax Abatement Form was presented. This will be the last one as the building is paid off. Dan Roberts made a motion to accept with Tom Fleming seconding. All in favor, motion carried.

In public comments, Officer Kallas of the Kendall County Sheriff's Department stated that there were 32 service calls and 25 traffic stops. He also thanked the Road Commissioner and her staff for the help with the fatal accident on O'Brien and Sherril.

With no further business, a motion to adjourn was made Dan Roberts and seconded by Jim Martin. All members voted Aye, motion carried. Meeting adjourned at 8:10 p.m.

Our next scheduled meeting is February 11, 2020 at 7:30pm

Attest

Sharleen Smith/ Clerk



**Matt Asselmeier**

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**From:** Engel\_Natalie <nengel@vil.shorewood.il.us>  
**Sent:** Monday, January 6, 2020 5:29 PM  
**To:** Matt Asselmeier  
**Cc:** Chrissy\_Kelley  
**Subject:** [External]ZPAC Meeting

Hi Matt,

Happy New Year!

Kelley and I will not be able to attend tomorrow's ZPAC meeting but wanted to provide some comments regarding the projects within 1 ½ miles of Shorewood's boundaries.

**Petitions 19-37, 19-38 and 19-39**

We met with Dan Kramer to discuss the projects. We provided some feedback and suggestions regarding the site layout and zoning uses. He was open to our comments and agreed to carry them back to his clients.

They will be submitting applications to the Village and we hope to bring forward their proposals for discussion at our February 5, 2020 Planning and Zoning Commission meeting. I will touch base with you when we have applications and a staff report.

**Petition 19-47**

Our main concerns regarding the Doggy Day Care project are about noise impacts on the neighbors. We are comfortable that you are addressing these concerns so we defer to you on this project.

When the site and engineering plans are available, please have the applicants send over a copy to Shorewood so that we can determine whether they trigger our Subdivision and Development Ordinance.

Thank you Matt! Please let us know if you have any questions or need any information from us.

**Natalie Engel, AICP**

*Village Planner*



Village of Shorewood

One Towne Center Blvd | Shorewood, IL 60404

815.553.2314

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**ZONING, PLATTING & ADVISORY COMMITTEE (ZPAC)  
November 5, 2019**

PBZ Chairman Matthew Prochaska called the meeting to order at 9:02 a.m.

Present:

Megan Andrews – Soil and Water Conservation District  
Matt Asselmeier – PBZ Department  
Meagan Briganti – GIS  
Fran Klaas – Highway Department  
Commander Jason Langston – Sheriff's Department  
Matthew Prochaska – PBZ Committee Chair  
Aaron Rybski – Health Department

Absent:

Greg Chismark – WBK Engineering, LLC  
David Guritz – Forest Preserve  
Brian Holdiman – PBZ Department

Audience:

Ruben Hernandez, John Tebrugge, Dan Kramer, Anne Vickery, and Natalie Engel

**AGENDA**

Mr. Klaas made a motion, seconded by Ms. Andrews, to approve the agenda as presented. With a voice vote of all ayes, the motion carried unanimously.

**MINUTES**

Ms. Andrews made a motion, seconded by Mr. Rybski, to approve the October 1, 2019, meeting minutes by correcting the date of approval of the previous minutes from September 30 to September 3. With a voice vote of all ayes, the motion carried unanimously.

**PETITIONS**

**Petition 19-36 Ruben Hernandez on Behalf of Majey Concrete, Inc.**

Mr. Asselmeier summarized the request.

Majey Concrete, Inc. is requesting permission to construct pads for vehicles and equipment on lots 6-10 of Light Road Industrial Park. The proposed parking lots consist of one hundred thirty-four (134) parking stalls of varying depths. The parking lots would be asphalt shavings with three (3) concrete paved access points off of Commerce Road.

If approved, the Petitioner would like to start construction and operations at the property as soon as possible.

This proposal is similar to a site plan approved earlier in 2019 for Lots 1-5 of the Light Road Industrial Park.

The property is approximately five point five (5.5) acres in size and is zoned M-1.

The Future Land Use Map calls for the property to be Mixed Use Business.

Light Road is a Township maintained Collector Road. Commerce Road is a Local Road maintained by Oswego Township. The Village of Oswego has a trail proposed along Light Road.

There are no floodplains or wetlands on the property.

The adjacent land uses are railroad, industrial, and agricultural to the north, Comed ROW to the south and east, and railroad and agriculture to the west. The adjacent zonings are M-1 to the north, east, and west and A-1 to the south. The Land Resource Management Plan calls for Mixed Use Business, Railroad, and Comed ROW in the vicinity. Zonings within one half (1/2) mile include A-1, R-6, R-7, R-7 SU, B-2, and M-1 in the County, M-2 in Montgomery, and R-1, R-2, and M-2 in Oswego.

EcoCat was submitted and found the Iowa Darter in the area, but no adverse impacts were anticipated.

An NRI was not required.

Information was sent to Oswego Township, Bristol Township, Oswego Fire Protection District, the Village of Montgomery, and the Village of Oswego. The Oswego Fire Protection District had no comments because no structures were planned and the Knox Box information would be provided.

WBK requested the following information:

1. Submit stormwater calculations that document the percent impervious is consistent with original / approved design, overflow routes continue to have capacity as per original design, tributary area to each basin is per original design, emergency overflow routes from each basin are not impeded and the volume changes as a result of proposed grading are defined in a stage storage table.
2. Record drawing of the revised basin grading will be required to verify stage storage requirements.
3. Sheet 3 – Filter baskets shall be used at all inlets. Filter fabric is not allowed and reference to it shall be removed. Add filter baskets at all inlets within the limits and adjacent to the project. Please depict these specifically on the plan.
4. Sheet 5 – Remove the proposed light pole from the north drainage swale.
5. Sheet 5 – Provide proposed elevations at the perimeter of the grindings to assure drainage patterns are clear and constructed properly.
6. Sheet 5 – Provide proposed elevation for all curb including where depressions are proposed.

The proposed design standards were as follows:

Responsive to Site Conditions-Site plans should be based on an analysis of the site. Such site analysis shall examine characteristics such as site context; geology and soils; topography; climate and ecology; existing vegetation, structures and road network; visual features; and current use of the site. In addition to the standards listed below, petitioners must also follow the regulations outlined in this Zoning Ordinance. To the fullest extent possible, improvements shall be located to preserve the natural features of the site, to avoid areas of environmental sensitivity, and to minimize negative effects and alteration of natural features. Fragile areas such as wetlands and flood plains should be preserved as open space. Slopes in excess of 20 percent as measured over a 10-foot interval also should remain as open space, unless appropriate engineering measures concerning slope stability, erosion and safety are taken. No structures are planned for the site. A stormwater permit will be required prior to the issuance of any permits. Existing stormwater detention ponds are located to the southwest and west of Lots 8 and 9 and to the northeast of Lot 10.

Traffic and Parking Layout-Site plans should minimize dangerous traffic movements and congestion, while achieving efficient traffic flow. An appropriate number of parking spaces shall be provided while maintaining County design standards. The number of curb cuts should be minimized and normally be located as far as possible from intersections. Connections shall be provided between parking areas to allow vehicles to travel among adjacent commercial or office uses. Cross-access easements or other recordable mechanisms must be employed. Ample space exists on the property for the proposed use. The property will be fenced. Commerce Drive is maintained by Oswego Township.

Conflicts between pedestrians and vehicular movements should be minimized. When truck traffic will be present upon the site, the road size and configuration shall be adequate to provide for off-street parking and loading facilities for large vehicles. Barrier curb should be employed for all perimeters of and islands in paved parking lots, as well as for all service drives, loading dock areas, and the equivalent. Parking lots in industrial or commercial areas shall be paved with hot-mix asphalt or concrete surfacing. This is not an issue.

Site Layout-Improvements shall be laid out to avoid adversely affecting ground water and aquifer recharge; minimize cut and fill; avoid unnecessary impervious cover; prevent flooding and pollution; provide adequate access to lots and sites; and mitigate adverse effects of shadow, noise, odor, traffic, drainage and utilities on neighboring properties. The site will be laid out in a manner that will not impact shadow, noise, odor, or traffic. A stormwater permit must be secured prior to final approval by the County.

Consistent with the Land Resource Management Plan-The proposed use and the design of the site should be consistent with the Land Resource Management Plan. This is true.

Building Materials-The proposed site plan design shall provide a desirable environment for its occupants and visitors as well as its neighbors through aesthetic use of materials, textures and colors that will remain appealing and will retain a reasonably adequate level of maintenance. Buildings shall be in scale with the ultimate development planned for the area. Monotony of design shall be avoided. Variations in detail, form, and setting shall be used to provide visual interest. Variation shall be balanced by coherence of design elements. No building is planned for the site.

Relationship to Surrounding Development-A site shall be developed in harmony with neighboring street pattern, setbacks and other design elements. The proposed site development is in harmony with the existing use of neighboring properties provided fencing meets the Kendall County Zoning Ordinance.

Open Space and Pedestrian Circulation-Improvements shall be designed to facilitate convenient and safe pedestrian and bicycle movement within and to the property. This is not applicable.

Buffering-Measures shall be taken to protect adjacent properties from any undue disturbance caused by excessive noise, smoke, vapors, fumes, dusts, odors, glare or stormwater runoff. Incompatible, unsightly activities are to be screened and buffered from public view. The Petitioner plans to install a fence as required by the Kendall County Zoning Ordinance and the uses are away from neighboring residential uses.

Emergency Vehicle Access-Every structure shall have sufficient access for emergency vehicles. Staff would like comments from the Kendall County Sheriff's Department and Oswego Fire Protection District on this issue.

Mechanical Equipment Screening-All heating, ventilation and air conditioning equipment shall be screened on sides where they abut residential districts. No buildings are proposed.

Lighting-The height and shielding of lighting fixtures shall provide proper lighting without hazard to motorists on adjacent roadways or nuisance to adjacent residents by extending onto adjacent property. Cut-off lighting should be used in most locations, with fixtures designed so that the bulb/light source is not visible from general side view. Ten (10) lights, twenty feet (20') in height are proposed.

Refuse Disposal and Recycling Storage Areas-All refuse disposal and recycling storage areas should be located in areas designed to provide adequate accessibility for service vehicles. Locations should be in areas where minimal exposure to public streets or residential districts will exist. Screening shall be required in areas which are adjacent to residential districts or are within public view. Such enclosures should not be located in landscape buffers. Refuse containers and compactor systems shall be placed on smooth surfaces of non-absorbent material such as concrete or machine-laid asphalt. A concrete pad shall be used for storing grease containers. Refuse disposal and recycling storage areas serving food establishments shall be located as far as possible from the building's doors and windows. The use of chain link fences with slats is prohibited. Refuse will not be collected onsite.

Pending concerns regarding safety and traffic circulation, Staff recommends approval of the proposed site plan as proposed with the following conditions:

1. The site shall be developed substantial in conformance with the submitted engineering plans (Attachment 3). The specific location of parking pads shall be the discretion of the property owner, provided their locations meet the requirements of the Kendall County Zoning Ordinance.
2. The site shall be developed in accordance with all applicable federal, state, and local laws related to site development and the type of business proposed for the site, including, but, not limited to, securing the applicable stormwater management permit. The site plan may be slightly modified to address the concerns of WBK's letter dated October 26, 2019.
3. The property owner shall supply the Kendall County Dispatch Office with the code for property's Knox Box.
4. The property owner shall erect and maintain signage directing trucks not to use Dolores Street.

Mr. Klaas made a motion, seconded by Mr. Rybski, to approve the site plan with conditions proposed by Staff.

Ayes (7): Andrews, Asselmeier, Briganti, Klaas, Langston, Prochaska, and Rybski  
Nays (0): None  
Present (0): None  
Absent (3): Chismark, Guritz, and Holdiman

The motion passed.

**Petitions 19-37, -38, and -39 John Dollinger on Behalf of Hansel Ridge, LLC, Jason Shelley on Behalf of Goprobball, LLC, and James and Denise Maffeo**

Mr. Asselmeier summarized the request and stated that the three (3) requests impacted the same property.

Hansel Ridge, LLC would like to reclassify the northern eighteen point seven (18.7) acres of 195 Route 52 from Public/Institutional to Commercial. They would then like to sell the northwestern nine point one nine (9.19) acres to Goprobball, LLC to be for use as an athletic facility which requires a map amendment from A-1 to B-4 Commercial ZPAC Meeting Minutes 11.5.19

Recreation District. The northeastern eight point six-nine (8.69) acres would then be sold to James and Denise Maffeo for use as an indoor/outdoor storage facility which requires a map amendment from A-1 to B-3 Highway Business District and special use permits for indoor and outdoor storage. The larger property is forty (40) acres in size.

County Line Road is a Township Road classified as an Arterial.

There are no trails or floodplains or wetlands on the subject property.

The adjacent land uses are agricultural with a fertilizer and grain operation at the southwest corner of Route 52 and County Line Road. The adjacent zonings and zonings within one half (1/2) mile are A-1 or A-1 SU. The Kendall County Land Resource Management Plan calls for the property to the north and south to be Public/Institution and Suburban Residential. The property to the west is classified as Suburban Residential. The Will County Land Resource Management Plan calls for the property to the east to be Suburban Development. The Village of Shorewood's Comprehensive Plan calls for this property to be Commercial and Government/Institutional. Minooka School District 111 owns the property to the north and west and plans to use that property for educational purposes.

There is an A-1 SU to the north for a church and an A-1 SU to the west which is probably an airstrip. There is also a request for a special use permit for a landscaping business at 276 Route 52.

There are seven (7) houses within one half (1/2) mile of the subject property.

The EcoCat was submitted and consultation was terminated.

The NRI application was submitted on September 26, 2019.

Information was sent to Seward Township, the Village of Shorewood, and the Troy Fire Protection District. The Troy Fire Protection District had no objections to the proposal.

With regards to the Goprobball map amendment portion of the request, Goprobball, LLC provided a business plan which stated they would have between twenty (20) and forty (40) part-time employees with no more than four (4) to six (6) employees onsite. They have fifteen (15) existing travel baseball teams and hope to expand to twenty-five (25) teams within the next five (5) years. They would also like to use the facility to attract other sports including girls soccer and softball. They would have a concession area and rehabilitation services would be provided onsite. The proposed hours of operation are between 8:00 a.m. and midnight. The proposed facility is approximately sixty-nine thousand, three hundred (69,300) square feet and will have a parking area to the east.

Any new structures would require applicable building permits.

The property will access County Line Road. County Line Road has an eighty thousand (80,000) pound weight restriction. Depending on the uses, additional right-of-way could be necessary for turn lanes.

No new odors are foreseen, but the site plan of future commercial activities on the site should be examined to address odors.

The parking lot will have lights. Security lighting will be installed. Commercial establishments could have additional lights and illuminated signage on the building and associated with monument signage. The site plan of commercial establishments should be evaluated to address lighting.

Any fencing or buffering should be evaluated as part of the site plan review process.

The site plan shows two detention ponds. Development on the site would require stormwater management permits.

Electricity is nearby. New well and septic information would have to be evaluated as part of the building permit process.

Map amendments cannot be conditioned, but the Petitioner would need to obtain site plan approval before commencing construction.

With regards to the Maffeo map amendment and special use permits, they plan to purchase the property from Goprobball, LLC.

Mr. and Mrs. Maffeo would like to construct one (1) sixty foot by forty-five foot by sixteen foot (60'X45'X16') metal storage and office building and twelve (12) two hundred foot by thirty foot (200'X30') metal storage warehouses. The office building will contain offices, restrooms, and inside storage for vehicles. The facility will be used for general storage uses; no illegal or flammable materials will be stored or distributed out of the facility. No other active businesses will be operated out of the storage facility. The renderings of the office building and other storage buildings were provided.

If approved, development of the site will occur in two phases. Phase I will commence in Summer 2020 and consists of the metal storage and office building, five (5) of the metal storage buildings, and the paved parking area. The five (5) buildings in the southern row will be constructed first. Phase II will commence in Spring 2023 and will consist of the remain metal storage buildings, the six foot (6') privacy fence, and dumpsters.

A two hundred forty-five foot by three hundred foot (245'X300') paved storage area was identified in the business plan. The outdoor storage area would be placed where the Phase II structures are planned. The outdoor storage area would be removed upon construction the Phase II structures.

Mr. and Mrs. Maffeo anticipate employing between one (1) and five (5) part-time employees. One (1) employee would be for maintenance and the remaining employees would staff the office on a shift-basis to ensure that at least one (1) employee was onsite during business hours.

Access to the facility would be twenty-four (24) hours via access through the security gate. Hours of operation are 7:00 a.m. until 7:00 p.m. daily.

All structures constructed on the site will require building and occupancy permits.

The proposed facilities would be served by well and septic.

Staff would like comments from the Kendall County Health Department regarding the proposed restroom facilities at the property and any other public health concerns.

The site plan shows a proposed one hundred twenty-five feet by four hundred seventy foot (125'X470') stormwater detention pond on the property. No information was provided regarding the depth of the pond. The pond is proposed to be landscaped, but no information regarding landscaping was provided.

The development will require a stormwater management permit.

Staff would like comments from WBK regarding any stormwater related concerns.

The property fronts County Line Road.

Staff would like comments from the Kendall County Highway Department, Kendall County Sheriff's Department, and Seward Township regarding any concerns about having vehicles entering and leaving County Line Road at this location as well as increased traffic at this location.

The site plan shows three (3) parking spaces, including one (1) handicapped accessible parking space.

While the Troy Fire Protection District previously submitted comments on this proposal, Staff would like to make sure that neither the Troy Fire Protection District nor the Kendall County Sheriff's Department have concerns regarding emergency equipment access the facility.

Based on the submitted lighting plan, there will be lights on all of the buildings and lights between buildings. The total number of lights on buildings appears to be sixty-three (63) with eleven (11) additional lights throughout the property. None of the lighting will leave the site.

The Petitioners indicated that lit signage will be placed near County Line Road. No specific location or size dimensions were provided.

Access to the storage area will be through a gate with a key pad. No information was provided regarding the dimensions of the gate.

Some of the lighting will be for security purposes and security cameras will be provided.

The proposal calls for six foot (6') privacy fence around the perimeter of the property. The Petitioners' Attorney indicated that the fence will be installed as part of Phase I.

The landscaping plan calls for several canopy trees along the eastern and southern portions of the site. No information was provided regarding the trees.

Little noise is anticipated from the proposed operations.

Dumpsters will be provided onsite. No information was provided regarding the location of dumpsters.

If approved, this would be the second active special use permit for a storage facility on non A-1 zoned property in unincorporated Kendall County.

Unlike map amendments, special use permits can be conditioned.

Before issuing a recommendation, Staff would like comments from ZPAC members, the Village of Shorewood, Seward Township, and Troy Fire Protection District.

Anne Vickery, Seward Township Highway Commissioner, stated that the Township was willing to work with the Petitioner and Kendall County Highway Department to address concerns regarding increased traffic and safety in the area of the subject property.

Natalie Engel, Village of Shorewood, stated that Shorewood's plans call for the area to be commercial with residential surrounding the property. She felt that the entertainment use was compatible with commercial uses. She felt that the proposed storage uses were more industrial in nature. The Village would like to meet with the Petitioner and go over how the proposed uses meet with the Village Comprehensive Plan.

Mr. Klaas stated that he had not heard of any planned road improvements at County Line Road and Route 52. Ms. Engel expressed concerns regarding safety at County Line and Route 52. Ms. Vickery would work closely with everyone involved to address safety concerns at County Line and Route 52.

Ms. Andrews noted that she is working on the NRI Report. The application to the Soil and Water Conservation District included information on both the athletic facility and storage uses.

Mr. Rybski asked about concession at the athletic facility. Dan Kramer, Attorney for the Petitioners, stated that they hoped to have the soil information and septic design available at the December ZPAC meeting. Mr. Kramer stated that concessions are planned at the property. The athletic facility will have separate septic facilities from the storage facility. The property drains to the northeast of the property. Mr. Kramer said they were considering one (1) large wet bottom pond instead of two (2) as shown on the current plans. A dry hydrant will be installed in the pond.

Mr. Kramer offered to provide a traffic study to address safety concerns on the adjacent roads.

Mr. Rybski noted the state of soils in that portion of the County in relation to septic systems. He noted that the septic area for the storage facility seems small and it could be expensive to place a septic system in the space shown on the site plan. He suggested more space for the septic system or relocating the septic system to another location on the property.

Mr. Rybski noted that the well will be a non-community well for the athletic facility. The well for the storage facility should not meet the usage requirements for a non-community well.

Mr. Rybski noted that a well was sealed on the farm to the south and there is likely a septic tank somewhere in the area of the sealed well. That septic tank needs an abandonment permit.

Discussion occurred regarding Joliet sewer and water. Ms. Engel responded that Shorewood could serve the property with water and Joliet sometimes provides sewer service to areas inside Shorewood.

Mr. Kramer stated that they hoped to have the septic information ready for the December ZPAC and the engineer will start the stormwater permit process. Mr. Kramer has a meeting scheduled with the Village of Shorewood and was open to having a meeting with the Kendall County Highway Department and Seward Township Road District. Mr. Rybski suggested that Mr. Kramer also meet with the Kendall County Health Department regarding well and septic placement.

Mr. Klaas noted that Seward Township probably would request a right-of-way dedication along County Line Road, at least fifty feet (50') from centerline with the possibility of a utility and drainage easement.

Mr. Kramer requested to wait with all hearings until January 2020.

Without objection, Petition 19-37, 19-38, and 19-39 will be laid over until the December ZPAC meeting.

**REVIEW OF PETITIONS THAT WENT TO COUNTY BOARD**

None

**OLD BUSINESS/NEW BUSINESS**

None

**CORRESPONDENCE**

None

**PUBLIC COMMENT**

None

**ADJOURNMENT**

Ms. Andrews made a motion, seconded by Mr. Langston, to adjourn. With a voice vote of all ayes, the motion carried. The ZPAC, at 9:44 a.m., adjourned.

Respectfully Submitted,  
Matthew H. Asselmeier, AICP  
Senior Planner

Enc.



**ZONING, PLATTING & ADVISORY COMMITTEE (ZPAC)  
January 7, 2020 – Unapproved Meeting Minutes**

PBZ Chairman Matthew Prochaska called the meeting to order at 9:00 a.m.

Present:

Matt Asselmeier – PBZ Department  
Meagan Briganti – GIS  
David Guritz – Forest Preserve  
Brian Holdiman – PBZ Department  
Fran Klaas – Highway Department  
Commander Jason Langston – Sheriff’s Department  
Matthew Prochaska – PBZ Committee Chair  
Aaron Rybski – Health Department

Absent:

Megan Andrews – Soil and Water Conservation District  
Greg Chismark – WBK Engineering, LLC

Audience:

Anne Vickery, Dan Kramer, Mike Cook, and Ron Smrz

**AGENDA**

Mr. Guritz made a motion, seconded by Mr. Klaas, to approve the agenda as presented. With a voice vote of all ayes, the motion carried unanimously.

**MINUTES**

Mr. Guritz made a motion, seconded by Commander Langston, to approve the November 5, 2019, meeting minutes. With a voice vote of all ayes, the motion carried unanimously.

**PETITIONS**

**Petition 19-34 Ronald Smrz on Behalf of the Ronald Smrz Trust**

Mr. Asselmeier stated that the changes from the last time the Petitioner appeared at ZPAC were that the site had been reduced to space for fifty-one (51) parking stalls, the new hours of operation would be from 6:00 a.m. until 9:00 p.m., six (6) new light poles would be installed, seven (7) evergreens would be planted southeast of the parking area, and the Petitioner would monitor the site for motor vehicle related leaks and remove the contaminated gravel.

Mr. Asselmeier asked Mr. Smrz how he would control the parking area in relation to the hours of operation. Mr. Smrz indicated that the lock for the gate would have a timer.

A stormwater permit will be required, if the special use permit is approved.

Commander Langston asked about access for first responders to the gated area. Mr. Smrz said that he would give a passcode to the Sheriff and local fire protection district.

No offices and no restroom facilities would be onsite.

Mr. Klaas made a motion, seconded by Mr. Rybski, to recommend approval of the proposal.

Ayes (8): Asselmeier, Briganti, Guritz, Holdiman, Klaas, Langston, Prochaska, and Rybski  
Nays (0): None  
Present (0): None  
Absent (2): Andrews and Chismark

The motion passed. The proposal will go to the Kendall County Regional Planning Commission on January 22, 2020.

**Petition 19-37 John Dollinger on Behalf of Hansel Ridge, LLC**

Dan Kramer, Attorney for the Petitioner, explained his client was purchasing approximately eight (8) acres for the athletic facility and indoor and outdoor storage facility. East of the proposed storage facility, approximately three point five (3.5) acres would be left vacant for future commercial development.

Mr. Kramer felt that the proposed uses would complement educational uses and retail uses.

Mr. Kramer acknowledged the traffic concerns at the intersection of Route 52 and County Line Road. The busy time for the athletic facility would be between the end of October and the beginning of spring. Games would occur the entire weekend. The Petitioners would like to start construction in the spring and be fully operational by fall. A traffic study was forthcoming. He believed that it would be difficult to have a left-turn lane going north. Traffic could be directed down Baltz Road. A view corridor could be considered.

Mr. Asselmeier read an email from the Village of Shorewood. The proposal will be reviewed at the Shorewood Planning Commission meeting in February 2020.

Mr. Rybski made a motion, seconded by Ms. Briganti, to forward the proposal.

Ayes (8): Asselmeier, Briganti, Guritz, Holdiman, Klaas, Langston, Prochaska, and Rybski  
Nays (0): None  
Present (0): None  
Absent (2): Andrews and Chismark

The motion passed. The proposal will go to the Kendall County Regional Planning Commission on January 22, 2020.

**Petition 19-38 John Dollinger on Behalf of Hansel Ridge, LLC and Jason Shelley on Behalf of Goprobball, LLC**

Mr. Kramer explained the structure of the domed athletic facility.

Mr. Kramer believed that the proposed use will work well with the adjacent school property and nearby residential developments.

Approximately eight (8) fastball teams train at the company's existing facility and nine (9) additional teams are planned to be added at this proposed facility.

Ms. Vickery asked the square footage of the dome. Mr. Kramer said that the dome is approximately eighty thousand (80,000) square feet.

The final size of the detention pond has not been determined; it will be wet-bottomed.

A pre-annexation agreement with Shorewood is under consideration. A Chatham annexation was not desired.

Mr. Rybski requested that Mr. Kramer consider the septic needs of future commercial businesses that could locate on the property.

Mr. Kramer noted that Shorewood wanted the special use only on the storage portion of the property and that the property be subdivided to separate the storage use from the rest of the property.

Mr. Klaas made a motion, seconded by Mr. Guritz, to forward the proposal.

Ayes (8): Asselmeier, Briganti, Guritz, Holdiman, Klaas, Langston, Prochaska, and Rybski  
Nays (0): None  
Present (0): None  
Absent (2): Andrews and Chismark

The motion passed. The proposal will go to the Kendall County Regional Planning Commission on January 22, 2020.

**Petition 19-39 John Dollinger on Behalf of Hansel Ridge, LLC, Jason Shelley on Behalf of Goprobball, LLC, and James and Denise Maffeo**

Mr. Kramer noted discussions with Shorewood for a plat of the site.

Mr. Kramer noted the private road at the south end of the site with a utility easement for future utility extensions.

The Petitioners agreed to do a sixty foot (60') right-of-way dedication as measured from the centerline of County Line Road. Ten feet (10') inside the right-of-way dedication would be available for utilities.

Shorewood requested that some of the fence be removed and replaced with buildings rearing County Line Road. The site plan will be revised to reflect this request.

The landscaping plan and signage plan needs more definition.

Mr. Kramer requested that the Petition advance to the Planning Commission and he will provide updated plans.

Mr. Klaas made a motion, seconded by Mr. Guritz, to forward the proposal.

Ayes (8): Asselmeier, Briganti, Guritz, Holdiman, Klaas, Langston, Prochaska, and Rybski  
Nays (0): None  
Present (0): None  
Absent (2): Andrews and Chismark

The motion passed. The proposal will go to the Kendall County Regional Planning Commission on January 22, 2020.

**Petition 19-47 Deb Chow on Behalf of Jade Restorations, Inc. and D. Howard on Behalf of Bullmastiff Construction Company, LTD**

Mr. Asselmeier summarized the request.

Jade Restorations, Inc. is working with Bullmastiff Construction Company to construct a kennel and veterinary clinic at the subject property. At this time, Jade Restorations, Inc. has no plans to sell the subject property.

The application material site plan, landscaping plan, photometric plan, and proposed building information were provided.

The property is approximately twenty (20) acres in size, but the special use portion would cover approximately eight point five (8.5) acres.

The future land use is commercial.

Ridge Road is a County Road classified as an Arterial Road. Bell Road is a Township Road classified as a Minor Collector. Minooka has a trail planned along Ridge Road. Shorewood has a trail planned along Bell Road.

The adjacent land uses are agricultural in all directions with a farmstead and landscaping business to the west.

The adjacent zoning are A-1 and A-1 SU. There is R-1 zoning within one half (1/2) mile to the east. There are twelve (12) homes located within one half (1/2) mile of the subject property. The special uses to the north and south are landing strips. The special use to the east is for natural gas compression. The special use to the west is for a landscaping business.

The EcoCat was submitted on December 5, 2019, and consultation was terminated.

The NRI application was submitted on December 18, 2019.

Seward Township was emailed information on December 31, 2019.

The Minooka Fire Protection District was emailed information on December 31, 2019, and they wanted the Petitioner to be aware of the new kennel regulations regarding staffing and sprinkling.

The Village of Shorewood was emailed information on December 31, 2019. They expressed concerns regarding noise, but were comfortable with the County addressing those concerns.

The Village of Minooka was emailed information on December 31, 2019.

According to the information provided to the County, the Petitioners plan to offer veterinary services, pet daycare, boarding, and grooming services. The proposed hours of operation for both uses will be Monday through Friday from 6:00 a.m. until 7:00 p.m. The kennel will employ between fifteen and thirty (15-30) people per day and the veterinary will be employ between fifteen and twenty (15-20) people per day. The kennel will be staffed at all times. Grooming services will be provided as needed. Overlap in employees will occur. The maximum number of animals planned for the kennel forty (40). Per the Kendall County Zoning Ordinance, all animals will be indoors by sunset.

As noted in the site plan, the Petitioners plan to construct an approximately eighteen thousand (18,000) square foot building facing south towards Bell Road. The proposed location of the building on the property was placed in accordance to the setback requirements of the Kendall County Zoning Ordinance.

Elevations of the building and rendering of the site were provided.

As noted in building diagram, the building shall consist of waiting areas for grooming and exams, eight (8) exam rooms, a treatment room with pharmacy area, two (2) surgery rooms, an X-ray room, a recovery room, two (2) isolation rooms, a doctor's room, a staff room, a janitorial room, a cat boarding room, three (3) bathrooms, a laundry area, a grooming area, a store, a storage area, a groom kennel, two (2) play areas, a pool, and a boarding kennel area. The building is planned to be slightly over twenty-three feet (23') tall at its highest point and made of metal.

Two (2) approximately twelve thousand (12,000) square foot outdoor play areas are planned on both sides of the kennel wing of the building. A six foot (6') tall cedar fence would be located around the outdoor play area.

Building and Occupancy Permits will be required for the new building.

The site plan shows one (1) raised septic field west of the building and parking lot and one (1) raised septic field south of the parking lot. The proposed well would be located east of the building.

The site plan shows two (2) wet detention ponds on the north side of the subject property. A dual-phase restricted stormwater detention outlet is planned to discharge stormwater at the northwest corner of the site into ditches along the east side of Ridge Road.

If the special use permit is approved, the Petitioners would need to secure a stormwater management permit from Kendall County.

The property fronts Bell Road and two (2) points of ingress/egress are planned from Bell Road.

The Petitioners plan to dedicate right-of-way for a depth of fifty feet (50') along the entire Bell Road frontage of the property and a depth of seventy-five feet (75') along the entire Ridge Road side of the property.

The Petitioners propose to install a fifty-two (52) stall parking lot to the south and east of the building. Three (3) of the spaces would be handicapped accessible.

The Petitioners plan to install six (6) lights along the driveway and in the parking lot. The lights will be LED and on poles a maximum twenty feet (20') in height. There will be an additional eight (8) building mounted lights at various locations around the exterior of the building. Lighting information can be found on the photometric plan.

The Petitioners plan to have one (1) monument sign along Bell Road and one (1) monument sign along Ridge Road. Both signs are planned to be four feet by eight feet (4'X8') and a maximum of eight feet (8') in height. Neither sign will be illuminated.

Per the landscaping plan, the Petitioners plan to install thirty-eight (38) shade trees of various types, seventy-eight (78) evergreen trees of various types, sixty-eight (68) evergreen shrubs of various types, two hundred eighty-two (282) deciduous shrubs of various types, and one hundred fifteen (115) perennials of various types. In addition, a wet-to-mesic prairie seed mix is planned around the stormwater detention ponds.

Berms are planned along the west, east, and southeast corner of the property. An additional berm is planned south of the parking lot. The berms will vary in height from three feet (3') to seven feet (7').

A topsoil stockpile area is planned east of the parking lot.

Noise will be addressed with soundproofing of the building, the fence mentioned previously, the installation of trees and berms, and having the animals indoors by sunset.

The Petitioners plan to install a refuse enclosure at the northern end of the eastern parking lot. The screening shall be either of wood or masonry construction at least seven feet (7') in height. The Petitioners also indicated that they may screen the refuse area with a chain link fence and dense plantings.

If approved, this would be the sixth active special use permit for a kennel and second active special use for a veterinary establishment in unincorporated Kendall County.

Mr. Rybski asked about design engineering and soil analysis. Mr. Cook said that they have retained a septic engineer. Soil tests and percolation tests have not been completed. Mr. Rybski advised Mr. Cook of the requirement of a preliminary meeting with the Health Department regarding the septic system. Mr. Rybski advised Mr. Cook of the well monitoring requirements.

Mr. Klaas said that he was fine with the proposed right-of-way dedication.

Ms. Vickery said that she will review the Bell Road right-of-way dedication.

Mr. Holdiman advised Mr. Cook that the County adopted the 2018 versions of the International Codes.

Mr. Klaas asked if the building would have a basement. Mr. Cook said the building will be slab on grade.

Mr. Asselmeier asked if either business planned to have Saturday hours. Mr. Cook said that drop-offs and pick-ups would not occur on weekends. The clinic could have emergency hours on weekends.

Mr. Asselmeier asked when the landscaping will be installed. Mr. Cook said the landscaping timeline has not been determined. The goal is to open the business late in 2020 or early 2021.

Mr. Asselmeier asked about the frequency of refuse pick-up. Mr. Cook said that pick-up would occur a few times per week.

Mr. Klaas made a motion, seconded by Ms. Briganti, to forward the proposal.

Ayes (8):	Asselmeier, Briganti, Guritz, Holdiman, Klaas, Langston, Prochaska, and Rybski
Nays (0):	None
Present (0):	None
Absent (2):	Andrews and Chismark

The motion passed. The proposal will go to the Kendall County Regional Planning Commission on January 22, 2020.

**REVIEW OF PETITIONS THAT WENT TO COUNTY BOARD**

Petition 19-26 regarding the landscaping business at 276 Route 52 was approved by the County Board.

Petition 19-31 regarding cannabis zoning regulations was approved by the County Board.

Petition 19-35 regarding a kennel at 3601 Plainfield Road was approved by the County Board.

**OLD BUSINESS/NEW BUSINESS**

Mr. Asselmeier noted that the Kendall County Regional Planning Commission's Annual Meeting will be Saturday, February 1<sup>st</sup>, at 9:00 a.m.

**CORRESPONDENCE**

None

**PUBLIC COMMENT**

None

**ADJOURNMENT**

Mr. Guritz made a motion, seconded by Mr. Rybski, to adjourn. With a voice vote of all ayes, the motion carried. The ZPAC, at 9:50 a.m., adjourned.

Respectfully Submitted,  
Matthew H. Asselmeier, AICP  
Senior Planner

Encs.

**KENDALL COUNTY  
ZONING & PLATTING ADVISORY COMMITTEE  
JANUARY 7, 2020**

IF YOU WOULD LIKE TO BE CONTACTED ON FUTURE MEETINGS REGARDING THIS TOPIC, PLEASE PROVIDE YOUR ADDRESS OR EMAIL ADDRESS

NAME	ADDRESS (OPTIONAL)	EMAIL ADDRESS (OPTIONAL)
Dan Keenan 19-39, 38, +39	1107 A S. Bridge Nashville TN	dkeenan@daw 2014 law.com
MIKE COOK	26316 MAPLEVIEW PLAINFIELD	mcook@cooking.com

**Matt Asselmeier**

---

**From:** Rodney Bradberry <rbradberry@minookafire.com>  
**Sent:** Monday, January 6, 2020 1:41 PM  
**To:** Matt Asselmeier  
**Subject:** [External]FYI

Matt,

Just an FYI, I am sure you are aware of this; however, if not ( see attachment) this location will be required staffed at all times or have a sprinkler system/fire alarm.

<https://www.chicagotribune.com/news/breaking/ct-kennel-fire-safety-law-20190807-ytkwawanybfmroj6hb32yps2pg-story.html>

Any questions please contact me.

Thanks.

Rodney Bradberry  
Fire Inspector

Minooka Fire Protection Distric  
7901 E. Minooka Rd.  
Minooka IL 60447  
Direct: 815-467-5637  
Cell: 815-531-9967

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**Matt Asselmeier**

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**From:** Engel\_Natalie <nengel@vil.shorewood.il.us>  
**Sent:** Monday, January 6, 2020 5:29 PM  
**To:** Matt Asselmeier  
**Cc:** Chrissy\_Kelley  
**Subject:** [External]ZPAC Meeting

Hi Matt,

Happy New Year!

Kelley and I will not be able to attend tomorrow's ZPAC meeting but wanted to provide some comments regarding the projects within 1 ½ miles of Shorewood's boundaries.

**Petitions 19-37, 19-38 and 19-39**

We met with Dan Kramer to discuss the projects. We provided some feedback and suggestions regarding the site layout and zoning uses. He was open to our comments and agreed to carry them back to his clients.

They will be submitting applications to the Village and we hope to bring forward their proposals for discussion at our February 5, 2020 Planning and Zoning Commission meeting. I will touch base with you when we have applications and a staff report.

**Petition 19-47**

Our main concerns regarding the Doggy Day Care project are about noise impacts on the neighbors. We are comfortable that you are addressing these concerns so we defer to you on this project.

When the site and engineering plans are available, please have the applicants send over a copy to Shorewood so that we can determine whether they trigger our Subdivision and Development Ordinance.

Thank you Matt! Please let us know if you have any questions or need any information from us.

**Natalie Engel, AICP**

*Village Planner*



Village of Shorewood

One Towne Center Blvd | Shorewood, IL 60404

815.553.2314

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# ENGINEERING PLANS FOR FOUR SEASONS STORAGE FACILITY

**SECTION 13, TOWNSHIP 35 NORTH, RANGE 8 EAST  
COUNTY LINE RD & ROUTE 52  
MINOOKA, IL 60447  
KENDALL COUNTY  
FEBRUARY, 2020**

LEGEND	
---	PROPERTY BOUNDARY
---600---	EXISTING CONTOUR LINE
---	EXISTING STORM SEWER
---	EXISTING SANITARY SEWER LINE
---	EXISTING WATERMAIN
---	EXISTING UNDERGROUND ELECTRIC
---	EXISTING OVERHEAD ELECTRIC
---	EXISTING GAS SERVICE
---	EXISTING TELEPHONE
---	PROPOSED CONTOUR LINE
---	PROPOSED WATERMAIN
---	PROPOSED STORM SEWER
---	PROPOSED SANITARY SEWER LINE
---	PROPOSED GREASE SERVICE LINE
---	PROPOSED VENT LINE
---	EXISTING FENCELINE
---	PROPOSED SILT FENCE
x 685.00	EXISTING SPOT SHOT
x 686.00	PROPOSED SPOT GRADE
<b>EXIST</b>	<b>PROP</b>
WATER:	B-BOX
	HYDRANT
	VALVE
	VALVE VAULT
STORM:	INLET-CURB
	INLET OR MANHOLE
	FLARED END SECTION
SANITARY:	CLEANOUT
	MANHOLE
	UTILITY POLE
	GUY WIRE LOC.
	UTIL. CABINET
	UTIL. PEDESTAL
	LIGHT POLE
	TRAFFIC SIGNAL
	ELECTRIC VAULT
	GAS VALVE

### INDEX TO SHEETS

1. COVER SHEET
2. EXISTING CONDITIONS & DEMOLITION PLAN
3. STORMWATER POLLUTION & PREVENTION PLAN 1
4. STORMWATER POLLUTION & PREVENTION PLAN 2
5. OVERALL CIVIL SITE PLAN
6. CIVIL SITE PLANS
7. GENERAL NOTES & DETAILS
8. GENERAL NOTES & DETAILS II



PROJECT LOCATION

### BENCHMARKS:

BM#1 - Magnail in Pavement West of Utility Pole 89 feet North of the Northeast Corner of the Subject Property.  
Elevation = 645.28 NAVD 29

BM#2 - Magnail in Pavement West of Utility Pole 72 feet North of the Southeast Corner of the Subject Property.  
Elevation = 649.49 NAVD 29

### PLANS PREPARED FOR:

JAMES & DENISE MAFFEO  
1223 BUELL AVENUE  
JOLIET, IL 60453  
PHONE: (815) 955-9914

### CIVIL ENGINEER:

TEBRUGGE ENGINEERING  
410 E CHURCH ST - SUITE A  
SANDWICH, ILLINOIS 60548  
(815) 786-0195  
INFO@TEBRUGGEENGINEERING.COM  
WWW.TEBRUGGEENGINEERING.COM



**Know what's below.  
Call before you dig.**

Contractor and/or sub-contractors shall verify locations of all underground utilities prior to digging. Contact J.U.L.I.E. (Joint Utility Locating for Excavators) at 1-800-892-0123 or dial 811.

### UTILITY STATEMENT

THE UTILITIES SHOWN HAVE BEEN LOCATED FROM VISIBLE FIELD EVIDENCE AND EXISTING DRAWINGS, MAPS AND RECORDS SUPPLIED TO SURVEYOR. THE SURVEYOR MAKES NO GUARANTEE THAT THE UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED, ALTHOUGH THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM AVAILABLE INFORMATION. THE SURVEYOR HAS PHYSICALLY LOCATED VISIBLE STRUCTURES; HOWEVER, HE HAS NOT PHYSICALLY LOCATED THE UNDERGROUND LINES.

PROFESSIONAL ENGINEER'S CERTIFICATION  
STATE OF ILLINOIS, COUNTY OF KENDALL

I JOHN J. TEBRUGGE, A LICENSED PROFESSIONAL ENGINEER OF ILLINOIS, HEREBY CERTIFY THAT THESE PLANS HAVE BEEN PREPARED UNDER MY PERSONAL DIRECTION BASED ON AVAILABLE DOCUMENTS AND FIELD MEASUREMENTS FOR THE EXCLUSIVE USE OF THE CLIENT NOTED HEREON.

GIVEN UNDER MY HAND & SEAL THIS 19<sup>TH</sup> DAY OF FEBRUARY, 2020.



*John J. Tebrugge*  
ILLINOIS REGISTERED PROFESSIONAL ENGINEER  
No. 041828 EXPIRES NOV. 30, 2021

COPYRIGHT © 2020 BY TEBRUGGE ENGINEERING  
ALL RIGHTS RESERVED. NO PART OF THESE CIVIL ENGINEERING PLANS MAY BE REPRODUCED, DISTRIBUTED, OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, INCLUDING PHOTOCOPYING, RECORDING, OR OTHER ELECTRONIC OR MECHANICAL METHODS, WITHOUT THE PRIOR WRITTEN PERMISSION OF TEBRUGGE ENGINEERING.

NO.	DATE	NOTES



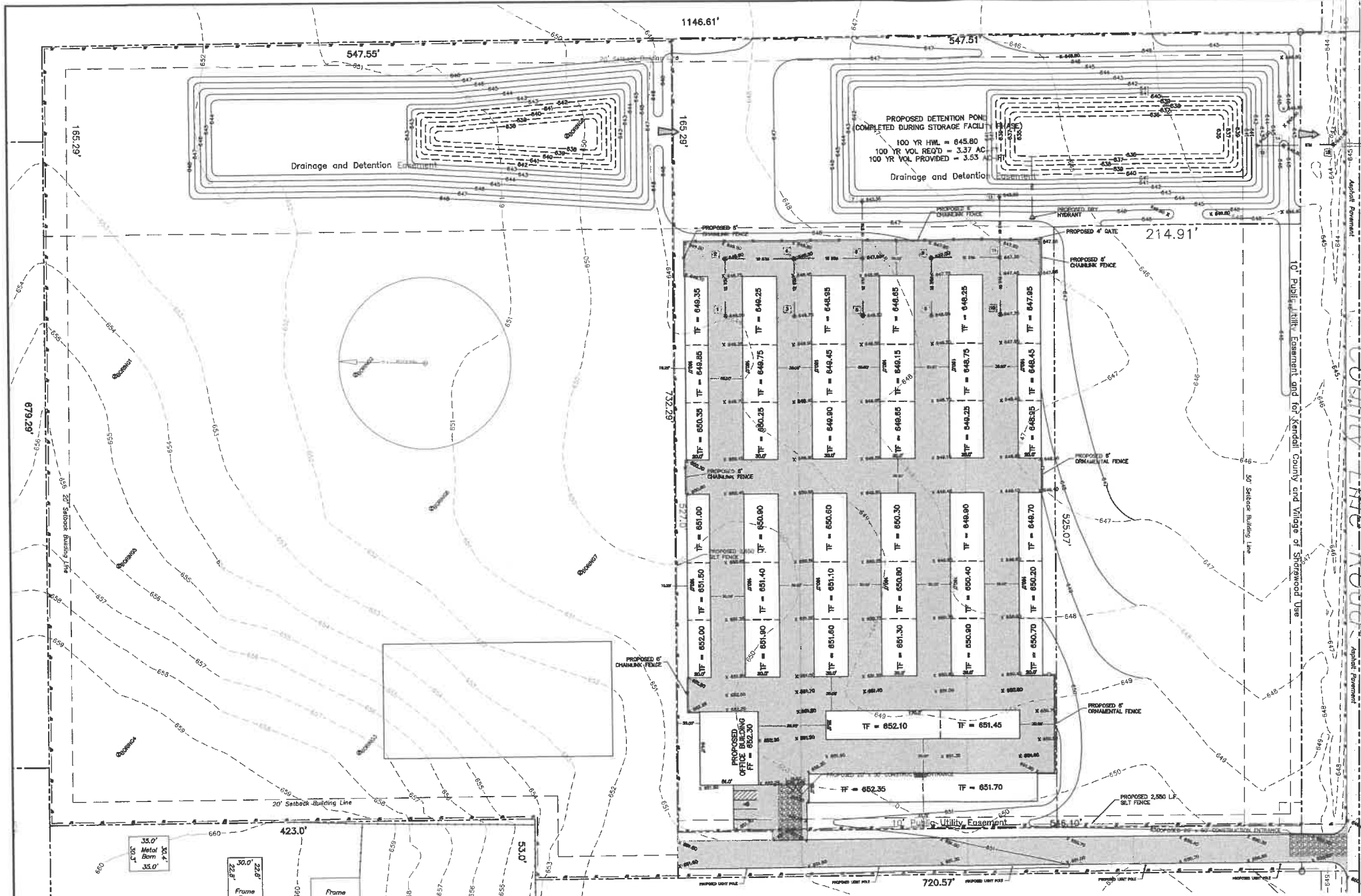
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 410 E. CHURCH STREET - SUITE A • SANDWICH, IL 60548  
 PHONE: (815) 786-0195    TEBRUGGEENGINEERING.COM

NO.	DATE	NOTES

PREPARED FOR:  
**JAMES & DENISE MAFFEO**  
 1223 BUELL AVE, JOLIET, IL 86

**FOUR SEASONS STORAGE FACILITY**  
 EXISTING CONDITIONS & DEMOLITION PLAN

PROJECT NO. 19 447 02    SHEET NO. **2**  
 SCALE: 1" = 40'  
 DATE: JAN 16, 2020    OF 8 SHEETS



TYPICAL SOIL PROTECTION CHART

Stabilization Type	JAN	FEB	MAR	APR	MAY	JUN	JUL	AUG	SEP	OCT	NOV	DEC
Permanent Seeding	B	B	A	A	A	A	A	A	A	A	B	B
Domestic Seeding	B	B	C	C	C	C	C	C	C	C	B	B
Temporary Seeding	F	F	F	F	F	F	F	F	F	F	F	F
Mulching	F	F	F	F	F	F	F	F	F	F	F	F

- A - Kentucky Bluegrass - 80 lbs/acre mixed with perennial ryegrass - 20 lbs/acre
- B - Kentucky Bluegrass - 135 lbs/acre mixed with perennial ryegrass - 45 lbs/acre
- C - Sorghum Octa - 100 lbs/acre
- D - Wheat or cereal rye - 150 lbs/acre
- E - Sod
- F - Straw Mulch - 2 tons/acre
- \* Water for 2-3 weeks after seeding

SOIL EROSION / SEDIMENT CONTROL OPERATION TIME SCHEDULE

NOTE: GENERAL CONTRACTOR TO COMPLETE TABLE WITH THEIR SPECIFIC PROJECT SCHEDULE

CONSTRUCTION SEQUENCE	JAN	FEB	MAR	APR	MAY	JUN	JUL	AUG	SEP	OCT	NOV	DEC
TEMPORARY CONSTRUCTION EXITS												
TEMPORARY CONTROL MEASURES												
SEDIMENT CONTROL BASINS												
STRIP & STOCKPILE TOPSOIL												
ROUGH GRADE												
STORM FACILITIES												
SITE CONSTRUCTION												
PERMANENT CONTROL STRUCTURES												
FOUNDATION / BUILDING CONSTRUCTION												
FINISH GRADING												
LANDSCAPING / SEED / FINAL STABILIZATION												

- CONTRACTOR SHALL UPDATE THE TABLE BY SHADING OR DATING THE APPLICABLE ACTIVITIES AS PROJECT PROGRESSES.
- TIME SCHEDULE MUST COINCIDE WITH SEQUENCE OF CONSTRUCTION.

GENERAL CONTRACTOR / OWNER SHALL COORDINATE WHICH CONTRACTORS WILL BE PROVIDING SWPPP SERVICES AND HAVE THEM SIGN THE CONTRACTOR'S CERTIFICATION

ALL CONTRACTORS AND SUBCONTRACTORS IDENTIFIED IN A STORM WATER POLLUTION PREVENTION PLAN SHALL SIGN A COPY OF THE FOLLOWING CERTIFICATION STATEMENT BEFORE CONDUCTING ANY PROFESSIONAL SERVICES AT THE SITE IDENTIFIED IN THE STORM WATER POLLUTION PREVENTION PLAN

CONTRACTOR'S CERTIFICATION

"I CERTIFY UNDER PENALTY OF LAW THAT I UNDERSTAND THE TERMS AND CONDITIONS OF THE GENERAL NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) PERMIT (LR10) THAT AUTHORIZES THE STORM WATER DISCHARGES ASSOCIATED WITH INDUSTRIAL ACTIVITY FROM THE CONSTRUCTION SITE IDENTIFIED AS PART OF THE CERTIFICATION.

CONTRACTOR NAME & TITLE:  
ADDRESS:  
PHONE #:

SIGNATURE \_\_\_\_\_ DATE \_\_\_\_\_

CONTRACTOR NAME & TITLE:  
ADDRESS:  
PHONE #:

SIGNATURE \_\_\_\_\_ DATE \_\_\_\_\_

CONTRACTOR NAME & TITLE:  
ADDRESS:  
PHONE #:

SIGNATURE \_\_\_\_\_ DATE \_\_\_\_\_

BEST MANAGEMENT PRACTICE NOTES

- SEE STABILIZED CONSTRUCTION ENTRANCE DETAIL. THE CONSTRUCTION EXIT SHALL BE A MINIMUM OF 14' IN WIDTH AND 50' IN LENGTH FROM EXISTING PAVED SURFACE. ALL CONSTRUCTION TRAFFIC MUST UTILIZE CONSTRUCTION EXIT PER DETAIL TO ACCESS THE PUBLIC ROAD. DURING CONSTRUCTION, THE CONSTRUCTION EXITS MAY BE SHIFTED AT THE CONTRACTOR'S DISCRETION TO FACILITATE GRADING OPERATION. EXIT MUST TERMINATE AT EXISTING PAVED SURFACE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING THAT THE RUNOFF FROM THE CONSTRUCTION EXIT IS DIRECTED BACK TOWARD THE SITE OR THAT THE RUNOFF IS CLEAR OF SEDIMENT.
- THE CONTRACTOR MAY PERMANENTLY REMOVE ANY PORTION OF THE PERIMETER SILT FENCE AFTER ESTABLISHMENT OF FINAL GRADE AND/OR FINAL STABILIZATION RENDERS THE RESPECTIVE PORTION OF THE PERIMETER SILT FENCE UP STREAM OF A DISTURBANCE AND/OR INEFFECTIVE AS A BEST MANAGEMENT PRACTICE. ANY SUCH REMOVAL SHALL BE NOTED ON THE SWPPP SITE MAPS ALONG WITH UPSTREAM STABILIZATION AND GRADING CONDITIONS.
- NO STRUCTURE SHALL BE ALLOWED TO BE PROTECTED WITH ANY MEASURE OTHER THAN THOSE DETAILED IN THIS SWPPP SITE MAP FOR MORE THAN 48 HOURS OR IF RAIN IS IMMINENT. STRUCTURES THAT WILL NOT RECEIVE A CASTING WITHIN 48 HOURS OF INSTALLATION SHALL RECEIVE IP6 PROTECTION. UPON INSTALLATION OF THE GRATE, IP3 OR IP5 PROTECTION SHALL BE INSTALLED RESPECTIVE TO THE TYPE OF GRATE. STRUCTURES WITH CLOSED LIDS WILL NOT REQUIRE PROTECTION FOLLOWING INSTALLATION OF THE LID. THE CONTRACTOR SHALL NOTE THE TIME STRUCTURE INSTALLATION (AND PROTECTION INSTALLATION, INCLUDING TYPES OF PROTECTION) ARE EMPLOYED. WHENEVER PIPE INSTALLATION IS HALTED FOR MORE THAN 24 HOURS OR WHEN RAIN IS IMMINENT, THE OPEN END SHALL BE PROTECTED WITH A TEMPORARY BULK HEAD. A 1/2" SHEET OF PLYWOOD THAT EXTENDS 6" BEYOND THE OUTSIDE DIAMETER OF THE PIPE SHALL BE PLACED AGAINST THE EXPOSED PIPE END. GRAVEL SHALL BE PLACED AGAINST THE PLYWOOD IN SUFFICIENT QUANTITY SO AS TO ENSURE THE TIGHTEST POSSIBLE SEAL. THE TRENCH SHALL BE DE-WATERED PRIOR TO REMOVING THE BULKHEAD.
- PERMANENT EROSION CONTROL FABRIC SHALL BE APPLIED TO ALL SLOPES 4:1 OR GREATER. FOLLOW MANUFACTURER SPECIFICATIONS FOR INSTALLATION. THE CONTRACTOR SHALL NOTE ALL AREAS WHERE FABRIC HAS BEEN INSTALLED RELATIVE TO AS-BUILT GRADES AND FURNISH THESE BOUNDARIES TO THE CIVIL ENGINEER UPON REQUEST.
- PERMANENT SEEDING SHOULD BE PLANTED AS SOON AS IT IS PRACTICAL TO ENSURE PROPER GERMINATION PRIOR TO TERMINATION OF PERMIT COVERAGE. THE CONTRACTOR SHALL PLANT PERMANENT SEEDING AS SPECIFIED ON THE LANDSCAPING PLAN AS SOON AS FINAL GRADES ARE ESTABLISHED AS SPECIFIED ON THE GRADING PLAN. SEE SITE LANDSCAPING PLAN FOR EXACT GROUND COVER TYPE AND LOCATION.
- STOCKPILE SHOULD BE LOCATED IN AREAS THAT DO NOT HAVE HIGH POTENTIAL FOR CONTRIBUTING SEDIMENTS TO STORMWATER FACILITIES.
- STOCKPILES OF SOIL AND OTHER BUILDING MATERIALS TO REMAIN IN PLACE MORE THAN THREE (3) DAYS SHALL BE FURNISHED WITH EROSION AND SEDIMENT CONTROL MEASURES. STOCK PILES NOT ACTIVELY WORKED AND TO REMAIN IN PLACE FOR 14 DAYS OR MORE SHALL RECEIVE TEMPORARY SEEDING.
- THE CONDITION OF THE CONSTRUCTION SITE FOR WINTER SHUTDOWN SHALL BE ADDRESSED EARLY IN THE FALL GROWING SEASON SO THAT SLOPES AND OTHER BARE EARTH AREAS MAY BE STABILIZED WITH TEMPORARY AND/OR PERMANENT VEGETATIVE COVER FOR PROPER EROSION AND SEDIMENT CONTROL. ALL OPEN AREAS THAT ARE TO REMAIN BARE THROUGHOUT THE WINTER SHALL RECEIVE TEMPORARY EROSION CONTROL MEASURES INCLUDING TEMPORARY SEEDING, MULCHING AND/OR EROSION CONTROL BLANKET PRIOR TO THE END OF THE FALL GROWING SEASON. THE AREAS TO BE WORKED BEYOND THE END OF THE GROWING SEASON MUST INCORPORATE SOIL STABILIZATION MEASURES THAT DO NOT RELY ON VEGETATIVE COVER SUCH AS EROSION CONTROL BLANKET AND HEAVY MULCHING.

STORMWATER OUTFLOW CONTRIBUTING/RECEIVING WATERS

FROM SITE - RETENTION POOL  
TO RECEIVING WATERS - STORM SEWER IN COUNTY ROW

PROPOSED GRADE INFORMATION THAT IS PROVIDED ON THE SWPPP SITE MAP IS FOR THE PURPOSE OF INDICATING FINAL DRAINAGE PATTERNS ONLY. SEE GRADING PLAN FOR FINAL GRADING DETAILS.

THE CONTRACTOR SHALL MAINTAIN ALL EXISTING ROADWAYS, SIDEWALKS, DRIVES, ETC., TO BE FREE AND CLEAR OF ANY CONSTRUCTION DEBRIS AND/OR EXCAVATED AND HAULING MATERIAL TO ENSURE EASY AND SAFE PEDESTRIAN AND VEHICULAR TRAFFIC TO AND FROM ADJACENT SITES.

- ILLINOIS URBAN MANUAL PROTECTIONS:
- IP-1. BLOCK AND ROCK SOCK INLET PROTECTION FOR SUMP OR ON-GRADE INLETS
  - IP-2. CURB (ROCK) SOCKS UPSTREAM OF INLET PROTECTION, ON-GRADE INLETS
  - IP-3. ROCK SOCK INLET PROTECTION FOR SUMP/AREA INLET
  - IP-4. SILT FENCE INLET PROTECTION FOR SUMP/AREA INLET
  - IP-5. OVER-EXCAVATION INLET PROTECTION
  - IP-6. STRAW BALE INLET PROTECTION FOR SUMP/AREA INLET
  - OP-1. CULVERT INLET PROTECTION



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PHONE: (815) 786-0195 • TEBRUGGEENGINEERING.COM

NO.	DATE	NOTES

PREPARED FOR:  
**JAMES & DENISE MAFFEO**  
1223 BUELL AVE, JOLIET, IL

**FOUR SEASONS STORAGE FACILITY**  
**STORM WATER POLLUTION & PREVENTION PLAN**

ACREAGE SUMMARY

NOTICE OF INTENT (NOI)  
FOUR SEASONS STORAGE FACILITY  
1223 BUELL AVENUE  
JOLIET, IL 60430  
PHONE (815) 955-9914

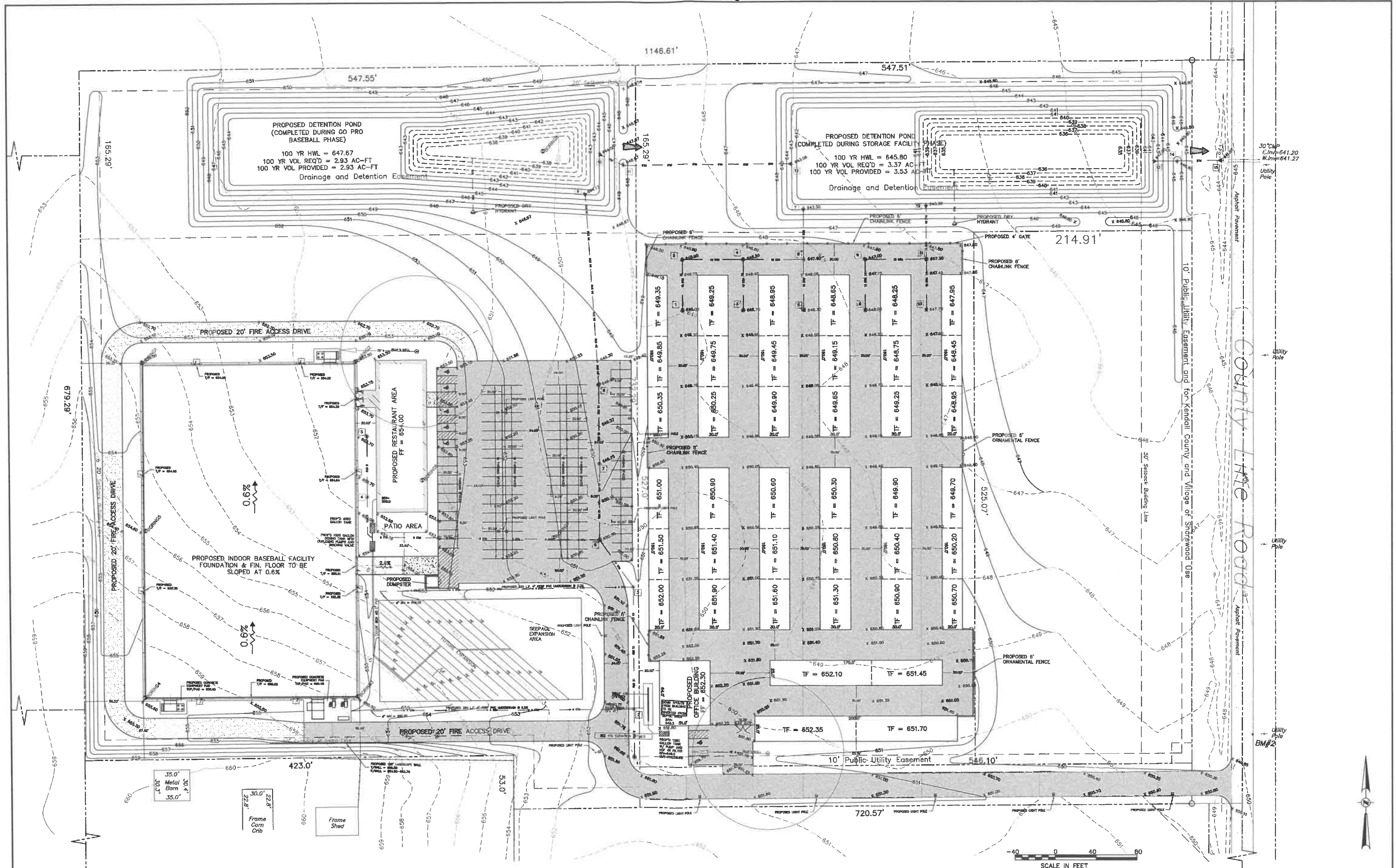
LANDOWNER: JAMES & DENISE MAFFEO

TOTAL SITE AREA	8.69 AC±
TOTAL DISTURBED AREA	6.94 AC±
PROPOSED IMPERVIOUS AREA	3.51 AC±
LANDSCAPED AREA	5.18 AC±
PROPOSED CN	.87

PROJECT NO.	19 447 02	SHEET NO.	<b>3</b>
SCALE:	1" = 40'		
DATE:	JAN 16, 2020		OF 8 SHEETS







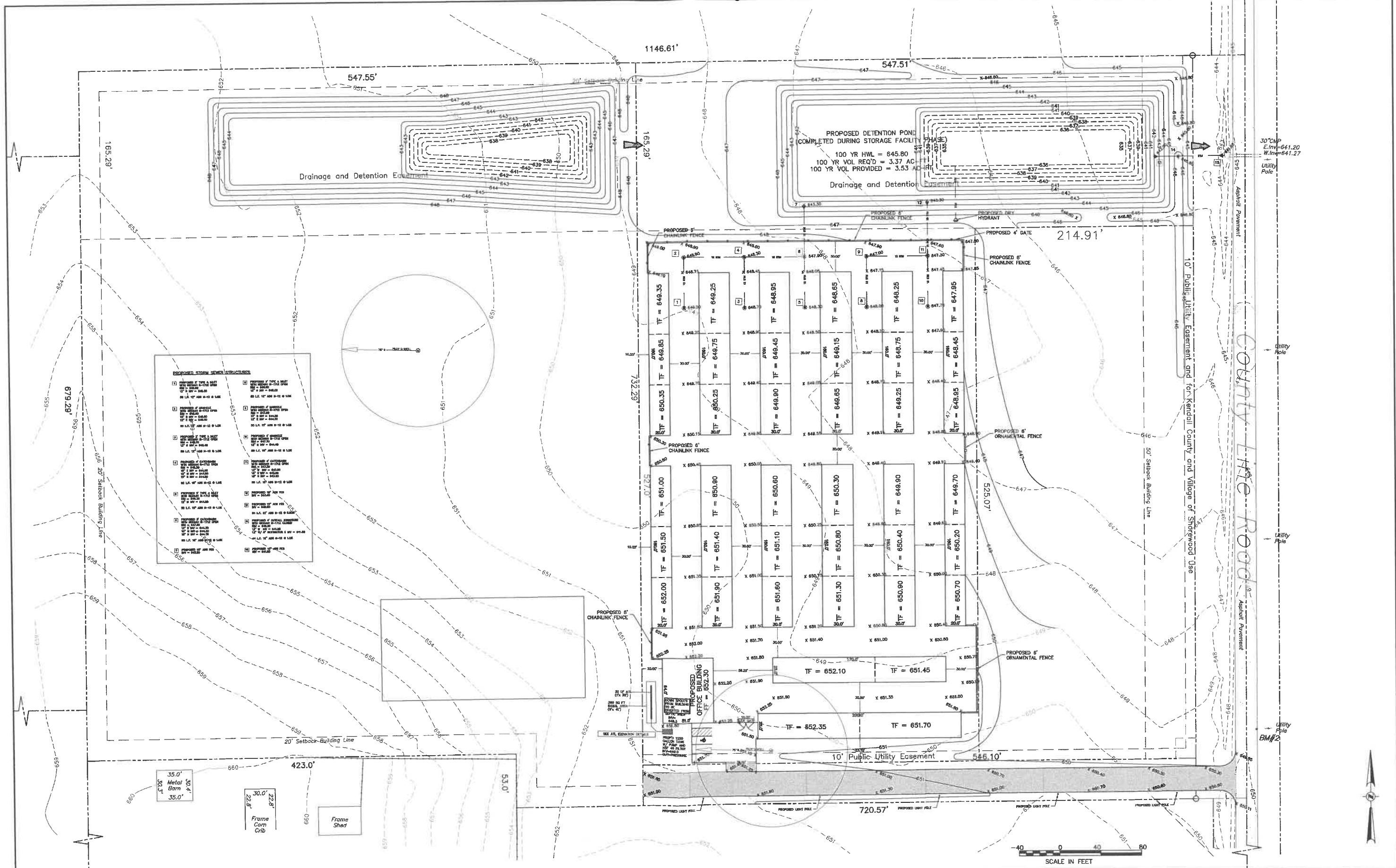
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NO.	DATE	NOTES

PREPARED FOR:  
**JAMES & DENISE MAFFEO**  
 1223 BUELL AVE, JOLIET, IL

**FOUR SEASONS STORAGE FACILITY**  
**OVERALL CIVIL SITE PLAN**

PROJECT NO.	19 447 02	SHEET NO.	<b>5</b>
SCALE:	1" = 40'	OF 8 SHEETS	
DATE:	JAN 16, 2020		



**PROPOSED STORM SEWER STRUCTURES**

1. PROPOSED 12" DIA. 10' LONG 12" MANHOLE	2. PROPOSED 12" DIA. 10' LONG 12" MANHOLE
3. PROPOSED 12" DIA. 10' LONG 12" MANHOLE	4. PROPOSED 12" DIA. 10' LONG 12" MANHOLE
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NO.	DATE	NOTES

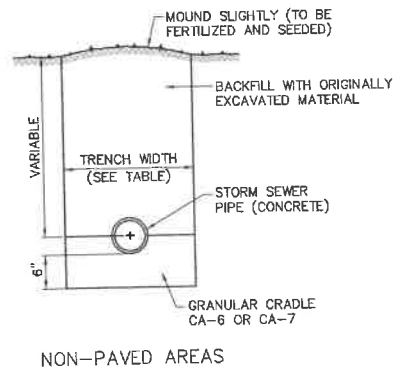
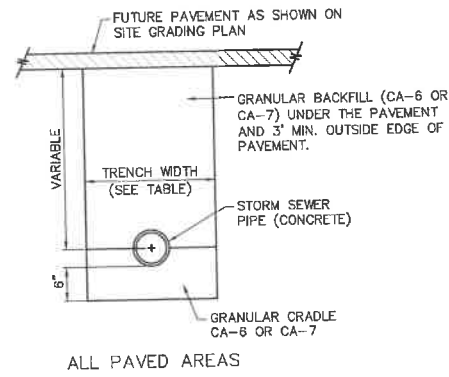
PREPARED FOR:  
**JAMES & DENISE MAFFEO**  
 1223 BUELL AVE, JOLIET, IL

**FOUR SEASONS STORAGE FACILITY**  
 CIVIL SITE PLAN

PROJECT NO.	19 447 02	SHEET NO.	<b>6</b>
SCALE:	1" = 40'		
DATE:	JAN 16, 2020		
			OF 8 SHEETS

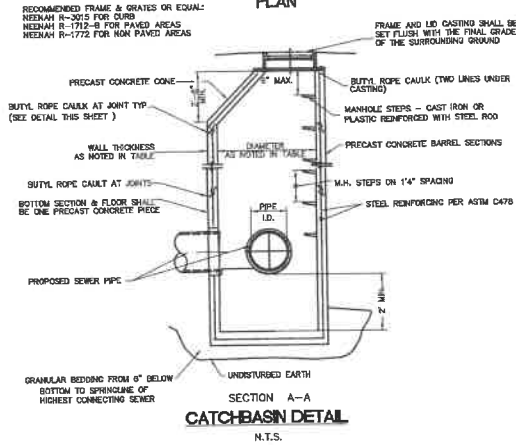
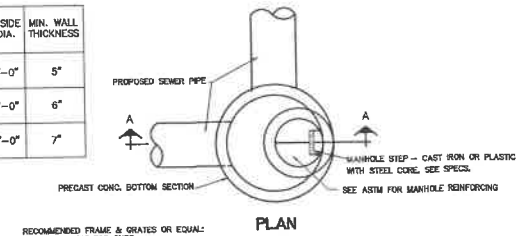


INSIDE DIAMETER OF STORM SEWER (INCHES)	MAXIMUM TRENCH WIDTH
6	3'-2"
8	3'-2"
12	3'-4"
15	3'-6"
18	3'-10"
21	4'-4"
24	4'-8"
27	4'-11"
30	5'-3"
36	6'-4"
42	6'-11"
48	7'-6"
54	8'-7"
60	9'-2"
66	9'-9"
72	10'-4"
78	10'-11"
84	11'-6"
90	12'-1"
96	12'-8"
102	13'-3"
108	13'-10"

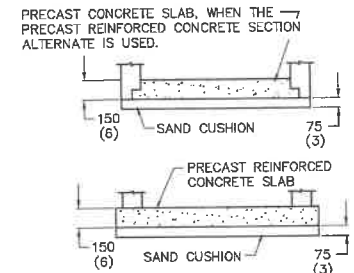
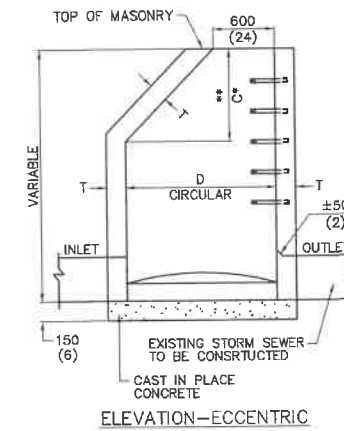


TRENCH DETAILS - STORM SEWER  
N.T.S.

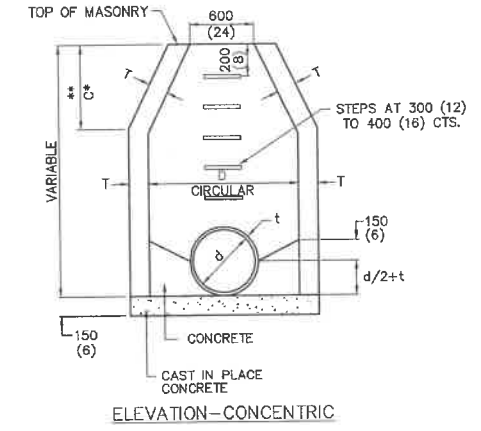
MANHOLE TYPE	INSIDE DIA.	MIN. WALL THICKNESS
A-4	4'-0"	5"
A-5	5'-0"	6"
A-8	6'-0"	7"



CATCH-BASIN DETAIL  
N.T.S.



ALTERNATE BOTTOM SLABS

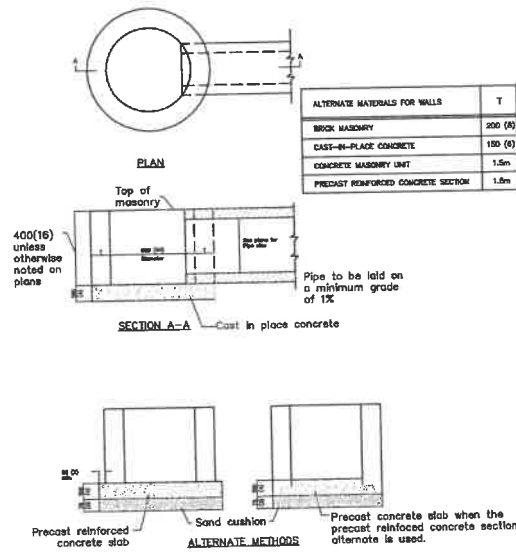


ALTERNATE MATERIALS FOR WALLS	D	C	T (min.)
CONCRETE MASONRY UNIT	1.2 m (4'-0")	750 (30)	125 (5)
	1.5 m (5'-0")	1.15 m (3'-9")	125 (5)
BRICK MASONRY	1.2 m (4'-0")	750 (30)	200 (8)
	1.5 m (5'-0")	1.15 m (3'-9")	200 (8)
PRECAST REINFORCED CONCRETE SECTION	1.2 m (4'-0")	750 (30)	100 (4)
	1.5 m (5'-0")	1.15 m (3'-9")	125 (5)
CAST IN PLACE CONC.	1.2 m (4'-0")	750 (30)	150 (6)
	1.5 m (5'-0")	1.15 m (3'-9")	150 (6)

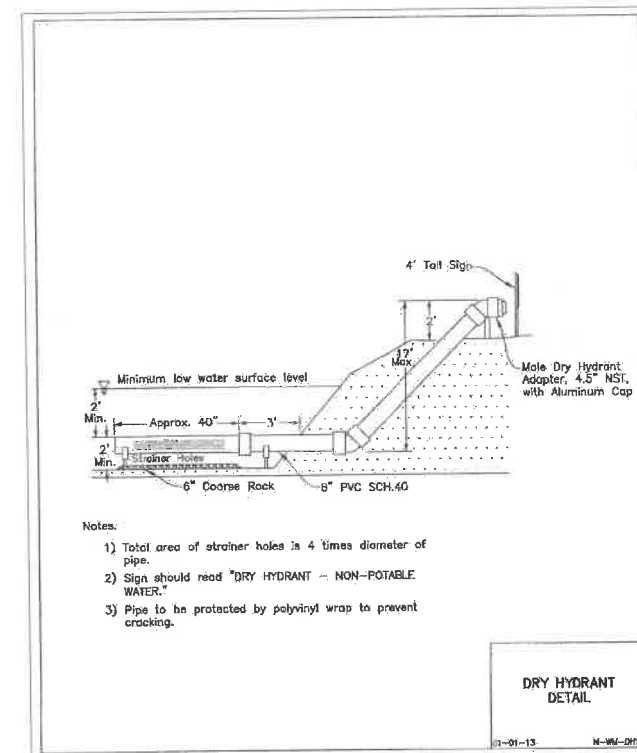
SEE IDOT STANDARD 2447 FOR DETAILS OF STEPS.  
\* DIMENSION "C" FOR PRECAST REINFORCED CONCRETE SECTIONS MAY VARY FROM THE DIMENSIONS GIVEN TO PLUS 150mm (6").  
\*\* SEE STANDARD 2354 FOR OPTIONAL PRECAST REINFORCED CONCRETE SLAB TOP.  
ALL DIMENSIONS ARE IN MILLIMETERS (INCHES) UNLESS OTHERWISE SHOWN.

GENERAL NOTES

MANHOLE TYPE A  
IDOT STANDARD 1527-10



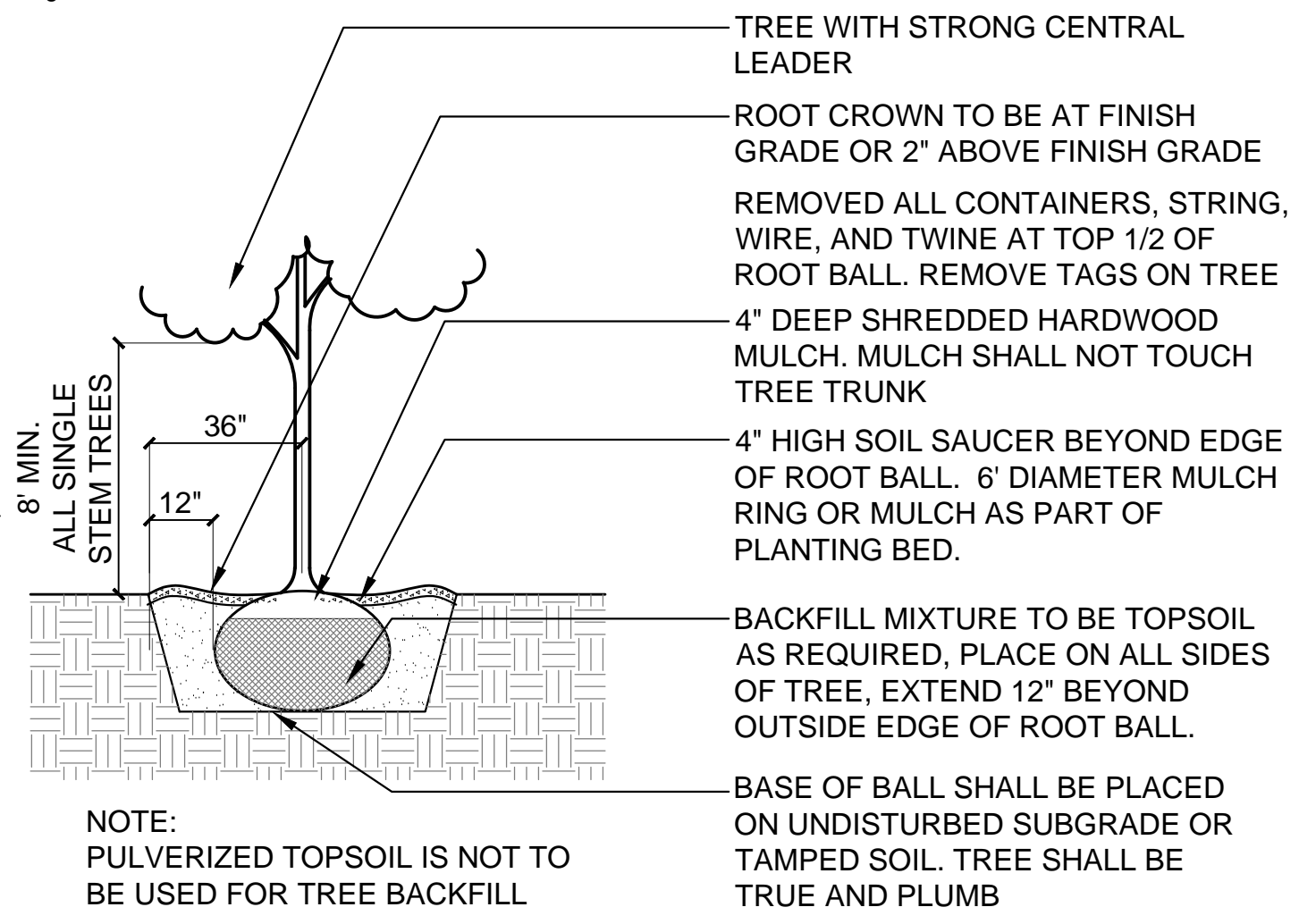
TYPE A INLET DETAIL  
N.T.S.



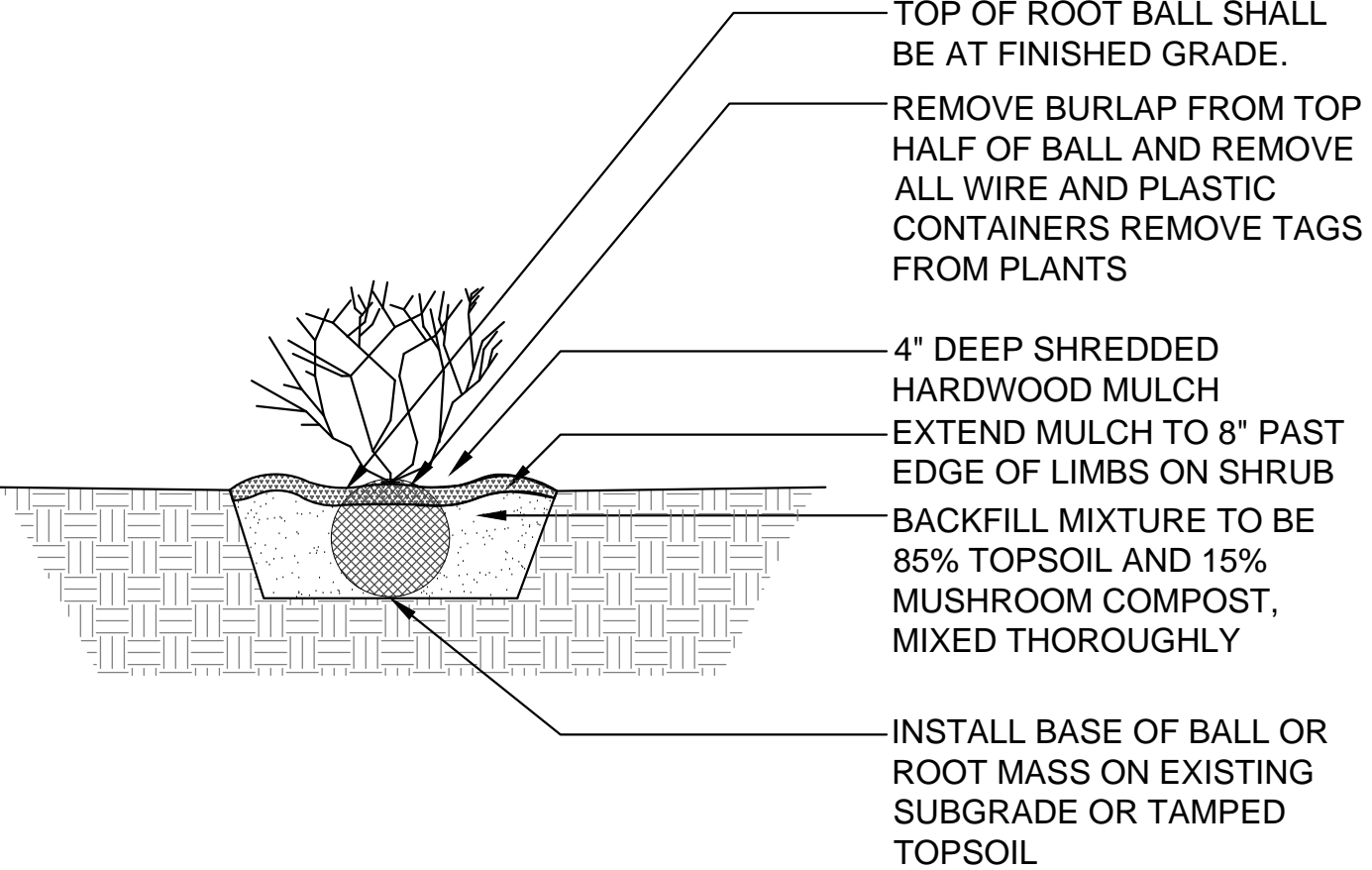
DRY HYDRANT DETAIL

NO.	DATE	NOTES

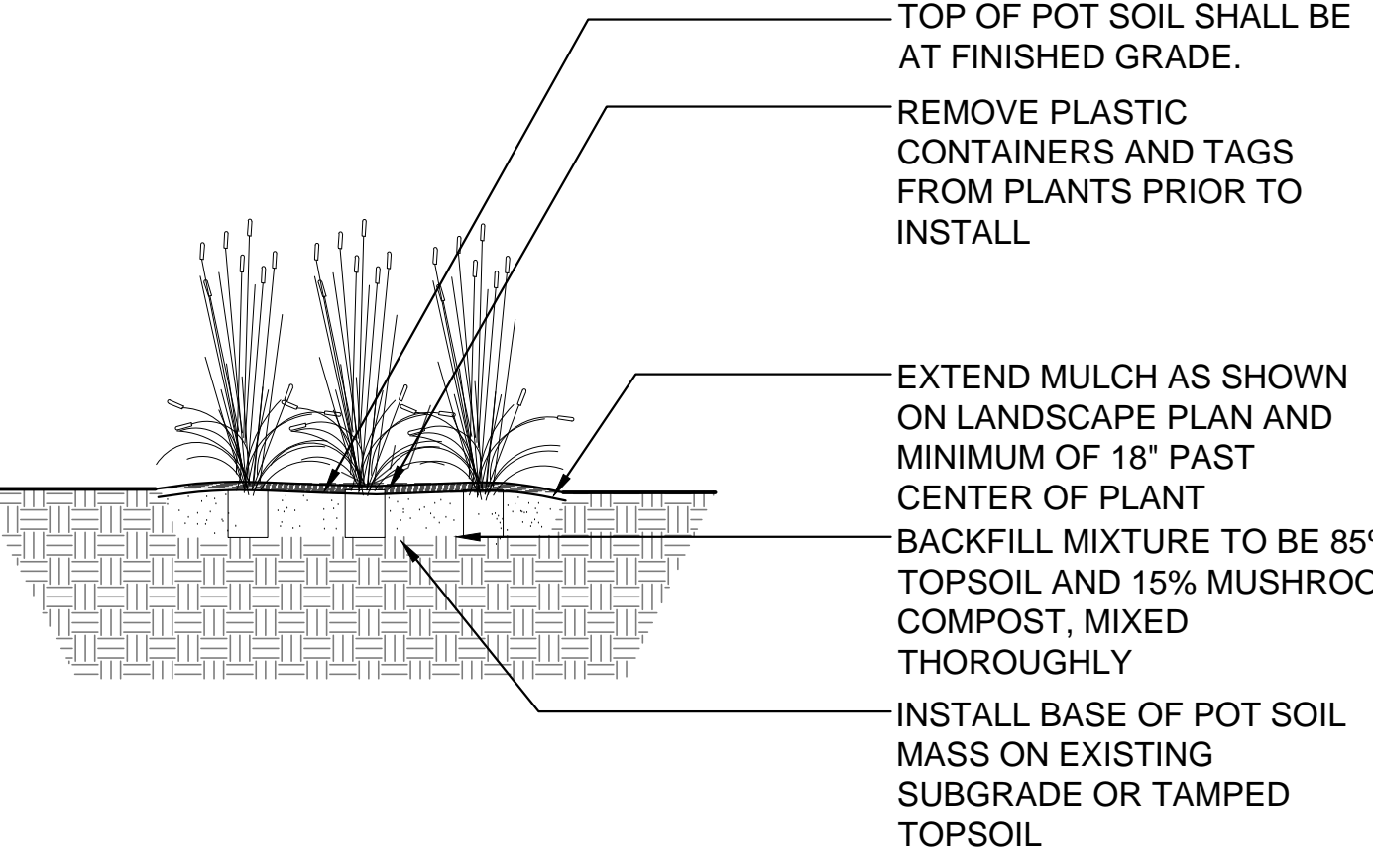




**1 Tree Installation**  
SCALE: N.T.S. d-plant-tree\_12



**2 Shrub Installation**  
SCALE: N.T.S. d-plant-shrub\_12



**3 Perennial & Ornamental Grass Installation**  
SCALE: 1" = 1'-0" d-perennials

**PLANT LIST**

Shade Trees - Balled and Burlap			
Qty.	Size	Botanical Name	Common Name
2	3" cal.	<i>Acer rubrum</i>	Red Maple
4	3" cal.	<i>Aesculus glabra</i>	Ohio Buckeye
3	3" cal.	<i>Quercus bicolor</i>	Swamp White Oak
3	3" cal.	<i>Ulmus 'Patriot'</i>	Patriot Elm
12	Total		

Evergreen Shrubs - Balled and Burlap or Container			
Qty.	Size	Botanical Name	Common Name
3	24" Ht. x 24" Spr.	<i>Taxus x media 'Densiformis'</i>	Dense Yew
3	Total		

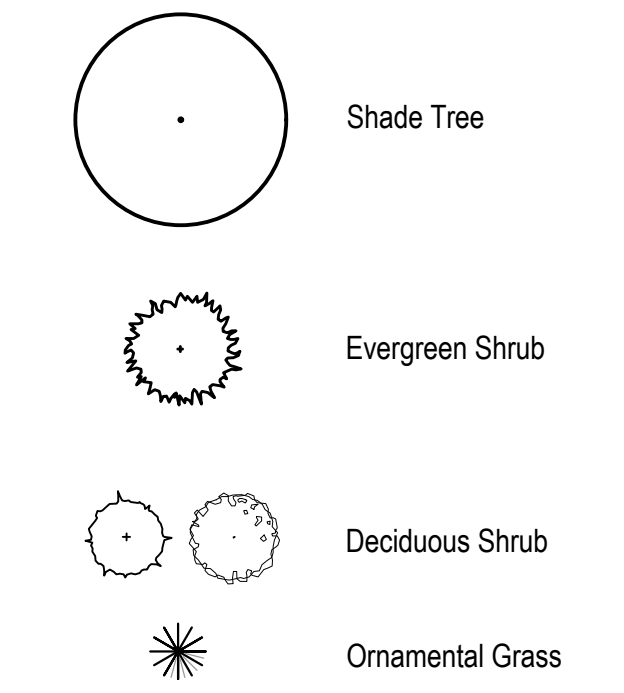
Deciduous Shrubs - Balled and Burlap or Container			
Qty.	Size	Botanical Name	Common Name
3	24" Ht. x 24" Spr.	<i>Viburnum dentatum 'Christom'</i>	Blue Muffin Viburnum
4	36" Ht. x 24" Spr.	<i>Syringa x 'Penda'</i>	Purple Bloomerang Lilac
10	18" Ht. x 24" Spr.	<i>Weigela x 'Dark Horse'</i>	Dark Horse Weigela
17	Total		

Perennials, Ornamental Grasses, and Groundcovers			
Qty.	Size	Botanical Name	Common Name
10	#1 cont.	<i>Sporobolus heterolepis</i>	Prairie Dropseed
10	Total		

**GENERAL NOTES: LANDSCAPE**

- Notes indicated on grading plans shall pertain to landscape plans. Final grade of planting beds shall be as per grading plan.
- The landscape contractor shall be responsible for making themselves familiar with all underground utilities and structures.
- All existing plant material and trees shall be saved and protected unless otherwise noted. Contractor to protect new and existing trees and landscaping from damage and shall restore all areas disturbed as a result of construction.
- Plant material shall be supplied from Northern Illinois nursery stock, shall be dug the planting season it is installed, and shall conform to the American Association of Nurseryman's standards.
- Plant material shall be size and type specified. Substitution of plant material shall be on a case by case basis and approved in writing by the Owner's Representative. In no case shall plant material be smaller than indicated in the plans.
- Do not willfully proceed with plantings as designed when it is obvious that obstructions and/or grade differences exist that may not have been known during the design process. Such conditions shall be immediately brought to the attention of the Owner's Representative.
- All plant material shall be inspected and approved by the Owner's Representative prior to the installation of any and all plant material.
- Plant locations shall be flagged in field with Owner's Rep. Final location of all plant material shall be subject to approval of the Owner's Representative prior to digging any holes. The landscape contractor is responsible for providing Owner's Representative with 48 hour minimum advance notice prior to planting.
- Plants shall be watered on the day they are planted and maintained with watering until final acceptance of the project.
- Apply a pre-emergent as per manufacturer's specification prior to installing mulch.
- Beds and tree rings (6' diameter) shall have 3" of hardwood shredded mulch applied and a 4" deep spade edge at lawn. Trees that are not located in beds, shall have a tree ring.
- Landscape plant material shall be guaranteed for 12 months from final acceptance. Any plant 1/3 dead or more shall be replaced under the guarantee. Contractor to prepare landscape beds by roto-tilling 2" of Mushroom Compost into new beds. Do not add compost nor roto-till within drip line of existing trees.
- Lawn Seeding shall be under favorable weather conditions, and shall follow dates in specification.
- Turf mixes shall be installed and lawn established at all disturbed areas.
- Do not overseed into mulch beds and paving.
- Contractor shall restore all areas disturbed as a result of construction.

**LEGEND**



Go Pro Ball, LLC  
6821 Sahara Drive  
Plainfield, IL

**PROJECT**  
**Go Pro Ball Facility**  
NW Quadrant of Rt 52 & County Line Rd  
Shorewood, Illinois

uplandDesign Ltd  
Park Planning and Landscape Architecture  
24042 Lockport St, Plainfield, Illinois 60544  
815-254-0091 www.uplanddesign.com

SHEET TITLE

**Landscape Plan**

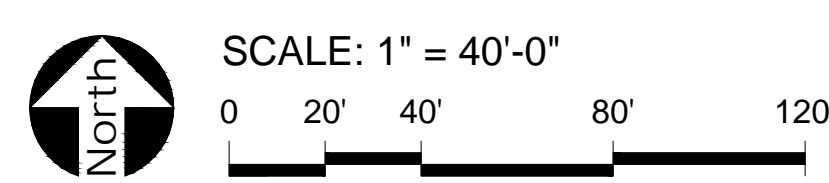
SHEET NUMBER **L1.0**

DRAW / REVISION

TD/LD	Permit Submittal	19FEB2020
DW/MB	Revision 1/Rendering	06MAR2020

Project Number 813  
Copyright 2020 Upland Design Ltd.

**Storage Unit Facility**





Law Offices  
of  
***Daniel J. Kramer***  
1107A S. Bridge Street  
Yorkville, Illinois 60560  
630-553-9500  
Fax: 630-553-5764  
dkramer@dankramerlaw.com

Daniel J. Kramer

Kelly A. Helland  
D.J. Kramer

May 14, 2020

Matt Asselmeier  
Kendall County Planning, Building, & Zoning  
Masseleier@co.kendall.il.us

RE: Four Seasons Storage Facility Special Use

Dear Mr. Asselmeier:

I have consulted our Landscape Architect Michelle Kelley at Upland Design. The trees planned for the Four Seasons Project would be 3-inch caliber with a height of 12 to 15 feet at installation. Ultimately the trees would grow to a 30 to 60 foot tall height over time.

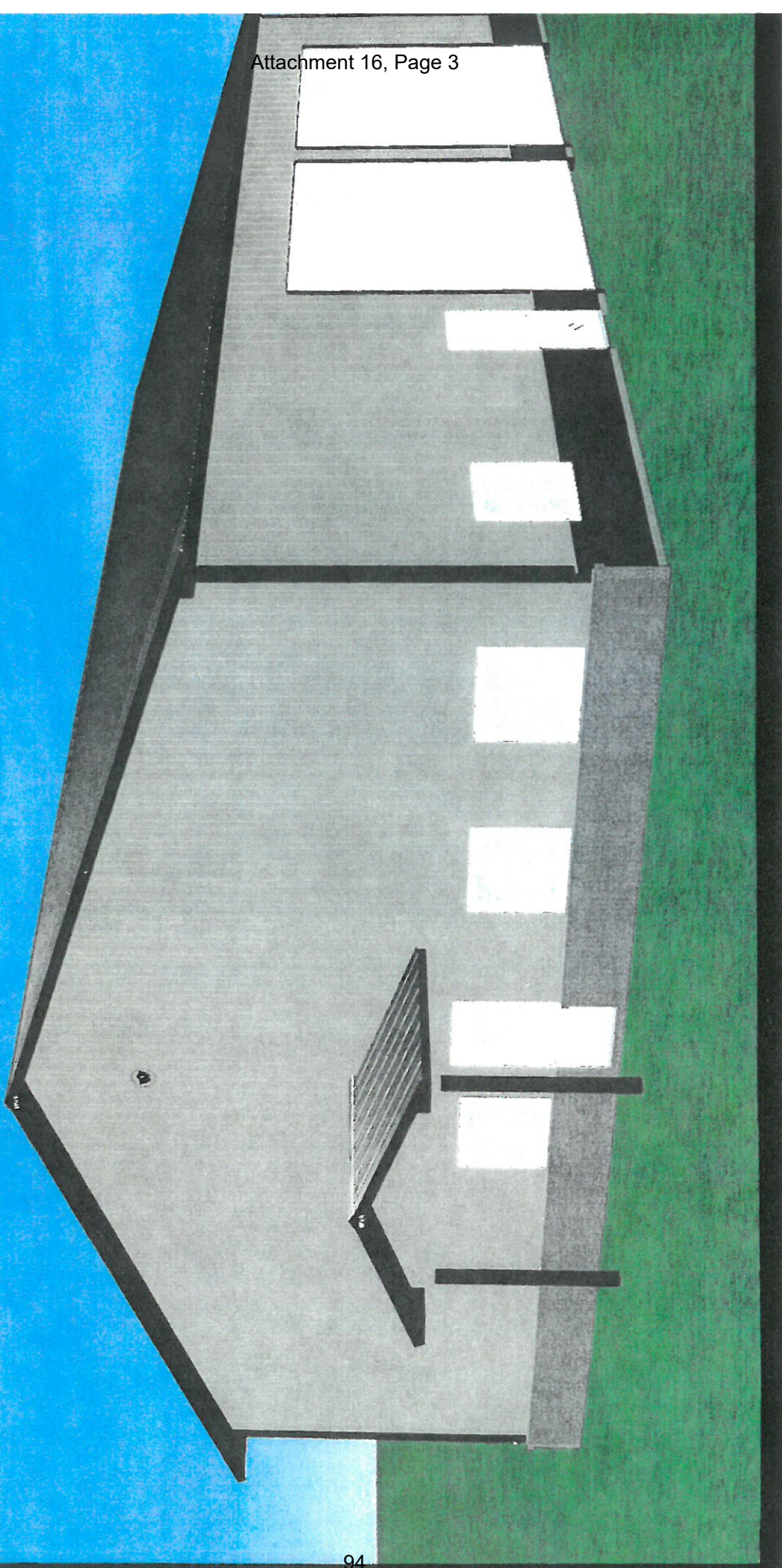
Given the startup costs, they would not put trees in initially on the north side of the fence but as the project develops yes they would consider both trees and bushes on the north side of the fence between the facility and the detention pond. Should you have any questions or concerns please feel free to contact me.

Very truly yours,

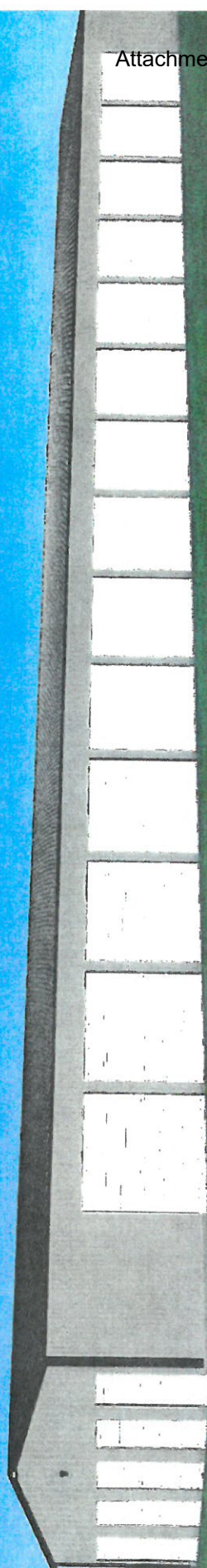
*Daniel J. Kramer*

Daniel J. Kramer  
Attorney at Law

DJK:cth  
Enclosures







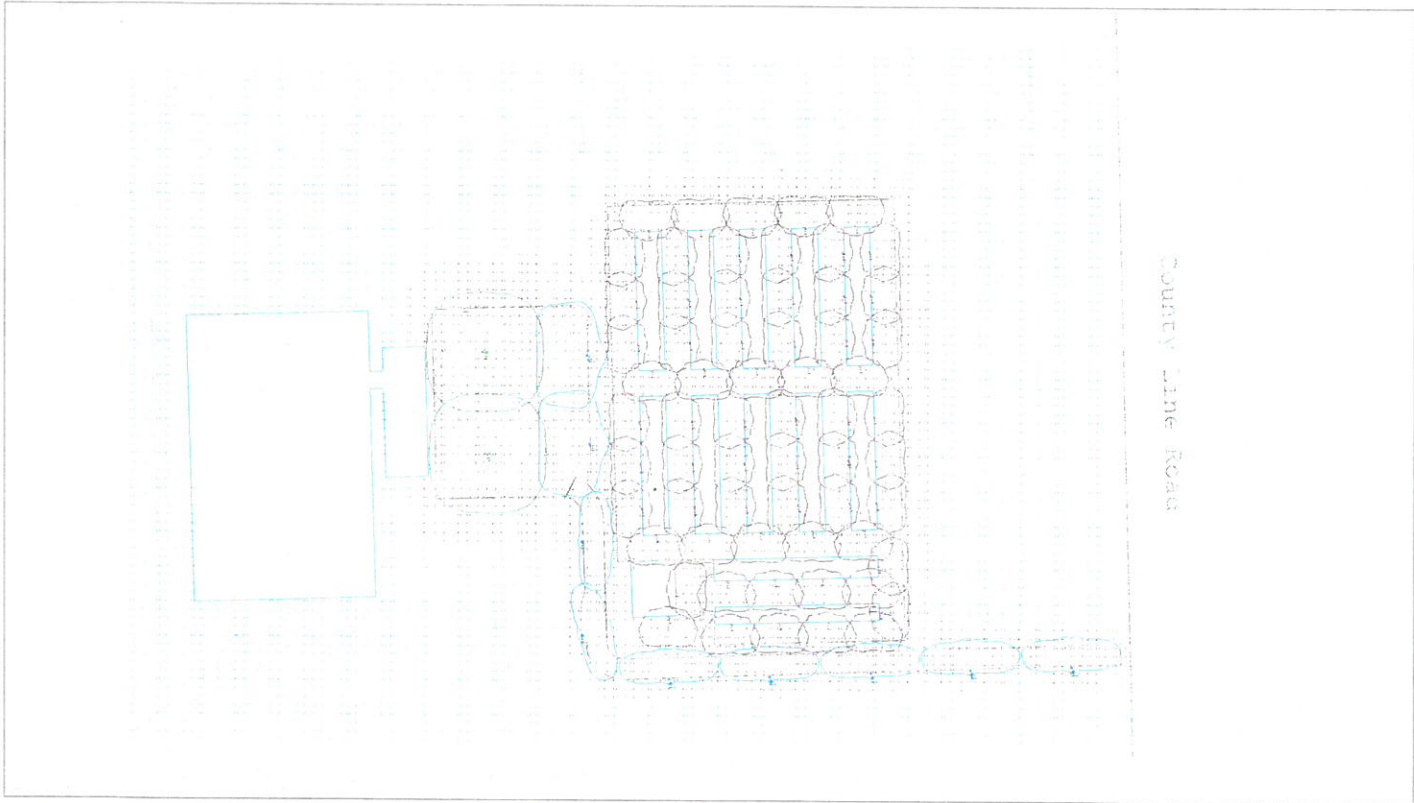












Luminaire Schedule: Part numbers are provided by the manufacturer and are only intended to be used as a reference to output and optics used.

Symbol	Qty	Tag	Label	Arrangement	Lum. Lumens	Air Lum. Lumens	Lum. Watts	Air. Watts	LLF	Description	Manufacturer
□	2	A1	PAR2-330L-165-4R7-4W	SINGLE	21480	21480	153.6	153.6	0.900	PAR2-330L-165-4R7-4W	HUBBELL OUTDOOR
□	2	A2	PAR2-330L-165-4R7-50W	2 @ 180 DEGREES	21976	43952	153.6	307.2	0.900	PAR2-330L-165-4R7-50W	HUBBELL OUTDOOR
□	7	A3	PAR-2-330L-110-4R7-3-BC	SINGLE	9030	9030	105	105	0.900	PAR-2-330L-110-4R7-3-BC	HUBBELL OUTDOOR
□	63	B	LN3-244K-105-4	SINGLE	7402	7402	82.8	82.8	0.900	LN3-244K-105-4	HUBBELL OUTDOOR

Label	Catic Type	Units	Avg	Max	Min	Avg/Min	Max/Min	Description
PROPERTY PLAZA	Illuminance	Fc	0.65	2.1	0.0	N/A	N/A	READINGS @ GRADE
ENTRY DRIVE	Illuminance	Fc	2.18	3.7	0.5	4.36	7.40	READINGS @ GRADE
PARKING LOT	Illuminance	Fc	2.88	6.3	0.5	5.16	12.60	READINGS @ GRADE
STORAGE AREA	Illuminance	Fc	2.98	7.1	0.3	9.93	23.67	READINGS @ GRADE

FC-Enlighten is neither licensed nor insured to determine code compliance. Code compliance review by others.

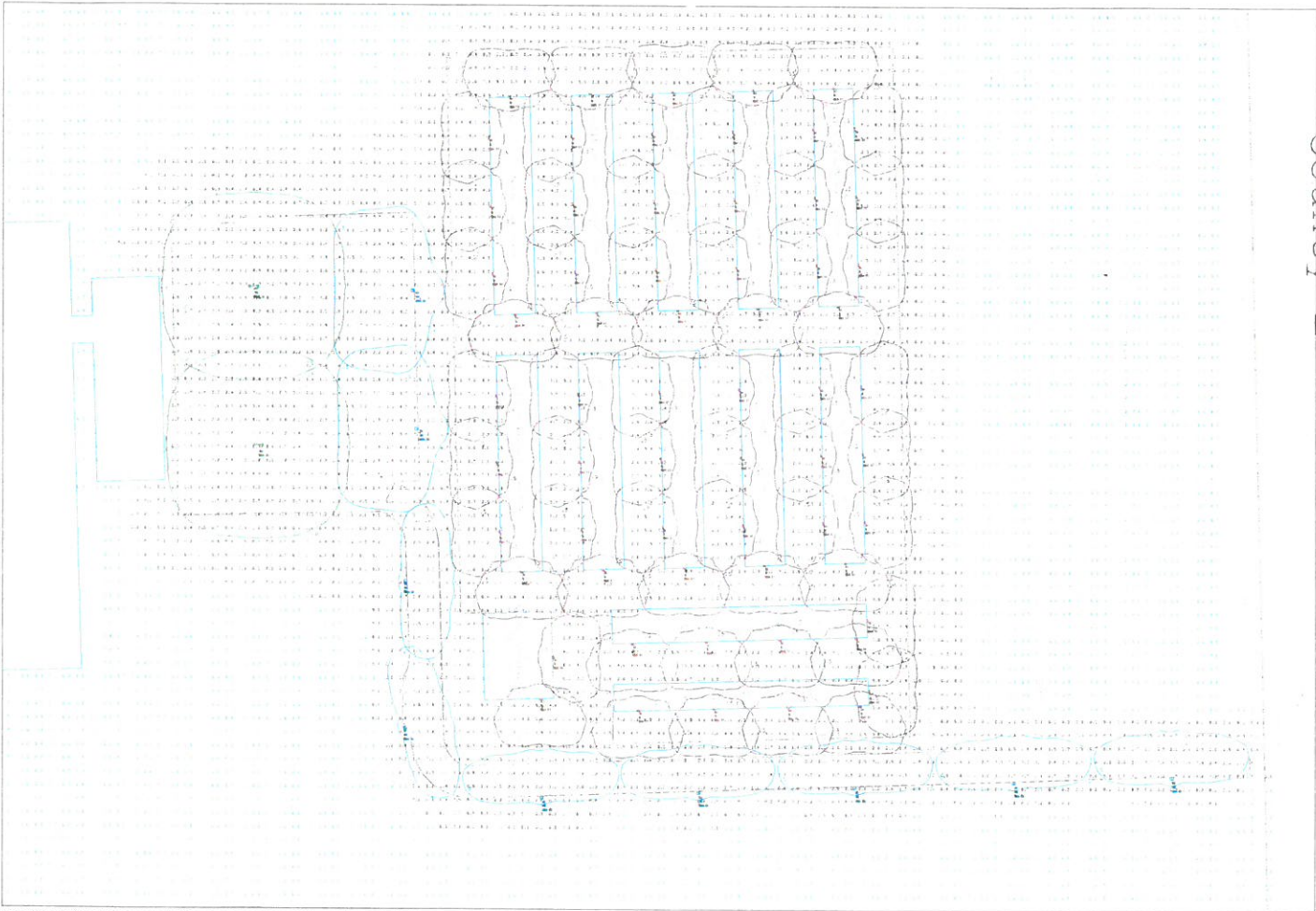
Parking Lot Design Guide	Basic (for typical conditions)	Basic (enhanced security)	Security	High Security
	(lumens/foot-candle)	(lumens/foot-candle)	(lumens/foot-candle)	(lumens/foot-candle)
Minimum horizontal illuminance (measured on parking surface without the shading from any object)	2.0	3.0	10.0	30.0
Minimum vertical illuminance (measured at the point of maximum contrast)	0.1	0.1	1.0	3.0
Minimum vertical illuminance (measured at the point of maximum contrast)	0.1	0.1	1.0	3.0




Revisions	
#	Comments

Drawn By: Jonell Collins  
 Project Name: GO PRO BASEBALL SITE  
 Date: 01/18/2019  
 Scale: Not to Scale  
 Location: KENDALL CO. IL

Page 1 of 3



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PG-Enlighten logo

Project Name: **GO PRO BASEBALL SITE**  
Location: **KENDALL CO. IL**

Drawn By: **Joel Collins**  
Drawn By: **joel.collins@pgenlighten.com**  
Date: **07/18/2019**  
Scale: **1" = 30'**

#	Date	Comment

Revisions

Page 2 of 3

Luminaire Location Summary						
LumNo	Tag (Qty)	Label	X	Y	Z	Orient
1	B (1)	LNC3-24k-105-4	11024.476	11145.501	11	180
2	B (1)	LNC3-24k-105-4	11025.925	11026.801	11	180
3	B (1)	LNC3-24k-105-4	11027.455	11045.501	11	180
4	B (1)	LNC3-24k-105-4	11064.45	11147.27	11	180
5	B (1)	LNC3-24k-105-4	11065.899	11097.27	11	180
6	B (1)	LNC3-24k-105-4	11067.459	11047.27	11	180
7	B (1)	LNC3-24k-105-4	11144.424	11149.039	11	180
8	B (1)	LNC3-24k-105-4	11145.873	11099.039	11	180
9	B (1)	LNC3-24k-105-4	11147.403	11049.039	11	180
10	B (1)	LNC3-24k-105-4	11204.398	11150.808	11	180
11	B (1)	LNC3-24k-105-4	11205.847	11100.808	11	180
12	B (1)	LNC3-24k-105-4	11207.377	11050.808	11	180
13	B (1)	LNC3-24k-105-4	11264.372	11152.576	11	180
14	B (1)	LNC3-24k-105-4	11265.821	11102.576	11	180
15	B (1)	LNC3-24k-105-4	11267.351	11052.576	11	180
16	B (1)	LNC3-24k-105-4	11018.875	11335.416	11	180
17	B (1)	LNC3-24k-105-4	11020.324	11285.416	11	180
18	B (1)	LNC3-24k-105-4	11021.854	11235.416	11	180
19	B (1)	LNC3-24k-105-4	11078.849	11337.187	11	180
20	B (1)	LNC3-24k-105-4	11080.298	11287.187	11	180
21	B (1)	LNC3-24k-105-4	11081.828	11237.187	11	180
22	B (1)	LNC3-24k-105-4	11138.823	11338.956	11	180
23	B (1)	LNC3-24k-105-4	11140.272	11288.956	11	180
24	B (1)	LNC3-24k-105-4	11141.802	11238.956	11	180
25	B (1)	LNC3-24k-105-4	11198.796	11340.725	11	180
26	B (1)	LNC3-24k-105-4	11200.245	11290.725	11	180
27	B (1)	LNC3-24k-105-4	11201.775	11240.725	11	180
28	B (1)	LNC3-24k-105-4	11268.77	11347.494	11	180
29	B (1)	LNC3-24k-105-4	11269.219	11292.494	11	180
30	B (1)	LNC3-24k-105-4	11269.667	11242.494	11	180
31	B (1)	LNC3-24k-105-4	11289.637	11343.378	11	0
32	B (1)	LNC3-24k-105-4	11291.086	11293.378	11	0
33	B (1)	LNC3-24k-105-4	11292.535	11243.378	11	0
34	B (1)	LNC3-24k-105-4	11294.024	11193.378	11	0
35	B (1)	LNC3-24k-105-4	11295.513	11143.378	11	0
36	B (1)	LNC3-24k-105-4	11297.002	11093.378	11	0
37	B (1)	LNC3-24k-105-4	11303.76	11015.576	11	270
38	B (1)	LNC3-24k-105-4	11310.734	11017.345	11	270
39	B (1)	LNC3-24k-105-4	11317.708	11019.114	11	270
40	B (1)	LNC3-24k-105-4	11324.682	11020.883	11	270
41	B (1)	LNC3-24k-105-4	11383.656	11022.651	11	270
42	B (1)	LNC3-24k-105-4	11385.147	11024.420	11	270
43	B (1)	LNC3-24k-105-4	11386.638	11026.189	11	270
44	B (1)	LNC3-24k-105-4	11388.129	11027.958	11	270
45	B (1)	LNC3-24k-105-4	11389.620	11029.727	11	270
46	B (1)	LNC3-24k-105-4	11391.111	11031.496	11	270
47	B (1)	LNC3-24k-105-4	11392.602	11033.265	11	270
48	B (1)	LNC3-24k-105-4	11394.093	11035.034	11	270
49	B (1)	LNC3-24k-105-4	11395.584	11036.803	11	270
50	B (1)	LNC3-24k-105-4	11397.075	11038.572	11	270
51	B (1)	LNC3-24k-105-4	11398.566	11040.341	11	270
52	B (1)	LNC3-24k-105-4	11399.987	11042.110	11	270
53	B (1)	LNC3-24k-105-4	11401.478	11043.879	11	270
54	B (1)	LNC3-24k-105-4	11402.969	11045.648	11	270
55	B (1)	LNC3-24k-105-4	11404.460	11047.417	11	270
56	B (1)	LNC3-24k-105-4	11405.951	11049.186	11	270
57	B (1)	LNC3-24k-105-4	11407.442	11050.955	11	270
58	B (1)	LNC3-24k-105-4	11408.933	11052.724	11	270
59	B (1)	LNC3-24k-105-4	11410.424	11054.493	11	270
60	B (1)	LNC3-24k-105-4	11411.915	11056.262	11	270
61	B (1)	LNC3-24k-105-4	11413.406	11058.031	11	270
62	A3 (1)	RAP-330L-110-4K7-3-BC	11525.502	10842.648	20	92.022
63	A3 (1)	RAP-330L-110-4K7-3-BC	11408.564	10840.237	20	92.022
64	A3 (1)	RAP-330L-110-4K7-3-BC	11291.627	10855.967	20	92.022
65	A3 (1)	RAP-330L-110-4K7-3-BC	11174.689	10915.935	20	92.022
66	A3 (1)	RAP-330L-110-4K7-3-BC	11058.751	10948.03	20	92.022
67	A3 (1)	RAP-330L-110-4K7-3-BC	10957.141	10999.661	20	15
68	A3 (1)	RAP-330L-110-4K7-3-BC	10857.143	11048.494	20	0
69	A1 (1)	RAP2-320L-165-4K7-4W	10645.072	11223.198	20	180
70	A1 (1)	RAP2-320L-165-4K7-4W	10648.088	11121.065	20	180
71	A2 (2)	RAP2-320L-165-4K7-5QW	10648.282	11128.648	20	0
72	A2 (2)	RAP2-320L-165-4K7-5QW	10644.949	11225.597	20	0
73	B (1)	LNC3-24k-105-4	11300.453	10981.014	11	0
74	B (1)	LNC3-24k-105-4	11302.037	10928.536	11	0

PG-Enlighten is neither licensed nor insured to determine code compliance. Code compliance review by others



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#	Date	Comments

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Drawn By: Joel Collins  
 Drawn By: joel.collins@pgm.com  
 Date: 10/18/2017  
 Scale: 1/8" = 1'-0"

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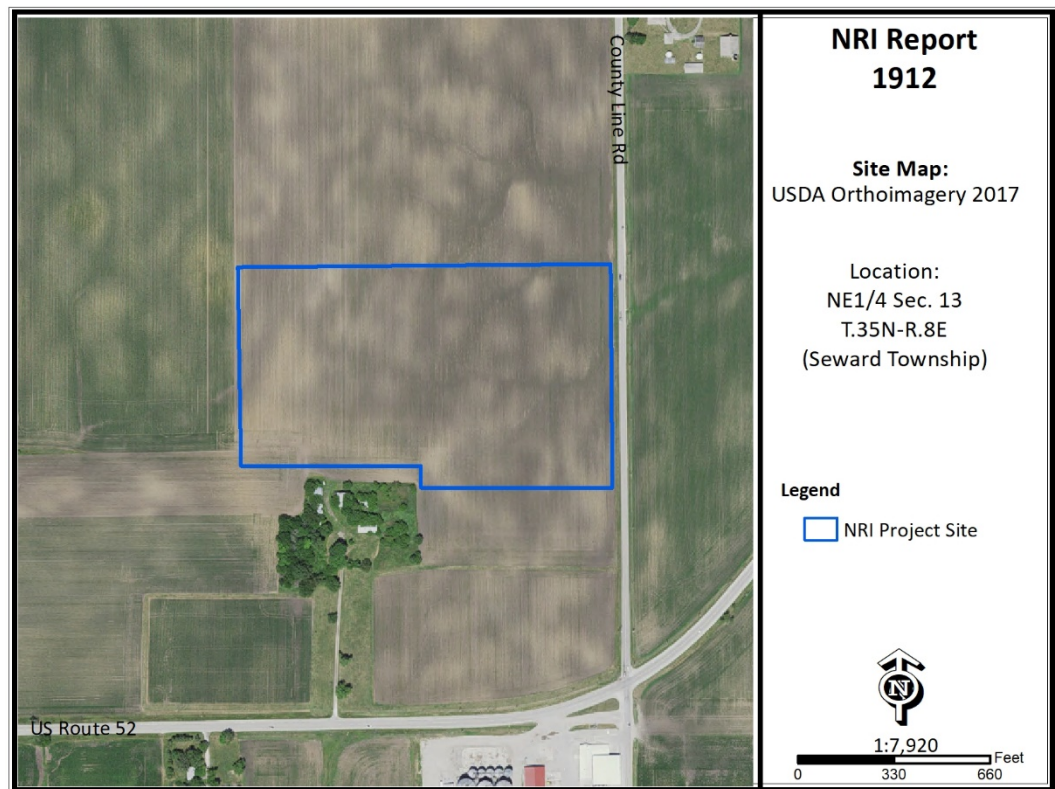
Project Name:  
**GO PRO BASEBALL SITE**  
 Location:  
 KENDALL CO. IL

---

Page 3 of 3



# NATURAL RESOURCE INFORMATION (NRI) REPORT: 1912



November 2019

Petitioner: Goprobball, LLC  
Contact: Daniel J. Kramer, Attorney

Prepared by:



**Kendall County Soil & Water Conservation District**

7775A Route 47 • Yorkville, Illinois 60560  
Phone: (630)553-5821 x3 • Fax: (630)553-7442  
[www.kendallswcd.org](http://www.kendallswcd.org)

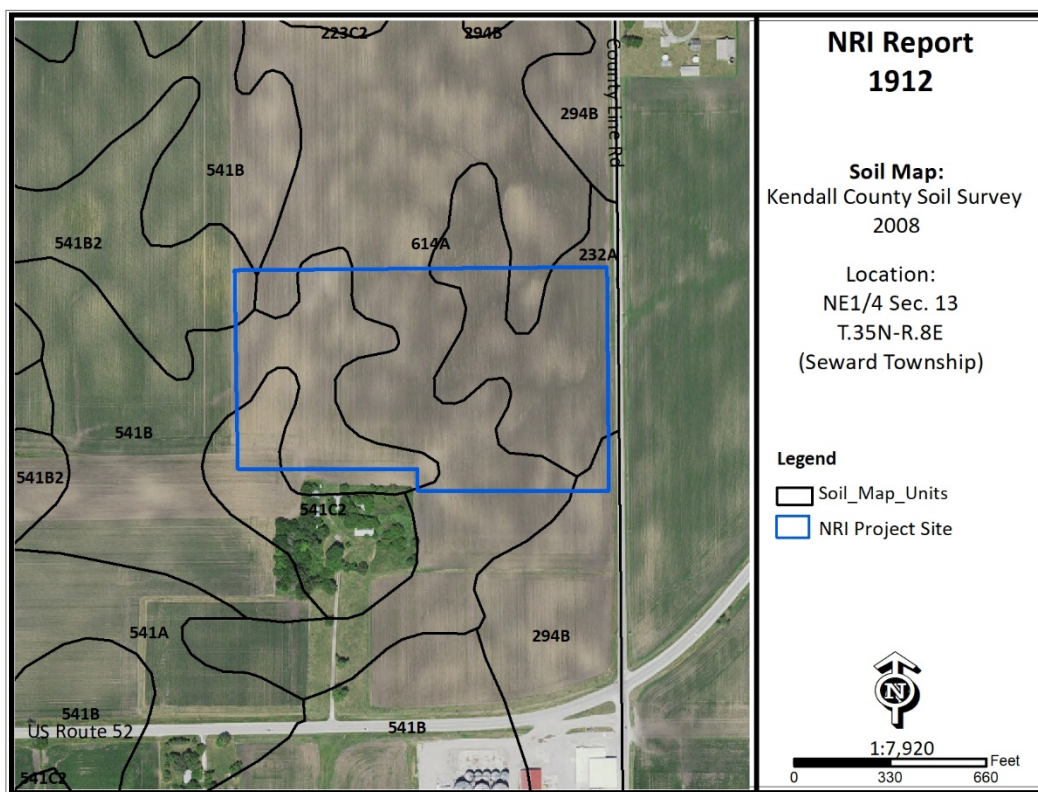
1912

## Executive Summary

November 2019

**Petitioner:** Goprobball, LLC**Contact Person:** Attorney Daniel J. Kramer**County or Municipality the petition is filed with:** Kendall County**Location of Parcel:** NE¼ Section 13, T.35N.-R.8E. (Seward Township) of the 3<sup>rd</sup> Principal Meridian**Project or Subdivision Name:** Goprobball**Existing Zoning & Land Use:** A-1; Agricultural**Proposed Zoning & Land Use:** A-1 Special Use, B-3, B-4; Commercial Recreation, Highway Business District**Proposed Water Source:** Well**Proposed Type of Sewage Disposal System:** Septic**Proposed Type of Storm Water Management:** On-Site Detention**Size of Site:** 18.75 acres**Land Evaluation Score:** 217 (Land Evaluation: 89; Site Assessment:128)

## Natural Resource Findings

**Soil Map:****SOIL INFORMATION:**

Based on information from the United States Department of Agriculture-Natural Resources Conservation Service (USDA-NRCS) 2008 Kendall County Soil Survey, this parcel is shown to contain the following soil types (please note this does not replace the need for or results of onsite soil testing; if completed, please refer to onsite soil test results for planning/engineering purposes):

**Table 1:**

Map Unit	Soil Name	Drainage Class	Hydrologic Group	Hydric Designation	Farmland Designation
232A	Ashkum silty clay loam, 0-2% slopes	Poorly Drained	C/D	Hydric	Prime Farmland (if drained)
294B	Symerton silt loam, 2-5% slopes	Moderately Well Drained	C	Non-hydric	Prime Farmland
541B	Graymont silt loam, 2-5% slopes	Moderately Well Drained	C	Non-hydric	Prime Farmland
541C2	Graymont silt loam, 5-10% slopes, eroded	Moderately Well Drained	C	Non-hydric	Farmland of Statewide Importance
614A	Chenoa silty clay loam, 0-2% slopes	Somewhat Poorly Drained	C/D	Hydric Inclusions Likely	Prime Farmland

**Hydrologic Soil Groups:** Soils have been classified into four (A, B, C, D) hydrologic groups based on runoff characteristics due to rainfall. If a soil is assigned to a dual hydrologic group (A/D, B/D or C/D), the first letter is for drained areas and the second letter is for undrained areas.

- ✓ **Hydrologic group A:** Soils have a high infiltration rate (low runoff potential) when thoroughly wet. These consist mainly of deep, well drained to excessively drained sands or gravelly sands. These soils have a high rate of water transmission.
- ✓ **Hydrologic group B:** Soils have a moderate infiltration rate when thoroughly wet, consist chiefly of moderately deep to deep, moderately well drained to well drained soils that have a moderately fine to moderately coarse texture. These soils have a moderate rate of water transmission.
- ✓ **Hydrologic group C:** Soils having a slow infiltration rate when thoroughly wet. These consist chiefly of soils having a layer that impedes the downward movement of water or soils of moderately fine texture or fine texture. These soils have a slow rate of water transmission.
- ✓ **Hydrologic group D:** Soils having a very slow infiltration rate (high runoff potential) when thoroughly wet. These consist chiefly of clays that have a high shrink-swell potential, soils that have a high water table, have a claypan or clay layer at or near the surface, and soils that are shallow over nearly impervious material. These soils have a very slow rate of water transmission.

**Hydric Soils:** A hydric soil is one that formed under conditions of saturation, flooding, or ponding long enough during the growing season to develop anaerobic conditions in the upper part of the soil profile that supports the growth or regeneration of hydrophytic vegetation. Soils with hydric inclusions have map units dominantly made up of non-hydric soils that may have inclusions of hydric soils in the lower positions on the landscape. Of the soils found onsite, 232A Ashkum silty clay loam is classified as being a hydric soil and 614A Chenoa silty clay loam is noted as having the potential for hydric inclusions.

**Prime Farmland:** Prime farmland is land that has the best combination of physical and chemical characteristics for agricultural production. Prime farmland soils are an important resource to Kendall County and some of the most productive soils in the United States occur locally. Of the soils found onsite, all, except for 614A Chenoa silty clay loam which is designated of being of statewide importance, are designated as prime farmland.

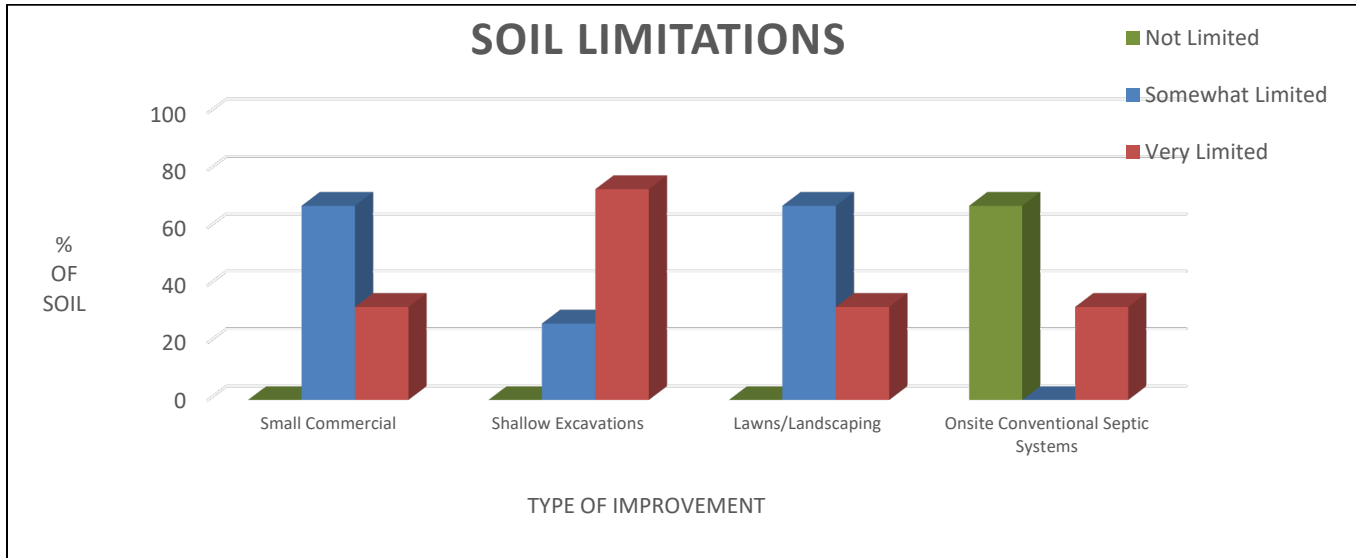
**Soil Limitations:** Limitations for dwellings without basements, dwellings with basements, small commercial building, shallow excavations, lawns/landscaping and local roads/streets.

**Table 2a:**

Soil Type	Dwellings Without Basements	Dwellings With Basements	Small Commercial Building
232A	Very Limited	Very Limited	Very Limited
294B	Somewhat Limited	Somewhat Limited	Somewhat Limited
541B	Somewhat Limited	Somewhat Limited	Somewhat Limited
541C2	Somewhat Limited	Very Limited	Somewhat Limited
614A	Somewhat Limited	Very Limited	Somewhat Limited

Table 2b:

Soil Type	Shallow Excavations	Lawns/Landscaping	Onsite Conventional Septic Systems
232A	Very Limited	Very Limited	Unsuitable: wet
294B	Somewhat Limited	Somewhat Limited	Suitable
541B	Somewhat Limited	Somewhat Limited	Suitable
541C2	Somewhat Limited	Somewhat Limited	Suitable
614A	Very Limited	Somewhat Limited	Suitable



#### **Kendall County Land Evaluation and Site Assessment (LESA):**

Decision-makers in Kendall County use the Land Evaluation and Site Assessment (LESA) system to determine the suitability of a land use change and/or a zoning request as it relates to agricultural land. The LESA system was developed by the United States Department of Agriculture-Natural Resources Conservation Service (USDA-NRCS) and takes into consideration local conditions such as physical characteristics of the land, compatibility of surrounding land-uses, and urban growth factors. The LESA system is a two-step procedure that includes:

- **LAND EVALUATION (LE)** – The soils of a given area are rated and placed in groups ranging from the best to worst suited for a stated agriculture use, cropland or forestland. The best group is assigned a value of 100 and all other groups are assigned lower values. The Land Evaluation is based on data from the Kendall County Soil Survey. The Kendall County Soil and Water Conservation District is responsible for this portion of the LESA system.
  - ✓ The Land Evaluation score for this site is 89, indicating that this site is **currently well suited** for agricultural uses.
- **SITE ASSESSMENT (SA)** – The site is numerically evaluated according to important factors that contribute to the quality of the site. Each factor selected is assigned values in accordance with the local needs and objectives. The Kendall County LESA Committee is responsible for this portion of the LESA system.
  - ✓ The Site Assessment score for this site is 128.

The **LESA Score for this site is 217 which indicates a low level of protection** for the proposed project site. Note: Selecting the project site with the lowest total points will generally protect the best farmland located in the most viable areas and maintain and promote the agricultural industry in Kendall County.

**Wetlands:** The U.S. Fish & Wildlife Service’s National Wetland Inventory map **does not indicate** the presence of a wetland(s) on the proposed project site. To determine if a wetland is present, a wetland delineation specialist, who is recognized by the U.S. Army Corps of Engineers, should determine the exact boundaries and value of the wetlands.

**Floodplain:** The parcel is not located within the floodplain.

**Sediment and Erosion Control:** Development on this site should include an erosion and sediment control plan in accordance with local, state and federal regulations. Soil erosion on construction sites is a resource concern because suspended sediment from areas undergoing development is a primary nonpoint source of water pollution. Please consult the *Illinois Urban Manual* (<http://www.aiswcd.org/illinois-urban-manual/>) for appropriate best management practices.

#### **LAND USE FINDINGS:**

The Kendall County Soil and Water Conservation District (SWCD) Board has reviewed the proposed development plans for Petitioner Goprobball, LLC for the proposed Goprobball project (change in zoning request from A-1 to A-1 Special Use, B-3, B-4) located in Section 13 of Seward Township (T.35N-R.8E) of the 3<sup>rd</sup> Principal Meridian) in Kendall County. Based on the information provided by the petitioner and a review of natural resource related data available to the Kendall County SWCD, the SWCD Board presents the following information.

The Kendall County SWCD has always had the opinion that Prime Farmland should be preserved whenever feasible. A land evaluation, which is a part of the Land Evaluation and Site Assessment (LESA) was conducted on this parcel. The soils on this parcel scored a 90 out of a possible 100 points indicating the soils are well suited for agricultural uses. The total LESA Score for this site is 217 which indicates a medium level of protection for the proposed project site. Selecting the project site with the lowest total points will generally protect the best farmland located in the most viable areas and maintain and promote the agricultural industry in Kendall County. Additionally, of the soils found onsite, 98.9% are classified as prime farmland.

Soils found on the project site are rated for specific uses and can have potential limitations for development. Soil types with severe limitations do not preclude the ability to develop the site for the proposed use but it is important to note the limitation that may require soil reclamation, special design/engineering, or maintenance to obtain suitable soil conditions to support development with significant limitations. This report indicates that for soils located on the parcel, 100% are very limited for local roads/streets, 73.4% are very limited for dwellings with basements and shallow excavations, 32.4% are very limited for dwellings without basements, small commercial buildings and lawns/landscaping. Additionally, 32.4% are unsuitable for conventional septic systems. If the scope of the project may include the use of onsite septic systems, please consult with the Kendall County Health Department. This information is based on the soil in an undisturbed state.

This site is located within both the Illinois River Watershed Des Plaines Watershed.

This development should include a soil erosion and sediment control plan to be implemented during construction. Sediment may become a primary non-point source of pollution; eroded soils during the construction phase can create unsafe conditions on roadways, degrade water quality and destroy aquatic ecosystems lower in the watershed.

For intense use it is recommended that the drainage tile survey completed on the parcel to locate the subsurface drainage tile be taken into consideration during the land use planning process. Drainage tile expedites drainage and facilitates farming. It is imperative that these drainage tiles remain undisturbed. Impaired tile may affect a few acres or hundreds of acres of drainage.

The information that is included in this Natural Resources Information Report is to assure the Land Developers take into full consideration the limitations of that land that they wish to develop. Guidelines and recommendations are also a part of this report and should be considered in the planning process. The Natural Resource Information Report is required by the Illinois Soil and Water Conservation District Act (Ill. Compiled Statutes, Ch. 70, Par 405/22.02a).

  
SWCD Chair/Designee

11/04/19  
Date

<b>KENDALL CO SOIL AND WATER CONSERVATION DISTRICT NATURAL RESOURCE INFORMATION REPORT (NRI)</b>
--

NRI Report Number	1912
Date District Board Reviews Application	November 2019
Applicant's Name	Groproball, LLC
Size of Parcel	18.8 acres
Current Zoning & Use	A-1; Cropland
Proposed Zoning & Use	A-1 Special Use, B-4 and B-3; Commerical
Parcel Index Number(s)	09-13-200-002 (portion of)
Contact Person	Daniel J. Kramer, Attorney

<b><i>Copies of this report or notification of the proposed land-use change were provided to:</i></b>	<b>Yes</b>	<b>No</b>
The Applicant	X	
The Applicant's Legal Representation	X	
The Local/Township Planning Commission	X	
The Village/City/ <b>County</b> Planning and Zoning Department or Appropriate Agency	X	
The Kendall County Soil and Water Conservation District Files	X	

Report Prepared By: *Megan Andrews* Position: *Resource Conservationist*

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## PURPOSE AND INTENT

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The purpose of this report is to inform officials of the local governing body and other decision-makers with natural resource information. This information may be useful when undertaking land use decisions concerning variations, amendments or relief of local zoning ordinances, proposed subdivision of vacant or agricultural lands and the subsequent development of these lands. This report is a requirement under Section 22.02a of the Illinois Soil and Water Conservation Districts Act.

The intent of this report is to present the most current natural resource information available in a readily understandable manner. It contains a description of the present site conditions, the present resources, and the potential impacts that the proposed change may have on the site and its resources. The natural resource information was gathered from standardized data, on-site investigations and information furnished by the petitioner. This report must be read in its entirety so that the relationship between the natural resource factors and the proposed land use change can be fully understood.

Due to the limitations of scale encountered with the various resource maps, the property boundaries depicted in the various exhibits in this

report provide a generalized representation of the property location and may not precisely reflect the legal description of the PIQ (Parcel in Question).

This report, when used properly, will provide the basis for proper land use change decisions and development while protecting the natural resource base of the county. It should not be used in place of detailed environmental and/or engineering studies that are warranted under most circumstances, but in conjunction with those studies.

The conclusions of this report in no way indicate that a certain land use is not possible, but it should alert the reader to possible problems that may occur if the capabilities of the land are ignored. Any questions on the technical data supplied in this report or if anyone feels that they would like to see more additional specific information to make the report more effective, please contact:

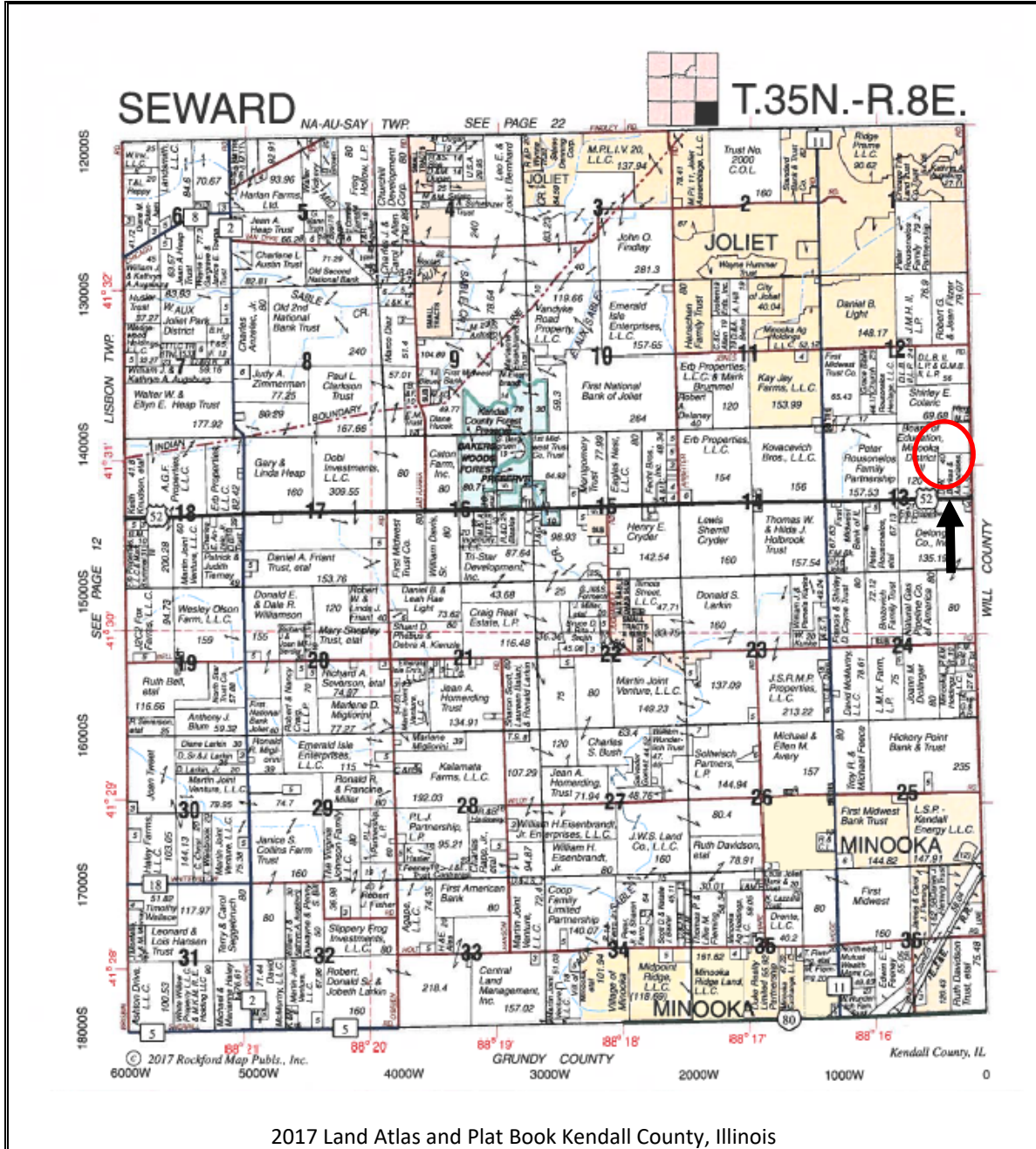
**Kendall County Soil and Water Conservation  
District  
7775A Route 47, Yorkville, IL 60560  
Phone: (630) 553-5821 ext. 3  
FAX: (630) 553-7442  
E-mail: Megan.Andrews@il.nacdnet.net**

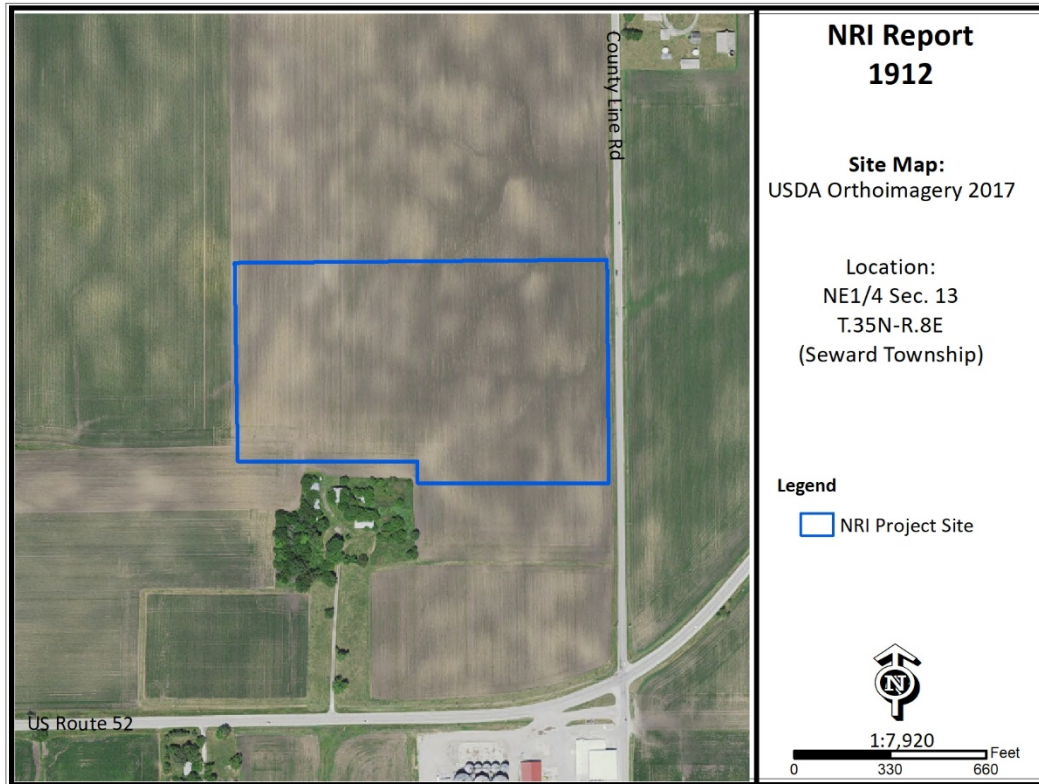
### PARCEL LOCATION

#### Location Map for Natural Resources Information Report # 1912

NE¼ Section 13 of Township 35 North, Range 8 East (Seward Township) on 18.8 acres. This parcel is located on the north side of Route 52 and northeast of the intersection of Route 52 and Ridge Road. The parcel is currently located in unincorporated Kendall County.

Figure 1: 2017 Plat Map and 2017 Aerial Map with NRI Site Boundary





## ARCHAEOLOGIC/CUTURAL RESOURCES

Simply stated, cultural resources are all the past activities and accomplishments of people. They include the following: buildings; objects made or used by people; locations; and less tangible resources, such as stories, dance forms, and holiday traditions. The Soil and Water Conservation District most often encounters cultural resources as historical properties. These may be prehistoric or historical sites, buildings, structures, features, or objects. The most common type of historical property that the Soil and Water Conservation District may encounter is non-structural archaeological sites. These sites often extend below the soil surface, and must be protected against disruption by development or other earth moving activity if possible. Cultural resources are *non-renewable* because there is no way to “grow” a site to replace a disrupted site.

Landowners with historical properties on their land have ownership of that historical property. However, the State of Illinois owns all of the following: human remains, grave markers, burial mounds, and artifacts associated with graves and human remains.

Non-grave artifacts from archaeological sites and historical buildings are the property of the landowner. The landowner may choose to disturb a historical property, but may not receive federal or state assistance to do so. If an earth moving activity disturbs human remains, the landowner must contact the county coroner within 48 hours.

***The Illinois Historic Preservation Agency has not been notified of the proposed land use change by the Kendall County SWCD. The applicant may need to contact the IHPA according to current Illinois law.***

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## ECOLOGICALLY SENSITIVE AREAS

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### ***What is Biological Diversity and Why Should it be Conserved?***<sup>1</sup>

Biological diversity, or biodiversity, is the range of life on our planet. A more thorough definition is presented by botanist Peter H. Raven: "At the simplest level, biodiversity is the sum total of all the plants, animals, fungi and microorganisms in the world, or in a particular area; all of their individual variation; and all of the interactions between them. It is the set of living organisms that make up the fabric of the planet Earth and allow it to function as it does, by capturing energy from the sun and using it to drive all of life's processes; by forming communities of organisms that have, through the several billion years of life's history on Earth, altered the nature of the atmosphere, the soil and the water of our Planet; and by making possible the sustainability of our planet through their life activities now." (Raven 1994)

It is not known how many species occur on our planet. Presently, about 1.4 million species have been named. It has been estimated that there are perhaps 9 million more that have not been identified. What is known is that they are vanishing at an unprecedented rate. Reliable estimates show extinction occurring at a rate several orders of magnitude above "background" in some ecological systems. (Wilson 1992, Hoose 1981)

The reasons for protecting biological diversity are complex, but they fall into four major categories.

First, loss of diversity generally weakens entire natural systems. Healthy ecosystems tend to have many natural checks and balances. Every species plays a role in maintaining this system. When simplified by the loss of diversity, the system becomes more susceptible to natural and artificial perturbations. The chances of a system-wide collapse increase. In parts of the midwestern United States, for example, it was

only the remnant areas of natural prairies that kept soil intact during the dust bowl years of the 1930s. (Roush 1982)

Simplified ecosystems are almost always expensive to maintain. For example, when synthetic chemicals are relied upon to control pests, the target species are not the only ones affected. Their predators are almost always killed or driven away, exasperating the pest problem. In the meantime, people are unintentionally breeding pesticide-resistant pests. A process has begun where people become perpetual guardians of the affected area, which requires the expenditure of financial resources and human ingenuity to keep the system going.

A second reason for protecting biological diversity is that it represents one of our greatest untapped resources. Great benefits can be reaped from a single species. About 20 species provide 90% of the world's food. Of these 20, just three, wheat, maize and rice-supply over one half of that food. American wheat farmers need new varieties every five to 15 years to compete with pests and diseases. Wild strains of wheat are critical genetic reservoirs for these new varieties.

Further, every species is a potential source of human medicine. In 1980, a published report identified the market value of prescription drugs from higher plants at over \$3 billion. Organic alkaloids, a class of chemical compounds used in medicines, are found in an estimated 20% of plant species. Yet only 2% of plant species have been screened for these compounds. (Hoose 1981)

The third reason for protecting diversity is that humans benefit from natural areas and depend on healthy ecosystems. The natural world supplies our air, our water, our food and supports human economic activity. Further, humans are creatures that evolved in a diverse natural environment between forest and

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<sup>1</sup>Taken from *The Conservation of Biological Diversity in the Great Lakes Ecosystem: Issues and Opportunities*, prepared by the Nature Conservancy Great Lakes Program 79W. Monroe Street, Suite 1309, Chicago, IL 60603, January 1994

grasslands. People need to be reassured that such places remain. When people speak of “going to the country,” they generally mean more than getting out of town. For reasons of their own sanity and well being, they need a holistic, organic experience. Prolonged exposure to urban monotony produces neuroses, for which cultural and natural diversity cure.

Historically, the lack of attention to biological diversity, and the ecological processes it supports, has resulted in economic hardships for segments of the basin’s human population.

The final reason for protecting biological diversity is that species and natural systems are intrinsically valuable. The above reasons have focused on the benefits of the natural world to humans. All things possess intrinsic value simply because they exist.

### **Biological Resources Concerning the Subject Parcel**

As part of the Natural Resources Information Report, staff checks office maps to determine if any nature preserves are in the general vicinity of the parcel in question. If there is a nature preserve in the area, then that resource will be identified as part of the report. The SWCD recommends that every effort be made to protect that resource. Such efforts should include, but are not limited to erosion control, sediment control, stormwater management, and groundwater monitoring.

*Office maps indicate that ecologically sensitive area(s) are not located near the parcel in question (PIQ).*

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## **SOILS INFORMATION**

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### **Importance of Soils Information**

Soils information comes from the Natural Resources Conservation Service Soil Maps and Descriptions for Kendall County. This information is important to all parties involved in determining the suitability of the proposed land use change.

Each soil polygon is given a number, which represents its soil type. The letter found after the soil type number indicates the soils slope class.

Each soil map unit has limitations for a variety of land uses such as septic systems, buildings with basements, and buildings without basements. It is important to remember that soils do not function independently of each other. The behavior of a soil depends upon the physical properties of adjacent soil types, the presence of artificial drainage, soil compaction, and its position in the local landscape.

The limitation categories (slight, moderate or severe) indicate the potential for difficulty in using that soil unit for the proposed activity and, thus, the degree of need for thorough soil borings and engineering studies. A limitation

does not necessarily mean that the proposed activity cannot be done on that soil type. It does mean that the reasons for the limitation need to be thoroughly understood and dealt with in order to complete the proposed activity successfully. A severe limitation indicates that the proposed activity will be more difficult and costly to do on that soil type than on a soil type with a moderate or slight rating.

Soil survey interpretations are predictions of soil behavior for specified land uses and specified management practices. They are based on the soil properties that directly influence the specified use of the soil. Soil survey interpretations allow users of soil surveys to plan reasonable alternatives for the use and management of soils.

Soil interpretations do not eliminate the need for on-site study and testing of specific sites for the design and construction for specific uses. They can be used as a guide for planning more detailed investigations and for avoiding undesirable sites for an intended use. The scale of the maps and the range of error limit the use of the soil delineation.



Figure 2: Soil Map

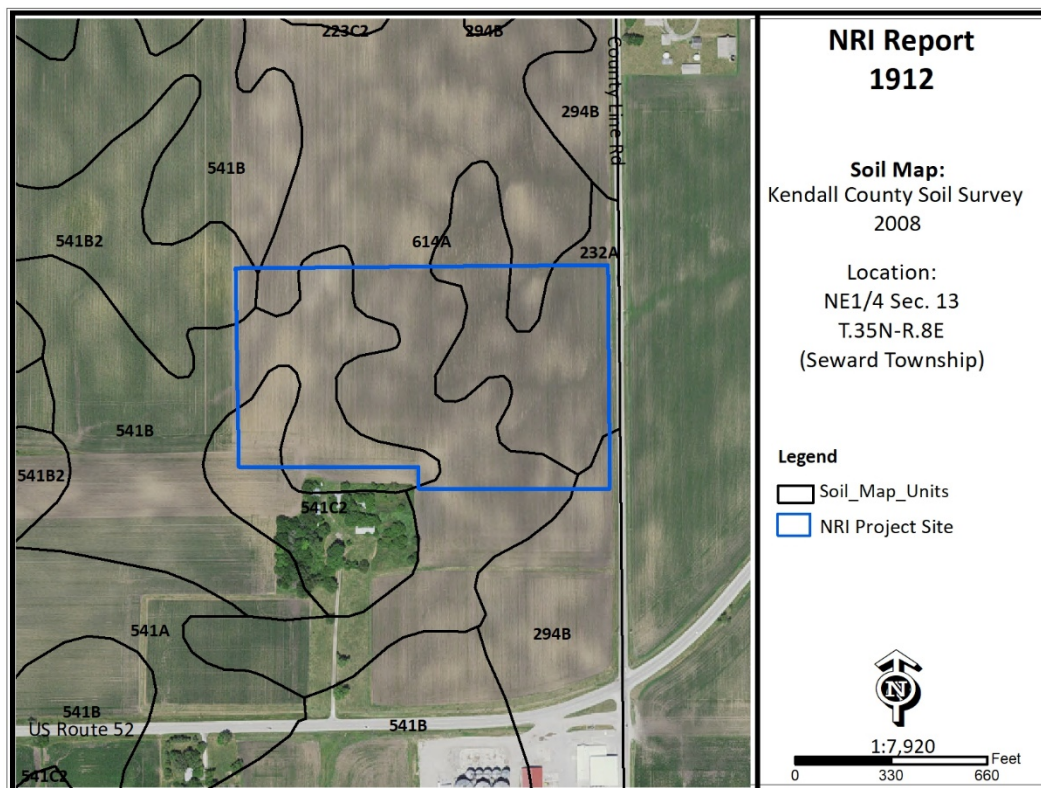


Table 1: Soil Map Unit Descriptions

Symbol	Descriptions	Acres	Percent
232A	Ashkum silty clay loam, 0-2% slopes	6.1	32.4%
294B	Symerton silt loam, 2-5% slopes	0.6	3.2%
541B	Graymont silt loam, 2-5% slopes	4.4	23.4%
541C2	Graymont silt loam, 5-10% slopes, eroded	0.2	1.1%
614A	Chenoa silty clay loam, 0-2% slopes	7.5	39.9%

\*SOURCE: National Cooperative Soil Survey – USDA-NRCS

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## SOIL INTERPRETATIONS EXPLANATION

### Nonagricultural

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#### General

These interpretative ratings help engineers, planners, and others to understand how soil properties influence behavior when used for nonagricultural uses such as building site development or construction materials. This report gives ratings for proposed uses in terms of limitations and restrictive features. The tables list only the most restrictive features.

Other features may need treatment to overcome soil limitations for a specific purpose.

Ratings come from the soil's "natural" state, that is, no unusual modification occurs other than that which is considered normal practice for the rated use. Even though soils may have limitations, an engineer may alter soil features or adjust building plans for a structure to compensate for most degrees of limitations. Most of these practices, however, are costly. The final decision in selecting a site for a particular use generally involves weighing the costs for site preparation and maintenance. Soil properties influence development of building sites, including the selection of the site, the design of the structure, construction, performance after construction, and maintenance. Soil limitation ratings of slight, moderate, and severe are given for the types of proposed improvements that are listed or inferred by the petitioner as entered on the report application and/or zoning petition. The most common types of building limitation that this report gives limitations ratings for

is: septic systems. It is understood that engineering practices can overcome most limitations for buildings with and without basements, and small commercial buildings. Limitation ratings for these types of buildings are not commonly provided. Organic soils, when present on the parcel, are referenced in the hydric soils section of the report. This type of soil is considered to be unsuitable for all types of construction.

#### Limitations Ratings

1. **Not Limited** - This soil has favorable properties for the use. The degree of limitation is minor. The people involved can expect good performance and low maintenance.
2. **Somewhat Limited** - This soil has moderately favorable properties for the use. Special planning, design, or maintenance can overcome this degree of limitation. During some part of the year, the expected performance is less desirable than for soils rated slight.
3. **Very Limited** - This soil has one or more properties that are unfavorable for the rated use. These may include the following: steep slopes, bedrock near the surface, flooding, high shrink-swell potential, a seasonal high water table, or low strength. This degree of limitation generally requires major soil reclamation, special design, or intensive maintenance, which in most situations is difficult and costly.

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## BUILDING LIMITATIONS

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#### Building on Poorly Suited or Unsuitable Soils:

Can present problems to future property owners such as cracked foundations, wet basements, lowered structural integrity and high maintenance costs associated with these problems. The staff of the Kendall County SWCD strongly urges scrutiny by the plat reviewers when granting parcels with these soils exclusively.

Dwellings without Basements - Ratings are for undisturbed soil for a houses of three stories or less of less than 3 stories without a basement. The foundation is assumed to be spread footings of reinforced concrete at a depth of 2 feet or the depth of maximum frost penetration, whichever is deeper. The ratings for dwellings are based on soil properties that affect the capacity of the soil to support a load without



movement and on the properties that affect excavation and construction costs.

Dwellings with Basements - Ratings are for undisturbed soil for a building structure of less than 3 stories with a basement. The foundation is assumed to be spread footings of reinforced concrete built on undisturbed soil at a depth of about 7 feet. The ratings for dwellings are based on soil properties that affect the capacity of the soil to support a load without movement and on the properties that affect excavation and construction costs.

Small Commercial Building - Ratings are for structures that are less than three stories high and do not have basements. The foundation is assumed to be spread footings of reinforced concrete built on disturbed soil at a depth of 2 feet or at the depth of maximum frost penetration, whichever is deeper. The ratings are based on soil properties that affect the capacity of the soil to support a load without movement and on the properties that affect excavation and construction costs.

Shallow Excavations - Trenches or holes dug to a maximum depth of 5 or 6 feet for utility lines, open ditches or other purposes. Ratings are based on soil properties that influence the ease of digging and the resistance to sloughing.

Lawns and Landscaping - Require soils on which turf and ornamental trees and shrubs can be established and maintained (irrigation is not considered in the ratings). The ratings are based on the soil properties that affect plant growth and trafficability after vegetation is established.

Local Roads & Streets - have an all-weather surface and carry automobile and light truck traffic all year. The ratings are based on the soil properties that affect the ease of excavation and grading and the traffic-supporting capacity.

Onsite Sewage Disposal - The factors considered are the characteristics and qualities of the soil that affect the limitations for absorbing waste from domestic sewage disposal systems. The major features considered are soil permeability, percolation rate, groundwater level, depth to bedrock, flooding hazards, and slope. The table below indicates soils that are deemed unsuitable per the Kendall County Subdivision Control Ordinance. Installation of an on-site sewage disposal system in soils designated as unsuitable may necessitate the installation of a non-conventional onsite sewage disposal system. For more information please contact the Kendall County Health Department - Environmental Health at (630)553-9100 x8026

**Table 2a: Building Limitations**

Soil Type	Dwellings Without Basements	Dwellings With Basements	Small Commercial Building	Acres	%
<b>232A</b>	<b>Very Limited:</b> Ponding; Depth to saturated zone; Shrink-swell	<b>Very Limited:</b> Ponding; Depth to saturated zone; Shrink-swell	<b>Very Limited:</b> Ponding; Depth to saturated zone; Shrink-swell	6.1	32.4%
<b>294B</b>	<b>Somewhat Limited:</b> Shrink-swell	<b>Somewhat Limited:</b> Depth to saturated zone	<b>Somewhat Limited:</b> Shrink-swell	0.6	3.2%
<b>541B</b>	<b>Somewhat Limited:</b> Shrink-swell	<b>Somewhat Limited:</b> Depth to saturated zone; Shrink-swell	<b>Somewhat Limited:</b> Shrink-swell	4.4	23.4%
<b>541C2</b>	<b>Somewhat Limited:</b> Shrink-swell	<b>Very Limited:</b> Depth to saturated zone; Shrink-swell	<b>Somewhat Limited:</b> Slope; Shrink-swell	0.2	1.1%
<b>614A</b>	<b>Somewhat Limited:</b> Depth to saturated zone; Shrink-swell	<b>Very Limited:</b> Depth to saturated zone	<b>Somewhat Limited:</b> Depth to saturated zone; Shrink-swell	7.5	39.9%
<b>% Very Limited</b>	<b>32.4%</b>	<b>73.4%</b>	<b>32.4%</b>		

**Table 2b: Building Limitations**

Soil Type	Shallow Excavations	Lawns & Landscaping	Onsite Conventional Septic Systems	Acres	%
<b>232A</b>	<b>Very Limited:</b> Ponding; Depth to saturated zone; Dusty; Unstable Excavation Walls; Too clayey	<b>Very Limited:</b> Ponding; Depth to saturated zone; Dusty	<b>Unsuitable: Wet</b>	6.1	32.4%
<b>294B</b>	<b>Somewhat Limited:</b> Depth to saturated zone; Dusty; Unstable excavation walls	<b>Somewhat Limited:</b> Dusty	<b>Suitable</b>	0.6	3.2%
<b>541B</b>	<b>Somewhat Limited:</b> Depth to saturated zone; Dusty; Unstable excavation walls	<b>Somewhat Limited:</b> Dusty	<b>Suitable</b>	4.4	23.4%
<b>541C2</b>	<b>Somewhat Limited:</b> Depth to saturated zone; Dusty; Unstable excavation walls	<b>Somewhat Limited:</b> Dusty	<b>Suitable</b>	0.2	1.1%
<b>614A</b>	<b>Very Limited:</b> Depth to saturated zone; Dusty; Unstable excavation walls	<b>Somewhat Limited:</b> Dusty	<b>Suitable</b>	7.5	39.9%
<b>% Very Limited</b>	<b>73.4%</b>	<b>32.4%</b>	<b>32.4%</b>		

**Figure 3a: Map of Building Limitations – Small Commercial Building**

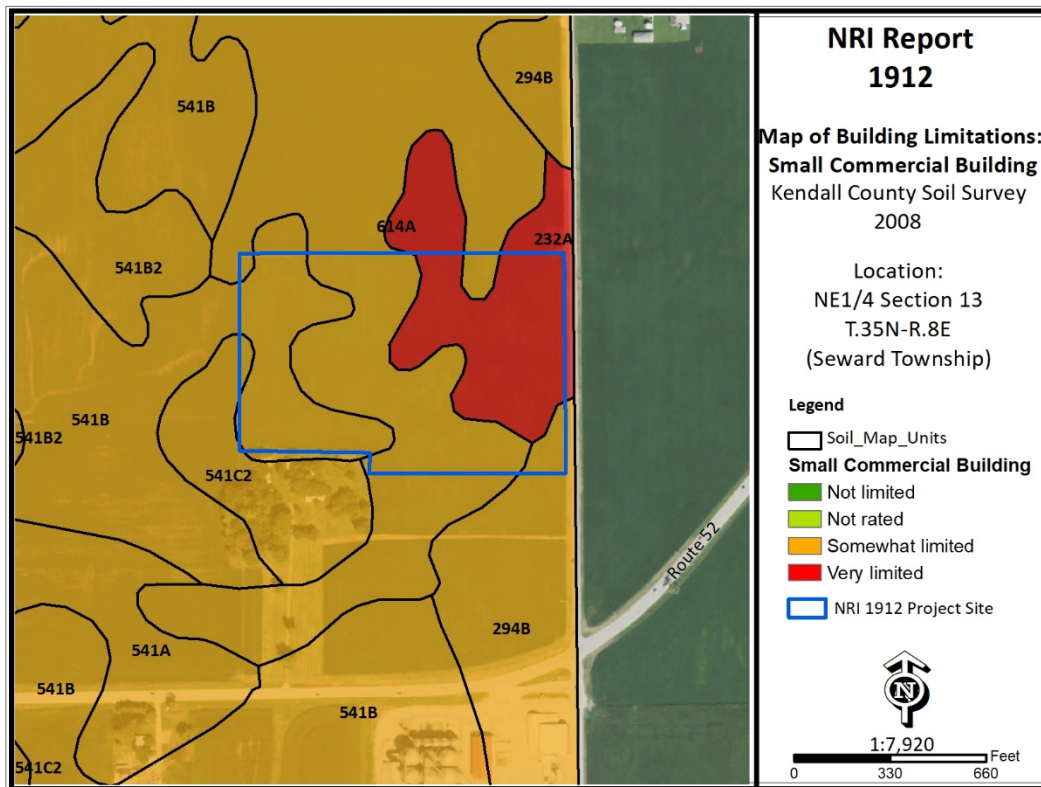


Figure 3b: Map of Building Limitations – Shallow Excavations

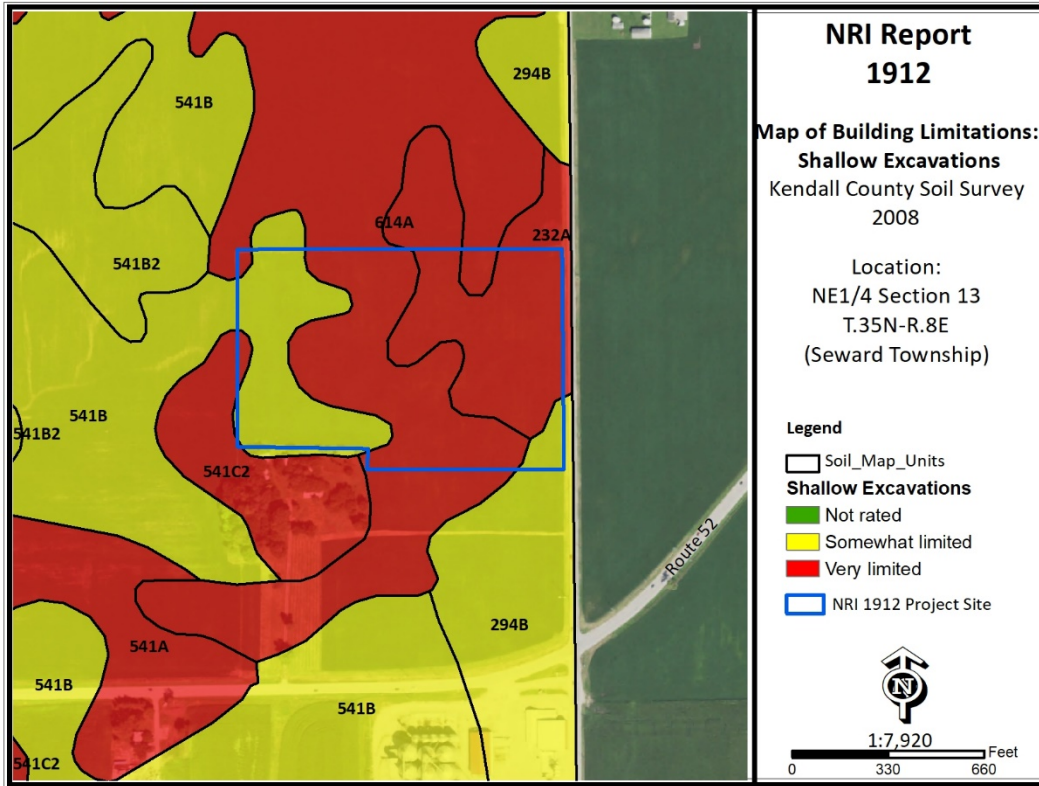


Figure 3c: Map of Building Limitations – Lawns & Landscaping

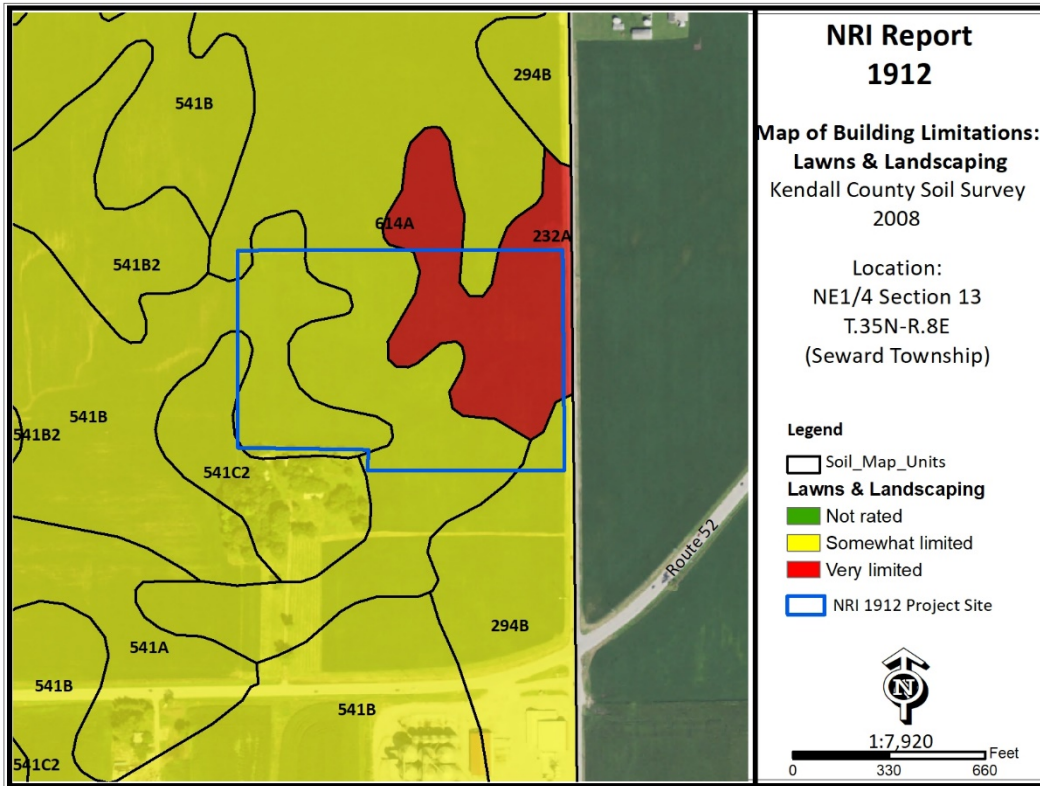
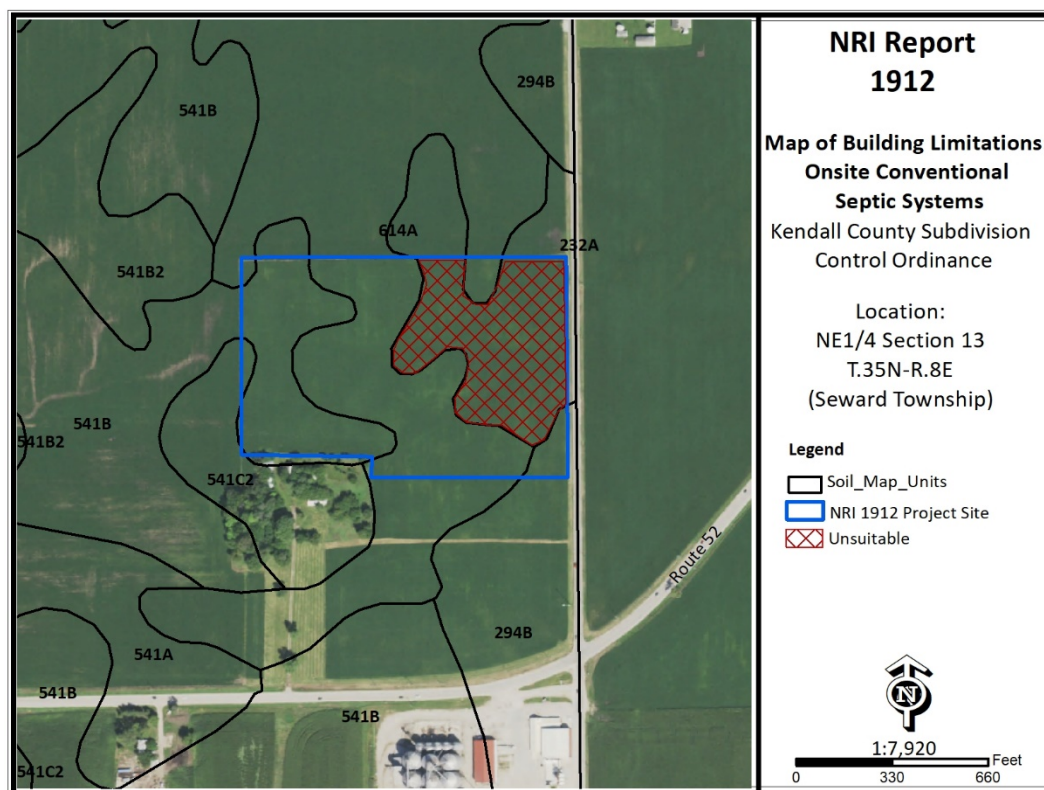


Figure 3d: Map of Building Limitations – Onsite Conventional Septic Systems



## SOIL WATER FEATURES

This table gives estimates of various soil water features that should be taken into consideration when reviewing engineering for a land use project.

**Hydrologic Soil Groups (HSGs):** The groups are based on estimates of runoff potential. Soils are assigned to one of four groups according to the rate of water infiltration when the soils are not protected by vegetation, are thoroughly wet, and receive precipitation from long-duration storms.

**Group A:** Soils having a high infiltration rate (low runoff potential) when thoroughly wet. These consist mainly of deep, well drained to excessively drained sands or gravelly sands. These soils have a high rate of water transmission.

**Group B:** Soils having a moderate infiltration rate when thoroughly wet. These consist chiefly of moderately deep or deep, moderately well drained or well drained soils that have moderately fine texture to moderately coarse texture. These soils have a moderate rate of water transmission.

**Group C:** Soils having a slow infiltration rate when thoroughly wet. These consist chiefly of soils

having a layer that impedes the downward movement of water or soils of moderately fine texture or fine texture. These soils have a slow rate of water transmission.

**Group D:** Soils having a very slow infiltration rate (high runoff potential) when thoroughly wet. These consist chiefly of clays that have a high shrink-swell potential, soils that have a high water table, soils that have a claypan or clay layer at or near the surface, and soils that are shallow over nearly impervious material. These soils have a very slow rate of water transmission.

**Note:** If a soil is assigned to a dual hydrologic group (A/D, B/D or C/D) the first letter is for drained areas and the second is for undrained areas.

**Surface Runoff:** Refers to the loss of water from an area by flow over the land surface. Surface runoff classes are based upon slope, climate and vegetative cover and indicates relative runoff for very specific conditions (it is assumed that the surface of the soil is bare and that the retention of

surface water resulting from irregularities in the ground surface is minimal). The classes are: negligible, very low, low, medium, high and very high.

**Months:** Indicates the portion of the year in which a water table, ponding, and/or flooding is most likely to be a concern.

**Water Table:** Refers to a saturated zone in the soil and the data indicates, by month, depth to the top (upper limit) and base (lower limit) of the saturated zone in most years. These estimates are based upon observations of the water table at selected sites and on evidence of a saturated zone (grayish colors or mottles (redoximorphic features)) in the soil. Note: A saturated zone that lasts for less than a month is not considered a water table.

**Ponding:** Refers to standing water in a closed depression and the data indicates surface water depth, duration and frequency of ponding.

**Duration:** Expressed as *very brief* if less than 2 days, *brief* is 2 to 7 days, *long* if 7 to 30 days and *very long* if more than 30 days.

**Frequency:** Expressed as: *none* meaning ponding is not possible; *rare* means unlikely but possible under unusual weather conditions (chance of ponding is 0-5% in any year); *occasional* means that it occurs, on the average, once or less in 2 years (chance of ponding is 5 to 50% in any year); and *frequent* means that it occurs, on the average, more than once in 2 years (chance of ponding is more than 50% in any year).

**Flooding:** The temporary inundation of an area caused by overflowing streams, by runoff from

adjacent slopes, or by tides. Water standing for short periods after rainfall or snowmelt is not considered flooding, and water standing in swamps and marshes is considered ponding rather than flooding.

**Duration:** Expressed as: *extremely brief* if 0.1 hour to 4 hours; *very brief* if 4 hours to 2 days; *brief* if 2 to 7 days; *long* if 7 to 30 days; and *very long* if more than 30 days.

**Frequency:** Expressed as: *none* means flooding is not probable; *very rare* means that it is very unlikely but possible under extremely unusual weather conditions (chance of flooding is less than 1% in any year); *rare* means that it is unlikely but possible under unusual weather conditions (chance of flooding is 1 to 5% in any year); *occasional* means that it occurs infrequently under normal weather conditions (chance of flooding is 5 to 50% in any year but is less than 50% in all months in any year); and *very frequent* means that it is likely to occur very often under normal weather conditions (chance of flooding is more than 50% in all months of any year).

**Note:** The information is based on evidence in the soil profile. In addition, consideration is also given to local information about the extent and levels of flooding and the relation of each soil on the landscape to historic floods. Information on the extent of flooding based on soil data is less specific than that provided by detailed engineering surveys that delineate flood-prone areas at specific flood frequency levels.

**Table 3: Water Features**

Map Unit	Hydrologic Group	Surface Runoff	Water Table	Ponding	Flooding
232A	C/D	Negligible	January – May Upper Limit: 0.0'-1.0' Lower Limit: >6.0'	January - May Surface Water Depth: 0.0'-0.5' Duration: Brief (2 to 7 days) Frequency: Frequent	January - May Duration: -- Frequency: None
294B	C	Low	February - April Upper Limit: 2.0'-3.5' Lower Limit: 2.5'-4.7'	February - April Surface Water Depth & Duration: - Frequency: None	February - April Duration: -- Frequency: None
541B	B/D	Low	February - April Upper Limit: 2.0'-3.5' Lower Limit: 2.2'-4.3'	February - April Surface Water Depth & Duration: - Frequency: None	February - April Duration: -- Frequency: None
541C2	C	Medium	February - April Upper Limit: 2.0'-3.5' Lower Limit: 2.2'-4.3'	February - April Surface Water Depth & Duration: - Frequency: None	February - April Duration: -- Frequency: None
614A	C/D	Low	January - May Upper Limit: 1.0'-2.0' Lower Limit: 2.1'-4.3'	January - May Surface Water Depth & Duration: - Frequency: None	January - May Duration: -- Frequency: None

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## SOIL EROSION & SEDIMENT CONTROL

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Erosion is the wearing away of the soil by water, wind, and other forces. Soil erosion threatens the Nation's soil productivity and contributes the most pollutants in our waterways. Water causes about two thirds of erosion on agricultural land. Four properties, mainly, determine a soil's erodibility: texture, slope, structure, organic matter content.

**Slope** has the most influence on soil erosion potential when the site is under construction. Erosivity and runoff increase as slope grade increases. The runoff then exerts more force on the particles, breaking their bonds more readily and carrying them farther before deposition. The longer water flows along a slope before reaching a major waterway, the greater the potential for erosion.

Soil erosion during and after this proposed construction can be a primary non-point source of water pollution. Eroded soil during the construction phase can create unsafe conditions on roadways, decrease the storage capacity of lakes, clog streams and drainage channels, cause deterioration of aquatic habitats, and increase

water treatment costs. Soil erosion also increases the risk of flooding by choking culverts, ditches and storm sewers, and by reducing the capacity of natural and man-made detention facilities.

The general principles of erosion and sedimentation control measures include:

- reducing or diverting flow from exposed areas, storing flows or limiting runoff from exposed areas,
- staging construction in order to keep disturbed areas to a minimum,
- establishing or maintaining or temporary or permanent groundcover,
- retaining sediment on site and
- properly installing, inspecting and maintaining control measures.

Erosion control practices are useful controls only if they are properly located, installed, inspected and maintained.

The SWCD recommends an erosion and sediment control plan for all building sites, especially if there is a wetland or stream nearby.



**Table 4: Soil Erosion Potential**

Soil Type	Slope	Rating	Acreage	Percent of Parcel
232A	0-2%	Slight	6.1	32.4%
294B	2-5%	Slight	0.6	3.2%
541B	2-5%	Slight	4.4	23.4%
541C2	5-10%	Moderate	0.2	1.1%
614A	0-2%	Slight	7.5	39.9%

### PRIME FARMLAND SOILS

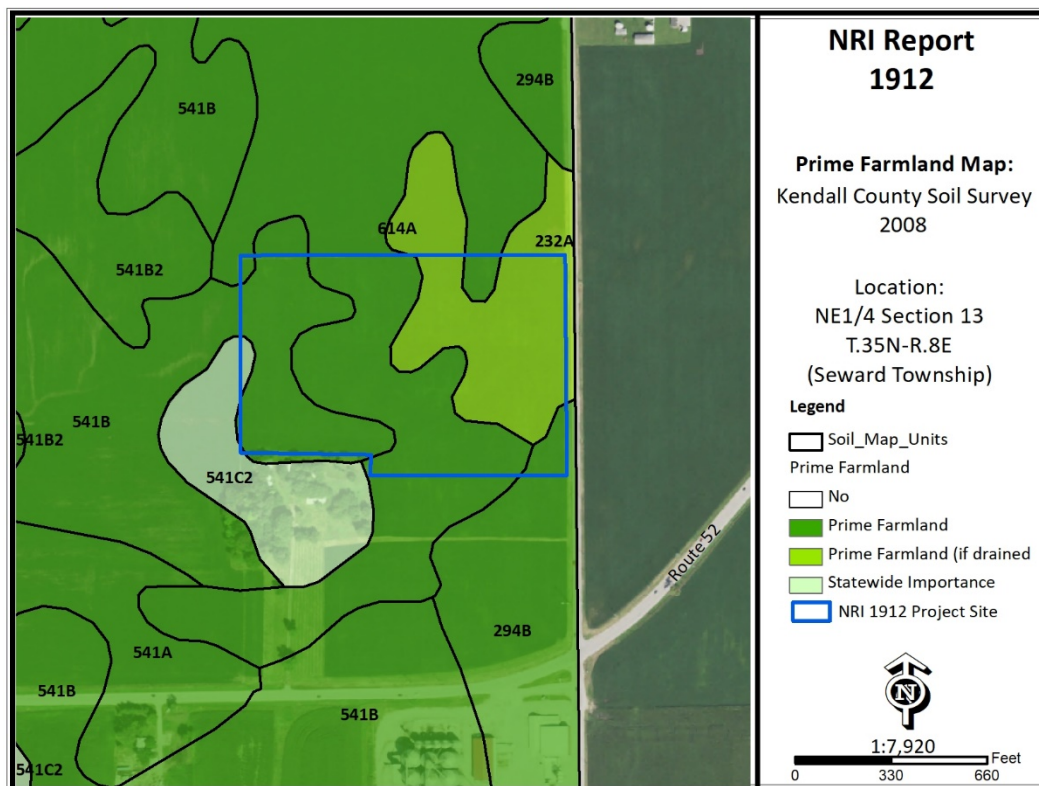
Prime farmland soils are an important resource to Kendall County. Some of the most productive soils in the United States occur locally. Each soil map unit in the United States is assigned a prime or non-prime rating. Prime agricultural land does not need to be in the production of food & fiber.

Section 310 of the NRCS general manual states that urban or built-up land on prime farmland soils is not prime farmland. The percentages of soils map units on the parcel reflect the determination that urban or built up land on prime farmland soils is not prime farmland.

**Table 5: Prime Farmland Soils**

Soil Types	Prime Designation	Acreage	Percent
232A	Prime Farmland (if drained)	6.1	32.4%
294B	Prime Farmland	0.6	3.2%
541B	Prime Farmland	4.4	23.4%
541C2	Farmland of Statewide Importance	0.2	1.1%
614A	Prime Farmland	7.5	39.9%
% Prime Farmland	98.9%		

**Figure 4: Map of Prime Farmland Soils**





## LAND EVALUATION & SITE ASSESSMENT (LESA)

Decision-makers in Kendall County use the Land Evaluation and Site Assessment (LESA) system to determine the suitability of a land use change and/or a zoning request as it relates to agricultural land. The LESA system was developed by the United States Department of Agriculture-Natural Resources Conservation Service (USDA-NRCS) and takes into consideration local conditions such as physical characteristics of the land, compatibility of surrounding land-uses, and urban growth factors. The LESA system is a two-step procedure that includes:

**LAND EVALUATION (LE)** – The soils of a given area are rated and placed in groups ranging from the best to worst suited for a stated agriculture use, cropland or forestland. The best group is assigned a value of 100 and all other groups are assigned lower values. The Land Evaluation is based on data from the Kendall County Soil Survey. The Kendall County Soil and Water Conservation District is responsible for this portion of the LESA system.

**SITE ASSESSMENT (SA)** – The site is numerically evaluated according to important factors that contribute to the quality of the site. Each factor selected is assigned values in accordance with the local needs and objectives. The Kendall County LESA Committee is responsible for this portion of the LESA system.

The value group is a predetermined value based upon prime farmland designation. The LE score is calculated by multiplying the relative value of each soil type by the number of acres of that soil. The sum of the products is then divided by the total number of acres; the answer is the Land Evaluation score on this site.

**Please Note:** A land evaluation (LE) score will be compiled for every project parcel. However, when a parcel is located within municipal planning boundaries, a site assessment score is not compiled as the scoring factors are not applicable. As a result, only the LE score is available and a full LESA score is unavailable for the parcel.

**Table 6a: Land Evaluation Computation**

Soil Type	Value Group	Relative Value	Acres	Product (Relative Value x Acres)
232A	3	87	6.1	530.7
294B	2	94	0.6	56.4
541B	2	94	4.4	413.6
541C2	5	82	0.2	16.4
614A	3	87	7.5	652.5
<b>Totals</b>			<b>18.8</b>	<b>1669.6</b>
<b>LE Score</b>		<b>LE= 1669.6/18.8</b>		<b>LE=89</b>

The Land Evaluation score for this site is 89, indicating that this site is currently designated as prime farmland that is well suited for agricultural uses.

**Table 6b: Site Assessment Computation**

A.	Agricultural Land Uses	Points
	1. Percentage of area in agricultural uses within 1.5 miles of site. (20-10-5-0)	20
	2. Current land use adjacent to site. (30-20-15-10-0)	30
	3. Percentage of site in agricultural production in any of the last 5 years. (20-15-10-5-0)	20
	4. Size of site. (30-15-10-0)	0
B.	Compatibility / Impact on Uses	
	1. Distance from city or village limits. (20-10-0)	10
	2. Consistency of proposed use with County Land Resource Management Concept Plan and/or municipal comprehensive land use plan. (20-10-0)	10
	3. Compatibility of agricultural and non-agricultural uses. (15-7-0)	7
C.	Existence of Infrastructure	
	1. Availability of public sewage system. (10-8-6-0)	8
	2. Availability of public water system. (10-8-6-0)	8
	3. Transportation systems. (15-7-0)	7
	4. Distance from fire protection service. (10-8-6-2-0)	8
	<b>Site Assessment Score:</b>	<b>128</b>

**Land Evaluation Value: 89 + Site Assessment Value: 128 = LESA Score: 217**

LESA SCORE	LEVEL OF PROTECTION
0-200	Low
201-225	Medium
226-250	High
251-300	Very High

The **LESA Score for this site is 217 which indicates a medium level of protection** for the proposed project site. Note: Selecting the project site with the lowest total points will generally protect the best farmland located in the most viable areas and maintain and promote the agricultural industry in Kendall County.

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## LAND USE PLANS

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Many counties, municipalities, villages and townships have developed land-use plans. These plans are intended to reflect the existing and future land-use needs of a given

community. Please contact the Kendall County Planning, Building & Zoning for information regarding the County's comprehensive land use plan and map.

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## DRAINAGE, RUNOFF AND FLOOD INFORMATION

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U.S.G.S Topographic maps give information on elevations, which are important mostly to determine slopes, drainage directions, and watershed information.

Elevations determine the area of impact of floods of record. Slope information determines steepness and erosion potential. Drainage directions determine where water leaves the PIQ, possibly impacting surrounding natural resources.

Watershed information is given for changing land use to a subdivision type of development on parcels greater than 10 acres.

### What is a watershed?

Simply stated, a watershed is the area of land that contributes water to a certain point. The watershed boundary is important because the area of land in the watershed can now be calculated using an irregular shape area calculator such as a dot counter or planimeter.

Using regional storm event information, and site specific soils and land use information, the peak stormwater flow through the point marked "O" for a specified storm event can be calculated. This value is called a "Q" value (for the given storm event), and is measured in cubic feet per second (CFS).

When construction occurs, the Q value naturally increases because of the increase in impermeable surfaces. This process decreases

the ability of soils to accept and temporarily hold water. Therefore, more water runs off and increases the Q value.

Theoretically, if each development, no matter how large or small, maintains their preconstruction Q value after construction by the installation of stormwater management systems, the streams and wetlands and lakes will not suffer damage from excessive urban stormwater.

For this reason, the Kendall County SWCD recommends that the developer for intense uses such as a subdivision calculate the preconstruction Q value for the exit point(s). A stormwater management system should be designed, installed, and maintained to limit the postconstruction Q value to be at or below the preconstruction value.

### Importance of Flood Information

A floodplain is defined as land adjoining a watercourse (riverine) or an inland depression (non-riverine) that is subject to periodic inundation by high water. Floodplains are important areas demanding protection since they have water storage and conveyance functions which affect upstream and down stream flows, water quality and quantity, and suitability of the land for human activity. Since floodplains play distinct and vital roles in the hydrologic cycle, development that interferes

with their hydrologic and biologic functions should be carefully considered.

Flooding is both dangerous to people and destructive to their properties. The following maps, when combined with wetland and topographic information, can help developers and future homeowners to “sidestep” potential flooding or ponding problems.

FIRM is the acronym for the Flood Insurance Rate Map, produced by the Federal Emergency Management Agency. These maps define flood elevation adjacent to tributaries and major bodies of water, and superimpose that onto a simplified USGS topographic map. The scale of the FIRM maps is generally dependent on the size and density of parcels in that area. (This is to correctly determine the parcel location and flood plain location.) The FIRM map has three (3) zones. A is the zone of 100 year flood, zone B is the 100 to 500 year flood, and zone C is outside the flood plain.

The Hydrologic Atlas (H.A.) Series of the Flood of Record Map is also used for the topographic information. This map is different from the FIRM map mainly because it will show isolated, or pocketed flooded areas. Kendall County uses both these maps in conjunction with each other for flooded area determinations. The Flood of Record maps, show the areas of flood for various years. Both of these maps stress that the recurrence of flooding is merely statistical. That is to say a 100-year flood may occur twice in one year, or twice in one week, for that matter.

It should be noted that greater floods than those shown on the two maps are possible. The flood boundaries indicated provide a historic record only until the map publication date.

Additionally, these flood boundaries are a function of the watershed conditions existing when the maps were produced. Cumulative changes in runoff characteristics caused by urbanization can result in an increase in flood height of future flood episodes.

Floodplains play a vital role in reducing the flood damage potential associated with an urbanizing area and, when left in an undisturbed state, also provide valuable wildlife habitat benefits. If it is the petitioner's intent to conduct floodplain filling or modification activities, the petitioner and the Unit of Government responsible need to consider the potentially adverse effects this type of action could have on adjacent properties. The change or loss of natural floodplain storage often increases the frequency and severity of flooding on adjacent property.

If the available maps indicate the presence of a floodplain on the PIQ, the petitioner should contact the IDOT-DWR and FEMA to delineate a floodplain elevation for the parcel. If a portion of the property is indeed floodplain, applicable state, county and local regulations will need to be reflected in the site plans.

Another indication of flooding potential can be found in the soils information. Hydric soils indicate the presence of drainageways, areas subject to ponding, or a naturally occurring high water table. These need to be considered along with the floodplain information when developing the site plan and the stormwater management plan. If the site does include these hydric soils and development occurs, thus raising the concerns of the loss of water storage in these soils and the potential for increased flooding in the area.

This parcel is located on topography (**slopes 0 to 10%**) involving high and low areas (**elevation is approximately 640' to 650' above sea level**). The parcel lies within both the **Illinois River Watershed and Des Plaines River Watershed**.

Figure 5: FEMA Floodplain Map

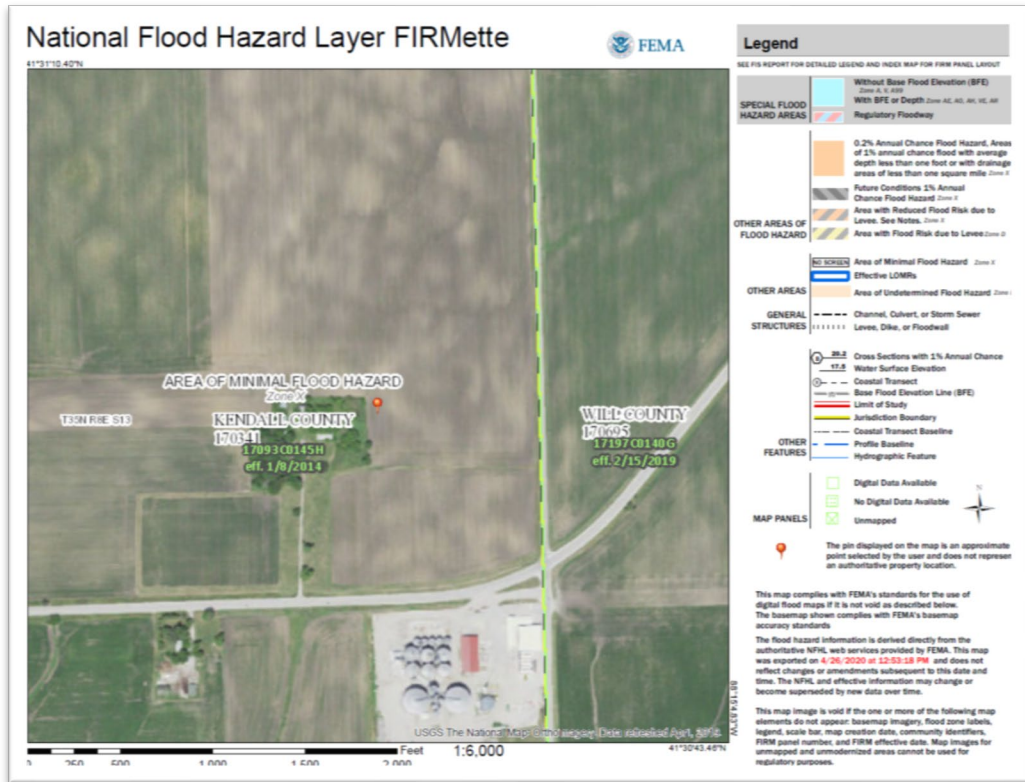
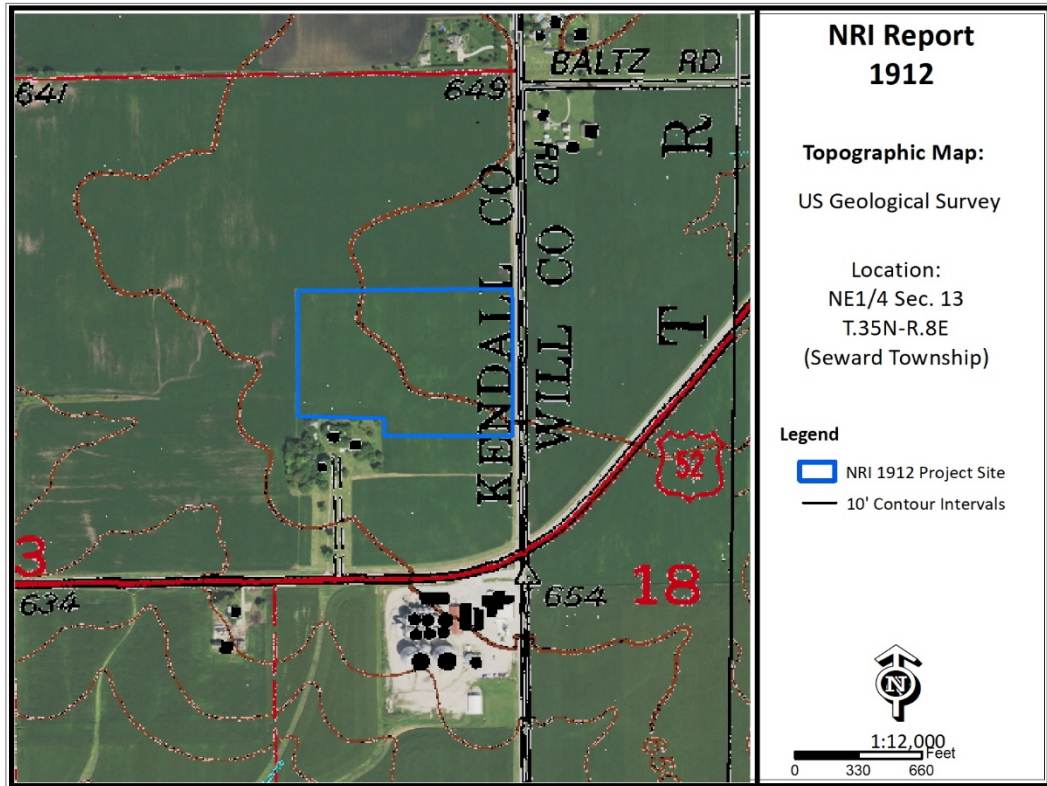


Figure 6: USGS Topographic Map



## WATERSHED PLANS

### Watershed and Subwatershed Information

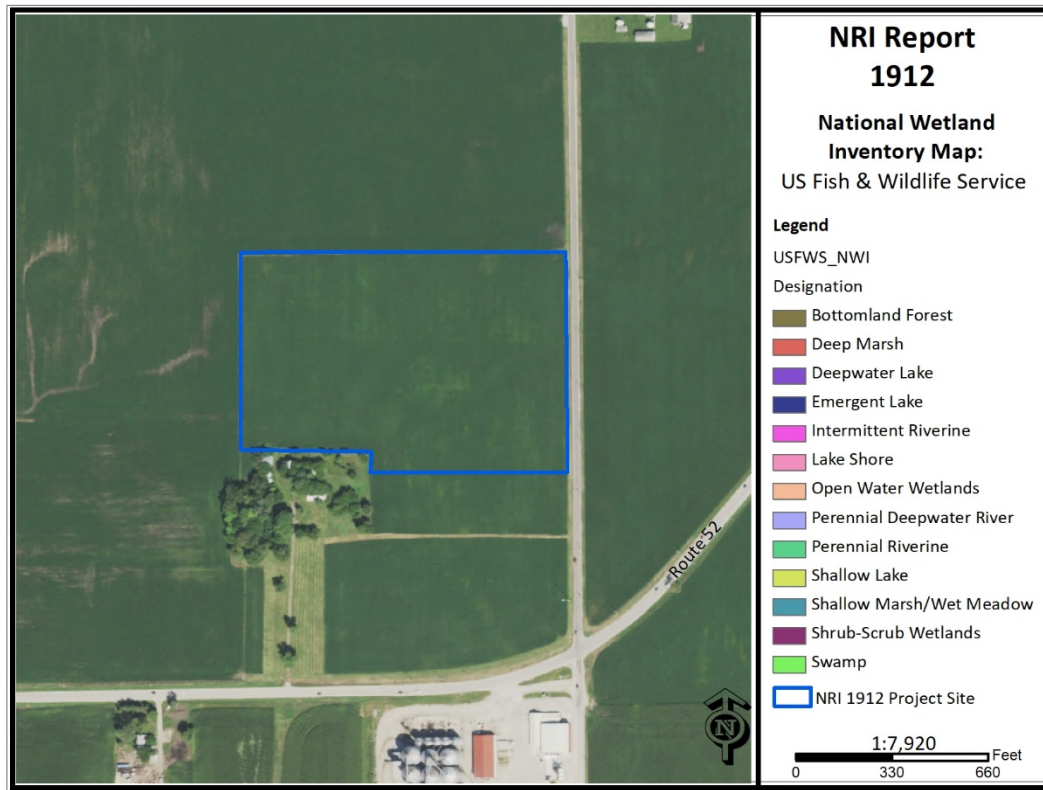
A watershed is the area of land that drains into a specific point including a stream, lake or other body of water. High points on the Earth’s surface, such as hills and ridges define watersheds. When rain falls in the watershed, it flows across the ground towards a stream or lake. Rainwater carries any pollutants it comes in contact with such as oils, pesticides, and soil. Everyone lives in a watershed. Their actions can impact natural resources and people living downstream. Residents can minimize this impact by being aware of their environment and implications of their activities, implementing practices recommended in watershed plans and educating others about their watershed. This parcel is located within the **Illinois River Watershed and Des Plaines River Watershed.**

The following are recommendations to developers for protection of this watershed:

- Preserve open space.
- Maintain wetlands as part of development.
- Use natural water management.
- Prevent soil from leaving a construction site.
- Protect subsurface drainage.
- Use native vegetation.
- Retain natural features.
- Mix housing styles and types.
- Decrease impervious surfaces.
- Reduce area disturbed by mass grading.
- Shrink lot size and create more open space.
- Maintain historical and cultural resources.
- Treat water where it falls.
- Preserve views.
- Establish and link trails.

## WETLAND INFORMATION

**Figure 7: Wetland Map – USFWS National Wetland Inventory**



Office maps indicate that wetlands **are not** present on the parcel in question (PIQ).



### Importance of Wetland Information

Wetlands function in many ways to provide numerous benefits to society. They control flooding by offering a slow release of excess water downstream or through the soil. They cleanse water by filtering out sediment and some pollutants, and can function as rechargers of our valuable groundwater. They also are essential breeding, rearing, and feeding grounds for many species of wildlife.

These benefits are particularly valuable in urbanizing areas as development activity typically adversely affects water quality, increases the volume of stormwater runoff, and increases the demand for groundwater. In an area where many individual homes rely on shallow groundwater wells for domestic water supplies, activities that threaten potential groundwater recharge areas are contrary to the public good. The conversion of wetlands, with their sediment trapping and nutrient absorbing vegetation, to biologically barren stormwater detention ponds can cause additional degradation of water quality in downstream or adjacent areas.

It has been estimated that over 95% of the wetlands that were historically present in Illinois have been destroyed while only recently has the true environmental significance of wetlands been fully recognized. America is losing 100,000 acres of wetland a year, and has saved 5 million acres total (since 1934). One acre of wetland can filter 7.3 million gallons of

water a year. These are reasons why our wetlands are high quality and important.

This section contains the NRCS (Natural Resources Conservation Service) Wetlands Inventory, which is the most comprehensive inventory to date. The NRCS Wetlands Inventory is reproduced from an aerial photo at a scale of 1" equals 660 feet. The NRCS developed these maps in cooperation with U.S. EPA (Environmental Protection Agency,) and the U.S. Fish and Wildlife Service, using the National Food Security Act Manual, 3rd Edition. The main purpose of these maps is to determine wetland areas on agricultural fields and areas that may be wetlands but are in a non-agriculture setting.

The NRCS Wetlands Inventory in no way gives an exact delineation of the wetlands, but merely an outline, or the determination that there is a wetland within the outline. For the final, most accurate wetland **determination** of a specific wetland, a wetland **delineation** must be certified by NRCS staff using the National Food Security Act Manual (on agricultural land.) On urban land, a certified wetland delineator must perform the delineation using the ACOE 1987 Manual. *See the glossary section for the definitions of "delineation" and "determination."*

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## Hydric Soils

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Soils information gives another indication of flooding potential. The soils map on this page indicates the soil(s) on the parcel that the Natural Resources Conservation Service indicates as hydric. Hydric soils by definition have seasonal high water at or near the soil surface and/or have potential flooding or ponding problems. All hydric soils range from poorly suited to unsuitable for building. One group of the hydric soils, are the organic soils, which formed from dead organic material. Organic soils are unsuitable for building because of not only the high water table, but also their subsidence problems.

It is also important to add the possibility of hydric inclusions in a soil type. An inclusion is a soil polygon that is too small to appear on these maps. While relatively insignificant for agricultural use, hydric soil inclusions become more important to more intense uses such as a residential subdivision.

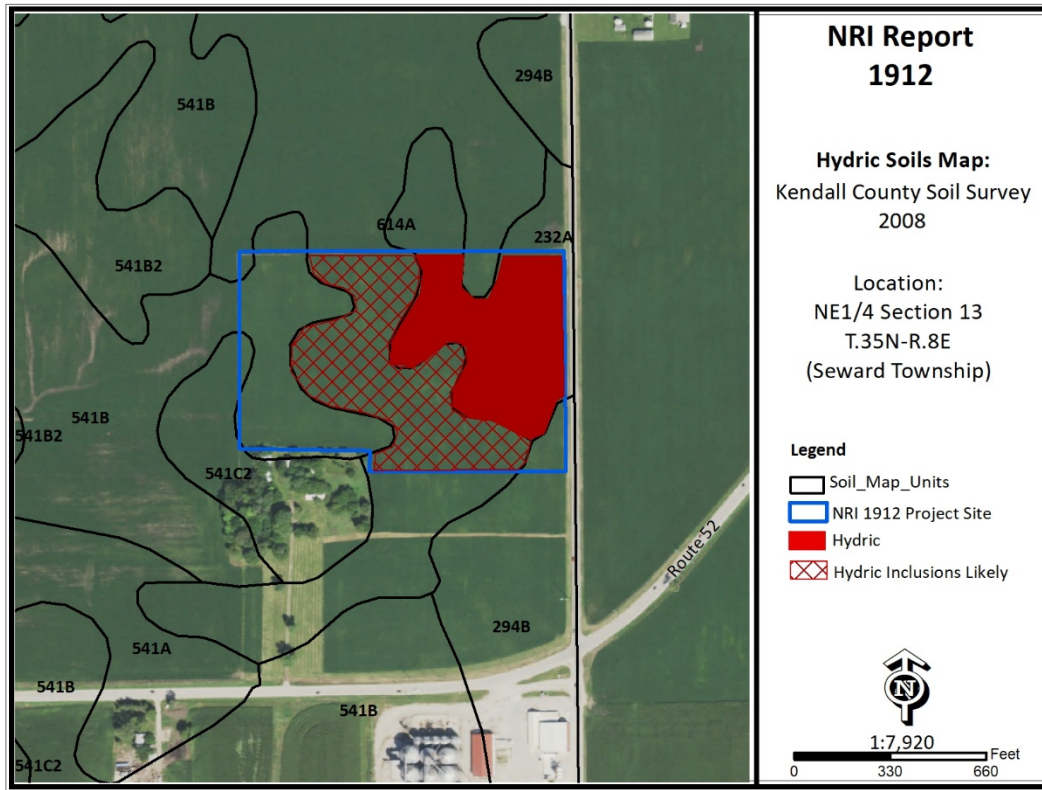
While considering hydric soils and hydric inclusions, it is noteworthy to mention that subsurface agriculture drainage tile occurs in almost all poorly drained and somewhat poorly drained soils. Drainage tile expedites drainage and facilitates farming. It is imperative that these drainage tiles remain undisturbed. A damaged subsurface drainage tile may return original hydrologic conditions to all of the areas that drained through the tile (ranging from less than one acre to many square miles.)

For an intense land use, such as a subdivision, the Kendall County SWCD recommends the following: a topographical survey with 1 foot contour intervals to accurately define the flood area on the parcel, an intensive soil survey to define most accurately the locations of the hydric soils and inclusions and a drainage tile survey on the area to locate the tiles that must be preserved to maintain subsurface drainage .

**Table 7: Hydric Soils**

Soil Types	Drainage Class	Hydric Designation	Hydric Inclusions Likely	Acreage	Percent
232A	Poorly drained	Hydric	--	6.1	32.4%
294B	Moderately well drained	Non-hydric	--	0.6	3.2%
541B	Moderately well drained	Non-hydric	--	4.4	23.4%
541C2	Moderately well drained	Non-hydric	--	0.2	1.1%
614A	Somewhat Poorly Drained	Non-hydric	Yes	7.5	39.9%

**Figure 8: Hydric Soils Map**



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## WETLAND AND FLOODPLAIN REGULATIONS

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PLEASE READ THE FOLLOWING IF YOU ARE PLANNING TO DO ANY WORK NEAR A STREAM (THIS INCLUDES SMALL UNNAMED STREAMS), LAKE, WETLAND OR FLOODWAY.

The laws of the United States and the State of Illinois assign certain agencies specific and different regulatory roles to protect the waters within the State's boundaries. These roles, when considered together, include protection of navigation channels and harbors, protection against flood way encroachments, maintenance and enhancement of water quality, protection of fish and wildlife habitat and recreational resources, and, in general, the protection of total public interest. Unregulated use of the waters within the State of Illinois could permanently destroy or alter the character of these valuable resources and adversely impact the public. Therefore, please contact the proper regulatory authorities when planning any work associated with Illinois waters so that proper consideration and approval can be obtained.

### WHO MUST APPLY

Anyone proposing to dredge, fill, rip rap, or otherwise alter the banks or beds of, or construct, operate, or maintain any dock, pier, wharf, sluice, dam, piling, wall, fence, utility, flood plain or flood way subject to State or Federal regulatory jurisdiction should apply for agency approvals.

### REGULATORY AGENCIES:

- ◆ **Wetlands or U.S. Waters:** U.S. Army Corps of Engineers, Rock Island District, Clock Tower Building, Rock Island, IL
- ◆ **Flood plains:** Illinois Department of Natural Resources \ Office of Water Resources, Natural Resources Way, Springfield, IL 62702-1270.
- ◆ **Water Quality \ Erosion Control:** Illinois Environmental Protection Agency, Springfield, IL

### COORDINATION

We recommend early coordination with the regulatory agencies BEFORE finalizing work plans. This allows the agencies to recommend measures to mitigate or compensate for adverse impacts. Also, the agency can make possible environmental enhancement provisions early in the project planning stages. This could reduce time required to process necessary approvals.

**CAUTION: Contact with the United States Army Corps of Engineers is strongly advised before commencement of any work in or near a water of the United States. This could save considerable time and expense. Persons responsible for willful and direct violation of Section 10 of the River And Harbor Act of 1899 or Section 404 of the Federal Water Pollution Control Act are subject to fines ranging up to \$27,500 per day of violation and imprisonment for up to one year or both.**

## GLOSSARY

### **AGRICULTURAL PROTECTION AREAS (AG AREAS)** -

Allowed by P.A. 81-1173. An AG AREA consists of a minimum of 350 acres of farmland, as contiguous and compact as possible. Petitioned by landowners, AG AREAS protect for a period of ten years initially, then reviewed every eight years thereafter. AG AREA establishment exempts landowners from local nuisance ordinances directed at farming operations, and designated land cannot receive special tax assessments on public improvements that do not benefit the land, e.g. water and sewer lines.

**AGRICULTURE** - The growing, harvesting and storing of crops including legumes, hay, grain, fruit and truck or vegetable including dairying, poultry, swine, sheep, beef cattle, pony and horse production, fur farms, and fish and wildlife farms; farm buildings used for growing, harvesting and preparing crop products for market, or for use on the farm; roadside stands, farm buildings for storing and protecting farm machinery and equipment from the elements, for housing livestock or poultry and for preparing livestock or poultry products for market; farm dwellings occupied by farm owners, operators, tenants or seasonal or year around hired farm workers.

**B.G.** - Below Grade. Under the surface of the Earth.

**BEDROCK** - Indicates depth at which bedrock occurs. Also lists hardness as rippable or hard.

**FLOODING** - Indicates frequency, duration, and period during year when floods are likely to occur.

**HIGH LEVEL MANAGEMENT** - The application of effective practices adapted to different crops, soils, and climatic conditions. Such practices include providing for adequate soil drainage, protection from flooding, erosion and runoff control, near optimum tillage, and planting the correct kind and amount of high quality seed. Weeds, diseases, and harmful insects are controlled. Favorable soil reaction and near optimum levels of available nitrogen, phosphorus, and potassium for individual crops are maintained. Efficient use is made of available crop residues, barnyard manure, and/or green manure crops. All operations, when combined efficiently and timely, can create favorable growing conditions and reduce harvesting losses -- within limits imposed by weather.

**HIGH WATER TABLE** - A seasonal high water table is a zone of saturation at the highest average depth during the wettest part of the year. May be apparent, perched, or artesian kinds of water tables.

**Water Table, Apparent** - A thick zone of free water in the soil. An apparent water table is indicated by the level at which water stands in an uncased borehole after adequate time is allowed for adjustment in the surrounding soil.

**Water Table, Artesian** - A water table under hydrostatic head, generally beneath an impermeable layer. When this layer is penetrated, the water level rises in an uncased borehole.

**Water Table, Perched** - A water table standing above an unsaturated zone. In places an upper, or perched, water table is separated from a lower one by a dry zone.

**DELINEATION** - For Wetlands: A series of orange flags placed on the ground by a certified professional that outlines the wetland boundary on a parcel.

**DETERMINATION** - A polygon drawn on a map using map information that gives an outline of a wetland.

**HYDRIC SOIL** - This type of soil is saturated, flooded, or ponded long enough during the growing season to develop anaerobic conditions in the upper part (USDA Natural Resources Conservation Service 1987)

**INTENSIVE SOIL MAPPING** - Mapping done on a smaller more intensive scale than a modern soil survey to determine soil properties of a specific site, e.g. mapping for septic suitability.

### **LAND EVALUATION AND SITE ASSESSMENT**

**(L.E.S.A.)** - LESA is a systematic approach for evaluating a parcel of land and to determine a numerical value for the parcel for farmland preservation purposes.

**MODERN SOIL SURVEY** - A soil survey is a field investigation of the soils of a specific area, supported by information from other sources. The kinds of soil in the survey area are identified and their extent shown on a map, and an accompanying report describes, defines, classifies, and interprets the soils. Interpretations predict the behavior of the soils under different used and the soils' response to management. Predictions are made for areas of soil at specific places. Soils information collected in a soil survey is useful in developing land-use plans and alternatives involving soil management systems and in evaluating and predicting the effects of land use.

**PALUSTRINE** - Name given to inland fresh water wetlands.

**PERMEABILITY** - Values listed estimate the range (in rate and time) it takes for downward movement of water in the major soil layers when saturated, but allowed to drain freely. The estimates are based on soil texture, soil structure, available data on

permeability and infiltration tests, and observation of water movement through soils or other geologic materials.

**PIQ** - Parcel in question

**POTENTIAL FROST ACTION** - Damage that may occur to structures and roads due to ice lens formation causing upward and lateral soil movement. Based primarily on soil texture and wetness.

**PRIME FARMLAND** - Prime farmland soils are lands that are best suited to food, feed, forage, fiber and oilseed crops. It may be cropland, pasture, woodland, or other land, but it is not urban and built up land or water areas. It either is used for food or fiber or is available for those uses. The soil qualities, growing season, and moisture supply are those needed for a well managed soil economically to produce a sustained high yield of crops. Prime farmland produces in highest yields with minimum inputs of energy and economic resources, and farming the land results in the least damage to the environment.

Prime farmland has an adequate and dependable supply of moisture from precipitation or irrigation. The temperature and growing season are favorable. The level of acidity or alkalinity is acceptable. Prime farmland has few or no rocks and is permeable to water and air. It is not excessively erodible or saturated with water for long periods and is not frequently flooded during the growing season. The slope ranges mainly from 0 to 5 percent. (Source USDA Natural Resources Conservation Service)

**PRODUCTIVITY INDEXES** - Productivity indexes for grain crops express the estimated yields of the major grain crops grown in Illinois as a single percentage of the average yields obtained under basic management from several of the more productive soils in the state. This group of soils is composed of the Muscatine, Ipava, Sable, Lisbon, Drummer, Flanagan, Littleton, Elburn and Joy soils. Each of the 425 soils found in Illinois are found in Circular 1156 from the Illinois Cooperative Extension Service.

**SEASONAL** - When used in reference to wetlands indicates that the area is flooded only during a portion of the year.

**SHRINK-SWELL POTENTIAL** - Indicates volume changes to be expected for the specific soil material with changes in moisture content.

**SOIL MAPPING UNIT** - A map unit is a collection of soil areas of miscellaneous areas delineated in mapping. A map unit is generally an aggregate of the delineations of many different bodies of a kind of soil or miscellaneous area but may consist of only one delineated body. Taxonomic class names and accompanying phase terms are used to name soil map units. They are described in terms of ranges of soil properties within the limits defined for taxa and in terms of ranges of taxadjuncts and inclusions.

**SOIL SERIES** - A group of soils, formed from a particular type of parent material, having horizons that, except for texture of the A or surface horizon, are similar in all profile characteristics and in arrangement in the soil profile. Among these characteristics are color, texture, structure, reaction, consistence, and mineralogical and chemical composition.

**SUBSIDENCE** - Applies mainly to organic soils after drainage. Soil material subsides due to shrinkage and oxidation.

**TERRAIN** - The area or surface over which a particular rock or group of rocks is prevalent.

**TOPSOIL** - That portion of the soil profile where higher concentrations of organic material, fertility, bacterial activity and plant growth take place. Depths of topsoil vary between soil types.

**WATERSHED** - An area of land that drains to an associated water resource such as a wetland, river or lake. Depending on the size and topography, watersheds can contain numerous tributaries, such as streams and ditches, and ponding areas such as detention structures, natural ponds and wetlands.

**WETLAND** - An area that has a predominance of hydric soils and that is inundated or saturated by surface or groundwater at a frequency and duration sufficient to support, and under normal circumstances does support, a prevalence of hydrophytic vegetation typically adapted for life in saturated soil conditions.



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## REFERENCES

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Hydric Soils of the United States. USDA Natural Resources Conservation Service, 2007.

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Hydrologic Unit Map for Kendall County. Natural Resources Conservation Service, United States Department of Agriculture.

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Kendall County Land Atlas and Plat Book. 19<sup>th</sup> Edition, 2014.

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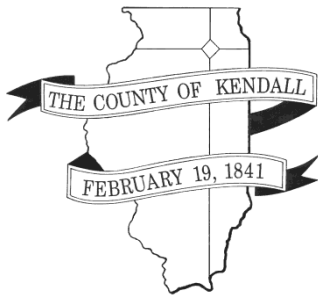
Natural Resources Conservation Service Wetland Inventory Map. United States Department of Agriculture.

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The Conservation of Biological Diversity in the Great Lakes Ecosystem: Issues and Opportunities, prepared by the Nature Conservancy Great Lakes Program 79W. Monroe Street, Suite 1309, Chicago, IL 60603, January 1994.



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**KENDALL COUNTY  
REGIONAL PLANNING COMMISSION**  
111 West Fox Street • Rooms 209 and 210 • Yorkville, IL • 60560  
**SPECIAL AGENDA**

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**Monday, June 29, 2020 – 5:00 p.m.**

**CALL TO ORDER**

**ROLL CALL:** Bill Ashton (Chair), Roger Bledsoe, Tom Casey, Dave Hamman, Karin McCarthy-Lange, Larry Nelson (Secretary), Ruben Rodriguez (Vice-Chairman), Bob Stewart, Claire Wilson, and One Vacancy

**APPROVAL OF AGENDA**

**CITIZENS TO BE HEARD/PUBLIC COMMENT**

**NEW BUSINESS**

1. Discussion of Amendments to the Kendall County Zoning Ordinance
2. Approval to Initiate Text Amendments to Section 1:00 “Title” of the Kendall County Zoning Ordinance
3. Approval to Initiate Text Amendments to Section 2:00 “Intent and Purpose” of the Kendall County Zoning Ordinance
4. Approval to Initiate Text Amendments to Section 3:00 “Rules and Definitions” of the Kendall County Zoning Ordinance and Related Appendices
5. Approval to Initiate Text Amendments to Section 4:00 “General Provisions” of the Kendall County Zoning Ordinance
6. Approval to Initiate Text Amendments to Section 5:00 “Non-Conforming Buildings and Uses” of the Kendall County Zoning Ordinance
7. Approval to Initiate Text Amendments to Section 6:00 “Zoning Districts” of the Kendall County Zoning Ordinance and Related Appendices
8. Approval to Initiate Text Amendments to Section 7:00 “Agricultural Districts” of the Kendall County Zoning Ordinance and Related Appendices
9. Approval to Initiate Text Amendments to Section 8:00 “Residential Districts” of the Kendall County Zoning Ordinance and Related Appendices
10. Approval to Initiate Text Amendments to Section 9:00 “Business Districts” of the Kendall County Zoning Ordinance and Related Appendices
11. Approval to Initiate Text Amendments to Section 10:00 “Manufacturing Districts” of the Kendall County Zoning Ordinance and Related Appendices
12. Approval to Initiate Text Amendments to Section 11:00 “Off-Street Parking and Loading” of the Kendall County Zoning Ordinance and Related Appendices
13. Approval to Initiate Text Amendments to Section 12:00 “Signs” of the Kendall County Zoning Ordinance and Related Appendices
14. Approval to Initiate Text Amendments to Section 13:00 “Administration” of the Kendall County Zoning Ordinance
15. Approval to Initiate Text Amendments to Section 14:00 “Separability” of the Kendall County Zoning Ordinance

**ADJOURNMENT** Next Meeting on July 22, 2020

If special accommodations or arrangements are needed to attend this County meeting, please contact the Administration Office at 630-553-4171, a minimum of 24-hours prior to the meeting time.