

ORDINANCE NUMBER 2020- 14

MAP AMENDMENT REZONING 4.01 ACRES +/- TO B-3 HIGHWAY BUSINESS DISTRICT AND GRANTING SPECIAL USE PERMITS FOR AN OUTDOOR STORAGE FACILITY AND A SELF-SERVICE STORAGE FACILITY AND A MAP AMENDMENT REZONING 4.67 +/- ACRES TO B-2 GENERAL BUSINESS DISTRICT FOR THE NORTHEASTERN PORTION OF THE PARCEL LOCATED ON THE NORTHWEST CORNER ROUTE 52 AND COUNTY LINE ROAD ALSO KNOWN AS 195 ROUTE 52 AND IDENTIFIED BY PARCEL IDENTIFICATION NUMBER 09-13-200-002 IN SEWARD TOWNSHIP

Rezoned from A-1 to B-3 With Special Use Permits (4.01 Acres) and to B-2 (4.67 Acres)

WHEREAS, Section 13.07 of the Kendall County Zoning Ordinance permits the Kendall County Board to approve map amendments and provides the procedure through which map amendments are granted; and

WHEREAS, Section 13.08 of the Kendall County Zoning Ordinance permits the Kendall County Board to issue special use permits and place conditions on special use permits and provides the procedure through which special use permits are granted; and

WHEREAS, Section 9.04.C.20 of the Kendall County Zoning Ordinance permits the operation of outdoor storage businesses as a special use with certain restrictions in the B-3 Highway Business Zoning District; and

WHEREAS, Section 9.04.C.28 of the Kendall County Zoning Ordinance permits the operation of self-service storage facility businesses as a special use with certain restriction in the B-3 Highway Business Zoning District; and

WHEREAS, the property which is the subject of this Ordinance has been, at all relevant times, and remains currently located within the A-1 Agricultural Zoning District and consists of approximately 8.68 +/- acres located at the northeastern corner of the parcel located at the northwest corner of Route 52 and County Line Road, also known as, 195 Route 52 (PINs: 09-13-200-002), in Seward Township. The legal description for the subject property is set forth in Exhibit A attached hereto and incorporated by reference, and this property shall hereinafter be referred to as “the subject property.”; and

WHEREAS, at the time of original application the subject property was owned Hansel Ridge, LLC and is represented by John Dollinger; and

WHEREAS, Goprobball, LLC, as represented by Jason Shelley, purchased the subject property from Hansel Ridge, LLC; and

WHEREAS, James and Denise Maffeo, purchased the subject property from Goprobball, LLC and record title is held in the name of Four Season Storage, LLC, an Illinois Liability Company; and

WHEREAS, John Dollinger on Behalf of Hansel Ridge, LLC, Jason Shelley on Behalf of Goprobball, LLC, and James and Denise Maffeo on Behalf of Four Seasons Storage, LLC, an Illinois Limited Liability Company shall hereinafter be referred to as “Petitioner”; and

WHEREAS, on or about September 30, 2019, Petitioner’s representative filed a petition for a Map Amendment rezoning the subject property from A-1 Agricultural to B-3 Highway Business District and for Special Use Permits to operate an outdoor storage business and a self-service storage facility business on the subject property; and

WHEREAS, on or about April 21, 2020, Petitioner's representative amended the petition to rezone 4.67 +/- acres of the subject property to B-2 General Business District and 4.01 +/- acres to B-3 Highway Business District; and

WHEREAS, following due and proper notice by publication in the Kendall County Record on January 9, 2020, the Kendall County Zoning Board of Appeals started a public hearing on January 27, 2020, at 7:00 p.m., in the County Office Building at 111 W. Fox Street in Yorkville and said hearing was continued to March 2, 2020, and continued to June 29, 2020, and continued to July 27, 2020, at the same time and location at which the Petitioner's representative presented evidence, testimony, and exhibits in support of the requested Map Amendments and Special Use Permits and zero members of the public asked questions or testified in favor or testified in opposition to the request; and

WHEREAS, based on the evidence, testimony, and exhibits, the Kendall County Zoning Board of Appeals has made their findings of fact and recommended approval of the Map Amendments and Special Use Permits with restrictions as set forth in the Findings of Fact and Recommendation of the Kendall County Zoning Board of Appeals, dated July 27, 2020, a true and correct copy of which is attached hereto as Exhibit B; and

WHEREAS, the Kendall County Planning, Building and Zoning Committee of the Kendall County Board has reviewed the testimony presented at the aforementioned public hearing and has considered the Findings of Fact and Recommendation of the Kendall County Zoning Board of Appeals, and has forwarded to the Kendall County Board a recommendation of approval of the requested Map Amendments and Special Use Permits; and

WHEREAS, the Kendall County Board has considered the recommendation of the Planning, Building and Zoning Committee and the Findings of Fact and Recommendation of the Kendall County Zoning Board of Appeals, and has determined that said petition is in conformance with the provisions and intent of the Kendall County Zoning Ordinance; and

WHEREAS, this special use permit shall be treated as a covenant running with the land and is binding on the successors, heirs, and assigns as to the same special use conducted on the property; and

NOW, THEREFORE, BE IT ORDAINED, BY THE COUNTY BOARD OF KENDALL COUNTY, ILLINOIS, as follows:

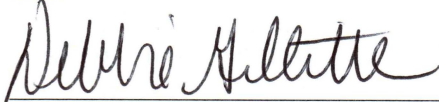
1. The Findings of Fact and Recommendation of the Kendall County Zoning Board of Appeals attached hereto as Exhibit B is hereby accepted and the Findings of Fact set forth therein are hereby adopted as the Findings of Fact and Conclusions of this Kendall County Board.
2. The Kendall County Board hereby grants approval of Petitioner's petition for a Map Amendment rezoning 4.67 +/- acres of the subject property from A-1 Agricultural District to B-2 General Business District as outlined in the legal description attached hereto as Exhibit A.
3. The Kendall County Board hereby grants approval of Petitioner's petition for a Map Amendment rezoning the 4.01 +/- acres of the subject property from A-1 Agricultural District to B-3 Highway Business District as outlined in the legal description attached hereto as Exhibit A.
4. The Kendall County Board hereby grants approval of Petitioner's petition for special use permits for an outdoor storage business and a self-service storage business on the portion of the subject property rezoned to B-3 Highway Business District subject to the following conditions:

- A. The site shall be developed substantially in accordance with the attached site plan attached hereto as Exhibit C, landscaping plan attached hereto as Exhibit D, and photometric plan attached hereto as Exhibit E.
- B. The operator(s) of the businesses allowed by this special use permit shall plant the vegetation and install the fencing identified in the landscaping plan (Exhibit D) within two hundred forty (240) days of the approval of the special use permit ordinance. Dead or damaged vegetation shall be replaced on a timetable approved by the Kendall County Planning, Building and Zoning Department. The trees shown on the landscaping plan shall be between twelve feet and fifteen feet (12'-15') in height at the time of planting.
- C. One (1) two (2)-sided illuminated sign may be installed on the subject property in substantially the location shown on the landscaping plan (Exhibit D). The owners of businesses allowed by this special use permit may pursue variances to Kendall County Zoning Ordinance regarding the height and dimensions of the sign through the variance application process without seeking an amendment to the special use permit.
- D. Within sixty days (60) days of approval of this special use permit ordinance, the property owners shall convey land along the entire length of County Line Road side of the property at a depth of sixty feet (60') as measured from the centerline of County Line Road to Seward Township for County Line Road right-of-way.
- E. The owners of the business allowed by this special use permit shall construct all of the storage buildings shown on the site plan (Exhibit C) on or before December 31, 2023. Either December 31, 2023, or upon completion of the final self-service storage building, whichever occurs first, the special use permit for an outdoor storage business shall automatically cease. The final self-service storage building shall be considered complete when all occupancy permits for the self-service storage buildings are issued. The completion and expiration dates listed in this condition may be extended upon approval by the Kendall County Planning, Building and Zoning Committee.
- F. A maximum of twenty-five (25) items, including, but not limited to, boats, trailers, and motor vehicles may be stored outdoors as part of the outdoor storage business special use permit.
- G. None of the vehicles stored on premises shall be considered agricultural equipment as they relate to the businesses allowed by these special use permits.
- H. All of the vehicles stored on the premises shall be maintained in good condition with no deflated tires and shall be licensed if required by law.
- I. The hours of operation for the businesses allowed by these special use permits shall be daily from 7:00 a.m. until 7:00 p.m. The operator(s) of the businesses allowed by these special use permit may reduce these hours of operation. Patrons may access the storage area at any time.
- J. The total maximum number of employees combined for the businesses allowed by these special use permit shall be five (5), including the business owners.
- K. The owners of the businesses allowed by these special use permits shall diligently monitor the property for leaks from items stored on the premises and shall promptly clean up the site if leaks occur.
- L. The operator(s) of the business allowed by this special use permit shall provide the Kendall County Sheriff's Department and Troy Fire Protection District with passcodes to the gate upon the request of these agencies.

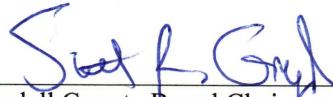
- M. The operator(s) of the businesses allowed by these special use permits acknowledge and agree to follow Kendall County's Right to Farm Clause.
 - N. The operator(s) of the businesses allowed by these special use permits shall follow all applicable Federal, State, and Local laws related to the operation of these types of businesses.
5. All ordinances in conflict with this ordinance are hereby repealed.
 6. This special use permit shall be treated as a covenant running with the land and is binding on the successors, heirs, and assigns as to the same special use conducted on the property.
 7. The Zoning Administrator and other appropriate County Officials are hereby authorized and directed to amend the Official Zoning Map of Kendall County to reflect these Map Amendments and Special Use Permits.

IN WITNESS OF, this ordinance has been enacted by a majority vote of the Kendall County Board and is effective this 15th day of September, 2020.

Attest:



Kendall County Clerk
Debbie Gillette



Kendall County Board Chairman
Scott R. Gryder



Exhibit A

LEGAL DESCRIPTION OF TRACT 2 (B-3 Special Use Parcel):

That Part of the Northeast Quarter of Section 13, Township 35 North, Range 8 East of the Third Principal Meridian described as follows: Commencing at the Northeast Corner of said Northeast Quarter; thence Southerly, along the East Line of said Northeast Quarter, 1142.05 feet; thence Westerly, parallel with the North Line of said Northeast Quarter, 599.06 feet; thence Southerly, parallel with the West Line of said Northeast Quarter, 165.29 feet for the point of beginning; thence Easterly, parallel with said North Line, 332.25 feet; thence Southerly, parallel with said West Line, 525.07 feet to a line which is 1834.37 feet Southerly of (as measured along the East Line of said Northeast Quarter) and parallel with the North Line of said Northeast Quarter; thence Westerly, parallel with said North Line, 332.25 feet to a line drawn Southerly from the point of beginning, parallel with said West Line; thence Northerly, parallel with said West Line, 527.0 feet to the point of beginning in Seward Township, Kendall County, Illinois.

LEGAL DESCRIPTION OF TRACT 3 (B2 Zoning Parcel):

That Part of the Northeast Quarter of Section 13, Township 35 North, Range 8 East of the Third Principal Meridian described as follows: Commencing at the Northeast Corner of said Northeast Quarter; thence Southerly, along the East Line of said Northeast Quarter, 1142.05 feet; thence Westerly, parallel with the North Line of said Northeast Quarter, 51.55 feet to a point hereinafter referred to as "Point A"; thence Southerly, along a line which forms an angle of 89°33'03" with the prolongation of the last described course, measured counter-clockwise therefrom, 692.32 feet to a line which is 1834.37 feet Southerly of (as measured along the East Line of said Northeast Quarter) and parallel with the North Line of said Northeast Quarter for the point of beginning; thence Northerly, along the line of the last described course 692.32 feet to "Point A"; thence Westerly, parallel with said North Line, 547.51 feet; thence Southerly, parallel with the West Line of said Northeast Quarter, 165.29 feet; thence Easterly, parallel with said North Line, 332.25 feet; thence Southerly, parallel with said West Line, 525.07 feet to a line which is 1834.37 feet Southerly of (as measured along the East Line of said Northeast Quarter) and parallel with the North Line of said Northeast Quarter; thence Easterly, parallel with said North Line, 213.85 feet to the point of beginning in Seward Township, Kendall County, Illinois.

Exhibit B

The Kendall County Zoning Board of Appeals approved the following Findings of Fact and Recommendation at their meeting on July 27, 2020, by a vote of seven (7) in favor and zero (0) in opposition.

FINDINGS OF FACT-MAP AMENDMENTS

§ 13.07.F of the Zoning Ordinance outlines findings that the Zoning Board of Appeals must make in order recommend in favor of the applicant on map amendment applications.

*Existing uses of property within the general area of the property in question. **The surrounding properties are used agricultural or uses similar to agricultural uses such as farmsteads and fertilizer operations.***

*The Zoning classification of property within the general area of the property in question. **The surrounding properties are zoned A-1, A-1 with a special use, or B-4.***

*The suitability of the property in question for the uses permitted under the existing zoning classification. **The property is presently zoned A-1 and can be used for farming.***

*The trend of development, if any, in the general area of the property in question, including changes, if any, which may have taken place since the day the property in question was in its present zoning classification. **The Zoning Board of Appeals shall not recommend the adoption of a proposed amendment unless it finds that the adoption of such an amendment is in the public interest and is not solely for the interest of the applicant. The Zoning Board of Appeals may recommend the adoption of an amendment changing the zoning classification of the property in question to any higher classification than that requested by the applicant. For the purpose of this paragraph the R-1 District shall be considered the highest classification and the M-2 District shall be considered the lowest classification. The trend of development in the area is stable with residential growth and special uses normally found in agricultural zoned areas.***

*Consistency with the purpose and objectives of the Land Resource Management Plan and other adopted County or municipal plans and policies. **The Future Land Use Map was amended earlier in 2020 to reclassify the subject property as Commercial. The property to the west is planned to be used for recreational purposes. Minooka School District #111 plans to construct a school in the area. The Village of Shorewood's Future Land Use Map calls for this property to be Commercial and Government/Institutional. The proposed map amendments are consistent with the purpose and objectives of the Land Resource Management Plan.***

FINDINGS OF FACT-SPECIAL USE PERMITS

§ 13.08.J of the Zoning Ordinance outlines findings that the Zoning Board of Appeals must make in order recommend in favor of the applicant on special use permit applications.

*That the establishment, maintenance, or operation of the special use will not be detrimental to or endanger the public health, safety, morals, comfort, or general welfare. **The operation of the special use will not be detrimental to the public health, safety, morals, comfort, or general welfare provided that the operator of the business allowed by this special use permit develops the site according to the submitted site plan and landscaping plan, dedicates land for right-of-way, follows the agreed upon hours of operation, and follows the Kendall County Inoperable Vehicle Ordinance, Kendall County Junk and Debris Ordinance, and related ordinances.***

*That the special use will not be substantially injurious to the use and enjoyment of other property in the immediate vicinity for the purposes already permitted, nor substantially diminish and impair property values within the neighborhood. The Zoning classification of property within the general area of the property in question shall be considered in determining consistency with this standard. The proposed use shall make adequate provisions for appropriate buffers, landscaping, fencing, lighting, building materials, open space and other improvements necessary to insure that the proposed use does not adversely impact adjacent uses and is compatible with the surrounding area and/or the County as a whole. **Provided that the***

business operates as proposed, no injury should occur to other property and property values should not be negatively impacted.

That adequate utilities, access roads and points of ingress and egress, drainage, and/or other necessary facilities have been or are being provided. The proposed use will be a low utility user and adequate utilities are planned for the development of the site. A private road is planned from County Line Road to the subject use. A right-of-way dedication is planned along County Line Road. The Petitioners will have to secure a stormwater management permit.

That the special use shall in all other respects conform to the applicable regulations of the district in which it is located, except as such regulations may in each instance be modified by the County Board pursuant to the recommendation of the Zoning Board of Appeals. This is true.

That the special use is consistent with the purpose and objectives of the Land Resource Management Plan and other adopted County or municipal plans and policies. True, the proposed use is consistent with an objective found on Page 6-34 of the Kendall County Land Resource Management Plan which calls for “a strong base of agricultural, commercial and industrial uses that provide a broad range of job opportunities, a healthy tax base, and improved quality of services to County residents” through the encouragement “. . . of locally owned businesses.”

RECOMMENDATIONS

Approval of the requested map amendments.

Approval of the special use permits with the following conditions and restrictions:

1. The site shall be developed substantially in accordance with the submitted site plan, landscaping plan, and lighting plan.
2. The operator(s) of the businesses allowed by this special use permit shall plant the vegetation and install the fencing identified in the landscaping plan within ninety (90) days of the approval of the special use permit ordinance. Dead or damaged vegetation shall be replaced on a timetable approved by the Kendall County Planning, Building and Zoning Department. The trees shown on the landscaping plan shall be between twelve feet and fifteen feet (12'-15') in height at the time of planting.
3. One (1) two (2)-sided illuminated sign may be installed on the subject property in substantially the location shown on the landscaping plan. The owners of businesses allowed by this special use permit may pursue variances to Kendall County Zoning Ordinance regarding the height and dimensions of the sign through the variance application process without seeking an amendment to the special use permit.
4. Within sixty days (60) days of approval of this special use permit ordinance, the property owners shall convey land along the entire length of County Line Road side of the property at a depth of sixty feet (60') as measured from the centerline of County Line Road to Seward Township for County Line Road right-of-way.
5. The owners of the business allowed by this special use permit shall construct all of the storage buildings shown on the site plan on or before December 31, 2023. Either December 31, 2023, or upon completion of the final self-service storage building, whichever occurs first, the special use permit for an outdoor storage business shall automatically cease. The final self-service storage building shall be considered complete when all occupancy permits for the self-service storage buildings are issued. The completion and expiration dates listed in this condition may be extended upon approval by the Kendall County Planning, Building and Zoning Committee.
6. A maximum of twenty-five (25) items, including, but not limited to, boats, trailers, and motor vehicles may be stored outdoors as part of the outdoor storage business special use permit.
7. None of the vehicles stored on premises shall be considered agricultural equipment as they relate

to the businesses allowed by these special use permits.

8. All of the vehicles stored on the premises shall be maintained in good condition with no deflated tires and shall be licensed if required by law.
9. The hours of operation for the businesses allowed by these special use permits shall be daily from 7:00 a.m. until 7:00 p.m. The operator(s) of the businesses allowed by these special use permit may reduce these hours of operation. Patrons may access the storage area at any time.
10. The total maximum number of employees combined for the businesses allowed by these special use permit shall be five (5), including the business owners.
11. The owners of the businesses allowed by these special use permits shall diligently monitor the property for leaks from items stored on the premises and shall promptly clean up the site if leaks occur.
12. The operator(s) of the business allowed by this special use permit shall provide the Kendall County Sheriff's Department and Troy Fire Protection District with passcodes to the gate upon the request of these agencies.
13. The operator(s) of the businesses allowed by these special use permits acknowledge and agree to follow Kendall County's Right to Farm Clause.
14. The operator(s) of the businesses allowed by these special use permits shall follow all applicable Federal, State, and Local laws related to the operation of these types of businesses.
15. Failure to comply with one or more of the above conditions or restrictions could result in the amendment or revocation of the special use permits.
16. If one or more of the above conditions is declared invalid by a court of competent jurisdiction, the remaining conditions shall remain valid.

ENGINEERING PLANS FOR FOUR SEASONS STORAGE FACILITY

SECTION 13, TOWNSHIP 35 NORTH, RANGE 8 EAST
COUNTY LINE RD & ROUTE 52
MINOOKA, IL 60447
KENDALL COUNTY
JULY, 2020

LEGEND	
---	PROPERTY BOUNDARY
---	EXISTING CONTOUR LINE
---	EXISTING STORM SEWER
---	EXISTING SANITARY SEWER LINE
---	EXISTING WATERMAIN
---	EXISTING UNDERGROUND ELECTRIC
---	EXISTING OVERHEAD ELECTRIC
---	EXISTING GAS SERVICE
---	EXISTING TELEPHONE
---	PROPOSED CONTOUR LINE
---	PROPOSED WATERMAIN
---	PROPOSED STORM SEWER
---	PROPOSED SANITARY SEWER LINE
---	PROPOSED GREASE SERVICE LINE
---	PROPOSED VENT LINE
---	EXISTING FENCELINE
---	PROPOSED SILT FENCE
x 886.00	EXISTING SPOT SHOT
x 886.00	PROPOSED SPOT GRADE
WATER:	PROP:
	B-BOX
	HYDRANT
	VALVE
	VALVE VAULT
STORM:	INLET-CURB
	INLET OR MANHOLE
	FLARED END SECTION
SANITARY:	CLEANOUT
	MANHOLE
	R.O.W. MONUMENT
	PROPERTY PIN
	P.K. NAIL
	CHISELED MARK
	BENCHMARK
	HUB & SACK
	SOL BORING
	OVERLAND RELIEF
	FLOW DIRECTION
	UTILITY POLE
	GUY WIRE LOC.
	UTIL. CABINET
	UTIL. PEDESTAL
	LIGHT POLE
	TRAFFIC SIGNAL
	ELECTRIC VAULT
	GAS VALVE

INDEX TO SHEETS

1. COVER SHEET
2. EXISTING CONDITIONS & DEMOLITION PLAN
3. STORMWATER POLLUTION & PREVENTION PLAN 1
4. STORMWATER POLLUTION & PREVENTION PLAN 2
5. OVERALL CIVIL SITE PLAN
6. CIVIL SITE PLANS
7. GENERAL NOTES & DETAILS
8. GENERAL NOTES & DETAILS II

LOCATION MAP
N.T.S.

BENCHMARKS:

BMP1 - Mag nail in Pavement West of Utility Pole 69 feet North of the Northeast Corner of the Subject Property.
Elevation = 645.28 NAVD 29

BMP2 - Mag nail in Pavement West of Utility Pole 72 feet North of the Southeast Corner of the Subject Property.
Elevation = 646.49 NAVD 29

PLANS PREPARED FOR:

JAMES & DENISE MAFFEO
1223 BUELL AVENUE
SOLETT, IL 60453
PHONE: (815) 955-9914

CIVIL ENGINEER:

TEBRUGGE ENGINEERING
410 E CHURCH ST - SUITE A
SANDWICK, ILLINOIS 60548
(815) 786-0195
INFO@TEBRUGGEEENGINEERING.COM
WWW.TEBRUGGEEENGINEERING.COM



Know what's below.
Call before you dig.

Contractor and/or sub-contractors shall verify locations of all underground utilities prior to digging. Contact J.U.L.L.E. (Joint Utility Locating for Excavations) at 1-800-850-0123 or call 811.

UTILITY STATEMENT

THE UTILITIES SHOWN HAVE BEEN LOCATED FROM MISIBLE FIELD EXPOSURE AND EXISTING DRAWINGS, MAPS AND RECORDS SUPPLIED TO SURVEYOR. THE SURVEYOR MAKES NO GUARANTEE THAT THE UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA. OWNER IS SOLELY RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND WARRANTIES. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED, ALTHOUGH THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM AVAILABLE INFORMATION. THE SURVEYOR HAS PHYSICALLY LOCATED MISIBLE STRUCTURES; HOWEVER, HE HAS NOT PHYSICALLY LOCATED THE UNDERGROUND LINES.

PROFESSIONAL ENGINEER'S CERTIFICATION
STATE OF ILLINOIS, COUNTY OF KENDALL

I (JOHN J. TEBRUGGE), A LICENSED PROFESSIONAL ENGINEER OF ILLINOIS, HEREBY CERTIFY THAT THESE PLANS HAVE BEEN PREPARED UNDER MY PERSONAL DIRECTION BASED ON AVAILABLE DOCUMENTS AND FIELD MEASUREMENTS FOR THE EXCLUSIVE USE OF THE CLIENT NOTED HEREON.

GIVEN UNDER MY HAND & SEAL THIS 21ST DAY OF JULY, 2020.

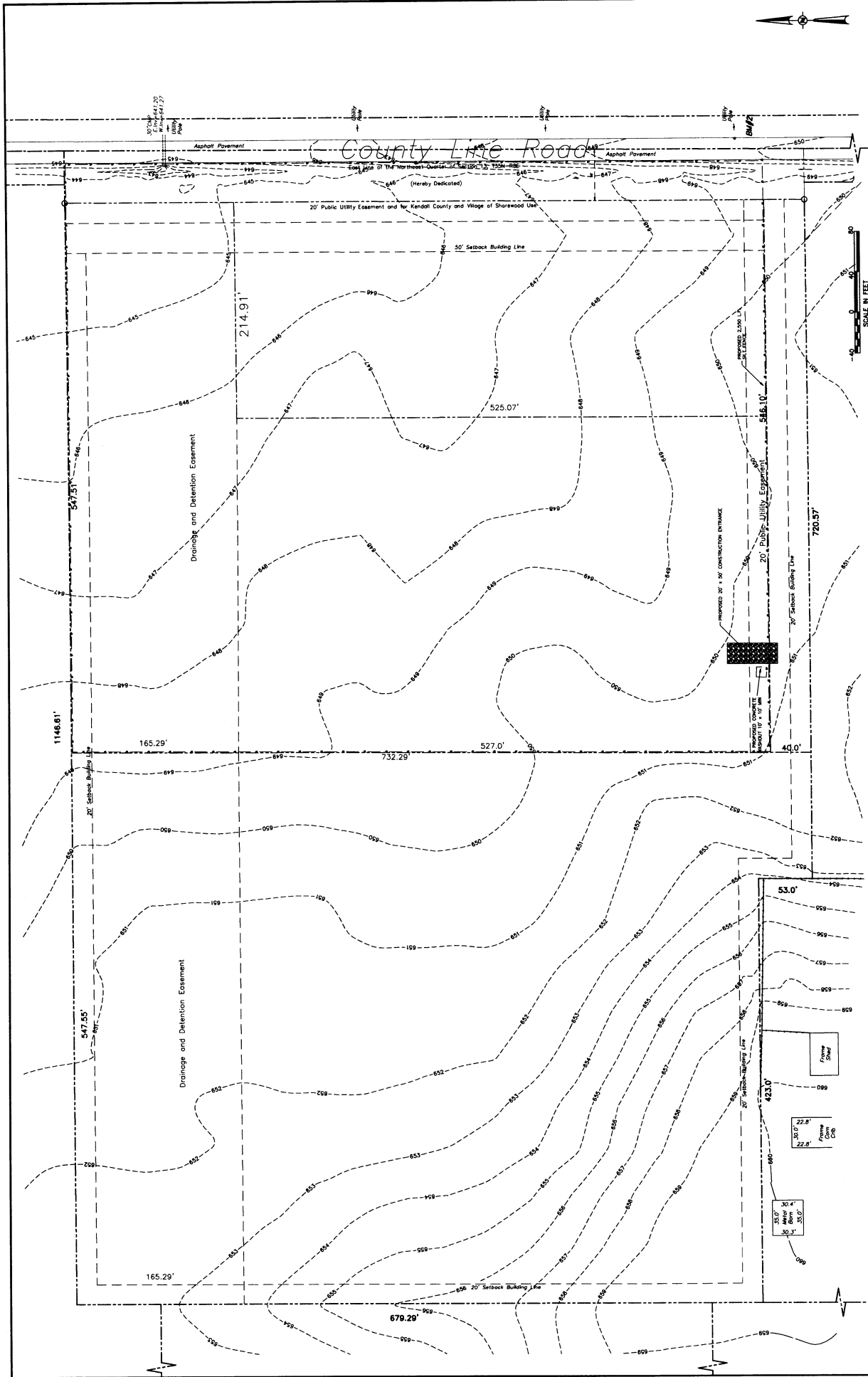


John J. Tebrugge
ILLINOIS REGISTERED PROFESSIONAL ENGINEER
NO. 041824 EXPIRES NOV. 30, 2021

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NO.	DATE	NOTES
1	8/20/20	NEW NORTH LETTER A11.10
2	8/20/20	RECALL OF UNDERWOOD NORTH LETTER A11.10

EnshC



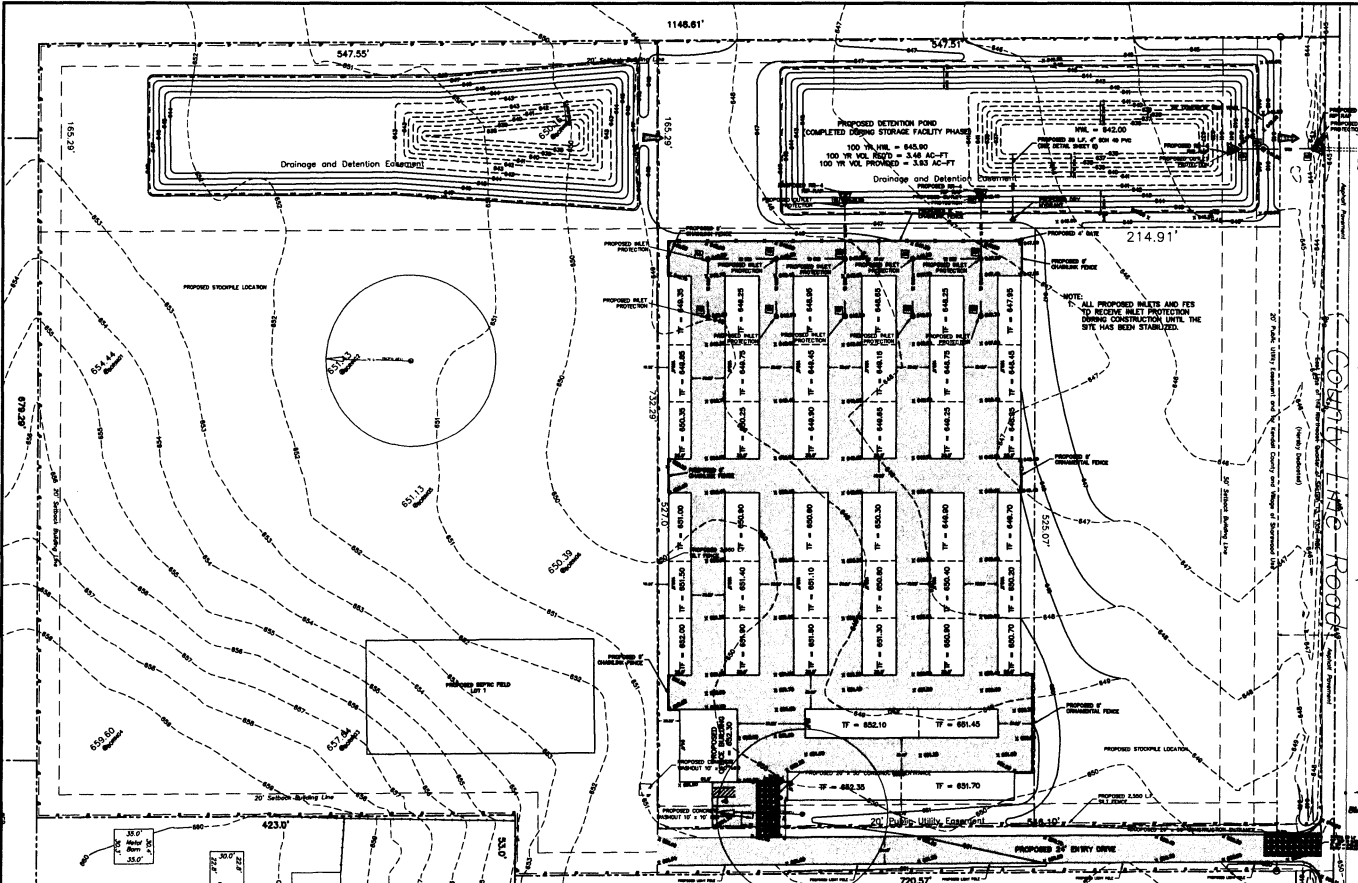
PROJECT NO. 19 447 02
 SHEET NO. 2
 SCALE 1" = 40'
 DATE JAN 15, 2020
 OF 8 SHEETS

FOUR SEASONS STORAGE FACILITY
 EXISTING CONDITIONS & DEMOLITION PLAN

PREPARED FOR:
 JAMES & DENISE MAFFEO
 1223 BUELL AVE, JOLIET, IL

NO.	DATE	REVISIONS
1	1/15/20	ISSUED FOR PERMITTING
2	1/15/20	REVISIONS

TEBRUGGE ENGINEERING
 410 E. HERBIE STREET, SUITE A • SANDWICH, IL 60588
 PHONE (815) 766-1405 • TEBRUGGEENGINEERING.COM



TYPICAL SOIL PROTECTION CHART

Construction Type	Jan	Feb	Mar	Apr	May	Jun	Jul	Aug	Sep	Oct	Nov	Dec
Excavation	1	1	1	1	1	1	1	1	1	1	1	1
Foundation	1	1	1	1	1	1	1	1	1	1	1	1
Structure	1	1	1	1	1	1	1	1	1	1	1	1
Roofing	1	1	1	1	1	1	1	1	1	1	1	1
Interior	1	1	1	1	1	1	1	1	1	1	1	1
Exterior	1	1	1	1	1	1	1	1	1	1	1	1

1 - Working Exposure - 100 sq/ft
 2 - Working Exposure - 200 sq/ft
 3 - Working Exposure - 300 sq/ft
 4 - Working Exposure - 400 sq/ft
 5 - Working Exposure - 500 sq/ft
 6 - Working Exposure - 600 sq/ft
 7 - Working Exposure - 700 sq/ft
 8 - Working Exposure - 800 sq/ft
 9 - Working Exposure - 900 sq/ft
 10 - Working Exposure - 1000 sq/ft

SOIL EROSION / SEDIMENT CONTROL OPERATION TIME SCHEDULE

NOTE: GENERAL CONTRACTOR TO COMPLETE TABLE WITH THEIR SPECIFIC PROJECT SCHEDULE

CONSTRUCTION SEQUENCE	Jan	Feb	Mar	Apr	May	Jun	Jul	Aug	Sep	Oct	Nov	Dec
TEMPORARY CONSTRUCTION EXITS												
TEMPORARY CONTROL MEASURES												
SEDIMENT CONTROL BARRIERS												
STRIP & STOCKPILE TOPSOIL												
ROUSH GRADE												
STORM FACILITIES												
SITE CONSTRUCTION												
PERMANENT CONTROL STRUCTURES												
FOUNDATION / BUILDING CONSTRUCTION												
FRESH GRADING												
LANDSCAPING / SEED / FINAL STABILIZATION												

1) CONTRACTOR SHALL UPDATE THE TABLE BY SHADING OR DATING THE APPLICABLE ACTIVITIES AS PROJECT PROGRESSES.
 2) THE SCHEDULE MUST CONFORM WITH SEQUENCE OF CONSTRUCTION.

GENERAL CONTRACTOR / OWNER SHALL COORDINATE WHICH CONTRACTORS WILL BE PROVIDING SWPPP SERVICES AND HAVE THEM SIGN THE CONTRACTOR IDENTIFICATION PLAN. ALL CONTRACTORS AND SUBCONTRACTORS IDENTIFIED IN A STORM WATER IDENTIFICATION PREVENTION PLAN SHALL SIGN A COPY OF THE FOLLOWING CERTIFICATION STATEMENT BEFORE CONDUCTING ANY PROFESSIONAL SERVICES AT THE SITE IDENTIFIED IN THE STORM WATER POLLUTION PREVENTION PLAN.

CONTRACTOR'S CERTIFICATION
 I, CERTIFY UNDER PENALTY OF LAW THAT I UNDERSTAND THE TERMS AND CONDITIONS OF THE GENERAL NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) PERMIT (4010) THAT AUTHORIZES THE STORM WATER IDENTIFICATION STATEMENT AND THAT I WILL MAINTAIN ALL STORM WATER IDENTIFICATION ACTIVITY FROM THE CONSTRUCTION SITE IDENTIFIED AS PART OF THE CERTIFICATION.

CONTRACTOR NAME & TITLE
 ADDRESS
 PHONE #

SIGNATURE _____ DATE _____

CONTRACTOR NAME & TITLE
 ADDRESS
 PHONE #

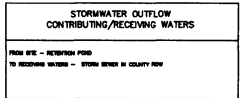
SIGNATURE _____ DATE _____

CONTRACTOR NAME & TITLE
 ADDRESS
 PHONE #

SIGNATURE _____ DATE _____

- BEST MANAGEMENT PRACTICE (BMP) NOTES**
- SEE STABILIZED CONSTRUCTION ENTRANCE DETAIL. THE CONSTRUCTION EXITS SHALL BE A MINIMUM OF 14" IN WIDTH AND 50' IN LENGTH FROM EXISTING PAVED SURFACE. ALL CONSTRUCTION TRAFFIC MUST UTILIZE CONSTRUCTION EXITS FOR TRAFFIC TO ACCESS THE PUBLIC ROAD DURING CONSTRUCTION. THE CONSTRUCTION EXITS MAY BE SHIPPED AT THE CONTRACTOR'S DISCRETION TO FACILITATE GRADING OPERATION BUT MUST TERMINATE AT EXISTING PAVED SURFACE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING THAT THE RUNOFF FROM THE CONSTRUCTION EXIT IS DIRECTED BACK TOWARD THE SITE OR THAT THE RUNOFF IS CLEAR OF SEDIMENT.
 - THE CONTRACTOR MAY PERMANENTLY REMOVE ANY PORTION OF THE PERMETER SILT FENCE AFTER ESTABLISHMENT OF FINAL GRADE AND/OR FINAL STABILIZATION PROVIDES THE RESPECTIVE PORTION OF THE PERMETER SILT FENCE UP STREAM OF A DISTURBANCE AND/OR RESTRICTIVE AS A BEST MANAGEMENT PRACTICE. ANY SUCH REMOVAL SHALL BE NOTED ON THE SHIPPED SITE MAPS ALONG WITH UPSTREAM STABILIZATION AND GRADING CONDITIONS.
 - NO STRUCTURE SHALL BE ALLOWED TO BE PROTECTED WITH ANY MEASURE OTHER THAN THOSE DETAILED IN THIS SHIPPED SITE MAP FOR MORE THAN 48 HOURS OR IF RAIN IS IMMINENT, STRUCTURES THAT WILL NOT RECEIVE A COVER WITHIN 48 HOURS OF INSTALLATION SHALL RECEIVE ITS PROTECTION UPON INSTALLATION OF THE GRADE. 80% OF ITS PROTECTION SHALL BE INSTALLED RESPECTIVE TO THE TYPE OF GRADE. STRUCTURES WITH GLOVED LIDS WILL NOT REQUIRE PROTECTION. FOLLOWING INSTALLATION OF THE LID, THE CONTRACTOR SHALL NOTE THE TIME STRUCTURE INSTALLATION (AND PROTECTION INSTALLATION INCLUDING TYPES OF PROTECTION) ARE EMPLOYED. WHENEVER PIPE INSTALLATION IS HALTED FOR MORE THAN 24 HOURS OR WHEN RAIN IS IMMINENT, THE OPEN END SHALL BE PROTECTED WITH A TEMPORARY SUMP HEAD. A P SHEET OF PLYWOOD THAT EXTENDS AT LEAST 18" BEYOND THE OUTER DIAMETER OF THE PIPE SHALL BE PLACED AGAINST THE EXPOSED PIPE END. GRAVEL SHALL BE PLACED AGAINST THE PLYWOOD IN SUFFICIENT QUANTITY SO AS TO DISBURSE THE TIGHTEST POSSIBLE SEAL. THE TRINCH SHALL BE CLEAR OF SEDIMENT.
 - EROSION CONTROL BLANKET SHALL BE APPLIED TO ALL SLOPES 4:1 OR GREATER, FOLLOW MANUFACTURER SPECIFICATIONS FOR INSTALLATION. THE CONTRACTOR SHALL NOTE ALL AREAS WHERE FABRIC HAS BEEN INSTALLED RELATIVE TO AS-BUILT GRADICES AND FURNISH THESE DIMENSIONS TO THE CIVIL ENGINEER UPON REQUEST.
 - PERMANENT SEEDING SHOULD BE PLANTED AS SOON AS IT IS PRACTICAL TO ENSURE PROPER GERMINATION PRIOR TO TERMINATION OF PERMIT COVERAGE. THE CONTRACTOR SHALL PLANT PERMANENT SEEDING AS SPECIFIED ON THE LANDSCAPING PLAN AS SOON AS FINAL GRADICES ARE ESTABLISHED AS SPECIFIED ON THE GRADING PLAN. SEE SITE LANDSCAPING PLAN FOR EXACT GRASSING COVER TYPE AND LOCATION.
 - STRUCTURES SHOULD BE LOCATED IN AREAS THAT DO NOT HAVE HIGH POTENTIAL FOR CONTRIBUTING SEDIMENTS TO STORMWATER FACILITIES.
 - STOCKPILES OF SOIL AND OTHER BUILDING MATERIALS TO REMAIN IN PLACE MORE THAN THREE (3) DAYS SHALL BE FURNISHED WITH EROSION AND SEDIMENT CONTROL MEASURES. STOCK PILES NOT ACTIVELY WORKED AND TO REMAIN IN PLACE FOR 14 DAYS OR MORE SHALL RECEIVE TEMPORARY STABILIZATION.

- THE CONDITION OF THE CONSTRUCTION SITE FOR WINTER SHUTDOWNS SHALL BE ADDRESSED EARLY IN THE FALL GROWING SEASON SO THAT SLOPES AND OTHER BARE EARTH AREAS MAY BE STABILIZED WITH TEMPORARY AND/OR PERMANENT VEGETATIVE COVER FOR PROPER EROSION AND SEDIMENT CONTROL. ALL OPEN AREAS THAT ARE TO REMAIN BARE THROUGHOUT THE WINTER SHALL RECEIVE TEMPORARY EROSION CONTROL MEASURES INCLUDING TEMPORARY SEEDING, MULCHING AND/OR EROSION CONTROL BLANKET PRIOR TO THE END OF THE FALL GROWING SEASON. THE AREAS TO BE WORKED BEYOND THE END OF THE GROWING SEASON MUST IMPLEMENT SOIL STABILIZATION MEASURES THAT DO NOT RELY ON VEGETATIVE COVER SUCH AS EROSION CONTROL BLANKET AND HEAVY MULCHING.
- UNLESS OTHERWISE INDICATED, ALL VEGETATIVE AND STRUCTURAL EROSION AND SEDIMENT CONTROL PRACTICES WILL BE INSTALLED AT MINIMUM ACCORDING TO THE STANDARDS AND SPECIFICATIONS IN THE ILLINOIS URBAN MANUAL, REVISED TO THE LATEST VERSION AS AMENDED.
- IF AFTER ALL PERMITTED EROSION CONTROL BARRIERS IS REMOVED, THE AREAS DAMAGED BY THE PERMETER EROSION BARRIERS MUST BE RESTORED.
- IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO DIVERT ALL WATER (GROUND, STORM, CONSTRUCTION) DURING CONSTRUCTION IN ORDER TO KEEP THE CONSTRUCTION AREA FREE OF WATER, BYPASS PUMPING, INCLUDING SILT BAGS AND AN ENERGY DISSIPATION SURFACE FOR THE PUMPS, SHALL BE UTILIZED. IT IS THE CONTRACTOR'S RESPONSIBILITY TO SIZE THE PUMPS APPROPRIATELY. A MINIMUM OF 10' x 15' SEDIMENT FILTER BAG SHALL BE USED DURING Dewatering ACTIVITIES.
- DURING Dewatering/PUMPING OPERATIONS, ONLY UNCONTAMINATED WATER SHOULD BE ALLOWED TO DISCHARGE TO PROTECTED NATURAL AREAS, WATERS OF THE STATE, OR TO A STORM SEWER SYSTEM (IN ACCORDANCE WITH LOCAL PERMITS). SUMP HEADS SHOULD BE PLACED IN A STABILIZED SWAMP PIT OR FLOATED AT THE SURFACE OF THE WATER IN ORDER TO LIMIT THE AMOUNT OF SEDIMENT INTAKE. PUMPING OPERATIONS MAY BE DISCONTINUED TO A STABILIZED AREA THAT CONSISTS OF ENERGY DISSIPATING DEVICE (E.G. STONES, SEDIMENT FILTER BAG, OR BOTH) ADEQUATE EROSION AND SEDIMENT CONTROLS SHOULD BE USED DURING Dewatering OPERATIONS AS NECESSARY. OPERATING SEDIMENT LOAD WATER DIRECTLY INTO FIELD TILES, STORM WATER STRUCTURES, OR "WATERS OF THE US" IS PROHIBITED.

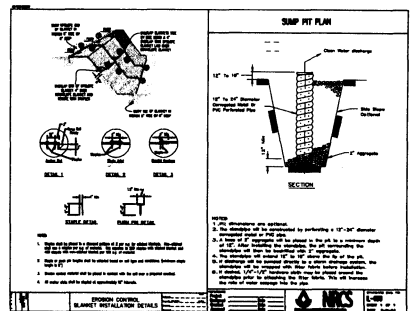


PROPOSED GRADE INFORMATION THAT IS PROVIDED ON THE SHIPPED SITE MAP IS FOR THE PURPOSE OF INDICATING FINAL DRAINAGE PATTERNS ONLY. SEE GRADING PLAN FOR FINAL GRADING DETAILS.

THE CONTRACTOR SHALL MAINTAIN ALL EXISTING ROADWAYS, SIDEWALKS, DRIVEWAYS, ETC. TO BE FREE AND CLEAR OF ANY CONSTRUCTION DEBRIS AND/OR UNWANTED AND HAILED MATERIAL TO ENSURE SAFE AND SAFE OCCUPANCY AND VEHICULAR TRAFFIC TO AND FROM ADJACENT SITES.

ILLINOIS URBAN MANUAL PROTECTIONS:
 P-1. CURB (WOOD) BOOKS UPSTREAM OF INLET PROTECTION, ON-GRADE INLETS
 P-2. ROCK SOCK INLET PROTECTION FOR SWAMP/AREA INLET
 P-3. CURB (WOOD) BOOKS UPSTREAM OF INLET PROTECTION
 CP-1. DRAINAGE INLET PROTECTION

SCALE IN FEET



ACREAGE SUMMARY

NOTICE OF INTENT (NOI)
 FOUR SEASONS STORAGE FACILITY
 1223 BUELL AVENUE
 JOLIET, IL 62450
 PHONE (815) 933-8814
 LANDOWNER: JAMES & DENISE MAFFEO

TOTAL SITE AREA	6.88 AC.
TOTAL DISTURBED AREA	6.84 AC.
PROPOSED IMPERVIOUS AREA	3.81 AC.
LANDSCAPED AREA	5.18 AC.
PROPOSED CH	0.87

TREBUGGE ENGINEERING
 410 E. CHURCH STREET - SUITE A - SANDVIQH, IL 62458
 PHONE (815) 784-0195 TREBUGGEENGINEERING.COM

NO.	DATE	NOTES
1	4.24.20	PRELIMINARY LETTER K12.0
2	4.24.20	SHORELINE REVIEW LETTER K12.0

PREPARED FOR:
JAMES & DENISE MAFFEO
 1223 BUELL AVE, JOLIET, IL

FOUR SEASONS STORAGE FACILITY
STORM WATER POLLUTION & PREVENTION PLAN

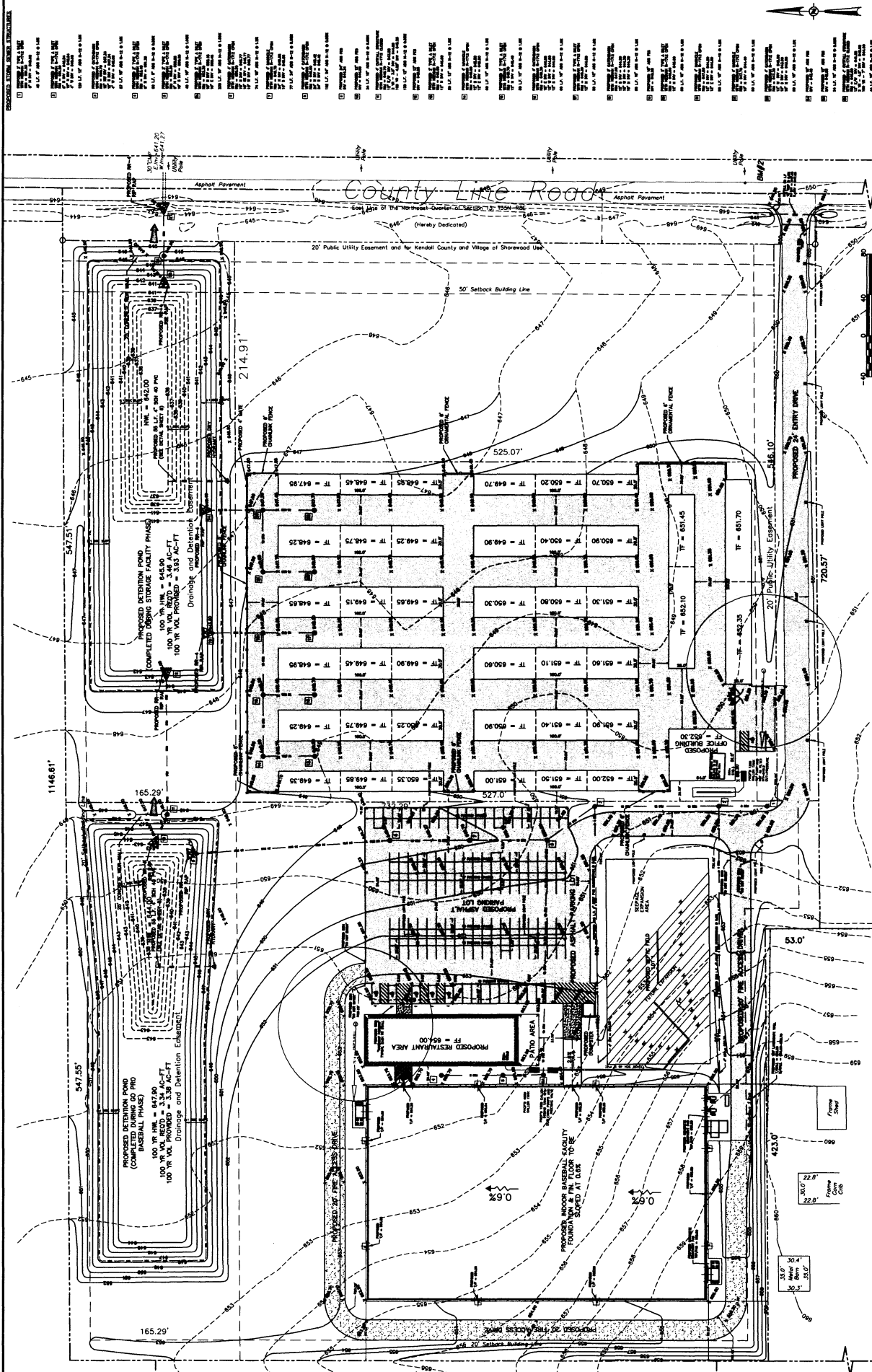
PROJECT NO. 19-447-02 SHEET NO. 3
 SCALE 1" = 40' OF 8
 DATE: JAN 16, 2020 OF 8 SHEETS

<p>GENERAL NOTES:</p> <p>1. All work shall be in accordance with the specifications and standards of the Illinois Department of Transportation (IDOT) and the American Society of Civil Engineers (ASCE).</p> <p>2. The contractor shall be responsible for obtaining all necessary permits and approvals from the appropriate authorities.</p> <p>3. All materials and workmanship shall be subject to inspection and approval by the Engineer.</p> <p>4. The contractor shall maintain access to all existing utilities and structures at all times.</p> <p>5. All work shall be completed within the specified time frame.</p> <p>6. The contractor shall be responsible for the safety of all workers and the public during the construction process.</p> <p>7. All work shall be completed in accordance with the approved plans and specifications.</p> <p>8. The contractor shall be responsible for the removal and disposal of all debris and materials.</p> <p>9. All work shall be completed in accordance with the approved plans and specifications.</p> <p>10. The contractor shall be responsible for the removal and disposal of all debris and materials.</p> <p>11. All work shall be completed in accordance with the approved plans and specifications.</p> <p>12. The contractor shall be responsible for the removal and disposal of all debris and materials.</p>	<p>PILE PROTECTION - PILING</p> <p>1. The piling shall be installed in accordance with the approved plans and specifications.</p> <p>2. The piling shall be installed in a staggered pattern to provide adequate protection for the existing structures.</p> <p>3. The piling shall be installed to a depth of 10 feet below the existing ground level.</p> <p>4. The piling shall be installed in a staggered pattern to provide adequate protection for the existing structures.</p> <p>5. The piling shall be installed to a depth of 10 feet below the existing ground level.</p> <p>6. 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<p>TEBRUGGE ENGINEERING 410 E CHURCH STREET - SUITE 4 - SANDWICH, IL 60488 PHONE 815-764-9100 TEBRUGGEENGINEERING.COM</p>	<p>PREPARED FOR: JAMES & DENISE MAFFEO 1223 BUELL AVE, JOLIET, IL</p>	<p>PROJECT NO. 19-447-02 SCALE 1" = 40' DATE JAN 18, 2020</p>
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STORMWATER POLLUTION & PREVENTION PLAN DETAILS

SHEET NO. **4**
OF 8 SHEETS



- 1. ASPHALT PAVEMENT
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- 100. ASPHALT PAVEMENT

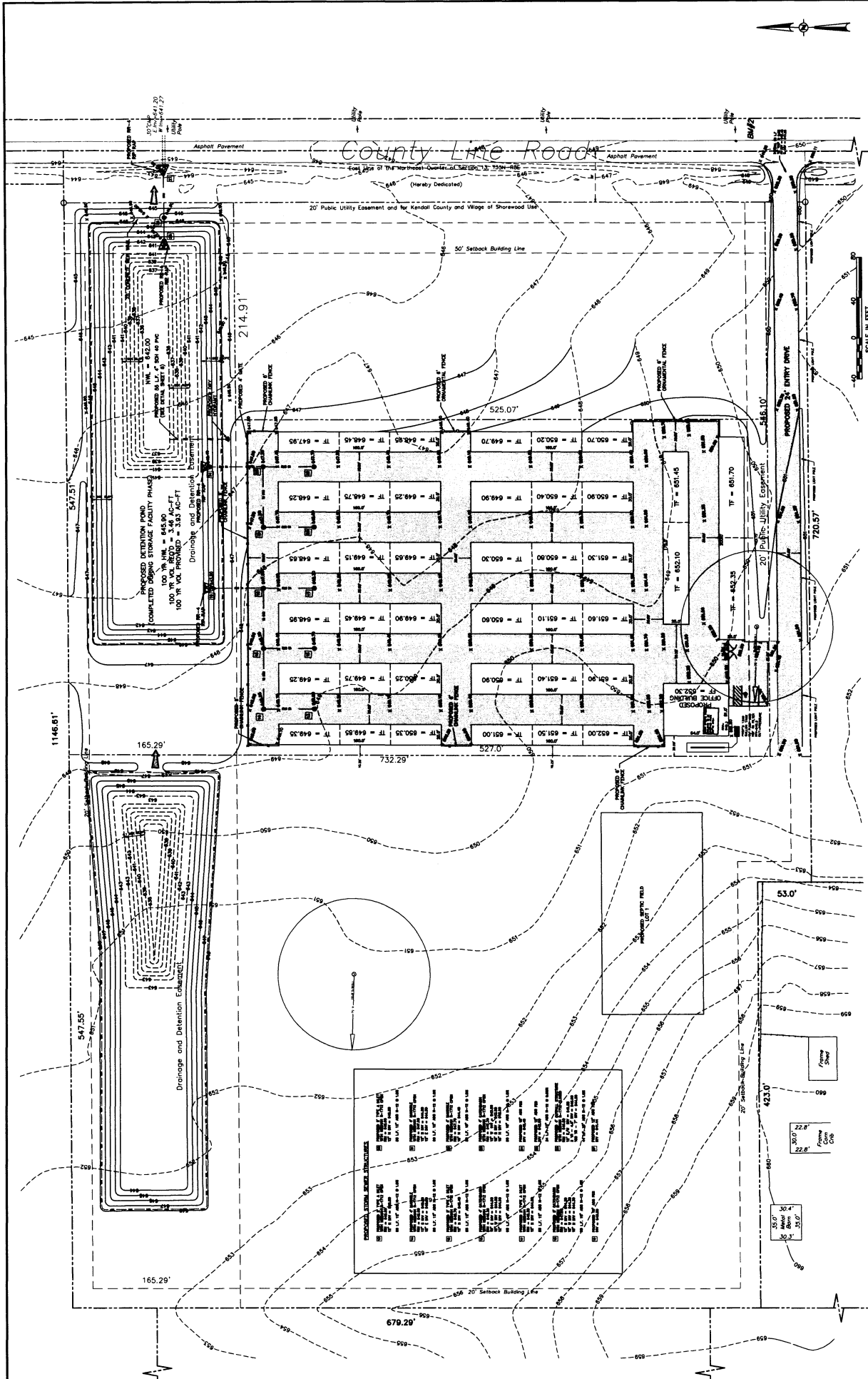
PROJECT NO. 19-447-02
SHEET NO. **5**
SCALE 1" = 40'
DATE JAN 18, 2020
OF 8 SHEETS

**FOUR SEASONS STORAGE FACILITY
OVERALL CIVIL SITE PLAN**

PREPARED FOR:
**JAMES & DENISE MAFFEO
1223 BUELL AVE, JOHNET, IL**

TEBRUGGE ENGINEERING
10 E. CHEVRETT STREET - SUITE A • SANDOZVILLE, IL 60448
PHONE: (815) 786-2155 TEBRUGGEENGINEERING.COM

SHEET C



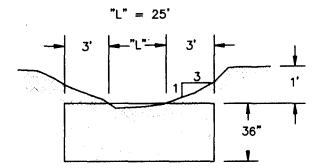
TEBRUGGE ENGINEERING
 410 E. CHEROKEE STREET - SUITE A - SANDWICH, ILL. 60588
 PHONE: 815.764.0100 - TEBRUGGEENGINEERING.COM

NO.	DATE	BY	REVISION
1	02.22.12	CLD	CLERK
2	07.10.12	CLD	REVISED TO REFLECT FIELD NOTES

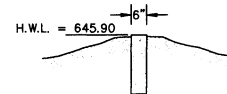
PREPARED FOR:
JAMES & DENISE MAFFEO
 1223 BUELL AVE., JOLIET, IL

PROJ. NO. 19447.02
SHEET NO. 6
SCALE 1" = 40'
DATE JAN 18, 2020
OF 8 SHEETS

**FOUR SEASONS STORAGE FACILITY
 CIVIL SITE PLAN**



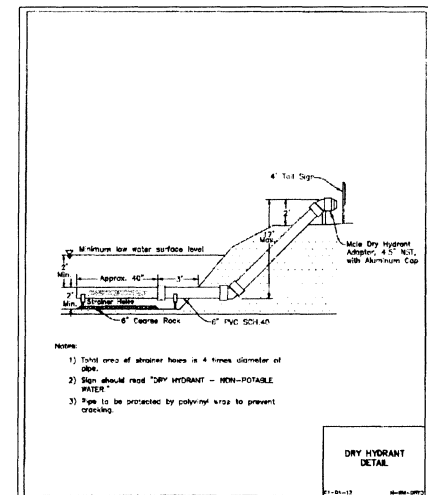
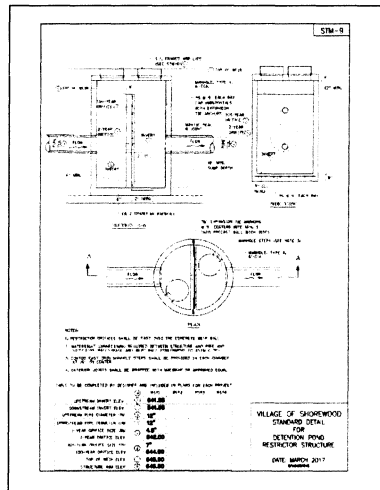
FRONT VIEW



SIDE VIEW

NOTE:
"L" IS SIZED TO PASS
100 YR EVENT WITH
ONE FOOT DEPTH OF
WATER

CONCRETE OVERFLOW DETAIL
N.T.S.



NO.	DATE	NOTES
1	3/17/18	REVISED LETTER C-11.20
2	6/24/20	SHOREWOOD REVIEW LETTER 6/18/20

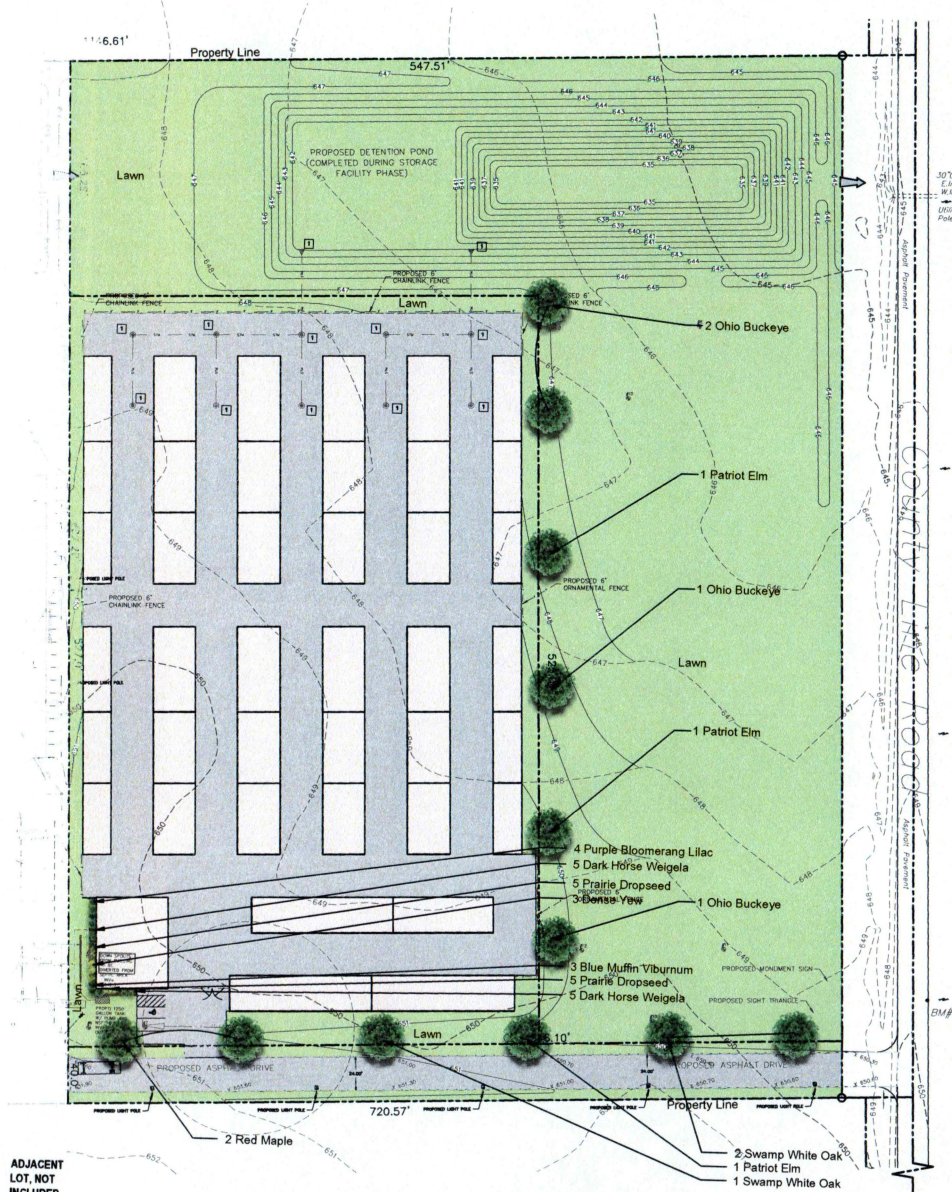
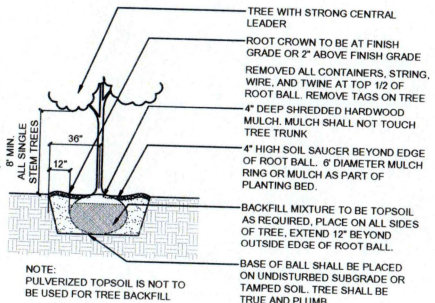
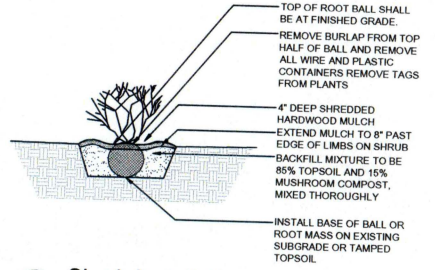


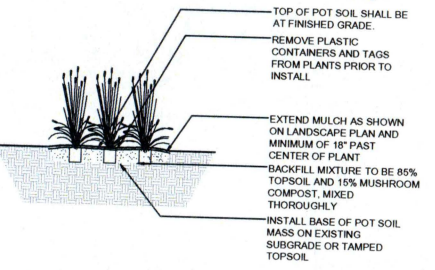
Exhibit D



1 Tree Installation
SCALE N.T.S.



2 Shrub Installation
SCALE N.T.S.



3 Perennial & Ornamental Grass Installation
SCALE 1" = 1'-0"

PLANT LIST

Shade Trees - Balled and Burlap			
Qty.	Size	Botanical Name	Common Name
2	2" cal	<i>Acer rubrum</i>	Red Maple
4	3" cal	<i>Assouline glabra</i>	Ohio Buckeye
3	3" cal	<i>Quercus bicolor</i>	Swamp White Oak
3	2" cal	<i>Ulmus 'Platanif'</i>	Patriot Elm
12	Total		

Evergreen Shrubs - Balled and Burlap or Container			
Qty.	Size	Botanical Name	Common Name
3	24" Ht. x 24" Spr.	<i>Taxus x media 'Densiformis'</i>	Dense Yew
3	Total		

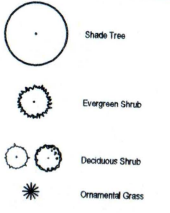
Deciduous Shrubs - Balled and Burlap or Container			
Qty.	Size	Botanical Name	Common Name
3	24" Ht. x 24" Spr.	<i>Viburnum dentatum 'Chrysan'</i>	Blue Muffin Viburnum
4	36" Ht. x 24" Spr.	<i>Syringa x Powder</i>	Purple Blooming Lilac
10	18" Ht. x 24" Spr.	<i>Weigelia x Dark Horse</i>	Dark Horse Weigela
17	Total		

Perennials, Ornamental Grasses, and Groundcovers			
Qty.	Size	Botanical Name	Common Name
10	18" cont.	<i>Sporobolus heterolepis</i>	Prairie Dropseed
10	Total		

GENERAL NOTES: LANDSCAPE

- Notes indicated on grading plans shall pertain to landscape plans. Final grade of planting beds shall be as per grading plan.
- The landscape contractor shall be responsible for making themselves familiar with all underground utilities and structures.
- All existing plant material and trees shall be saved and protected unless otherwise noted. Contractor to protect new and existing trees and landscaping from damage and shall restore all areas disturbed as a result of construction.
- Plant material shall be supplied from Northern Illinois nursery stock, shall be dug the planting season it is supplied, and shall conform to the American Association of Nurserymen's standards.
- Plant material shall be size and type specified. Substitution of plant material shall be on a case by case basis and approved in writing by the Owner's Representative. In no case shall plant material be smaller than indicated in the plans.
- Do not willfully proceed with plantings as designed when it is obvious that obstructions and/or grade differences exist that may not have been known during the design process. Such conditions shall be immediately brought to the attention of the Owner's Representative.
- All plant material shall be inspected and approved by the Owner's Representative prior to the installation of any and all plant material.
- Plant locations shall be staked in field with Owner's Rep. Final location of all plants shall be subject to approval of the Owner's Representative prior to digging any holes. The landscape contractor is responsible for providing Owner's Representative with 48 hour minimum advance notice prior to planting.
- Plants shall be watered on the day they are planted and maintained with watering until final acceptance of the project.
- Apply a pre-emergent as per manufacturer's specification prior to installing mulch. Beds and tree rings (6" diameter) shall have 2" of hardwood shredded mulch applied and a 4" deep grade edge at lawn. Trees that are not located in beds, shall have a tree ring.
- Landscape plant material shall be guaranteed for 12 months from final acceptance. Any plant 100 dead or more shall be replaced under the guarantee. Contractor to prepare landscape beds by rototilling 2" of Mushroom Compost into new beds. Do not add compost nor rototill within drip line of existing trees.
- Lawn seeding shall be under favorable weather conditions, and shall follow dates in specification.
- Turf mixes shall be installed and lawn established at all disturbed areas.
- Do not overseed into mulch beds and paving.
- Contractor shall restore all areas disturbed as a result of construction.

LEGEND



Go Pro Ball, LLC
6821 Sahara Drive
Plainfield, IL

PROJECT
Go Pro Ball Facility
NW Quadrant of Rt 52 & County Line Rd
Shorewood, Illinois

uplandDesign Ltd
Plant Planning and Landscape Architecture
24042 Lockport St, Plainfield, Illinois 60554
815-254-0091 www.uplanddesign.com

SHEET TITLE

Landscape Plan

SHEET NUMBER **L1.0**

DRAW / REVISION

T.O.L.D.	Permit Submittal	15FEB2020
DW/MB	Revision 1/Renewing	09MAR2020

Project Number 813
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ADJACENT LOT, NOT INCLUDED

Storage Unit Facility

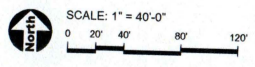
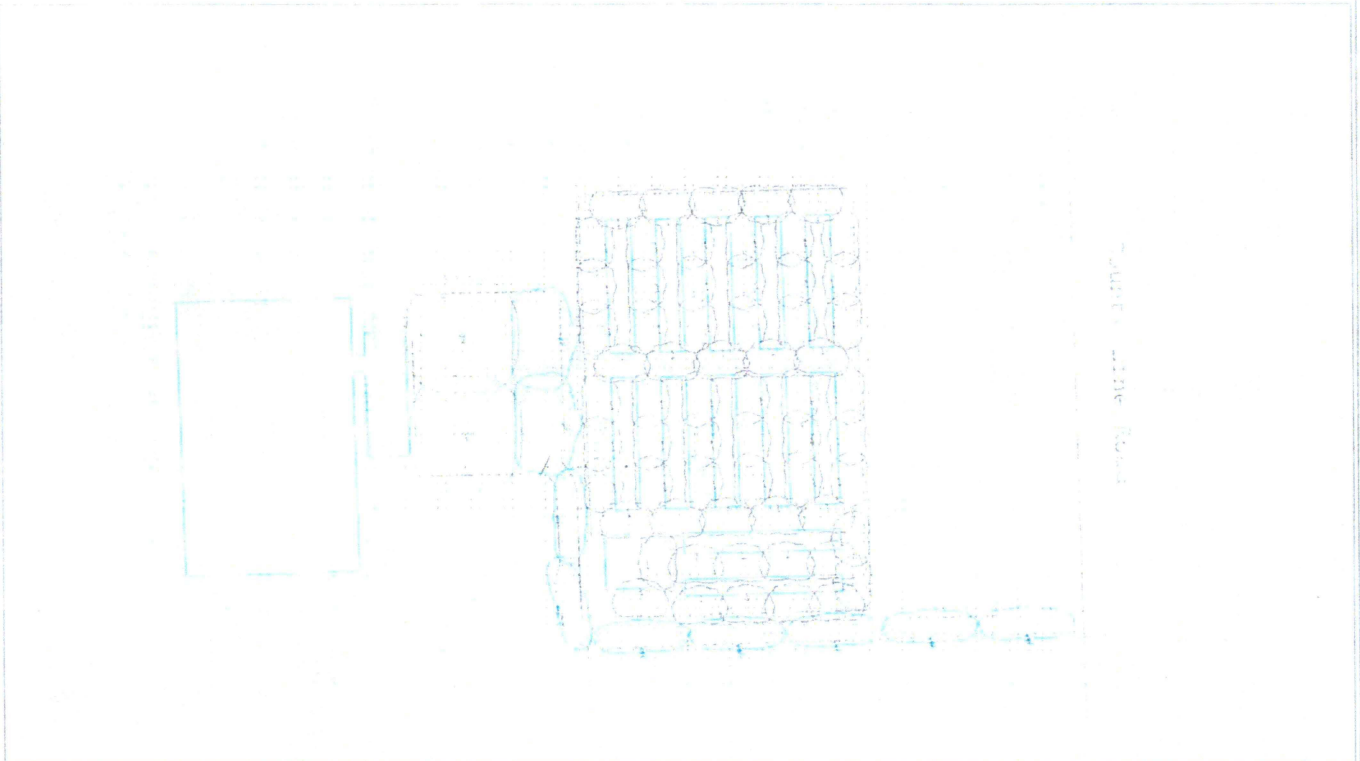


Exhibit E




Luminaire Schedule: Part numbers are provided by the manufacturer and are only intended to be used as a reference to output and optics used

Symbol	Qty	Tag	Label	Arrangement	Lum. Lumens	Air. Lum. Lumens	Beam Width	Adj. Watts	III	Description	Manufacturer
A1	2		RAP2-320L-165-47-4W	SINGLE	21480	21480	153.6	153.6	0.900	RAP2-320L-165-47-4W	HUBBELL OUTDOOR
A2	2		RAP2-320L-165-47-50W	2 @ 180 DEGREE	21976	43952	153.6	307.2	0.900	RAP2-320L-165-47-50W	HUBBELL OUTDOOR
A3	7		RAP2-320L-110-47-3-85C	SINGLE	9000	9000	196	196	0.900	RAP2-320L-110-47-3-85C	HUBBELL OUTDOOR
B	63		LNC3-244K-106-4	SINGLE	7407	7407	83.8	83.8	0.900	LNC3-244K-106-4	HUBBELL OUTDOOR

Label	Calc Type	Units	Avg	Max	Min	Avg/Min	Max/Min	Description
PROPERTY PLAZA	Illuminance	FC	0.65	7.1	0.0	N/A	N/A	READINGS & GRADE
EAST DRIVE	Illuminance	FC	2.18	3.7	0.5	4.36	7.40	READINGS & GRADE
PARKING LOT	Illuminance	FC	2.58	6.3	0.5	5.16	12.60	READINGS & GRADE
STORAGE AREA	Illuminance	FC	2.98	7.1	0.3	9.93	23.67	READINGS & GRADE

FC: Footcandle. Illuminance is neither licensed nor insured to determine code compliance. Code compliance review by others.

Item Name / Design Code	Ball (ft-cd) or Foot-candle	Ball (ft-cd) or Foot-candle	Ball (ft-cd) or Foot-candle	Ball (ft-cd) or Foot-candle	Ball (ft-cd) or Foot-candle
PROPERTY PLAZA	0.65	7.1	0.0	N/A	N/A
EAST DRIVE	2.18	3.7	0.5	4.36	7.40
PARKING LOT	2.58	6.3	0.5	5.16	12.60
STORAGE AREA	2.98	7.1	0.3	9.93	23.67



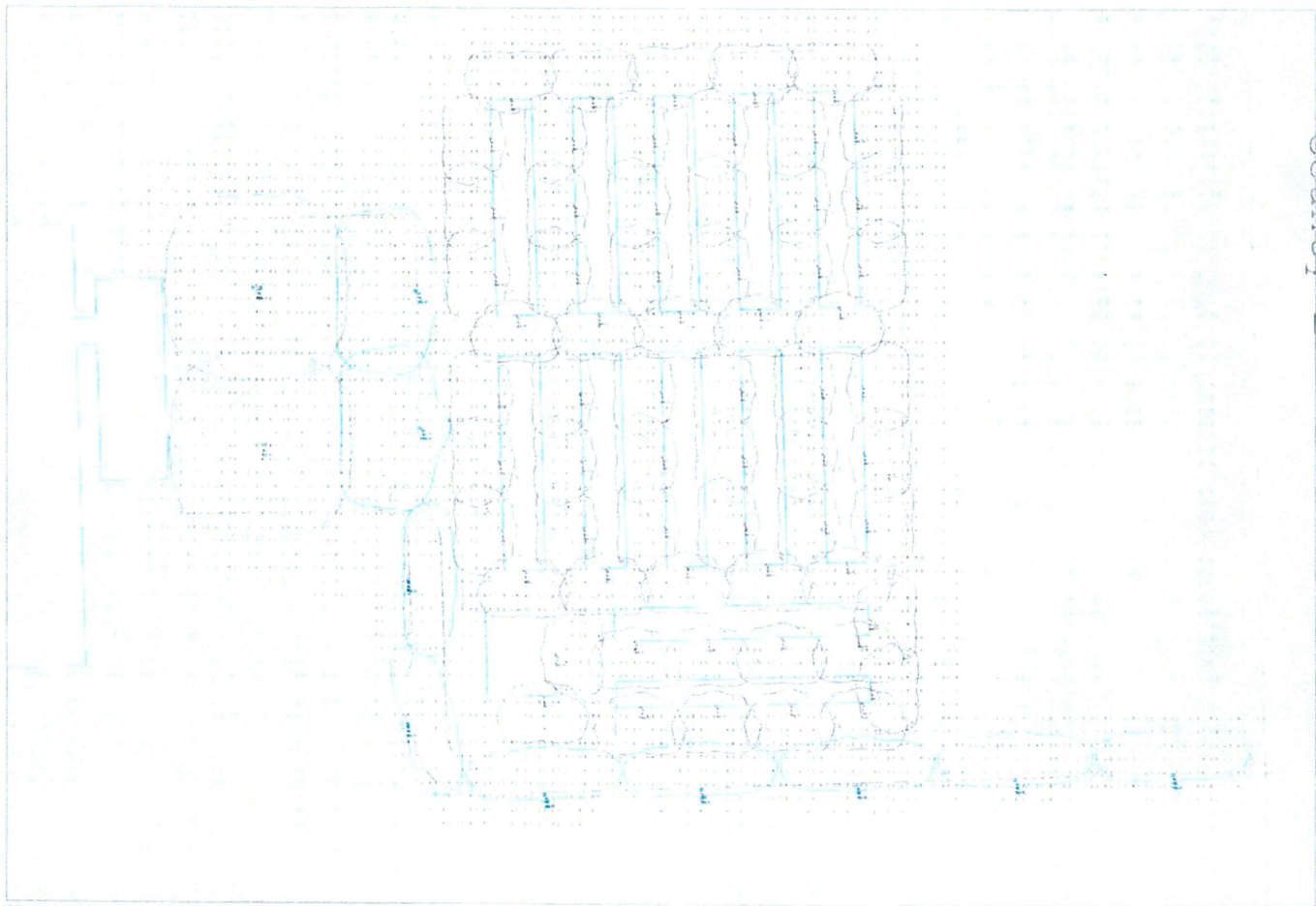
Rev	Date	Comments

Drawn By: John Collins
 Drawn Date: 10/18/2016
 Scale: Note to Scale

PROJECT NAME: **GO PRO BASEBALL SITE**
 LOCATION: **KENDAL CO. IL**

Page 1 of 3

Exhibit E



PG-Enlighten is neither licensed nor insured to determine code compliance. Code compliance review by others.

PG-Enlighten logo and project information:

PG
enlighten

Project Name: **GO PRO BASEBALL SITE**
Location: **FENDALL CO. IL**

Drawn By: **Joel Collins**
Checked By: **Joel Collins**
Date: **01/18/2017**
Scale: **1" = 40'**

Rev	Date	Comments

Revised by: _____

Page 2 of 3

Exhibit E

Luminaires Location Summary						
LumNo	Tag (Qty)	X	Y	Z	Cher#	Hr
1	1AC374.0#105.4	1104.477	1140.50	11	180	1
2	1AC374.0#105.4	1070.71	1071.50	11	180	1
3	1AC374.0#105.4	1070.43	1104.50	11	180	1
4	1AC374.0#105.4	1084.4	1114.50	11	180	1
5	1AC374.0#105.4	1050.96	1106.50	11	180	1
6	1AC374.0#105.4	1072.476	1047.50	11	180	1
7	1AC374.0#105.4	1144.474	1144.50	11	180	1
8	1AC374.0#105.4	1114.572	1106.50	11	180	1
9	1AC374.0#105.4	1114.403	1046.50	11	180	1
10	1AC374.0#105.4	1054.299	1156.50	11	180	1
11	1AC374.0#105.4	1054.64	1119.50	11	180	1
12	1AC374.0#105.4	1070.377	1054.50	11	180	1
13	1AC374.0#105.4	1124.301	1112.50	11	180	1
14	1AC374.0#105.4	1054.81	1112.50	11	180	1
15	1AC374.0#105.4	1042.33	1054.50	11	180	1
16	1AC374.0#105.4	1018.913	1133.474	11	180	1
17	1AC374.0#105.4	1070.374	1133.474	11	180	1
18	1AC374.0#105.4	1054.854	1133.474	11	180	1
19	1AC374.0#105.4	1054.66	1133.18	11	180	1
20	1AC374.0#105.4	1062.20	1127.18	11	180	1
21	1AC374.0#105.4	1113.802	1133.18	11	180	1
22	1AC374.0#105.4	1140.772	1126.951	11	180	1
23	1AC374.0#105.4	1114.800	1136.951	11	180	1
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25	1AC374.0#105.4	1200.740	1190.724	11	180	1
26	1AC374.0#105.4	1070.775	1142.724	11	180	1
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70	1AC374.0#105.4	1104.374	1112.374	11	180	1
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74	1AC374.0#105.4	1104.374	1112.374	11	180	1



Project: 17000
 Client: 17000
 Date: 11/18/2010
 User: 17000

GO PRO BASEBALL SITE
 EPENDALL CO. II

PG: enlighten is neither licensed nor insured to determine code compliance. Code compliance review by other.