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**KENDALL COUNTY**  
**ZONING AND PLATTING ADVISORY COMMITTEE**  
109 West Ridge Street • East Wing Conference Room •  
Yorkville, IL • 60560  
(630) 553-4141 Fax (630) 553-4179

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**AGENDA**

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February 2, 2021 - 9:00 a.m.

CALL TO ORDER

**ROLL CALL:** **County Board:** Scott Gengler, PBZ Committee Chair; **County Highway Department:** Fran Klaas, County Engineer; **Wills Burke Kelsey:** Greg Chismark, Stormwater Consultant; **County Health Department:** Aaron Rybski, Director Environmental Health; **Forest Preserve District:** David Guritz, Director; **SWCD:** Alyse Olson, Resource Conservationist; **Sheriff's Office:** Commander Jason Langston; **GIS:** Meagan Briganti; **PBZ:** Brian Holdiman, Code Official; Matt Asselmeier, Senior Planner

APPROVAL OF AGENDA

APPROVAL OF MINUTES: Approval of January 5, 2021 ZPAC Meeting Minutes (Pages 4-8)

PETITION:

1. **Petition 20 – 32 – Cindy Gates on Behalf of the Cindy Gates Trust and Mark Cox on Behalf of Cox Landscaping LLC (Pages 9-72)**  
Request: Map Amendment Rezoning a Portion of the Property from A-1 Agricultural District to B-3 Highway Business District and a Special Use Permit for a Landscaping Business  
PINs: 02-27-151-001 (Rezone to B-3) and 02-27-151-003 (Special Use for Landscaping Business is for Both Parcels)  
Location: 9000 Route 34, Yorkville, Bristol Township  
Purpose: Petitioner Wants To Rezone the Property to B-3 and Operate a Landscaping Business
  
2. **Petition 21 – 03 – Larry Nelson on Behalf of the L and P Nelson Trust 103 (Pages 73-107)**  
Request: Major Amendment to the Special Use Permit Granted by Ordinance 2016-21 By Expanding the Uses (Banquet Facility, Nano Brewery, Micro Distillery, Year Round Seasonal Festival with Petting Zoo, Production and Sale of Sweet Cider) Allowed by Ordinance 2016-21 and Related Variances to the Property East of Creek Road and Removing the Maximum Building Number Requirement Contained in Ordinance 2016-21  
PINs: 01-16-300-007 and 01-21-100-005  
Location: 3210 Creek Road, Plano, Little Rock Township  
Purpose: Petitioner Wants To Expand the Uses and Variances Allowed by Ordinance 2016-21 to the East Side of Creek Road and Remove the Maximum Building Number Requirement; Property is Zoned A-1 Agricultural
  
3. **Petition 21 – 04 – Oswegoland Park District (Pages 108-159)**  
Request: Site Plan Approval for Construction of an Approximately 3,426 Square Foot Addition to the Building on the Subject Property  
PINs: 03-05-253-032 and 03-05-253-034  
Location: 0 Boulder Hill Pass, Montgomery, Oswego Township  
Purpose: Petitioner Wants To Construct an Addition to the Building; Property is Zoned B-3 Highway Business District and R-7 General Residence District

REVIEW OF PETITIONS THAT WENT TO COUNTY BOARD

None

OLD BUSINESS/ NEW BUSINESS

Kendall County Regional Planning Commission Annual Meeting-February 6, 2021 at 9:00 a.m.

CORRESPONDENCE

PUBLIC COMMENT

ADJOURNMENT- Next meeting on March 2, 2021

If special accommodations or arrangements are needed to attend this County meeting, please contact the Administration Office at 630-553-4171, a minimum of 24-hours prior to the meeting time.

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# Kendall County ZPAC Committee

## 02-02-2021 Remote Meeting Attendance



In accordance with the Governor’s Executive Order 2020-07, Kendall County Board Chairman Scott Gryder is encouraging social distancing by allowing remote attendance to the **ZPAC Committee** meeting scheduled for **9:00AM on Tuesday, February 2, 2021**. Instructions for joining the meeting are listed below.

For your safety and others, please attend the meeting by phone or computer, if possible. The East Wing Conference Room at the Kendall County Historic Courthouse, 109 W. Ridge St, in Yorkville, will have limited seating available. Masks are required when social distancing is not possible. If you plan to attend in person, please follow all social distancing requirements.

If anyone from the public would like to make a comment during the meeting there will be an allotted time on the agenda for public comment, and all of the county board rules of order still apply. We will also accept public comment by emailing: [masselmeier@co.kendall.il.us](mailto:masselmeier@co.kendall.il.us). Members of the public may contact the Kendall County Planning, Building and Zoning Department prior to the meeting for assistance in making public comments at 630-553-4139; email correspondence is preferred.

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Kendall County ZPAC Meeting Information:

<https://www.co.kendall.il.us/transparency/agendas-packets-and-meetings-schedules/planning-building-and-zoning/zpac-zoning-platting-and-advisory-committee>

For information about how to join a Microsoft Teams meeting, please see the following link.

<https://support.office.com/en-us/article/join-a-meeting-in-teams-1613bb53-f3fa-431e-85a9-d6a91e3468c9>

**ZONING, PLATTING & ADVISORY COMMITTEE (ZPAC)  
January 5, 2021 – Unapproved Meeting Minutes**

PBZ Chairman Scott Gengler called the meeting to order at 9:00 a.m.

Present:

Matt Asselmeier – PBZ Department  
Scott Gengler – PBZ Committee Chair  
Brian Holdiman – PBZ Department  
Fran Klaas – Highway Department (Attended Remotely)  
Commander Jason Langston – Sheriff’s Department (Attended Remotely)  
Alyse Olson – Soil and Water Conservation District (Attended Remotely)  
Aaron Rybski – Health Department (Attended Remotely)

Absent:

Meagan Briganti – GIS  
Greg Chismark – WBK Engineering, LLC  
David Guritz – Forest Preserve

Audience:

Valarie McClain (Attended Remotely)

**AGENDA**

Mr. Holdiman made a motion, seconded by Mr. Klaas, to approve the agenda as presented.

The votes were as follows:

Yeas (7): Asselmeier, Gengler, Holdiman, Klaas, Langston, Olson, and Rybski  
Nays (0): None  
Abstain (0): None  
Absent (3): Briganti, Chismark, and Guritz

The motion carried.

**MINUTES**

Mr. Holdiman made a motion, seconded by Mr. Rybski, to approve the October 6, 2020, meeting minutes.

The votes were as follows:

Yeas (7): Asselmeier, Gengler, Holdiman, Klaas, Langston, Olson, and Rybski  
Nays (0): None  
Abstain (0): None  
Absent (3): Briganti, Chismark, and Guritz

The motion carried.

**PETITIONS**

**Petition 21-01 Rick Mason on Behalf of the Oliver-Hoffmann Foundation**

Mr. Asselmeier summarized the request.

The Oliver-Hoffmann Foundation recently purchased the former bank building located at 8225 Fox River Drive in the Village of Millbrook. They would like to construct an addition to the building using the footprint of the old bank drive-thru on the north side of building. The proposed addition would be approximately one thousand one hundred ten (1,110) square feet. The maximum height is approximately twenty feet (20’), the same as the canopy of the drive-thru.

Section 13:10 of the Zoning Ordinance requires site plan review for structures on properties zoned B-2.

Kendall County has an intergovernmental agreement with the Village of Millbrook whereby the Village uses the County’s Zoning Ordinance and County’s ZPAC to review site plans.

The application material, site plan, drawings of the addition, and aerial were provided.

ZPAC Meeting Minutes 01.05.21

The property is approximately two and a half (2.5) acres in size.

The Village of Millbrook's Comprehensive Plan calls for this property to be commercial.

Fox River Drive is a County maintained Major Collector Road and Whitfield Road is a Township maintained Major Collector Road.

The County has a trail planned along Fox River Drive.

There are no floodplains or wetlands on the property.

The adjacent land uses are agricultural and single-family residential.

The adjacent zoning districts are A-1 and R-3.

The Future Land Use Map calls for the area to be commercial and medium density residential.

Pictures of the property were provided.

The Millbrook Comprehensive Plan calls for a road connecting Fox River Drive and Whitfield Road north of the subject property.

Site plan information was sent to Fox Township on December 28, 2020.

Site plan information was sent to the Village of Shorewood on December 28, 2020.

Site plan information was sent to the Little Rock Fox Fire Protection District on December 28, 2020.

As noted in the description of use, the Petitioners wish to use the for organizations that care for people with disabilities.

The existing bank is approximately two thousand four hundred (2,400) square feet in size. The proposed addition is approximately one thousand one hundred ten (1,110) square feet in size. The addition consists of an approximately eight hundred sixty-five (865) square foot recreation room, an approximately one forty-two (142) square foot screened porch area, and a furnace area.

As noted in the drawing for the addition, the exterior of addition will be a brick veneer to match the existing bank building.

The property has been zoned B-2 since 1995.

Pursuant to Section 13:10.D of the Kendall County Zoning Ordinance, the following shall be taken into account when reviewing Site Plans:

Responsive to Site Conditions-Site plans should be based on an analysis of the site. Such site analysis shall examine characteristics such as site context; geology and soils; topography; climate and ecology; existing vegetation, structures and road network; visual features; and current use of the site. In addition to the standards listed below, petitioners must also follow the regulations outlined in this Zoning Ordinance. To the fullest extent possible, improvements shall be located to preserve the natural features of the site, to avoid areas of environmental sensitivity, and to minimize negative effects and alteration of natural features. Fragile areas such as wetlands shall flood plains should be preserved as open space. Slopes in excess of 20 percent as measured over a 10-foot interval also should remain as open space, unless appropriate engineering measures concerning slope stability, erosion and safety are taken. The subject property is already an improved commercial use. No additional impervious surface is planned. The proposed addition does not impact any natural features or vegetation. The Petitioners do not plan to remove any trees on the property or remove or add any landscaping.

Traffic and Parking Layout-Site plans should minimize dangerous traffic movements and congestion, while achieving efficient traffic flow. An appropriate number of parking spaces shall be provided while maintaining County design standards. The number of curb cuts should be minimized and normally be located as far as possible from intersections. Connections shall be provided between parking areas to allow vehicles to travel among adjacent commercial or office uses. Cross-access easements or other recordable mechanisms must be employed. The property already possesses access points off of Fox River Drive and Whitfield Road. The parking lot is already in existence and consists of sixteen (16) parking spaces and one (1) additional handicapped accessible parking space.

Conflicts between pedestrians and vehicular movements should be minimized. When truck traffic will be present upon the site, the road size and configuration shall be adequate to provide for off-street parking and loading facilities for large vehicles. Barrier curb should be employed for all perimeters of and islands in paved parking lots, as well as for all service drives, loading dock areas, and the equivalent. Parking lots in industrial or commercial areas shall be paved with hot-mix asphalt or concrete surfacing. No conflicts are foreseen. The proposed addition is located on the rear (north) side of the building.

Site Layout-Improvements shall be laid out to avoid adversely affecting ground water and aquifer recharge; minimize cut and fill; avoid unnecessary impervious cover; prevent flooding and pollution; provide adequate access to lots and sites; and mitigate adverse effects of shadow, noise, odor, traffic, drainage and utilities on neighboring properties. The proposed addition is located in the same location as the drive-thru for the bank and will be of the same height as the existing canopy of the drive-thru. No issues surrounding shadow, noise, odor, traffic, or utilities are foreseen.

Consistent with the Land Resource Management Plan-The proposed use and the design of the site should be consistent with the Land Resource Management Plan. This is true.

Building Materials-The proposed site plan design shall provide a desirable environment for its occupants and visitors as well as its neighbors through aesthetic use of materials, textures and colors that will remain appealing and will retain a reasonably adequate level of maintenance. Buildings shall be in scale with the ultimate development planned for the area. Monotony of design shall be avoided. Variations in detail, form, and setting shall be used to provide visual interest. Variation shall be balanced by coherence of design elements. Provided the property is developed as proposed, this should not be an issue because the proposed veneer of the addition will match the existing structure.

Relationship to Surrounding Development-A site shall be developed in harmony with neighboring street pattern, setbacks and other design elements. The proposed addition is in harmony with the existing use and neighboring uses.

Open Space and Pedestrian Circulation-Improvements shall be designed to facilitate convenient and safe pedestrian and bicycle movement within and to the property. This is not an issue.

Buffering-Measures shall be taken to protect adjacent properties from any undue disturbance caused by excessive noise, smoke, vapors, fumes, dusts, odors, glare or stormwater runoff. Incompatible, unsightly activities are to be screened and buffered from public view. The proposed addition should not cause any disturbances and will be located on the rear (north) side of the existing building.

Emergency Vehicle Access-Every structure shall have sufficient access for emergency vehicles. The property has access from Fox River Drive and Whitfield Road. Circulation already exists in the property for emergency vehicles.

Mechanical Equipment Screening-All heating, ventilation and air conditioning equipment shall be screened on sides where they abut residential districts. Not applicable.

Lighting-The height and shielding of lighting fixtures shall provide proper lighting without hazard to motorists on adjacent roadways or nuisance to adjacent residents by extending onto adjacent property. Cut-off lighting should be used in most locations, with fixtures designed so that the bulb/light source is not visible from general side view. There are two (2) light poles with single heads and six (6) light poles with double heads already on the property. There are also existing light fixtures on the building. The two (2) existing monument signs on the property will not be illuminated. No additional lighting is planned.

Refuse Disposal and Recycling Storage Areas-All refuse disposal and recycling storage areas should be located in areas designed to provide adequate accessibility for service vehicles. Locations should be in areas where minimal exposure to public streets or residential districts will exist. Screening shall be required in areas which are adjacent to residential districts or are within public view. Such enclosures should not be located in landscape buffers. Refuse containers and compactor systems shall be placed on smooth surfaces of non-absorbent material such as concrete or machine-laid asphalt. A concrete pad shall be used for storing grease containers. Refuse disposal and recycling storage areas serving food establishments shall be located as far as possible from the building's doors and windows. The use of chain link fences with slats is prohibited. No outdoor refuse disposal areas are planned.

Pending comments from ZPAC members, Staff recommended approval of the proposed site plan as proposed with the following conditions:

1. The site shall be developed substantial in conformance with the submitted site plan and building drawings.
2. The site shall be developed in accordance with all applicable federal, state, and local laws related to site development and the type of use proposed for the site, including, but, not limited to, securing the applicable building permits.

Mr. Rybski asked if there was a maximum occupancy intended for the proposed use. The Petitioner was not in attendance. Mr. Holdiman responded that the maximum occupancy would be thirty-five (35) people. Mr. Rybski noted that the well and septic systems will need to be evaluated as part of the change of use; the current well and septic system was designed for (4) people.

Mr. Gengler asked about the construction timeline. Mr. Holdiman responded that they wanted to start construction upon site plan approval.

Mr. Asselmeier noted that the Village of Millbrook's Comprehensive Plan and various County plans call for Millbrook Road to be extended north of the subject property. The Highway Department offered to pay for and have prepared the necessary documents for the right-of-way dedication. Mr. Asselmeier will contact the Petitioner to see if they are agreeable to this suggestion.

Mr. Klaas stopped attending the meeting remotely at this time (9:11 a.m.).

Mr. Asselmeier made a motion, seconded by Mr. Gengler, to approve the site plan as proposed with the conditions proposed by Staff and with a request to ask if the Petitioner is agreeable to the right-of-way dedication.

The votes were as follows:

Yeas (6): Asselmeier, Gengler, Holdiman, Langston, Olson, and Rybski

Nays (0): None

Abstain (0): None

Absent (4): Briganti, Chismark, Guritz, and Klaas

The motion carried.

#### **REVIEW OF PETITIONS THAT WENT TO COUNTY BOARD**

Mr. Asselmeier stated that Petition 20-01 concerning text amendments to the Zoning Ordinance pertaining to recreational vehicle parks and campgrounds passed at the County Board. Mr. Asselmeier also noted that the sale of the Hide-A-Way Lakes Campground had closed. If the new owner wanted to pursue changes to the special use permit, the new regulations would apply to that application.

Mr. Asselmeier stated that Petition 20-23, vacating certain easements on lots 35, 36, and 37 in Grove Estates passed at the County Board.

Mr. Asselmeier reported that Petitions 20-24 and 20-25 concerning Grainco FS' property on Wabena Avenue passed at the County Board.

#### **OLD BUSINESS/NEW BUSINESS**

Mr. Asselmeier reported that the Kendall County Regional Planning Commission's Annual Meeting is Saturday, February 6, 2021, at 9:00 a.m.

Mr. Klaas returned to the meeting by remote attendance at this time (9:14 a.m.).

#### **CORRESPONDENCE**

None

#### **PUBLIC COMMENT**

None

**ADJOURNMENT**

Mr. Holdiman made a motion, seconded by Commander Langston, to adjourn.

The votes were as follows:

Yeas (6): Asselmeier, Gengler, Holdiman, Langston, Olson, and Rybski

Nays (0): None

Abstain (1): Klaas

Absent (3): Briganti, Chismark, and Guritz

The motion carried.

The ZPAC, at 9:16 a.m., adjourned.

Respectfully Submitted,  
Matthew H. Asselmeier, AICP, CFM  
Senior Planner





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**DEPARTMENT OF PLANNING, BUILDING & ZONING**

111 West Fox Street • Room 203

Yorkville, IL • 60560

(630) 553-4141

Fax (630) 553-4179

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**Petition 20-32**

**Cindy Gates on Behalf of the Cindy Gates Trust and  
Mark Cox on Behalf of Cox Landscaping, LLC  
Map Amendment Rezoning a Portion of Property from A-1 to B-3  
Special Use Permit for Landscaping Business**

**INTRODUCTION**

Cindy Gates, on behalf of the Cindy Gates Trust, currently leases the subject property to Mark Cox of Cox Landscaping, LLC for use as a landscaping business.

Prior to the COVID-19 closures, the County received a complaint that a landscaping business was operating at the subject property without proper zoning. Efforts to determine if the use qualified for grandfathering were unsuccessful and the Petitioner decided to pursue a map amendment and special use permit. The COVID-19 closures and efforts to obtain stormwater information caused the application to be delayed.

The subject property is split zoned between A-1 and B-3. The request makes the entire frontage of the parcels B-3 and establishes a special use permit for a landscaping business over the area zoned B-3.

The application materials are included as Attachment 1. The aerial of the site portion of the property is included as Attachment 2. The site plan is included as Attachment 3. The plat of the area proposed for rezoning only is included as Attachment 4.

**SITE INFORMATION**

**PETITIONERS:** Cindy Gates on Behalf of the Cindy Gates Trust and Mark Cox on Behalf of Cox Landscaping LLC

**ADDRESS:** 9000 Route 34, Yorkville

**LOCATION:** Southeast Side of Route 34 Approximately 175 Feet Northeast of Tuma Road



TOWNSHIP: Bristol

PARCEL #s: Part 02-27-151-001 Rezone A-1 to B-3 Special Use  
Part 02-27-151-003 Rezone A-1 and B-3 to B-3 Special Use

LOT SIZE: Subject Area is 2.46 +/- Acres (Total of Both Parcels is 8.6 +/- Acres)

EXISTING LAND USE: Landscaping Business

ZONING: A-1 and B-3

LRMP: Future Land Use	Suburban Residential (1.00 DU/Acre) (County) Agricultural (Yorkville)
Roads	Route 34 is a State maintained arterial.
Trails	There is a trail planned along Route 34.
Floodplain/ Wetlands	There are no floodplains or wetlands on the property.

REQUESTED ACTIONS: Map Amendment Rezoning Property to B-3 Highway Business District  
Special Use Permit for a Landscaping Business

APPLICABLE REGULATIONS: Section 13:07 – Map Amendment Procedures  
Section 13:08 – Special Use Procedures

**SURROUNDING LAND USE**

Location	Adjacent Land Use	Adjacent Zoning	Land Resource Management Plan	Zoning within 1/2 Mile
North	Agricultural	Planned Development B-3 and O (Yorkville)	Suburban Neighborhoods (Yorkville)	A-1 (County)  Planned Development B-3 and O (Yorkville)
South	Commercial	R-3 and B-3	Suburban Residential (Max 1.00 DU/Acre)	R-3 and B-3 (County)  R-2 and Open Space-2 (Yorkville)
East	Agricultural	A-1	Suburban Residential	A-1, A-1 BP, and R-3

West

Agricultural

Planned  
Development  
B-3 and O

Mid-Density Residential  
(Yorkville)

R-3 and B-3  
(County)

Planned  
Development B-3  
and O and B-3  
(Yorkville)

Pictures of the property are included as Attachments 5-12.

Four residential subdivisions are located within one half (1/2) mile of the subject property.

**PHYSICAL DATA**

**ENDANGERED SPECIES REPORT**

EcoCAT Report submitted and found the Fox River INAI Site, Yorkville Forested Seep and Fen INAI Site, and the River Redhorse in the area. Adverse impacts were unlikely and consultation was terminated, see Attachment 1, Pages 12-14.

**NATURAL RESOURCES INVENTORY**

The LESA Score was 115 indicating a low level of protection, see Attachment 14.

**ACTION SUMMARY**

**BRISTOL TOWNSHIP**

The Petitioners appeared before the Bristol Township Board on February 5, 2020, prior to submitting an application with the County. The Bristol Township Board voted in favor of the request. The minutes of this meeting are included as Attachment 13. Petition information was sent to Bristol Township on January 20, 2021.

**UNITED CITY OF YORKVILLE**

Petition information was sent to the United City of Yorkville on January 20, 2021.

**BRISTOL-KENDALL FIRE PROTECTION DISTRICT**

Petition information was sent to the Bristol-Kendall Fire Protection District on January 20, 2021.

**GENERAL INFORMATION**

The subject property has been used as a landscaping business without proper zoning for many years and the Petitioners would like to become compliant with the Zoning Ordinance.

**BUSINESS OPERATIONS**

According to the business plan found on page 4 of Attachment 1, Cox Landscaping, LLC provides general landscaping services to commercial and residential customers. The business has a maximum fifteen (15) employees. Employees arrive at the property at approximately 6:45 a.m., go to work sites, and return to the property by 5:30 p.m. The business operates at maximum capacity from April 1<sup>st</sup> through Thanksgiving. A smaller number of employees work for the business from November through April.

The subject property is used for offices and storage of landscaping materials.

The subject property is used for wholesale purposes only; no customers come onto the property.

**BUILDINGS AND BUILDING CODES**

The property presently consists of one (1) one thousand thirty (1,030) square foot steel building. An approximately fifty-three (53) square foot metal shed is located northeast of the steel building. A metal storage bin is located to the southeast of the steel building. An approximately one hundred twenty (120) square foot frame shed is also located southeast of the steel building. A new shed is shown on the site plan; the new shed will be approximately eight feet (8') tall. Any new structures would require applicable building permits.

The property also has one (1) two hundred fifty-two (252) square foot concrete storage area, one (1) two

hundred sixteen (216) square foot concrete storage area, one (1) seven hundred fourteen (714) square foot concrete storage area, and one (1) five hundred forty-four (544) square foot wood storage bay. The height of the storage areas is twelve feet (12').

One (1) diesel tank is located on the property.

### **ENVIRONMENTAL HEALTH**

The property is served by well. There is no septic on the premises.

### **STORMWATER**

The property drains to the southeast.

The main parking area consists of gravel and crushed asphalt.

A pulverized black dirt pile will be located on the northern portion of the property.

A stormwater management permit will be required. The stormwater information is included in Attachment 3.

### **ACCESS**

The property has two accesses off of Route 34.

### **PARKING AND INTERNAL TRAFFIC CIRCULATION**

One (1) two thousand five hundred (2,500) square foot gravel parking area is located west of the steel building and one (1) five thousand (5,000) square foot parking lot is located north of the steel building. There are twelve (12) parking spaces in the gravel parking area west of the steel building with an additional twelve (12) parking spaces to the east of the steel building.

### **LIGHTING**

Lights are presently located on the property by the sign, flagpole, and on the steel building. One (1) freestanding light is also located on the property next to the steel building. No additional is planned.

The site has less than thirty (30) parking spaces. Therefore, a photometric plan is not required.

### **SIGNAGE**

A sign is already located on the property. The sign is five feet (5') wide and two feet (2') tall. The sign is three point eight feet (3.8') off of the ground for a total height of slightly under six feet (6'). A light exists next to the sign and flagpole.

### **SECURITY**

A wooden fence six feet (6') in height is located between the steel building and the berm. The Petitioners plan to install a cyclone mesh fence with slats to prevent viewing by the public. The fence will be approximately six feet (6') in height. A new fence gate is visible on the site plan.

Security cameras are also located on the steel building.

### **LANDSCAPING**

The Petitioners also plan to have a three foot (3') maximum height berm with black dirt and mulch with landscaping in the location shown on the site plan.

A berm already exists parallel to Route 34.

No additional plantings are planned for either berm.

### **NOISE CONTROL**

No information was provided regarding noise control.

### **ODORS**

No new odors are foreseen by the proposed use.

**RELATION TO OTHER SPECIAL USES**

If approved, this would be the twelfth (12<sup>th</sup>) special use permit for a landscaping business in unincorporated Kendall County.

**RECOMMENDATION**

Before issuing a recommendation, Staff would like comments from the United City of Yorkville, the Bristol-Kendall Fire Protection District, and ZPAC members.

**ATTACHMENTS**

1. Application Materials (Including Petitioner's Findings of Fact, NRI Application, and EcoCat)
2. Aerial
3. Site Plan
4. Rezoning Area
5. Main Building
6. Existing Berm
7. Existing Berm 2
8. Pulverized Dirt Area
9. Sign
10. Looking North
11. Looking Across Route 34
12. Southwest Side of Property
13. February 5, 2020 Bristol Township Minutes
14. NRI Report



**DEPARTMENT OF PLANNING, BUILDING & ZONING**

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 (630) 553-4141 Fax (630) 553-4179

**APPLICATION**

PROJECT NAME Cox Landscaping

FILE # \_\_\_\_\_

<b>NAME OF APPLICANT</b> Cox Landscaping, LLC		
<b>CURRENT LANDOWNER/NAME(s)</b> Cindy Gates Trust		
<b>SITE INFORMATION</b>	<b>SITE ADDRESS OR LOCATION</b>	<b>ASSESSOR'S ID NUMBER (PIN)</b>
ACRES 2.4613	9000 Route 34, Yorkville, IL 60560	part of 02-27-151-003
<b>EXISTING LAND USE</b> Landscaping Business	<b>CURRENT ZONING</b>	<b>LAND CLASSIFICATION ON LRMP</b>
<b>REQUESTED ACTION (Check All That Apply):</b>		
<input type="checkbox"/> SPECIAL USE	<input checked="" type="checkbox"/> MAP AMENDMENT (Rezone to _____)	<input type="checkbox"/> VARIANCE
<input type="checkbox"/> ADMINISTRATIVE VARIANCE	<input type="checkbox"/> A-1 CONDITIONAL USE for: _____	<input type="checkbox"/> SITE PLAN REVIEW
<input type="checkbox"/> TEXT AMENDMENT	<input type="checkbox"/> RPD ( <input type="checkbox"/> Concept; <input type="checkbox"/> Preliminary; <input type="checkbox"/> Final)	<input type="checkbox"/> ADMINISTRATIVE APPEAL
<input type="checkbox"/> PRELIMINARY PLAT	<input type="checkbox"/> FINAL PLAT	<input type="checkbox"/> OTHER PLAT (Vacation, Dedication, etc.)
<input type="checkbox"/> AMENDMENT TO A SPECIAL USE ( <input type="checkbox"/> Major, <input type="checkbox"/> Minor)		
<b><sup>1</sup>PRIMARY CONTACT</b> Dnaiel J. Kramer	<b>PRIMARY CONTACT MAILING ADDRESS</b> 1107A S. Bridge St., Yorkville, IL 60560	<b>PRIMARY CONTACT EMAIL</b> dkramer@dankramerlaw.com
<b>PRIMARY CONTACT PHONE #</b> 630-553-9500	<b>PRIMARY CONTACT FAX #</b> 630-553-5764	<b>PRIMARY CONTACT OTHER # (Cell, etc.)</b>
<b><sup>2</sup>ENGINEER CONTACT</b> NONE	<b>ENGINEER MAILING ADDRESS</b>	<b>ENGINEER EMAIL</b>
<b>ENGINEER PHONE #</b>	<b>ENGINEER FAX #</b>	<b>ENGINEER OTHER # (Cell, etc.)</b>
I UNDERSTAND THAT BY SIGNING THIS FORM, THAT THE PROPERTY IN QUESTION MAY BE VISITED BY COUNTY STAFF & BOARD/ COMMISSION MEMBERS THROUGHOUT THE PETITION PROCESS AND THAT THE PRIMARY CONTACT LISTED ABOVE WILL BE SUBJECT TO ALL CORRESPONDANCE ISSUED BY THE COUNTY.		
I CERTIFY THAT THE INFORMATION AND EXHIBITS SUBMITTED ARE TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND THAT I AM TO FILE THIS APPLICATION AND ACT ON BEHALF OF THE ABOVE SIGNATURES.		
<b>SIGNATURE OF APPLICANT</b> [Redacted Signature] DATE <u>9/14/2022</u>		

FEE PAID: \$ \_\_\_\_\_

CHECK #: \_\_\_\_\_

<sup>1</sup>Primary Contact will receive all correspondence from County

<sup>2</sup>Engineering Contact will receive all correspondence from the County's Engineering Consultants

MAP AMENDMENT FINDINGS OF FACT

1. Existing Uses: The existing uses on Route 34 and adjacent to the property are primarily business, manufacturing, and retail in usage. To the east and south there is an area of agricultural row crop farmland and substantially to the southwest an area of residential.
2. Zoning Classification: The area surrounding the subject parcel is a mix of business zonings, agricultural zonings, and residential zoning to the southwest.
3. Suitability: The area that is being zoned B-3 Special Use from existing A-1 Agricultural Uses just even out the boundary of the existing B-3 Property that has been used as a nursery, retail garden sales center, and related businesses for the past 30 years or more.
4. Trend of Development: The trend in development along Route 34 is towards commercial, light manufacturing, and retail.
5. The landscape company is consistent with current the LRMP and has been an existing use at this property for over 30 years.

SPECIAL USE FINDINGS OF FACT

1. The subject property has been operated as a nurse/landscaping business with the current Owner and her former husband and then a subsequent tenant for over the last 20 years.
2. The proposed use does not vary from prior uses on the property and will contain a fenced area for storage of outdoor equipment.

Petitioner is further creating a landscape buffer at the front of the property which will dress up its appearance on Route 34.

3. The subject property is adequate in terms of utility use. There is no office so no need for waste facilities in that the building located at the property, as it is simply used for dry storage. The primary purpose of establishing the Special Use is to continue to allow the equipment used in the landscaping and dirt shredding business to be stored on-site in conformance with Kendall County Zoning Ordinances. There is adequate access to Illinois State Route 34 which is a Class II Highway.
4. Petitioner will comply with all conditions of the proposed Special Use including adequate fencing in conformity with County Ordinance.
5. The Special Use requested is consistent with the County Comprehensive Plan in that the property is zoned B-3 for Business/Commercial Uses and the use now being conducted on the property conforms to what was present for the last many years other than there are not retail or wholesales being done on-site which previously took place.



## COX LANDSCAPING BUSINESS PLAN

The overall Business Plan of Cox Landscaping is to continue its long-standing business providing general landscaping services to commercial and residential owners and operators.

At peak employment times the Petitioner will have 15 employees. The hours of operation on-site where employees are coming and going is from approximately 6:45 am when some of the employees arrive at the site to go to various jobs and start work at 7:00 am and they usually conclude work at 5:00 pm and bring whatever equipment that needs to come back to the business site back within a half an hour of the 5:00 pm quit time. Generally speaking the landscaping services run from April 1<sup>st</sup> through around Thanksgiving of each calendar year.

We have small number of employees that work for us during the winter months of November through April to provide snowplowing services as needed.

Scope of Work: Landscaping, mowing, brick and concrete patio/landscaping treatments. Delivery of mulch and rock in conjunction with landscaping services as well as tree removal, trimming, and pulverized dirt being delivered to sites in conjunction with the landscaping business.

North and east of the building we have dirt pile which is dirt taken from jobs and reconditioned through a screener to eliminate clay and rocks and then reused on-site. The pulverized dirt coming out of the screener is used on company jobs.

## LEGAL DESCRIPTION OF TRACT TO BE REZONED:

That Part of Lots 4 and 5 of Baker's Subdivision of Section 27 and 28, Township 37 North, Range 7 East of the Third Principal Meridian described as follows: Commencing at the Southwest Corner of Lot 5 at Baker's Subdivision for a point of beginning; thence South 66°01'56" East along the Southwesterly Line of said Lot 5, 410.0 feet; thence North 23°58'04" East, 352.76 feet to a line that is parallel with and 15.0 feet Southwest of the Northeasterly Line of Lot 4 of Baker's Subdivision; thence North 65°51'43" East along said parallel line, 197.16 feet to the Southeast Line of U.S. Route 34; thence South 55°01'49" West along said Southeasterly Line, 412.51 feet to the point of beginning, in Bristol Township, Kendall County, Illinois.

---



201600001532

DEBBIE GILLETTE  
KENDALL COUNTY, IL

RECORDED: 2/2/2016 9:55 AM  
MCD: 49.00 RHPG FEE: 16.00  
PAGES: 4

**QUIT CLAIM DEED**  
**(Individuals to Trust)**

THE GRANTOR, CINDY S GATES, formerly known as CINDY S PULFER, a married woman, of 9498 2190 East Street, Princeton, County of Bureau, and State of Illinois, for and in consideration of TEN and NO/100ths DOLLARS (\$10 00), in hand paid, CONVEYS AND QUIT CLAIMS to CINDY S GATES, a married woman, of 9498 2190 East Street Princeton, County of Bureau, and State of Illinois, NOT INDIVIDUALLY, BUT AS TRUSTEE OF THE CINDY S GATES TRUST DATED NOVEMBER 6, 2009, all interest in the following-described real estate situated in the County of Kendall, in the State of Illinois, to wit

SEE ATTACHED LEGAL DESCRIPTION

hereby releasing and waiving all rights under and by virtue of the Homestead Exemption Laws of the State of Illinois

I hereby declare that this deed represents a transaction exempt under the provisions of 35 ILCS 200/31-45(e) of the Real Estate Transfer Tax Act.

Dated:

1/22/16

Buyer/Seller/Representative

Permanent Real Estate Index Numbers: 02-27-151-003

Address of Real Estate: 9000 US Route 34, Yorkville, Illinois 60560

Grantor represents that this property is non-homestead property

DATED this 22 day of January, 2016.

Cindy S Gates

Instrument prepared by Richard C Slocum, Attorney at Law,

State of Illinois )  
 ) SS  
County of Kane )

I, the undersigned, a Notary Public in and for said County, in the State aforesaid, DO HEREBY CERTIFY that Cindy S Gates, formerly Cindy S Pulfer, personally known to me to be the same person whose name is subscribed to the foregoing instrument, appeared before me this day in person and acknowledged that she signed, sealed and delivered the said instrument as her free and voluntary act, for the uses and purposes therein set forth, including the release and waiver of the right of homestead

Given under my hand and official seal this 22 day of January, 2016.

[Redacted Signature]

Notary Public

Commission expires



Unofficial Copy

Tax bills to

Cindy S Gates Trust  
Cindy S Gates, Trustee

[Redacted Address]

Mail to

Richard C Slocum  
Attorney at Law

[Redacted Address]

RECORDER OF KENDALL COUNTY

AFFIDAVIT - PLAT ACT

STATE OF ILLINOIS )  
 ) SS  
COUNTY OF KENDALL )

Cindy S Gates, being duly sworn on oath, states that she resides at 9498 2190 East Street, Princeton, Illinois 61356-8773

That the attached deed is not in violation of Paragraph 205/1 of Chapter 765 of the Illinois Compiled Statutes for one of the following reasons

- 1 The sale or exchange is of an entire tract of land not being a part of a larger tract of land
- 2 The division or subdivision of land is into parcels or tracts of 5 acres or more in size which does not involve any new streets or easements of access
- 3 The division is of lots or blocks of less than 1 acre in any recorded subdivision which does not involve any new streets or easements of access
- 4 The sale or exchange of parcels of land is between owners of adjoining and contiguous land
- 5 The conveyance is of parcels of land or interests therein for use as right-of-way for railroads or other public utility facilities which does not involve any new streets or easements of access
- 6 The conveyance is of land owned by a railroad or other public utility which does not involve any new streets or easements of access
- 7 The conveyance is of land for highway or other public purpose, or grants or conveyances relating to the dedication of land for public use or instruments relating to the vacation of land impressed with a public use
- 8 The conveyance is made to correct descriptions in prior conveyances
- 9 The sale or exchange is of parcels or tracts of land following the division into no more than two parts of a particular parcel or tract of land existing on July 17, 1959, and not involving any new streets or easements of access
- 10 The sale is of a single lot of less than 5 acres from a larger tract, the dimensions and configuration of said larger tract having been determined by the dimensions and configuration of said larger tract on October 1, 1973, and no sales prior to this sale of any lot or lots from said larger tract having taken place since October 1, 1973, and a survey of said single lot having been made by a registered land surveyor

CIRCLE NUMBER ABOVE WHICH IS APPLICABLE TO THE ATTACHED DEED

Affiant further states that she makes this Affidavit for the purpose of inducing the Recorder of Kane County, Illinois, to accept the attached deed for recording, and that all local requirements applicable to the subdivision of land are met by the attached deed and the tract described therein

[Redacted Signature]

Cindy S Gates

Subscribed and sworn to before me this

[Redacted Notary Name]

Notary Public



**LEGAL DESCRIPTION**

That part of Lot 5 of Baker's Subdivision in Sections 27 and 28, Township 37 North, Range 7 East of the Third Principal Meridian, described as follows Beginning at a point on the Southerly line of said Lot 5, 54 43 feet Southeasterly from the Northwesterly corner of Lot 1 of Batson's Subdivision in said Section 27, thence North 66 degrees, 30 minutes, 0 seconds West along the Southerly line of said Lot 5, 1275 97 feet to the Southeasterly line of U S Route 34, thence North 54 degrees, 49 minutes, 30 seconds East along said Southeasterly line 210 64 feet to the Northerly line of said Lot 5, thence South 66 degrees, 22 minutes, 07 seconds East along said Northerly line 1166 41 feet to a line drawn North 23 degrees, 30 minutes, 0 seconds East from the point of beginning, thence South 23 degrees, 30 minutes, 0 seconds West 177 26 feet to the point of beginning, in the Township of Bristol, Kendall County, Illinois

Unofficial

KENDALL COUNTY  
DISCLOSURE OF BENEFICIARIES FORM

1. Applicant Cindy Gates Trust  
Address [REDACTED]  
City [REDACTED] State [REDACTED] Zip [REDACTED]

2. Nature of Benefit Sought Special Use to operate Landscaping Business

3. Nature of Applicant: (Please check one)  
 Natural Person (a)  
 Corporation (b)  
 Land Trust/Trustee (c)  
 Trust/Trustee (d)  
 Partnership (e)  
 Joint Venture (f)

4. If applicant is an entity other than described in Section 3, briefly state the nature and characteristics of the applicant:

N/A

5. If your answer to Section 3 you have checked letter b, c, d, e, or f, identify by name and address each person or entity who is a 5% shareholder in case of a corporation, a beneficiary in the case of a trust or land trust, a joint venture in the case of a joint venture, or who otherwise has proprietary interest, interest in profits and losses or right to control such entity:

NAME	ADDRESS	INTEREST
Cindy Gates	[REDACTED]	

6. Name, address, and capacity of person making this disclosure on behalf of the applicant:

[REDACTED]

VERIFICATION

I, [REDACTED], being first duly sworn under oath that I am the person making this disclosure on behalf of the applicant, that I am duly authorized to make the disclosure, that I have read the above and foregoing Disclosure of Beneficiaries, and that the statements contained therein are true in both substance and fact.

Subscribed and sworn to before me this 30th day of December, A.D. 2019

(seal)



[REDACTED]  
Notary Public



7775A Route 47, Yorkville, Illinois 60560 • (630)553-5821 extension 3

www.kendallswcd.org

NATURAL RESOURCE INFORMATION (NRI) REPORT APPLICATION

Petitioner: Cox Landscaping, LLC

Contact Person: Attorney Daniel J. Kramer

Address: 9000 Route 34

City, State, Zip: Yorkville, IL 60560

Phone Number:

Email:

Please select: How would you like to receive a copy of the NRI Report? [X] Email [ ] Mail

Site Location & Proposed Use

Township Name Bristol

Township 27 N, Range 37 E, Section(s) 7

Parcel Index Number(s) 02-27-151-003 + 02-27-151-001 (front part of each pin)

Project or Subdivision Name Cox Landscaping

Number of Acres 2.5 acres

Current Use of Site Landscaping Business

Proposed Use Landscaping Business

Proposed Number of Lots 1

Proposed Number of Structures existing 1

Proposed Water Supply existing well

Proposed type of Wastewater Treatment existing septic

Proposed type of Storm Water Management N/A

Type of Request

- Change in Zoning from to
Variance (Please describe fully on separate page)
Special Use Permit (Please describe fully on separate page)

Name of County or Municipality the request is being filed with: Kendall County PB & Z

In addition to this completed application form, please including the following to ensure proper processing:

- Plat of Survey/Site Plan - showing location, legal description and property measurements
Concept Plan - showing the locations of proposed lots, buildings, roads, stormwater detention, open areas, etc.
If available: topography map, field tile map, copy of soil boring and/or wetland studies
NRI fee (Please make checks payable to Kendall County SWCD)

The NRI fees, as of July 1, 2010, are as follows:

Full Report: \$375.00 for five acres and under, plus \$18.00 per acre for each additional acre or any fraction thereof over five.
Executive Summary Report: \$300.00 (KCSWCD staff will determine when a summary or full report will be necessary.)

Table with 2 columns: Description, Amount. Rows: Fee for first five acres and under (\$ 375.00), Additional Acres at \$18.00 each (\$), Total NRI Fee (\$ 375.00)

NOTE: Applications are due by the 1st of each month to be on that month's SWCD Board Meeting Agenda. Once a completed application is submitted, please allow 30 days for inspection, evaluation and processing of this report.

I (We) understand the filing of this application allows the authorized representative of the Kendall County Soil and Water Conservation District (SWCD) to visit and conduct an evaluation of the site described above. The completed NRI report expiration date will be 3 years after the date reported.

Petitioner or Authorized Agent

Date 12-30-14

This report will be issued on a nondiscriminatory basis without regard to race, color, religion, national origin, age, sex, handicap or marital status.

FOR OFFICE USE ONLY

NRI# Date Initially rec'd Date all rec'd Board Meeting
Fee Due \$ Fee Paid \$ Check # Over/Under Payment Refund Due





**Applicant:** Cox Landscaping  
**Contact:** Daniel J. Kramer  
**Address:** 9000 Route 34  
Yorkville, IL 60560

**IDNR Project Number:** 2006051  
**Date:** 01/30/2020

**Project:** Cox Landscaping  
**Address:** 9000 Route 34, Yorkville

**Description:** To operate landscaping company at an existing location

### Natural Resource Review Results

#### Consultation for Endangered Species Protection and Natural Areas Preservation (Part 1075)

The Illinois Natural Heritage Database shows the following protected resources may be in the vicinity of the project location:

- Fox River INAI Site
- Yorkville Forested Seep And Fen INAI Site
- River Redhorse (*Moxostoma carinatum*)

**An IDNR staff member will evaluate this information and contact you to request additional information or to terminate consultation if adverse effects are unlikely.**

#### Location

The applicant is responsible for the accuracy of the location submitted for the project.

**County:** Kendall

**Township, Range, Section:**

37N, 7E, 27

37N, 7E, 28



#### **IL Department of Natural Resources**

##### **Contact**

Adam Rawe  
217-785-5500  
Division of Ecosystems & Environment

#### **Government Jurisdiction**

Kendall County Planning, Building, and Zoning  
Matt Asselmeier  
111 W Fox Street  
Yorkville, Illinois 60560

#### **Disclaimer**

The Illinois Natural Heritage Database cannot provide a conclusive statement on the presence, absence, or condition of natural resources in Illinois. This review reflects the information existing in the Database at the time of this inquiry, and should not be regarded as a final statement on the site being considered, nor should it be a substitute for detailed site surveys or field surveys required for environmental assessments. If additional protected resources are encountered during the project's implementation, compliance with applicable statutes and regulations is required.

IDNR Project Number: 2006051

### **Terms of Use**

By using this website, you acknowledge that you have read and agree to these terms. These terms may be revised by IDNR as necessary. If you continue to use the EcoCAT application after we post changes to these terms, it will mean that you accept such changes. If at any time you do not accept the Terms of Use, you may not continue to use the website.

1. The IDNR EcoCAT website was developed so that units of local government, state agencies and the public could request information or begin natural resource consultations on-line for the Illinois Endangered Species Protection Act, Illinois Natural Areas Preservation Act, and Illinois Interagency Wetland Policy Act. EcoCAT uses databases, Geographic Information System mapping, and a set of programmed decision rules to determine if proposed actions are in the vicinity of protected natural resources. By indicating your agreement to the Terms of Use for this application, you warrant that you will not use this web site for any other purpose.

2. Unauthorized attempts to upload, download, or change information on this website are strictly prohibited and may be punishable under the Computer Fraud and Abuse Act of 1986 and/or the National Information Infrastructure Protection Act.

3. IDNR reserves the right to enhance, modify, alter, or suspend the website at any time without notice, or to terminate or restrict access.

### **Security**

EcoCAT operates on a state of Illinois computer system. We may use software to monitor traffic and to identify unauthorized attempts to upload, download, or change information, to cause harm or otherwise to damage this site. Unauthorized attempts to upload, download, or change information on this server is strictly prohibited by law.

Unauthorized use, tampering with or modification of this system, including supporting hardware or software, may subject the violator to criminal and civil penalties. In the event of unauthorized intrusion, all relevant information regarding possible violation of law may be provided to law enforcement officials.

### **Privacy**

EcoCAT generates a public record subject to disclosure under the Freedom of Information Act. Otherwise, IDNR uses the information submitted to EcoCAT solely for internal tracking purposes.

Log  
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II



# Illinois Department of Natural Resources

One Natural Resources Way Springfield, Illinois 62702-1271  
<http://dnr.state.il.us>

JB Pritzker, Governor  
Colleen Callahan, Director

January 30, 2020

Daniel J. Kramer  
Cox Landscaping  
9000 Route 34  
Yorkville, IL 60560

**RE: Cox Landscaping**  
**Project Number(s): 2006051**  
**County: Kendall**


Dear Applicant:

This letter is in reference to the project you recently submitted for consultation. The natural resource review provided by EcoCAT identified protected resources that may be in the vicinity of the proposed action. The Department has evaluated this information and concluded that adverse effects are unlikely. Therefore, consultation under 17 Ill. Adm. Code Part 1075 is terminated.

This consultation is valid for two years unless new information becomes available that was not previously considered; the proposed action is modified; or additional species, essential habitat, or Natural Areas are identified in the vicinity. If the project has not been implemented within two years of the date of this letter, or any of the above listed conditions develop, a new consultation is necessary.



The natural resource review reflects the information existing in the Illinois Natural Heritage Database at the time of the project submittal, and should not be regarded as a final statement on the site being considered, nor should it be a substitute for detailed site surveys or field surveys required for environmental assessments. If additional protected resources are encountered during the project's implementation, you must comply with the applicable statutes and regulations. Also, note that termination does not imply IDNR's authorization or endorsement of the proposed action.


Please contact me if you have questions regarding this review.

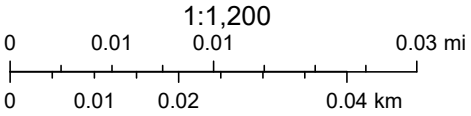
  
Adam Rawe  
Division of Ecosystems and Environment  
217-785-5500



November 9, 2020

 Kendall County Address Points
 
 Incorporated Areas  
 Yorkville

Parcels  
 parcel



© OpenStreetMap (and) contributors, CC-BY-SA, Map data © OpenStreetMap contributors, Map layer by Esri

**DEVELOPER:**  
Cox Landscaping  
4433 Tuma Road  
Yorkville, Illinois 60545

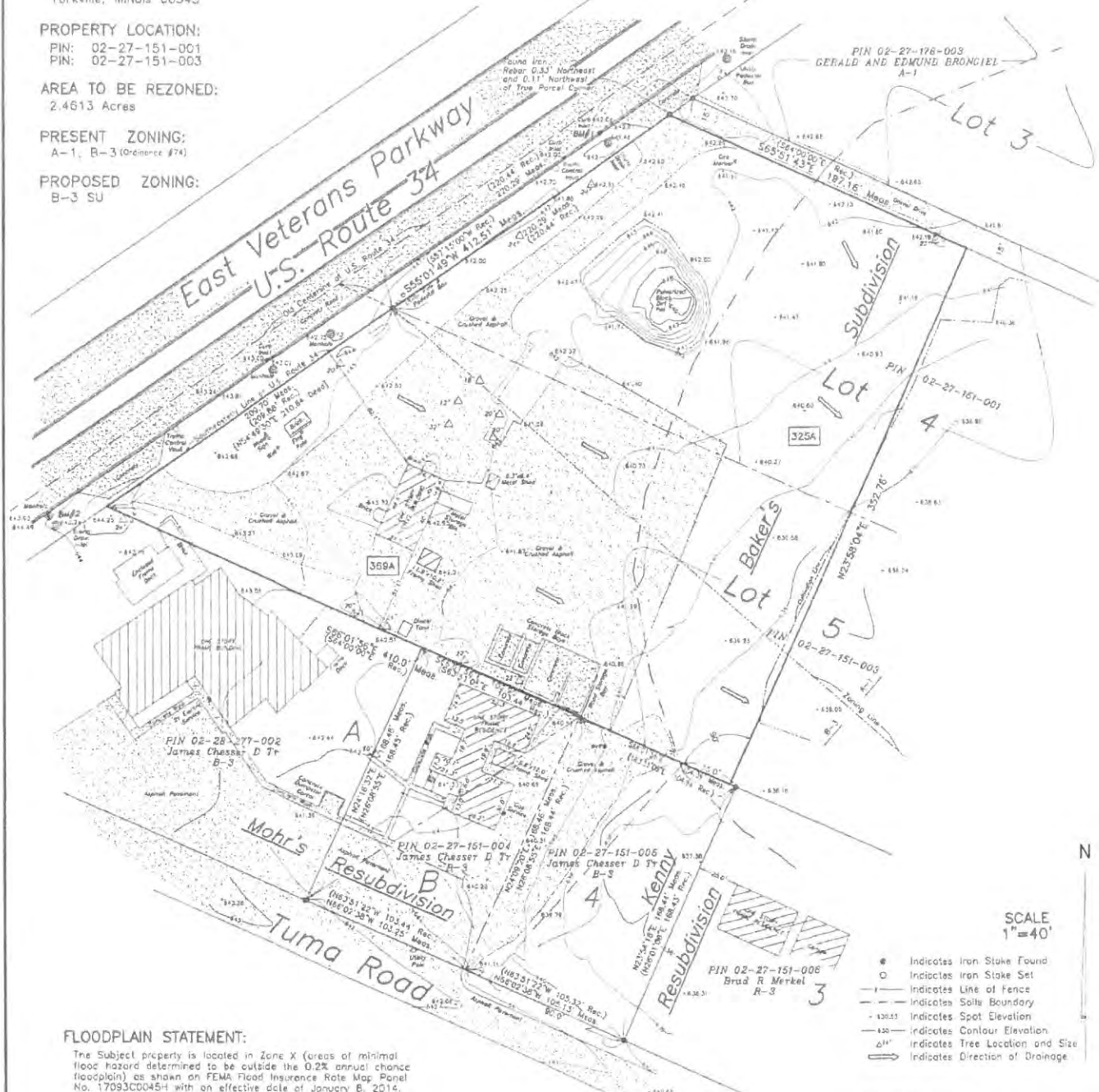
**PROPERTY LOCATION:**  
PIN: 02-27-151-001  
PIN: 02-27-151-003

**AREA TO BE REZONED:**  
2.4613 Acres

**PRESENT ZONING:**  
A-1, B-3 (Ordinance #74)

**PROPOSED ZONING:**  
B-3 SU

**ZONING PLAT OF**  
**PART OF LOTS 4 AND 5 BAKER'S SUBDIVISION**  
**BRISTOL TOWNSHIP KENDALL COUNTY ILLINOIS**



**FLOODPLAIN STATEMENT:**

The Subject property is located in Zone X (areas of minimal flood hazard determined to be outside the 0.2% annual chance floodplain) as shown on FEMA Flood Insurance Rate Map Panel No. 17093C0045H with an effective date of January 6, 2014.

**WETLANDS STATEMENT:**

The National Wetlands Inventory Map depicts no wetlands on the Subject Property.

**LEGAL DESCRIPTION OF TRACT TO BE REZONED:**

That Part of Lots 4 and 5 of Baker's Subdivision of Section 27 and 28, Township 37 North, Range 7 East of the Third Principal Meridian described as follows: Commencing at the Southwest Corner of Lot 5 at Baker's Subdivision for a point of beginning; thence South 68°01'58" East along the Southwesterly Line of said Lot 5, 410.0 feet; thence North 23°58'04" East, 352.76 feet to a line that is parallel with and 15.0 feet Southwest of the Northeasterly Line of Lot 4 of Baker's Subdivision; thence North 65°51'43" East along said parallel line, 157.16 feet to the Southeast Line of U.S. Route 34; thence South 55°01'49" West along said Southeasterly Line, 412.51 feet to the point of beginning, in Bristol Township, Kendall County, Illinois



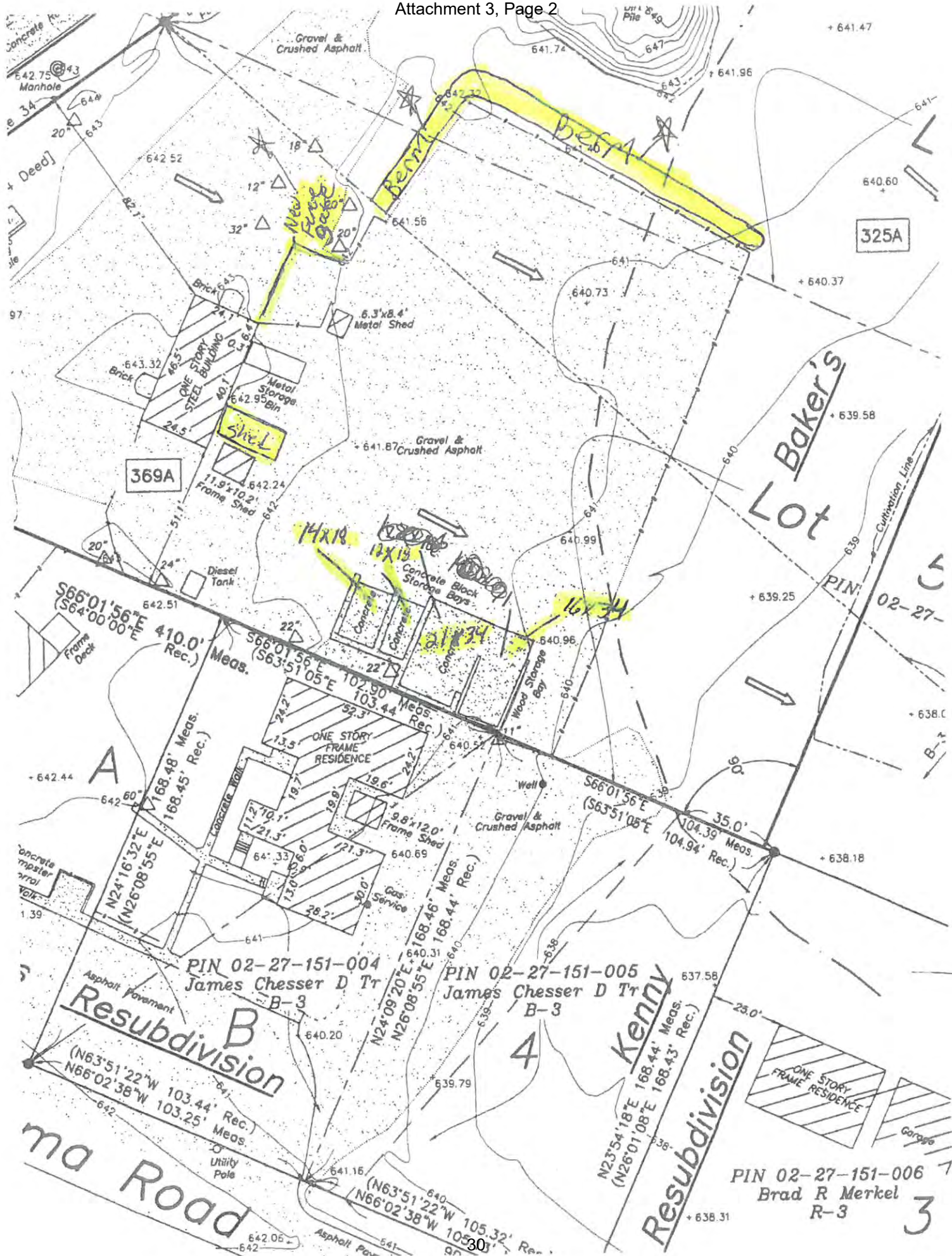
- SCALE**  
1"=40'
- Indicates Iron Stake Found
  - Indicates Iron Stake Set
  - Indicates Line of Fence
  - - - Indicates Salt Boundary
  - Indicates Spot Elevation
  - Indicates Contour Elevation
  - △ Indicates Tree Location and Size
  - Indicates Direction of Drainage

- BENCHMARK (NAVD 1988)**
- BM#1 — Top of Curb Inlet at the Northwest Corner of Subject Property Elevation = 642.55
  - BM#2 — Manhole Rim of Curb at the Southwest Corner of Subject Property. Elevation = 644.23

- SOILS (From Web Soil Survey)**
- 325A Dredden Silt Loam, 0%-2% slopes
  - 388A Waupecon Silt Loam, 0%-2% slopes

January 6, 2020

JOB NO.	19313	<b>Phillip D. Young and Associates, Inc.</b> LAND SURVEYING - TOPOGRAPHIC MAPPING - Lic.#184-002775	1107B South Bridge Street Yorkville, Illinois 60560 Telephone (630)553-1580
JOB NAME	COX		
DWG FILE	19313		



325A

369A

PIN 02-27-

638.18

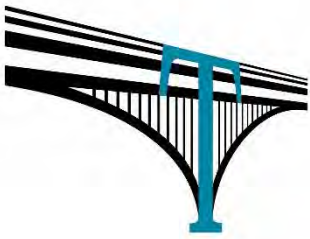
PIN 02-27-151-004  
James Chesser D Tr  
B-3

PIN 02-27-151-005  
James Chesser D Tr  
B-3

Kenny  
Resubdivision

PIN 02-27-151-006  
Brad R Merkel  
R-3

3



# TEBRUGGE ENGINEERING

410 E. CHURCH ST.—SUITE A  
SANDWICH, IL 60548

PHONE: (815) 786-0195  
EMAIL: [INFO@TEBRUGGEENGINEERING.COM](mailto:INFO@TEBRUGGEENGINEERING.COM)  
WEBSITE: [WWW.TEBRUGGEENGINEERING.COM](http://WWW.TEBRUGGEENGINEERING.COM)

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December 4, 2020

Mr. Matt Asselmeier  
Kendall County Planning, Building and Zoning Department  
111 W Fox St  
Room 204  
Yorkville, IL 60560-1498

Re: Cox Landscaping  
9000 E. Veterans Parkway  
Yorkville IL

Dear Mr. Asselmeier,

I visited the site located at 9000 E Veterans Parkway and walked the site to review the parking and storage areas used by Cox Landscaping. The site topographic survey had recently been done by Phil Young & Associates and we completed a Civil Site Plan detailing the areas of topsoil stockpile and the landscape berm which was installed on the north and east sides of the rear storage area. We reviewed the site history of this property utilizing google earth back to 2000 and the north portion utilized by Cox Landscaping has not had any significant change since the previous landscape company used this site.

The drainage pattern is from north to south. The parking lots and storage area all drain to the south. The landscape berm around the rear storage area and the topsoil stockpile do not block or impede the overland flow of storm water to the south. There was no erosion of the topsoil stockpile noticed on the south side of the topsoil stockpile. Cox Landscaping stated that they use the topsoil on an as needed basis for their landscaping projects.

If you have any additional questions, please contact us.

Sincerely,

Tebrugge Engineering



John Tebrugge

DEVELOPER:

Cox Landscaping  
4433 Tuma Road  
Yorkville, Illinois 60545

PROPERTY LOCATION:

PIN: 02-27-151-001  
PIN: 02-27-151-003

AREA TO BE REZONED:

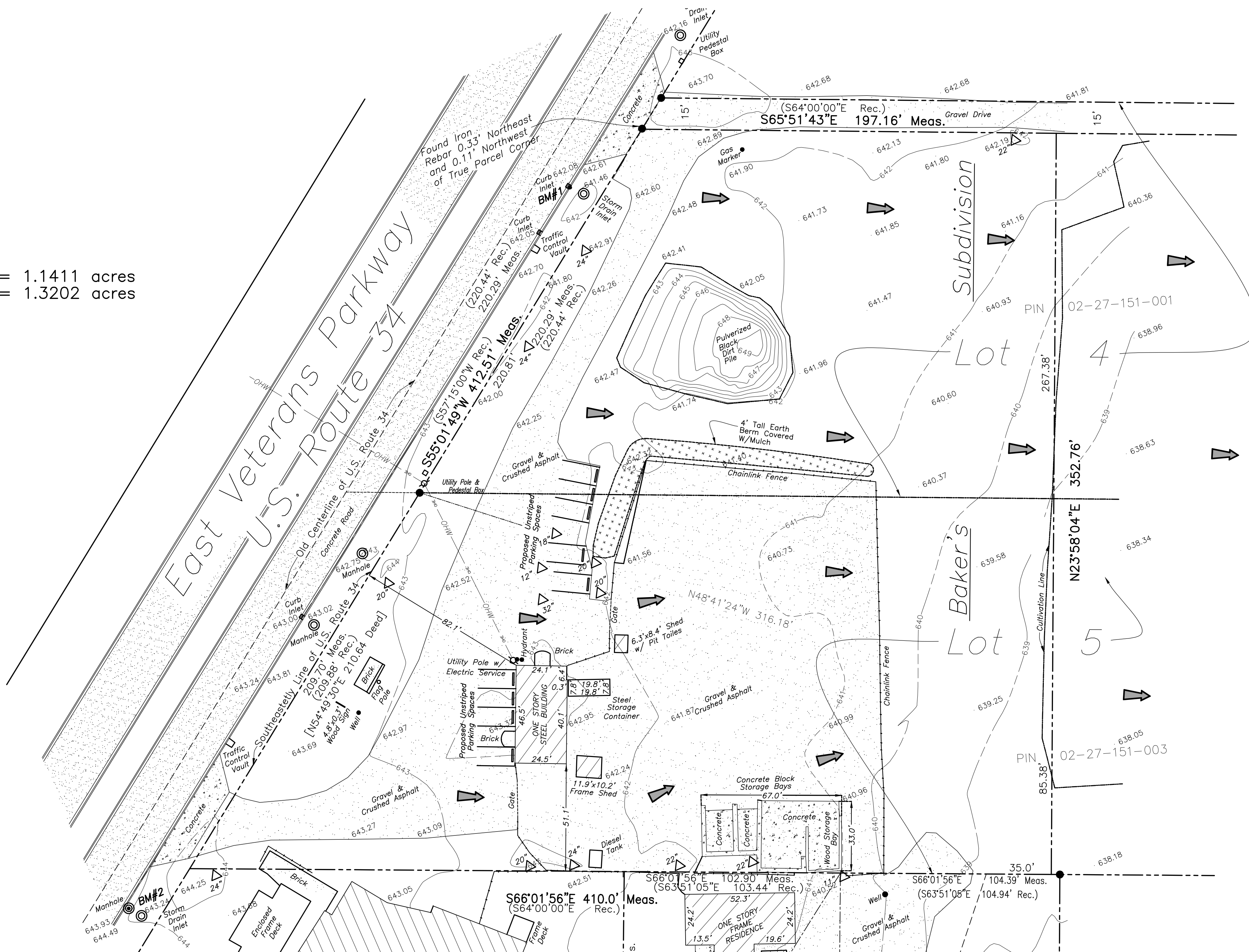
B3 to B3-SU 49707 sq.ft. = 1.1411 acres  
A1 to B3-SU 57506 sq.ft. = 1.3202 acres  
Total Area = 2.4613 Acres

PRESENT ZONING:

A1 and B3 (Ordinance #74)

PROPOSED ZONING:

B3-SU



### LEGEND

	PROPERTY BOUNDARY
	EXISTING CONTOUR LINE
	EXISTING STORM SEWER
	EXISTING SANITARY SEWER LINE
	EXISTING WATERMAIN
	EXISTING UNDERGROUND ELECTRIC
	EXISTING OVERHEAD ELECTRIC
	EXISTING GAS SERVICE
	EXISTING TELEPHONE
	PROPOSED CONTOUR LINE
	PROPOSED WATERMAIN
	PROPOSED STORM SEWER
	PROPOSED SANITARY SEWER LINE
	PROPOSED GREASE SERVICE LINE
	PROPOSED VENT LINE
	EXISTING FENCELINE
	PROPOSED SILT FENCE
	EXISTING SPOT SHOT
	PROPOSED SPOT GRADE

<b>EXIST</b>	<b>PROP</b>	
		B-BOX
		HYDRANT
		VALVE
		VALVE VAULT
<b>STORM:</b>		INLET-CURB
		INLET OR MANHOLE
		FLARED END SECTION
<b>SANITARY:</b>		CLEANOUT
		MANHOLE
		UTILITY POLE
		GUY WIRE LOC.
		UTIL CABINET
		UTIL PEDESTAL
		LIGHT POLE
		TRAFFIC SIGNAL
		ELECTRIC VAULT
		GAS VALVE

**SURVEY COMPLETED BY:**

**Phillip D. Young and Associates, Inc.**  
LAND SURVEYING - TOPOGRAPHIC MAPPING - Lic.#184-002775

1107B South Bridge Street  
Yorkville, Illinois 60560  
Telephone (630)553-1580

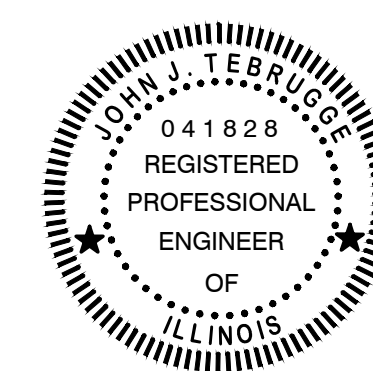
BENCHMARK (NAVD 1988)

BM#1 -- Top of Curb Inlet at the Northwest Corner of Subject Property. Elevation = 642.55  
BM#2 -- Manhole Rim at Curb at the Southwest Corner of Subject Property. Elevation = 644.23

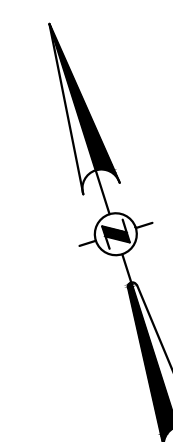
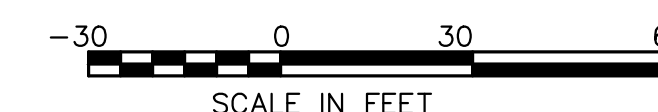
PROFESSIONAL ENGINEER'S CERTIFICATION  
STATE OF ILLINOIS, COUNTY OF KENDALL

I JOHN J. TEBRUGGE, A LICENSED PROFESSIONAL ENGINEER OF ILLINOIS, HEREBY CERTIFY THAT THESE PLANS HAVE BEEN PREPARED UNDER MY PERSONAL DIRECTION BASED ON AVAILABLE DOCUMENTS AND FIELD MEASUREMENTS FOR THE EXCLUSIVE USE OF THE CLIENT NOTED HEREON.

GIVEN UNDER MY HAND & SEAL THIS 3<sup>RD</sup> DAY OF DECEMBER, 2020.



*[Signature]*  
ILLINOIS REGISTERED PROFESSIONAL ENGINEER  
NO. 0062-041828 EXPIRES NOV. 30, 2021



**TEBRUGGE ENGINEERING**  
410 E. CHURCH STREET - SUITE A • SANDWICH, IL 60548  
PHONE: (815) 786-0195 TEBRUGGEENGINEERING.COM

NO.	DATE	NOTES

PREPARED FOR:  
**COX LANDSCAPING**  
9000 E VETERANS PARKWAY, YORKVILLE, IL 60560

**COX LANDSCAPING SITE PLAN**  
**EXISTING CONDITION PLAN**

PROJECT NO. 20 485 01  
SCALE: 1" = 30'  
DATE: DEC 2, 2020

SHEET NO. **1**  
OF 1 SHEETS



**DEVELOPER:**  
Cox Landscaping  
4433 Tuma Road  
Yorkville, Illinois 60545

**ZONING PLAT OF**  
**PART OF LOTS 4 AND 5 BAKER'S SUBDIVISION**  
**BRISTOL TOWNSHIP KENDALL COUNTY ILLINOIS**

**PROPERTY LOCATION:**  
PIN: 02-27-151-001  
PIN: 02-27-151-003

**AREA TO BE REZONED:**  
B3 to B3-SU 49707 sq.ft. = 1.1411 acres  
A1 to B3-SU 57506 sq.ft. = 1.3202 acres  
Total Area = 2.4613 Acres

**PRESENT ZONING:**  
A1 and B3 (Ordinance #74)

**PROPOSED ZONING:**  
B3-SU



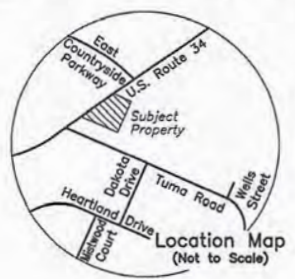
**SCALE**  
1"=40'

● Indicates Iron Stake Found  
○ Indicates Iron Stake Set  
— Indicates Line of Fence  
—OH— Indicates Overhead Wires  
— Indicates Soils Boundary  
+535.53 Indicates Spot Elevation  
530 Indicates Contour Elevation  
△1"△ Indicates Tree Location and Size  
→ Indicates Direction of Drainage

**BENCHMARK (NAVD 1988)**  
BM#1 — Top of Curb Inlet at the Northwest Corner of Subject Property. Elevation = 642.55  
BM#2 — Manhole Rim at Curb at the Southwest Corner of Subject Property. Elevation = 644.23

**SOILS (From Web Soil Survey)**

325A	Dresden Silt Loam, 0%-2% slopes
369A	Waupecan Silt Loam, 0%-2% slopes



March 5, 2020

**WETLANDS STATEMENT:**  
The National Wetlands Inventory Map depicts no wetlands on the Subject Property.

**FLOODPLAIN STATEMENT:**  
The Subject property is located in Zone X (areas of minimal flood hazard determined to be outside the 0.2% annual chance floodplain) as shown on FEMA Flood Insurance Rate Map Panel No. 17093C0045H with an effective date of January 8, 2014.

**LEGAL DESCRIPTION OF TRACT TO BE REZONED FROM "B3" TO "B3-SU":**  
That Part of Lot 5 of Baker's Subdivision of Sections 27 and 28, Township 37 North, Range 7 East of the Third Principal Meridian described as follows: Beginning at the Southwest Corner of said Lot 5, thence South 65°01'56" East, along the Southwesterly Line of said Lot 5, 410.0 feet; thence North 23°58'04" East, 85.38 feet; thence North 48°41'24" West, 316.18 feet to the Southeast Line of U. S. Route 34; thence South 55°01'49" West, 209.70 feet to the point of beginning in Bristol Township, Kendall County, Illinois.

**LEGAL DESCRIPTION OF TRACT TO BE REZONED FROM "A1" TO "B3-SU":**  
That Part of Lots 4 and 5 of Baker's Subdivisions of Sections 27 and 28, Township 37 North, Range 7 East of the Third Principal Meridian described as follows: Commencing at the Southwest Corner of said Lot 5; thence South 65°01'56" East, along the Southwesterly Line of said Lot 5, 410.0 feet; thence North 23°58'04" East, 85.38 feet for the point of beginning; thence North 48°41'24" West, 316.18 feet to the Southeast Line of U. S. Route 34; thence North 55°01'49" East, 202.81 feet to a line that is parallel with and 15.0 feet Southwest of the Northeastery Line of said Lot 4 of Baker's Subdivision; thence South 65°51'43" East, along said parallel line, 197.16 feet to a line drawn North 23°58'04" East from the point of beginning; thence South 23°58'04" West, 267.38 feet to the point of beginning in Bristol Township, Kendall County, Illinois.

**LEGAL DESCRIPTION OF TRACT:**  
That Part of Lots 4 and 5 of Baker's Subdivision of Sections 27 and 28, Township 37 North, Range 7 East of the Third Principal Meridian described as follows: Beginning at the Southwest Corner of said Lot 5 of Baker's Subdivision; thence South 65°01'56" East along the Southwesterly Line of said Lot 5, 410.0 feet; thence North 23°58'04" East, 352.76 feet to a line that is parallel with and 15.0 feet Southwest of the Northeastery Line of Lot 4 of Baker's Subdivision; thence North 65°51'43" East along said parallel line, 197.16 feet to the Southeast Line of U.S. Route 34; thence South 55°01'49" West along said Southeasterly Line, 412.51 feet to the point of beginning, in Bristol Township, Kendall County, Illinois.

JOB NO.	19313
JOB NAME	COX
DWG FILE	19313

**Phillip D. Young and Associates, Inc.**  
LAND SURVEYING - TOPOGRAPHIC MAPPING - Lic.#184-002775

1107B South Bridge Street  
Yorkville, Illinois 60560  
Telephone (630)553-1580

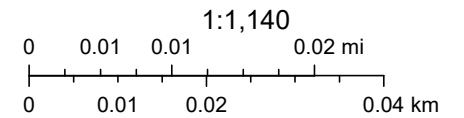


September 18, 2020

- Zoning  R3
- A1 Municipalities
- B3  CITY OF YORKVILLE

Current Parcels

Kendall County Addresses



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09/18/2020 11:03



09/18/2020 11:04



09/18/2020 11:04



09/18/2020 11:05



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09/19/2020 17:34

# Minutes - Board of Town Trustees

STATE OF ILLINOIS,  
 Kendall County, } ss.  
 Town of Bristol

THE BOARD OF TOWN TRUSTEES met at the office of the Town Clerk at Bristol Township Hall on Wednesday February 5, 2020 @ 7:00 p.m.

PRESENT: Robert Walker Supervisor  
 Julie Bennett Town Clerk  
 Sharla Logan-Waclaw Town Trustee  
 Bill Weatherly Town Trustee  
 Cory Johnson Town Trustee  
 also present Cliff Oleson Town Trustee  
~~Highway Comm. Jeff Corneils~~ ~~Assessor Dan Pickert,~~  
~~as clerk.~~ The following official business was transacted: Twp. Sec. Vel Herrera,  
 KCSD - W. Dial, Att. Dan Kramer,  
 and 3 electors.

Supervisor Walker opened the meeting with The Pledge of Allegiance.  
 Clerk Bennett took roll call.

At this time Sup. Walker asked Attorney Dan Kramer to make his presentation. Attorney Kramer told about zoning of businesses and that nurseries and Landscaping firms are now classed differently. Landscaping businesses now need a Special Use permit to operate. He is representing a local landscaping business along Rt. 34, near Tuma Road in Yorkville. They are seeking the Special Use zoning permit. With the Township Board having no issues with this, Weatherly made a motion to approve the Special use zoning for landscaping property/business along Rt. 34, second Johnson. Logan-Waclaw, Walker, Weatherly Johnson, Oleson all aye, none nay.

Minutes were presented. Motion to approve minutes Oleson, second Weatherly, all aye, none nay.

Bills were presented for payment. Motion to authorize payment of the bills, Johnson second Weatherly. Logan-Waclaw, Walker, Weatherly, Johnson, Oleson all aye, none nay.

General Town	\$ 41,473.99
Town FICA	2,335.80
General Assistance	991.00
Road and Bridge	8,541.44
Permanent/Hard Road	32,000.99
Road FICA	537.10
TOTAL	\$ 85,880.32

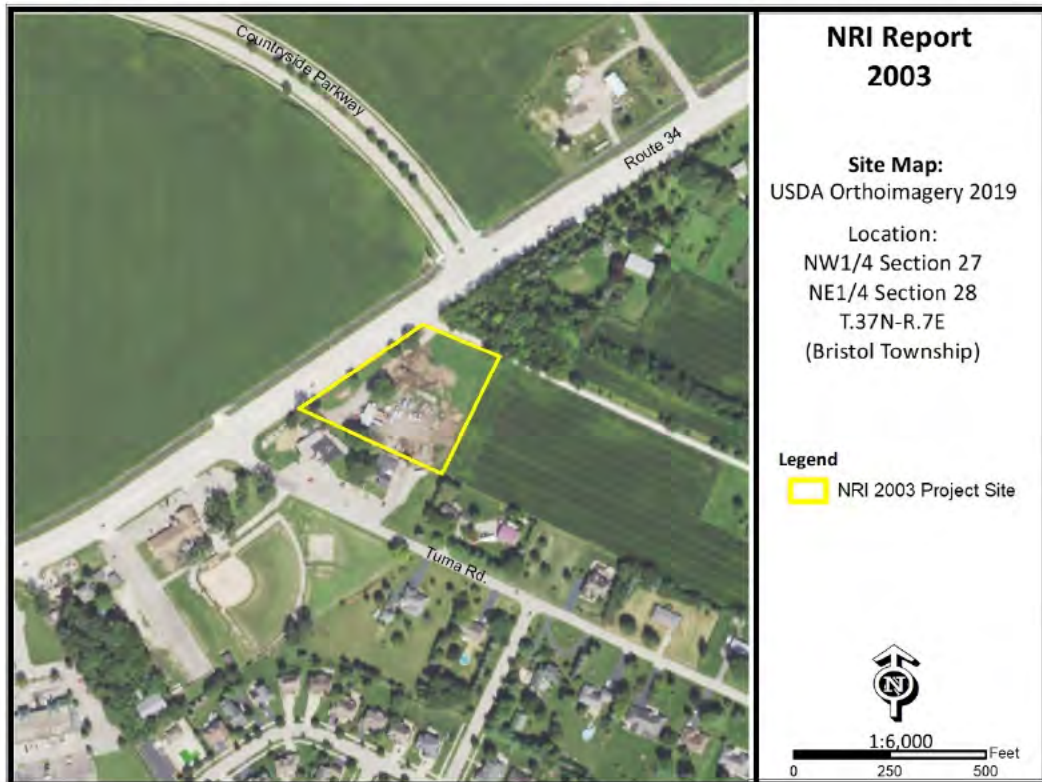
Old Business - Highway Commissioner Corneils commented on the Lynwood drainage issue. It is currently in the permit process with the state. Discussion followed as to the engineering of the project. Comm. Corneils will ask the engineers to attend the next meeting to better explain to the public.

Clerk Bennett mentioned last month's discussion on an Intergovernmental Agreement with Oswego Twp. As the board was in agreement with this, Bennett asked for a motion to approve. Motion to approve Intergovernmental Agreement with Oswego Twp. made by Weatherly, second Johnson. Logan-Waclaw, Walker, Weatherly, Johnson, Oleson all aye, none nay.

Assessor - Assessor Pickert reported that Signature Fitness is going into the former Dick's Sporting Goods building at Kendall Marketplace. Last month the board received the Assessor's Budget. After review, a motion was made to approve the Assessor's Budget for the year, made by Johnson, second Oleson, all aye, none nay.

New Business - Comm. Corneils reported that the Township Building was recently

# NATURAL RESOURCE INFORMATION (NRI) REPORT: 2003



January  
2020

Petitioner: Cox Landscaping LLC  
Contact: Attorney Daniel J. Kramer

Prepared by:



**Kendall County Soil & Water  
Conservation District**

7775A Route 47 • Yorkville, Illinois 60560  
Phone: (630)553-5821 x3 • Fax: (630)553-7442

[www.kendallswcd.org](http://www.kendallswcd.org)

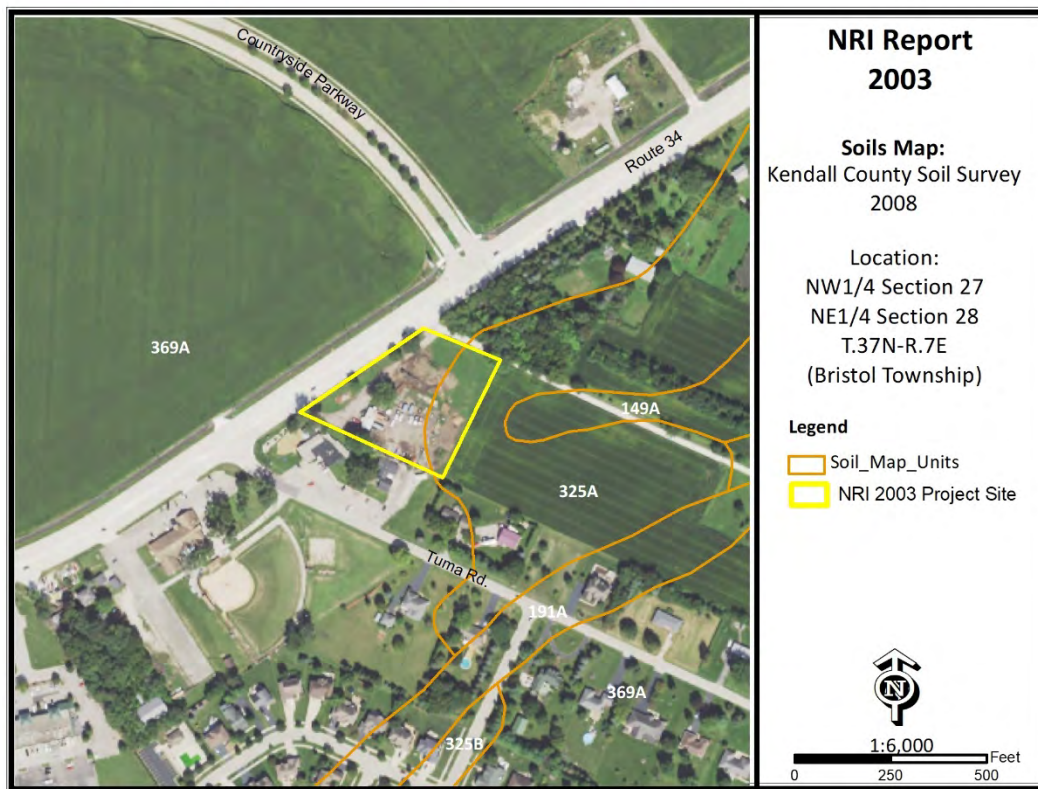
2003

## Executive Summary

January 2020

**Petitioner:** Cox Landscaping LLC**Contact Person:** Attorney Daniel J. Kramer**County or Municipality the petition is filed with:** Kendall County**Location of Parcel:** NW¼ Section 27, NE¼ Section 28, T.37N.-R.7E. (Bristol Township) of the 3<sup>rd</sup> Principal Meridian**Project or Subdivision Name:** Cox Landscaping**Existing Zoning & Land Use:** B-3 Business; Nursery & Landscaping Business**Proposed Zoning & Land Use:** Special Use Permit; Nursery & Landscaping Business**Proposed Water Source:** Existing Well**Proposed Type of Sewage Disposal System:** Existing Septic**Proposed Type of Storm Water Management:** N/A**Size of Site:** 2.5 acres**Land Evaluation Site Assessment Score:**115 (Land Evaluation: 89; Site Assessment: 26)

## Natural Resource Findings

**Soil Map:****SOIL INFORMATION:**

Based on information from the United States Department of Agriculture-Natural Resources Conservation Service (USDA-NRCS) 2008 Kendall County Soil Survey, this parcel is shown to contain the following soil types (please note this does not replace the need for or results of onsite soil testing; if completed, please refer to onsite soil test results for planning/engineering purposes):

Table 1:

Map Unit	Soil Name	Drainage Class	Hydrologic Group	Hydric Designation	Farmland Designation
325A	Dresden silt loam, 0-2% slopes	Well Drained	B	Non-hydric	Prime Farmland
369A	Waupecan silt loam, 0-2% slopes	Well Drained	B	Non-hydric	Prime Farmland

**Hydrologic Soil Groups:** Soils have been classified into four (A, B, C, D) hydrologic groups based on runoff characteristics due to rainfall. If a soil is assigned to a dual hydrologic group (A/D, B/D or C/D), the first letter is for drained areas and the second letter is for undrained areas.

- ✓ **Hydrologic group A:** Soils have a high infiltration rate (low runoff potential) when thoroughly wet. These consist mainly of deep, well drained to excessively drained sands or gravelly sands. These soils have a high rate of water transmission.
- ✓ **Hydrologic group B:** Soils have a moderate infiltration rate when thoroughly wet, consist chiefly of moderately deep to deep, moderately well drained to well drained soils that have a moderately fine to moderately coarse texture. These soils have a moderate rate of water transmission.
- ✓ **Hydrologic group C:** Soils having a slow infiltration rate when thoroughly wet. These consist chiefly of soils having a layer that impedes the downward movement of water or soils of moderately fine texture or fine texture. These soils have a slow rate of water transmission.
- ✓ **Hydrologic group D:** Soils having a very slow infiltration rate (high runoff potential) when thoroughly wet. These consist chiefly of clays that have a high shrink-swell potential, soils that have a high water table, have a claypan or clay layer at or near the surface, and soils that are shallow over nearly impervious material. These soils have a very slow rate of water transmission.

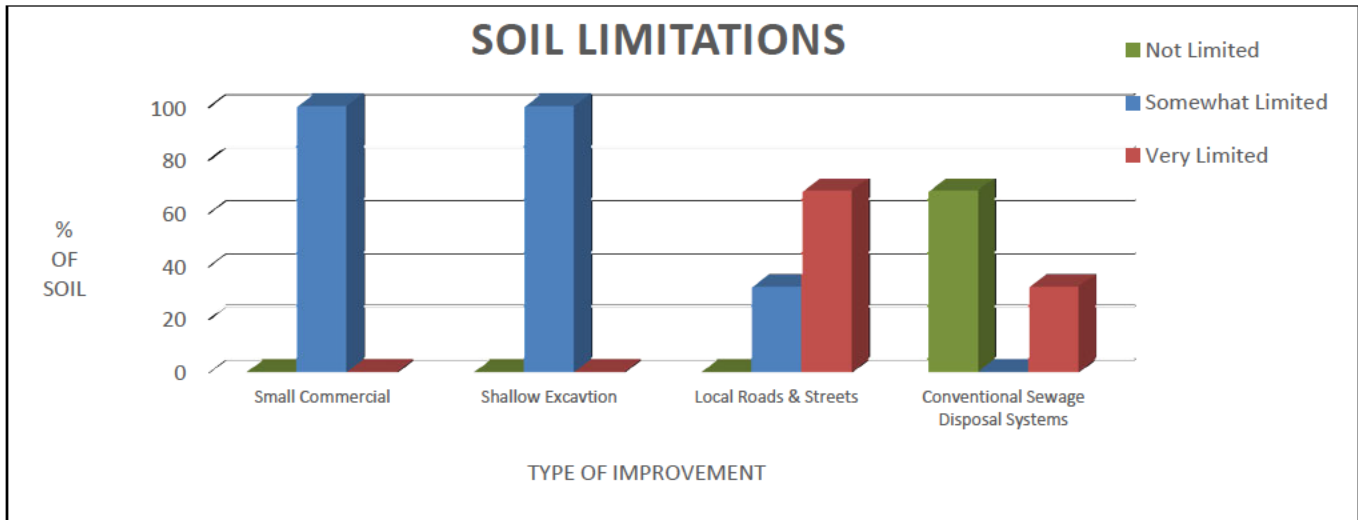
**Hydric Soils:** A hydric soil is one that formed under conditions of saturation, flooding, or ponding long enough during the growing season to develop anaerobic conditions in the upper part of the soil profile that supports the growth or regeneration of hydrophytic vegetation. Soils with hydric inclusions have map units dominantly made up of non-hydric soils that may have inclusions of hydric soils in the lower positions on the landscape. Of the soils found onsite, none are classified as hydric or having hydric inclusions.

**Prime Farmland:** Prime farmland is land that has the best combination of physical and chemical characteristics for agricultural production. Prime farmland soils are an important resource to Kendall County and some of the most productive soils in the United States occur locally. Of the soils found onsite, all are designated as prime farmland.

**Soil Limitations:** Limitations for small commercial building, shallow excavations, lawns/landscaping and conventional septic systems.

Table 2a:

Soil Type	Small Commercial Building	Shallow Excavations	Lawns & Landscaping	Conventional Septic Systems
325A	Somewhat Limited	Somewhat Limited	Somewhat Limited	Unsuitable: Gravel
369A	Somewhat Limited	Somewhat Limited	Somewhat Limited	Suitable



#### **Kendall County Land Evaluation and Site Assessment (LESA):**

Decision-makers in Kendall County use the Land Evaluation and Site Assessment (LESA) system to determine the suitability of a land use change and/or a zoning request as it relates to agricultural land. The LESA system was developed by the United States Department of Agriculture-Natural Resources Conservation Service (USDA-NRCS) and takes into consideration local conditions such as physical characteristics of the land, compatibility of surrounding land-uses, and urban growth factors. The LESA system is a two-step procedure that includes:

- **LAND EVALUATION (LE)** – The soils of a given area are rated and placed in groups ranging from the best to worst suited for a stated agriculture use, cropland or forestland. The best group is assigned a value of 100 and all other groups are assigned lower values. The Land Evaluation is based on data from the Kendall County Soil Survey. The Kendall County Soil and Water Conservation District is responsible for this portion of the LESA system.
  - ✓ The Land Evaluation score for this site is 89, indicating that this site is **currently well suited** for agricultural uses.
- **SITE ASSESSMENT (SA)** – The site is numerically evaluated according to important factors that contribute to the quality of the site. Each factor selected is assigned values in accordance with the local needs and objectives. The Kendall County LESA Committee is responsible for this portion of the LESA system.
  - ✓ The Site Assessment score for this site is 26.

The **LESA Score for this site is 115 which indicates a low level of protection** for the proposed project site. Note: Selecting the project site with the lowest total points will generally protect the best farmland located in the most viable areas and maintain and promote the agricultural industry in Kendall County.

**Wetlands:** The U.S. Fish & Wildlife Service’s National Wetland Inventory map **does not indicate** the presence of a wetland(s) on the proposed project site. To determine if a wetland is present, a wetland delineation specialist, who is recognized by the U.S. Army Corps of Engineers, should determine the exact boundaries and value of the wetlands.

**Floodplain:** The parcel is not located within the floodplain.

**Sediment and Erosion Control:** Development on this site should include an erosion and sediment control plan in accordance with local, state and federal regulations. Soil erosion on construction sites is a resource concern because suspended sediment from areas undergoing development is a primary nonpoint source of water pollution. Please consult the *Illinois Urban Manual* (<http://illinoisurbanmanual.org>) for appropriate best management practices.

**LAND USE FINDINGS:**

The Kendall County Soil and Water Conservation District (SWCD) Board has reviewed the proposed development plans for Petitioner Cox Landscaping LLC at the request of their contact, Attorney Daniel J. Kramer for the proposed special use request within Kendall County located in Sections 27 & 28 of Bristol Township (T.37N-R.7E) of the 3<sup>rd</sup> Principal Meridian) in Kendall County. Based on the information provided by the petitioner and a review of natural resource related data available to the Kendall County SWCD, the SWCD Board presents the following information.

The Kendall County SWCD has always had the opinion that Prime Farmland should be preserved whenever feasible. A land evaluation, which is a part of the Land Evaluation and Site Assessment (LESA) was conducted on this parcel. The soils on this parcel scored an 89 out of a possible 100 points indicating the soils are well suited for agricultural uses. The total LESA Score for this site is 115 which indicates a low level of protection for the proposed project site. Selecting the project site with the lowest total points will generally protect the best farmland located in the most viable areas and maintain and promote the agricultural industry in Kendall County. Additionally, of the soils found onsite, 100% are classified as prime farmland.

Soils found on the project site are rated for specific uses and can have potential limitations for development. Soil types with severe limitations do not preclude the ability to develop the site for the proposed use but it is important to note the limitation that may require soil reclamation, special design/engineering, or maintenance to obtain suitable soil conditions to support development with significant limitations. This report indicates that for soils located on the parcel, 100% are very limited for local roads/streets and 32% are unsuitable for conventional septic systems. This information is based on the soil in an undisturbed state. If the scope of the project may include the use of onsite septic systems, please consult with the Kendall County Health Department.

This site is located within both the Fox River Watershed.

This development should include a soil erosion and sediment control plan to be implemented during construction. Sediment may become a primary non-point source of pollution; eroded soils during the construction phase can create unsafe conditions on roadways, degrade water quality and destroy aquatic ecosystems lower in the watershed.

For intense use it is recommended that the drainage tile survey completed on the parcel to locate the subsurface drainage tile be taken into consideration during the land use planning process. Drainage tile expedites drainage and facilitates farming. It is imperative that these drainage tiles remain undisturbed. Impaired tile may affect a few acres or hundreds of acres of drainage.

The information that is included in this Natural Resources Information Report is to assure the Land Developers take into full consideration the limitations of that land that they wish to develop. Guidelines and recommendations are also a part of this report and should be considered in the planning process. The Natural Resource Information Report is required by the Illinois Soil and Water Conservation District Act (Ill. Compiled Statutes, Ch. 70, Par 405/22.02a).

  
SWCD Board Representative

Date: January 6, 2020



<b>KENDALL CO SOIL AND WATER CONSERVATION DISTRICT NATURAL RESOURCE INFORMATION REPORT (NRI)</b>
--

NRI Report Number	2003
Date District Board Reviews Application	January 2020
Applicant's Name	Cox Landscaping LLC
Size of Parcel	2.5 acres
Current Zoning & Use	B-3; Landscaping / Nursery Business
Proposed Zoning & Use	Special Use Permit; Landscaping / Nursery Business
Parcel Index Number(s)	02-27-151-003; 02-27-151-001
Contact Person	Attorney Daniel J. Kramer

<i>Copies of this report or notification of the proposed land-use change were provided to:</i>	<b>Yes</b>	<b>No</b>
The Applicant	X	
The Applicant's Legal Representation	X	
The Local/Township Planning Commission	X	
The Village/City/County Planning and Zoning Department or Appropriate Agency	X	
The Kendall County Soil and Water Conservation District Files	X	

Report Prepared By: *Megan Andrews* Position: *Resource Conservationist*

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## PURPOSE AND INTENT

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The purpose of this report is to inform officials of the local governing body and other decision-makers with natural resource information. This information may be useful when undertaking land use decisions concerning variations, amendments or relief of local zoning ordinances, proposed subdivision of vacant or agricultural lands and the subsequent development of these lands. This report is a requirement under Section 22.02a of the Illinois Soil and Water Conservation Districts Act.

The intent of this report is to present the most current natural resource information available in a readily understandable manner. It contains a description of the present site conditions, the present resources, and the potential impacts that the proposed change may have on the site and its resources. The natural resource information was gathered from standardized data, on-site investigations and information furnished by the petitioner. This report must be read in its entirety so that the relationship between the natural resource factors and the proposed land use change can be fully understood.

Due to the limitations of scale encountered with the various resource maps, the property boundaries depicted in the various exhibits in this

report provide a generalized representation of the property location and may not precisely reflect the legal description of the PIQ (Parcel in Question).

This report, when used properly, will provide the basis for proper land use change decisions and development while protecting the natural resource base of the county. It should not be used in place of detailed environmental and/or engineering studies that are warranted under most circumstances, but in conjunction with those studies.

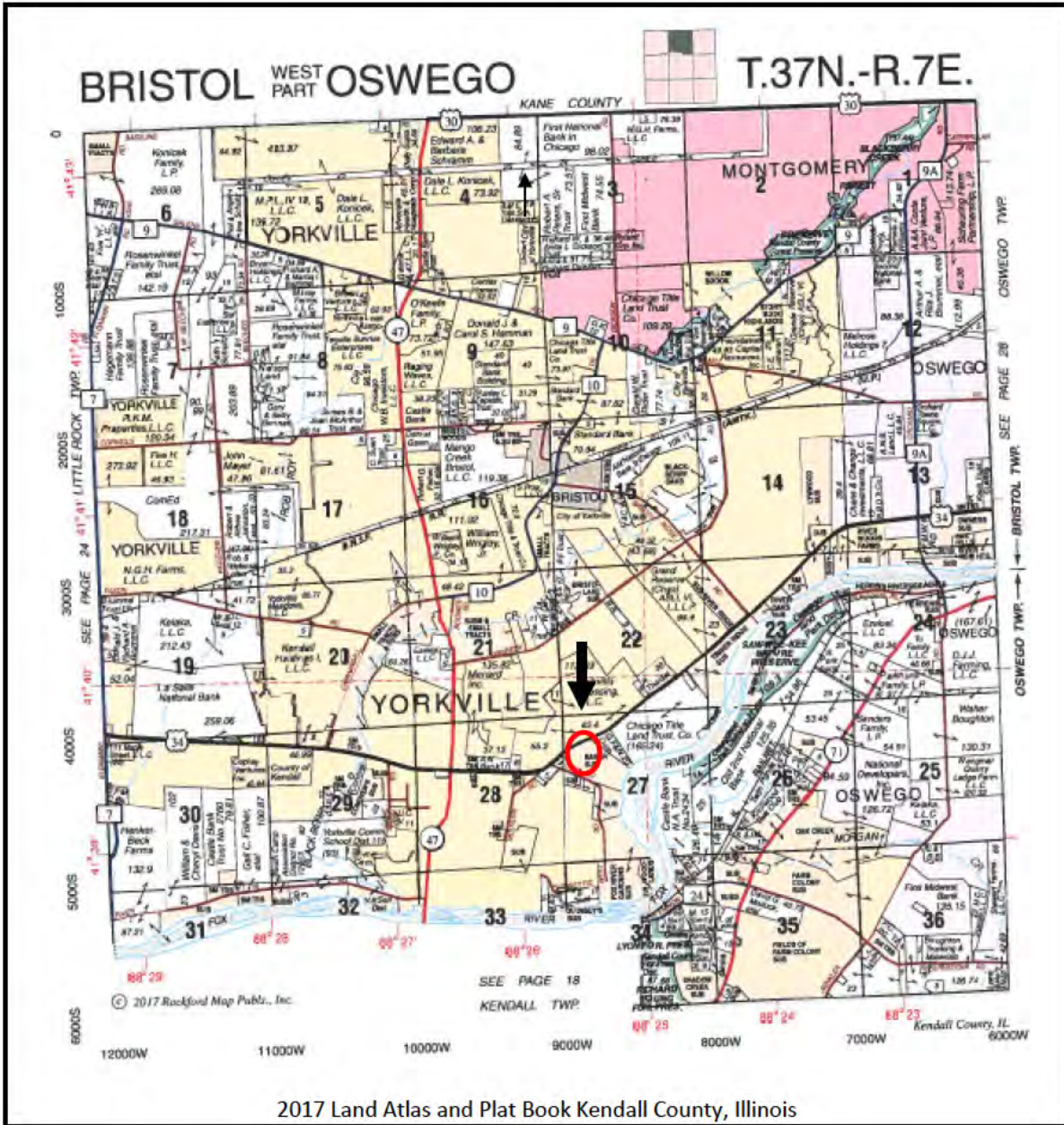
The conclusions of this report in no way indicate that a certain land use is not possible, but it should alert the reader to possible problems that may occur if the capabilities of the land are ignored. Any questions on the technical data supplied in this report or if anyone feels that they would like to see more additional specific information to make the report more effective, please contact:

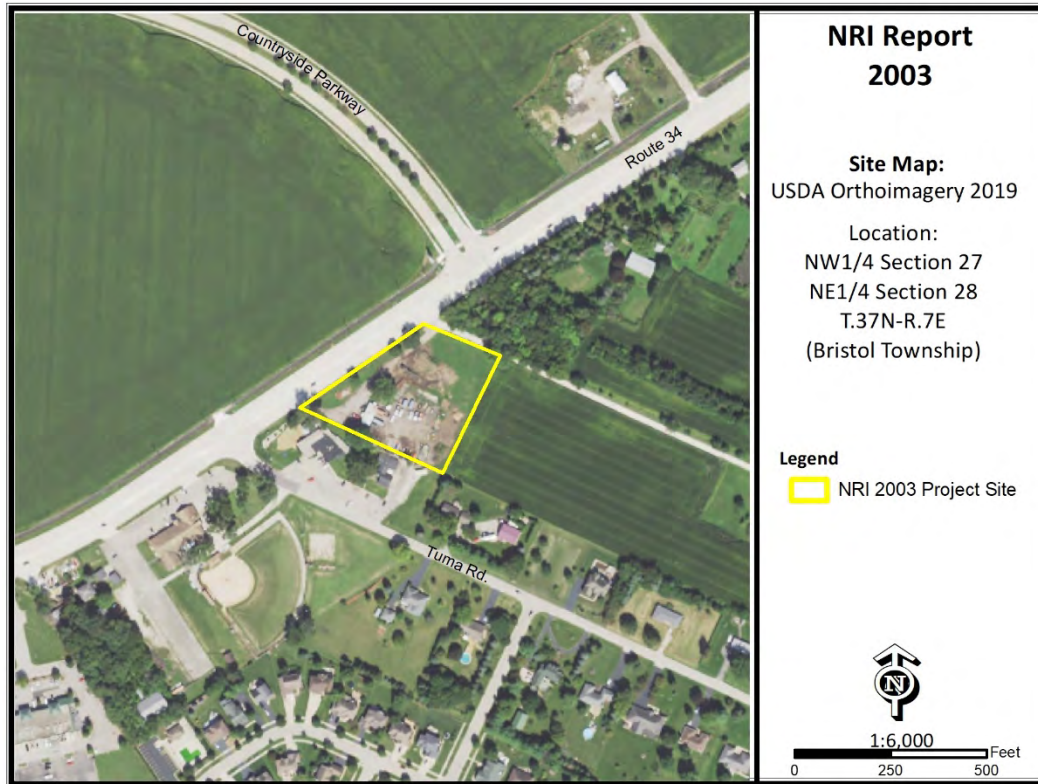
**Kendall County Soil and Water Conservation  
District  
7775A Route 47, Yorkville, IL 60560  
Phone: (630) 553-5821 ext. 3  
FAX: (630) 553-7442  
E-mail: Megan.Andrews@il.nacdnet.net**

### PARCEL LOCATION

**Location Map for Natural Resources Information Report # 2003**  
 NW¼ Section 27 and NE¼ Section 28 of Township 37 North, Range 7 East (Bristol Township) on 2.5 acres.  
 This parcel is located on the south side of Route 34 and southeast of the intersection of Route 34 and Tuma Road. The parcel is located in unincorporated Kendall County.

Figure 1: 2017 Plat Map and 2017 Aerial Map with NRI Site Boundary





## ARCHAEOLOGIC/CUTURAL RESOURCES

Simply stated, cultural resources are all the past activities and accomplishments of people. They include the following: buildings; objects made or used by people; locations; and less tangible resources, such as stories, dance forms, and holiday traditions. The Soil and Water Conservation District most often encounters cultural resources as historical properties. These may be prehistoric or historical sites, buildings, structures, features, or objects. The most common type of historical property that the Soil and Water Conservation District may encounter is non-structural archaeological sites. These sites often extend below the soil surface, and must be protected against disruption by development or other earth moving activity if possible. Cultural resources are *non-renewable* because there is no way to “grow” a site to replace a disrupted site.

Landowners with historical properties on their land have ownership of that historical property.

However, the State of Illinois owns all of the following: human remains, grave markers, burial mounds, and artifacts associated with graves and human remains.

Non-grave artifacts from archaeological sites and historical buildings are the property of the landowner. The landowner may choose to disturb a historical property, but may not receive federal or state assistance to do so. If an earth moving activity disturbs human remains, the landowner must contact the county coroner within 48 hours.

***The Illinois Historic Preservation Agency has not been notified of the proposed land use change by the Kendall County SWCD. The applicant may need to contact the IHPA according to current Illinois law.***

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## ECOLOGICALLY SENSITIVE AREAS

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### ***What is Biological Diversity and Why Should it be Conserved?***<sup>1</sup>

Biological diversity, or biodiversity, is the range of life on our planet. A more thorough definition is presented by botanist Peter H. Raven: "At the simplest level, biodiversity is the sum total of all the plants, animals, fungi and microorganisms in the world, or in a particular area; all of their individual variation; and all of the interactions between them. It is the set of living organisms that make up the fabric of the planet Earth and allow it to function as it does, by capturing energy from the sun and using it to drive all of life's processes; by forming communities of organisms that have, through the several billion years of life's history on Earth, altered the nature of the atmosphere, the soil and the water of our Planet; and by making possible the sustainability of our planet through their life activities now." (Raven 1994)

It is not known how many species occur on our planet. Presently, about 1.4 million species have been named. It has been estimated that there are perhaps 9 million more that have not been identified. What is known is that they are vanishing at an unprecedented rate. Reliable estimates show extinction occurring at a rate several orders of magnitude above "background" in some ecological systems. (Wilson 1992, Hoose 1981)

The reasons for protecting biological diversity are complex, but they fall into four major categories.

First, loss of diversity generally weakens entire natural systems. Healthy ecosystems tend to have many natural checks and balances. Every species plays a role in maintaining this system. When simplified by the loss of diversity, the system becomes more susceptible to natural and artificial perturbations. The chances of a system-wide collapse increase. In parts of the midwestern United States, for example, it was

only the remnant areas of natural prairies that kept soil intact during the dust bowl years of the 1930s. (Roush 1982)

Simplified ecosystems are almost always expensive to maintain. For example, when synthetic chemicals are relied upon to control pests, the target species are not the only ones affected. Their predators are almost always killed or driven away, exasperating the pest problem. In the meantime, people are unintentionally breeding pesticide-resistant pests. A process has begun where people become perpetual guardians of the affected area, which requires the expenditure of financial resources and human ingenuity to keep the system going.

A second reason for protecting biological diversity is that it represents one of our greatest untapped resources. Great benefits can be reaped from a single species. About 20 species provide 90% of the world's food. Of these 20, just three, wheat, maize and rice-supply over one half of that food. American wheat farmers need new varieties every five to 15 years to compete with pests and diseases. Wild strains of wheat are critical genetic reservoirs for these new varieties.

Further, every species is a potential source of human medicine. In 1980, a published report identified the market value of prescription drugs from higher plants at over \$3 billion. Organic alkaloids, a class of chemical compounds used in medicines, are found in an estimated 20% of plant species. Yet only 2% of plant species have been screened for these compounds. (Hoose 1981)

The third reason for protecting diversity is that humans benefit from natural areas and depend on healthy ecosystems. The natural world supplies our air, our water, our food and supports human economic activity. Further, humans are creatures that evolved in a diverse natural environment between forest and

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<sup>1</sup>Taken from *The Conservation of Biological Diversity in the Great Lakes Ecosystem: Issues and Opportunities*, prepared by the Nature Conservancy Great Lakes Program 79W. Monroe Street, Suite 1309, Chicago, IL 60603, January 1994

grasslands. People need to be reassured that such places remain. When people speak of “going to the country,” they generally mean more than getting out of town. For reasons of their own sanity and well being, they need a holistic, organic experience. Prolonged exposure to urban monotony produces neuroses, for which cultural and natural diversity cure.

Historically, the lack of attention to biological diversity, and the ecological processes it supports, has resulted in economic hardships for segments of the basin’s human population.

The final reason for protecting biological diversity is that species and natural systems are intrinsically valuable. The above reasons have focused on the benefits of the natural world to humans. All things possess intrinsic value simply because they exist.

### **Biological Resources Concerning the Subject Parcel**

As part of the Natural Resources Information Report, staff checks office maps to determine if any nature preserves are in the general vicinity of the parcel in question. If there is a nature preserve in the area, then that resource will be identified as part of the report. The SWCD recommends that every effort be made to protect that resource. Such efforts should include, but are not limited to erosion control, sediment control, stormwater management, and groundwater monitoring.

*Office maps indicate that ecologically sensitive area(s), Fox River, Saw-Wee-Kee Nature Preserve, Lyon Forest Preserve and Richard Young Forest Preserve are located near the parcel in question (PIQ).*

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## **SOILS INFORMATION**

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### **Importance of Soils Information**

Soils information comes from the Natural Resources Conservation Service Soil Maps and Descriptions for Kendall County. This information is important to all parties involved in determining the suitability of the proposed land use change.

Each soil polygon is given a number, which represents its soil type. The letter found after the soil type number indicates the soils slope class.

Each soil map unit has limitations for a variety of land uses such as septic systems, buildings with basements, and buildings without basements. It is important to remember that soils do not function independently of each other. The behavior of a soil depends upon the physical properties of adjacent soil types, the presence of artificial drainage, soil compaction, and its position in the local landscape.

The limitation categories (slight, moderate or severe) indicate the potential for difficulty in using that soil unit for the proposed activity and, thus, the degree of need for thorough soil borings and engineering studies. A limitation

does not necessarily mean that the proposed activity cannot be done on that soil type. It does mean that the reasons for the limitation need to be thoroughly understood and dealt with in order to complete the proposed activity successfully. A severe limitation indicates that the proposed activity will be more difficult and costly to do on that soil type than on a soil type with a moderate or slight rating.

Soil survey interpretations are predictions of soil behavior for specified land uses and specified management practices. They are based on the soil properties that directly influence the specified use of the soil. Soil survey interpretations allow users of soil surveys to plan reasonable alternatives for the use and management of soils.

Soil interpretations do not eliminate the need for on-site study and testing of specific sites for the design and construction for specific uses. They can be used as a guide for planning more detailed investigations and for avoiding undesirable sites for an intended use. The scale of the maps and the range of error limit the use of the soil delineation.

Figure 2: Soil Map

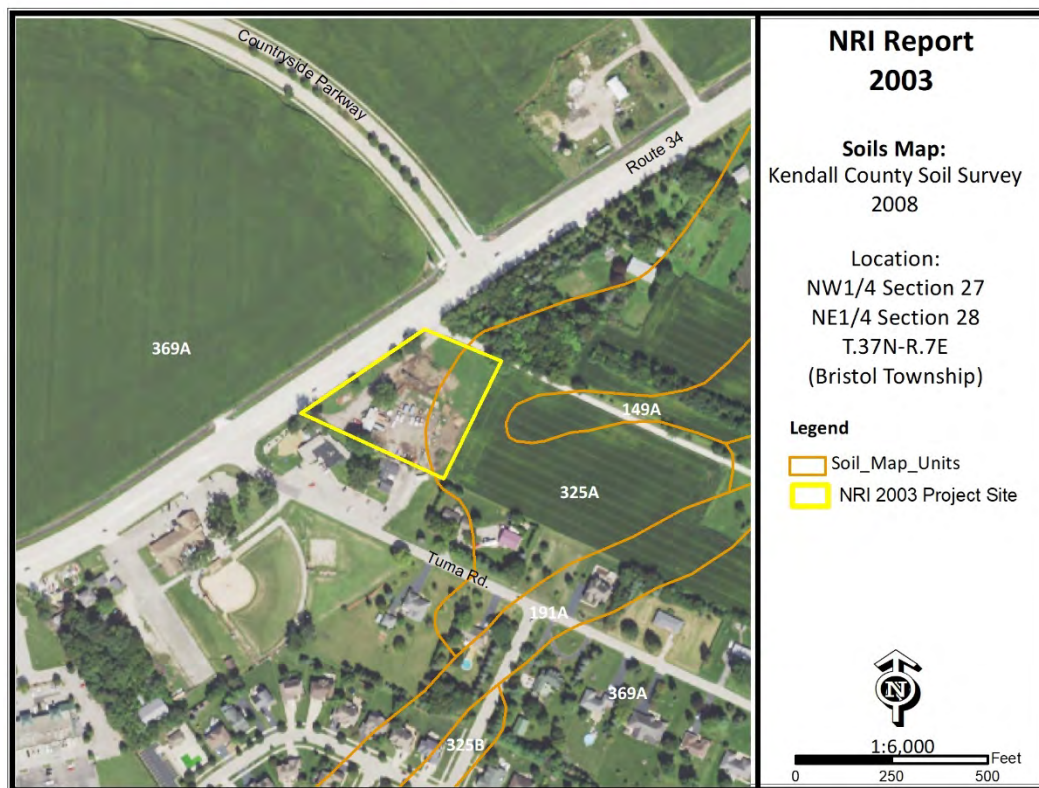


Table 1: Soil Map Unit Descriptions

Symbol	Descriptions	Acres	Percent
325A	Dresden silt loam, 0-2% slopes	0.8	32%
369A	Waupecan silt loam, 0-2% slopes	1.7	68%

\*SOURCE: National Cooperative Soil Survey – USDA-NRCS

## SOIL INTERPRETATIONS EXPLANATION

### Nonagricultural

#### General

These interpretative ratings help engineers, planners, and others to understand how soil properties influence behavior when used for nonagricultural uses such as building site development or construction materials. This report gives ratings for proposed uses in terms of limitations and restrictive features. The tables list only the most restrictive features.

Other features may need treatment to overcome soil limitations for a specific purpose. Ratings come from the soil's "natural" state, that is, no unusual modification occurs other

than that which is considered normal practice for the rated use. Even though soils may have limitations, an engineer may alter soil features or adjust building plans for a structure to compensate for most degrees of limitations. Most of these practices, however, are costly. The final decision in selecting a site for a particular use generally involves weighing the costs for site preparation and maintenance. Soil properties influence development of building sites, including the selection of the site, the design of the structure, construction, performance after construction, and maintenance. Soil limitation ratings of slight, moderate, and severe are given for the types of



proposed improvements that are listed or inferred by the petitioner as entered on the report application and/or zoning petition. The most common types of building limitation that this report gives limitations ratings for is: septic systems. It is understood that engineering practices can overcome most limitations for buildings with and without basements, and small commercial buildings. Limitation ratings for these types of buildings are not commonly provided. Organic soils, when present on the parcel, are referenced in the hydric soils section of the report. This type of soil is considered to be unsuitable for all types of construction.

#### **Limitations Ratings**

1. **Not Limited** - This soil has favorable properties for the use. The degree of limitation is minor. The people involved can expect good performance and low maintenance.
2. **Somewhat Limited** - This soil has moderately favorable properties for the use. Special planning, design, or maintenance can overcome this degree of limitation. During some part of the year, the expected performance is less desirable than for soils rated slight.
3. **Very Limited** - This soil has one or more properties that are unfavorable for the rated use. These may include the following: steep slopes, bedrock near the surface, flooding, high shrink-swell potential, a seasonal high water table, or low strength. This degree of limitation generally requires major soil reclamation, special design, or intensive maintenance, which in most situations is difficult and costly.

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## **BUILDING LIMITATIONS**

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#### **Building on Poorly Suited or Unsuitable Soils:**

Can present problems to future property owners such as cracked foundations, wet basements, lowered structural integrity and high maintenance costs associated with these problems. The staff of the Kendall County SWCD strongly urges scrutiny by the plat reviewers when granting parcels with these soils exclusively.

**Small Commercial Building** - Ratings are for structures that are less than three stories high and do not have basements. The foundation is assumed to be spread footings of reinforced concrete built on disturbed soil at a depth of 2 feet or at the depth of maximum frost penetration, whichever is deeper. The ratings are based on soil properties that affect the capacity of the soil to support a load without movement and on the properties that affect excavation and construction costs.

**Shallow Excavations** - Trenches or holes dug to a maximum depth of 5 or 6 feet for utility lines, open ditches or other purposes. Ratings are based on soil properties that influence the ease of digging and the resistance to sloughing.

**Lawns and Landscaping** - Require soils on which turf and ornamental trees and shrubs can be established and maintained (irrigation is not considered in the ratings). The ratings are based on the soil properties that affect plant growth and trafficability after vegetation is established.

**Local Roads and Streets** - They have an all-weather surface and carry automobile and light truck traffic all year. They have a subgrade of cut or fill soil material, a base of gravel, crushed rock or soil material stabilized by lime or cement; and a surface of flexible material (asphalt), rigid material (concrete) or gravel with a binder. The ratings are based on the soil properties that affect the ease of excavation and grading and the traffic-supporting capacity.

**Onsite Sewage Disposal** - The factors considered are the characteristics and qualities of the soil that affect the limitations for absorbing waste from domestic sewage disposal systems. The major features considered are soil permeability, percolation rate, groundwater level, depth to bedrock, flooding hazards, and slope. The table below indicates soils that are deemed unsuitable per the Kendall County Subdivision Control Ordinance. Installation of an

on-site sewage disposal system in soils designated as unsuitable may necessitate the installation of a non-conventional onsite sewage disposal system. For more information please

contact the Kendall County Health Department – Environmental Health at (630)553-9100 x8026

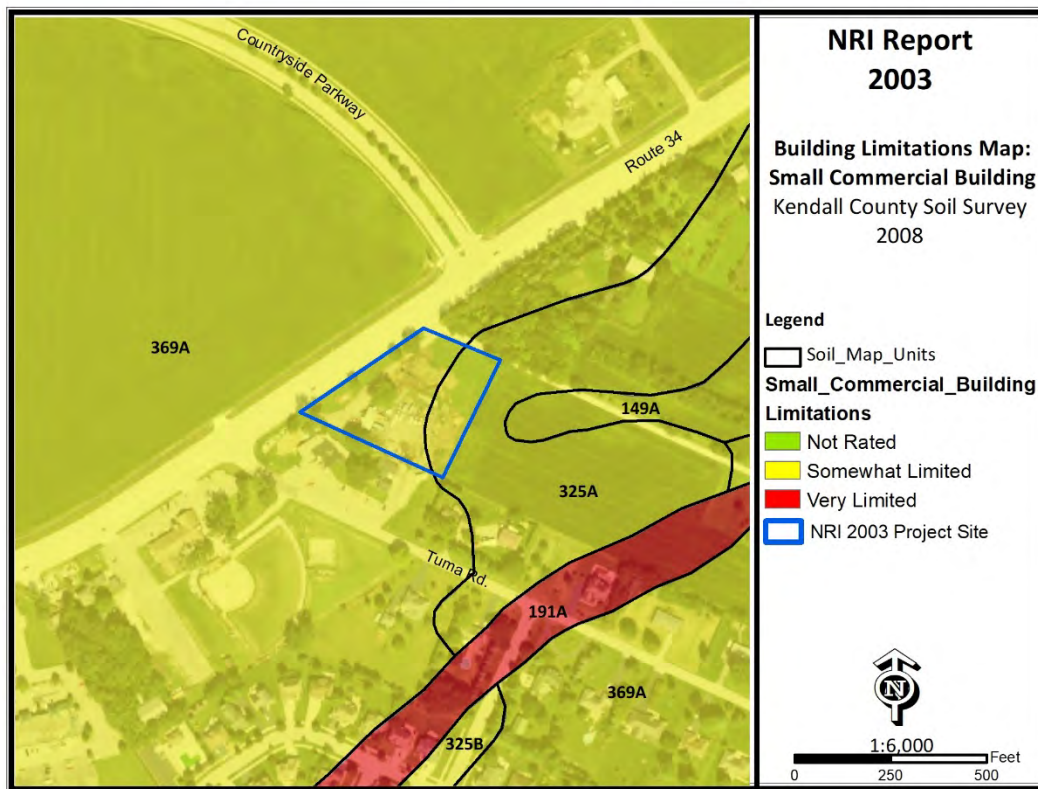
**Table 2a: Building Limitations**

Soil Type	Small Commercial Building	Shallow Excavation	Lawns/Landscaping	Acres	%
325A	<b>Somewhat Limited:</b> Shrink-swell	<b>Somewhat Limited:</b> Dusty; Unstable Excavation Walls	<b>Somewhat Limited:</b> Dusty	0.8	32%
369A	<b>Somewhat Limited:</b> Shrink-swell	<b>Somewhat Limited:</b> Dusty; Unstable Excavation Walls	<b>Somewhat Limited:</b> Dusty	1.7	68%
<b>% Very Limited</b>	<b>0%</b>	<b>0%</b>	<b>0%</b>		

**Table 2b: Building Limitations**

Soil Type	Local Roads & Streets	Onsite Conventional Sewage Systems	Acres	%
325A	<b>Somewhat Limited:</b> Low strength; Frost action; Shrink-swell	<b>Unsuitable:</b> Gravel	0.8	32%
369A	<b>Very Limited:</b> Frost action; Low Strength; Shrink-swell	<b>Suitable</b>	1.7	68%
<b>% Very Limited</b>	<b>68%</b>	<b>68%</b>		

**Figure 3a: Map of Building Limitations – Small Commercial Building**



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## SOIL WATER FEATURES

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This table gives estimates of various soil water features that should be taken into consideration when reviewing engineering for a land use project.

**Hydrologic Soil Groups (HSGs):** The groups are based on estimates of runoff potential. Soils are assigned to one of four groups according to the rate of water infiltration when the soils are not protected by vegetation, are thoroughly wet, and receive precipitation from long-duration storms.

**Group A:** Soils having a high infiltration rate (low runoff potential) when thoroughly wet. These consist mainly of deep, well drained to excessively drained sands or gravelly sands. These soils have a high rate of water transmission.

**Group B:** Soils having a moderate infiltration rate when thoroughly wet. These consist chiefly of moderately deep or deep, moderately well drained or well drained soils that have moderately fine texture to moderately coarse texture. These soils have a moderate rate of water transmission.

**Group C:** Soils having a slow infiltration rate when thoroughly wet. These consist chiefly of soils having a layer that impedes the downward movement of water or soils of moderately fine texture or fine texture. These soils have a slow rate of water transmission.

**Group D:** Soils having a very slow infiltration rate (high runoff potential) when thoroughly wet. These consist chiefly of clays that have a high shrink-swell potential, soils that have a high water table, soils that have a claypan or clay layer at or near the surface, and soils that are shallow over nearly impervious material. These soils have a very slow rate of water transmission.

**Note:** If a soil is assigned to a dual hydrologic group (A/D, B/D or C/D) the first letter is for drained areas and the second is for undrained areas.

**Surface Runoff:** Refers to the loss of water from an area by flow over the land surface. Surface runoff classes are based upon slope, climate and vegetative cover and indicates relative runoff for very specific conditions (it is assumed that the surface of the soil is bare and that the retention of surface water resulting from irregularities in the ground surface is minimal). The classes are: negligible, very low, low, medium, high and very high.

**Months:** Indicates the portion of the year in which a water table, ponding, and/or flooding is most likely to be a concern.

**Water Table:** Refers to a saturated zone in the soil and the data indicates, by month, depth to the top (upper limit) and base (lower limit) of the saturated zone in most years. These estimates are based upon observations of the water table at selected sites and on evidence of a saturated zone (grayish colors or mottles (redoximorphic features)) in the soil. Note: A saturated zone that lasts for less than a month is not considered a water table.

**Ponding:** Refers to standing water in a closed depression and the data indicates surface water depth, duration and frequency of ponding.

**Duration:** Expressed as *very brief* if less than 2 days, *brief* is 2 to 7 days, *long* if 7 to 30 days and *very long* if more than 30 days.

**Frequency:** Expressed as: *none* meaning ponding is not possible; *rare* means unlikely but possible under unusual weather conditions (chance of ponding is 0-5% in any year); *occasional* means that it occurs, on the average, once or less in 2 years (chance of ponding is 5 to 50% in any year); and frequent means that it occurs, on the average, more than once in 2 years (chance of ponding is more than 50% in any year).

**Flooding:** The temporary inundation of an area caused by overflowing streams, by runoff from adjacent slopes, or by tides. Water standing for short periods after rainfall or snowmelt is not considered flooding, and water standing in swamps and marshes is considered ponding rather than flooding.

**Duration:** Expressed as: *extremely brief* if 0.1 hour to 4 hours; *very brief* if 4 hours to 2 days; *brief* if 2 to 7 days; *long* if 7 to 30 days; and *very long* if more than 30 days.

**Frequency:** Expressed as: *none* means flooding is not probable; *very rare* means that it is very unlikely but possible under extremely unusual weather conditions (chance of flooding is less than 1% in any year); *rare* means that it is unlikely but possible under unusual weather conditions (chance of flooding is 1 to 5% in any year); *occasional* means that it occurs infrequently under normal weather conditions (chance of

flooding is 5 to 50% in any year but is less than 50% in all months in any year); and *very frequent* means that it is likely to occur very often under normal weather conditions (chance of flooding is more than 50% in all months of any year).

**Note:** The information is based on evidence in the soil profile. In addition, consideration is

also given to local information about the extent and levels of flooding and the relation of each soil on the landscape to historic floods. Information on the extent of flooding based on soil data is less specific than that provided by detailed engineering surveys that delineate flood-prone areas at specific flood frequency levels.

**Table 3: Water Features**

Map Unit	Hydrologic Group	Surface Runoff	Water Table	Ponding	Flooding
325A	B	Low	January – Dec Upper Limit: -- Lower Limit: --	January - Dec Surface Water Depth & Duration: -- Frequency: None	January - Dec Duration: -- Frequency: None
369A	B	Low	January – Dec Upper Limit: -- Lower Limit: --	January - Dec Surface Water Depth & Duration: -- Frequency: None	January - May Duration: -- Frequency: None

## SOIL EROSION & SEDIMENT CONTROL

Erosion is the wearing away of the soil by water, wind, and other forces. Soil erosion threatens the Nation's soil productivity and contributes the most pollutants in our waterways. Water causes about two thirds of erosion on agricultural land. Four properties, mainly, determine a soil's erodibility: texture, slope, structure, organic matter content.

**Slope** has the most influence on soil erosion potential when the site is under construction. Erosivity and runoff increase as slope grade increases. The runoff then exerts more force on the particles, breaking their bonds more readily and carrying them farther before deposition. The longer water flows along a slope before reaching a major waterway, the greater the potential for erosion.

Soil erosion during and after this proposed construction can be a primary non-point source of water pollution. Eroded soil during the construction phase can create unsafe conditions on roadways, decrease the storage capacity of lakes, clog streams and drainage channels, cause deterioration of aquatic habitats, and increase

water treatment costs. Soil erosion also increases the risk of flooding by choking culverts, ditches and storm sewers, and by reducing the capacity of natural and man-made detention facilities.

The general principles of erosion and sedimentation control measures include:

- reducing or diverting flow from exposed areas, storing flows or limiting runoff from exposed areas,
- staging construction in order to keep disturbed areas to a minimum,
- establishing or maintaining or temporary or permanent groundcover,
- retaining sediment on site and
- properly installing, inspecting and maintaining control measures.

Erosion control practices are useful controls only if they are properly located, installed, inspected and maintained.

The SWCD recommends an erosion and sediment control plan for all building sites, especially if there is a wetland or stream nearby

**Table 4: Soil Erosion Potential**

Soil Type	Slope	Rating	Acreage	Percent of Parcel
325A	0-2%	Slight	0.8	32%
369A	0-2%	Slight	1.7	68%

## PRIME FARMLAND SOILS

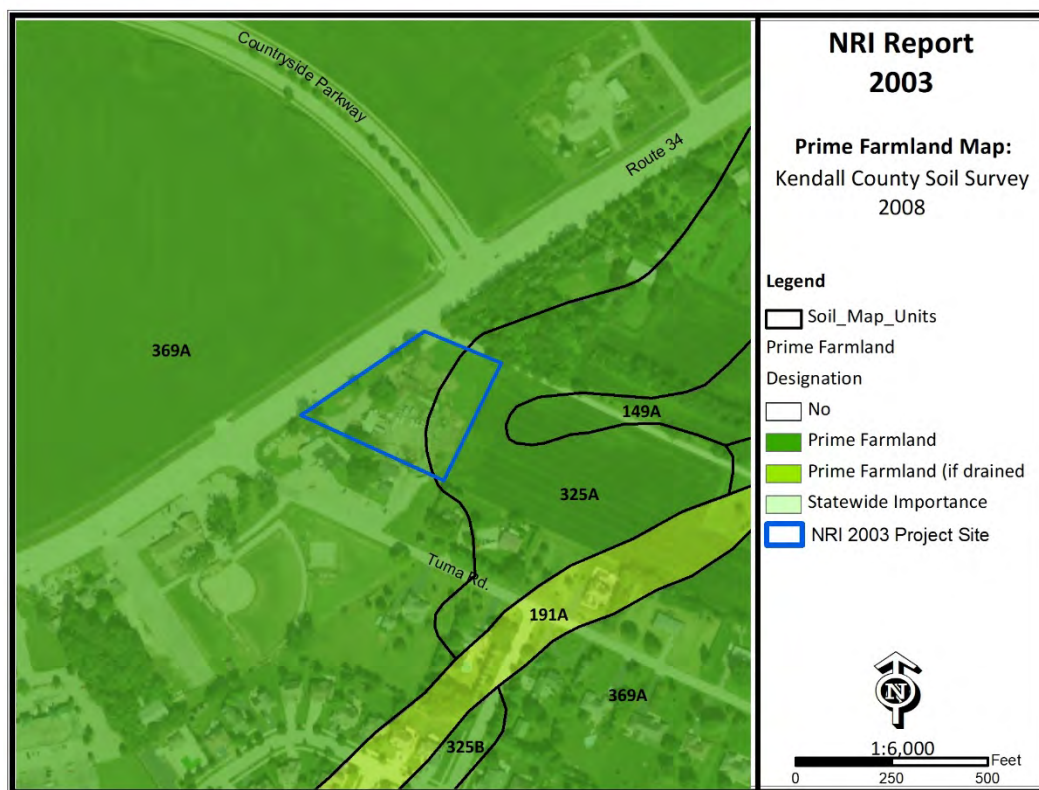
Prime farmland soils are an important resource to Kendall County. Some of the most productive soils in the United States occur locally. Each soil map unit in the United States is assigned a prime or non-prime rating. Prime agricultural land does not need to be in the production of food & fiber.

Section 310 of the NRCS general manual states that urban or built-up land on prime farmland soils is not prime farmland. The percentages of soils map units on the parcel reflect the determination that urban or built up land on prime farmland soils is not prime farmland.

**Table 5: Prime Farmland Soils**

Soil Types	Prime Designation	Acreage	Percent
325A	Prime Farmland	0.8	32%
369A	Prime Farmland	1.7	68%
% Prime Farmland	100%		

**Figure 4: Map of Prime Farmland Soils**



## LAND EVALUATION & SITE ASSESSMENT (LESA)

Decision-makers in Kendall County use the Land Evaluation and Site Assessment (LESA) system to determine the suitability of a land use change and/or a zoning request as it relates to agricultural land. The LESA system was developed by the United States Department of Agriculture-Natural Resources Conservation Service (USDA-NRCS) and takes into consideration local conditions such as physical characteristics of the land, compatibility of

surrounding land-uses, and urban growth factors. The LESA system is a two-step procedure that includes:

**LAND EVALUATION (LE)** – The soils of a given area are rated and placed in groups ranging from the best to worst suited for a stated agriculture use, cropland or forestland. The best group is assigned a value of 100 and all other groups are assigned lower values. The Land

Evaluation is based on data from the Kendall County Soil Survey. The Kendall County Soil and Water Conservation District is responsible for this portion of the LESA system.

**SITE ASSESSMENT (SA)** – The site is numerically evaluated according to important factors that contribute to the quality of the site. Each factor selected is assigned values in accordance with the local needs and objectives. The Kendall County LESA Committee is responsible for this portion of the LESA system.

The value group is a predetermined value based upon prime farmland designation. The LE score

is calculated by multiplying the relative value of each soil type by the number of acres of that soil. The sum of the products is then divided by the total number of acres; the answer is the Land Evaluation score on this site.

**Please Note:** A land evaluation (LE) score will be compiled for every project parcel. However, when a parcel is located within municipal planning boundaries, a site assessment score is not compiled as the scoring factors are not applicable. As a result, only the LE score is available and a full LESA score is unavailable for the parcel.

**Table 6a: Land Evaluation Computation**

Soil Type	Value Group	Relative Value	Acres	Product (Relative Value x Acres)
325A	4	79	0.8	63.2
369A	2	94	1.7	159.8
<b>Totals</b>			<b>2.5</b>	<b>223.0</b>
<b>LE Score</b>		<b>LE= 223.0/2.5</b>		<b>LE=89</b>

The Land Evaluation score for this site is 89, indicating that this site is currently designated as prime farmland that is well suited for agricultural uses.

**Table 6b: Site Assessment Computation**

A.	Agricultural Land Uses	Points
	1. Percentage of area in agricultural uses within 1.5 miles of site. (20-10-5-0)	0
	2. Current land use adjacent to site. (30-20-15-10-0)	20
	3. Percentage of site in agricultural production in any of the last 5 years. (20-15-10-5-0)	0
	4. Size of site. (30-15-10-0)	0
B.	Compatibility / Impact on Uses	
	1. Distance from city or village limits. (20-10-0)	0
	2. Consistency of proposed use with County Land Resource Management Concept Plan and/or municipal comprehensive land use plan. (20-10-0)	0
	3. Compatibility of agricultural and non-agricultural uses. (15-7-0)	0
C.	Existence of Infrastructure	
	1. Availability of public sewage system. (10-8-6-0)	0
	2. Availability of public water system. (10-8-6-0)	0
	3. Transportation systems. (15-7-0)	0
	4. Distance from fire protection service. (10-8-6-2-0)	6
	<b>Site Assessment Score:</b>	<b>26</b>

**Land Evaluation Value: 89 + Site Assessment Value: 26 = LESA Score: 115**

LESA SCORE	LEVEL OF PROTECTION
0-200	Low
201-225	Medium
226-250	High
251-300	Very High

The **LESA Score for this site is 115 which indicates a medium level of protection** for the proposed project site. Note: Selecting the project site with the lowest total points will generally protect the best farmland located in the most viable areas and maintain and promote the agricultural industry in Kendall County.

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## LAND USE PLANS

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Many counties, municipalities, villages and townships have developed land-use plans. These plans are intended to reflect the existing and future land-use needs of a given

community. Please contact the Kendall County Planning, Building & Zoning for information regarding the County's comprehensive land use plan and map.

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## DRAINAGE, RUNOFF AND FLOOD INFORMATION

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U.S.G.S Topographic maps give information on elevations, which are important mostly to determine slopes, drainage directions, and watershed information.

Elevations determine the area of impact of floods of record. Slope information determines steepness and erosion potential. Drainage directions determine where water leaves the PIQ, possibly impacting surrounding natural resources.

Watershed information is given for changing land use to a subdivision type of development on parcels greater than 10 acres.

### **What is a watershed?**

Simply stated, a watershed is the area of land that contributes water to a certain point. The watershed boundary is important because the area of land in the watershed can now be calculated using an irregular shape area calculator such as a dot counter or planimeter.

Using regional storm event information, and site specific soils and land use information, the peak stormwater flow through the point marked "O" for a specified storm event can be calculated. This value is called a "Q" value (for the given storm event), and is measured in cubic feet per second (CFS).

When construction occurs, the Q value naturally increases because of the increase in impermeable surfaces. This process decreases the ability of soils to accept and temporarily hold water. Therefore, more water runs off and increases the Q value.

Theoretically, if each development, no matter how large or small, maintains their preconstruction Q value after construction by

the installation of stormwater management systems, the streams and wetlands and lakes will not suffer damage from excessive urban stormwater.

For this reason, the Kendall County SWCD recommends that the developer for intense uses such as a subdivision calculate the preconstruction Q value for the exit point(s). A stormwater management system should be designed, installed, and maintained to limit the postconstruction Q value to be at or below the preconstruction value.

### **Importance of Flood Information**

A floodplain is defined as land adjoining a watercourse (riverine) or an inland depression (non-riverine) that is subject to periodic inundation by high water. Floodplains are important areas demanding protection since they have water storage and conveyance functions which affect upstream and down stream flows, water quality and quantity, and suitability of the land for human activity. Since floodplains play distinct and vital roles in the hydrologic cycle, development that interferes with their hydrologic and biologic functions should be carefully considered.

Flooding is both dangerous to people and destructive to their properties. The following maps, when combined with wetland and topographic information, can help developers and future homeowners to "sidestep" potential flooding or ponding problems.

FIRM is the acronym for the Flood Insurance Rate Map, produced by the Federal Emergency Management Agency. These maps define flood elevation adjacent to tributaries and major bodies of water, and superimpose that onto a

simplified USGS topographic map. The scale of the FIRM maps is generally dependent on the size and density of parcels in that area. (This is to correctly determine the parcel location and flood plain location.) The FIRM map has three (3) zones. A is the zone of 100 year flood, zone B is the 100 to 500 year flood, and zone C is outside the flood plain.

The Hydrologic Atlas (H.A.) Series of the Flood of Record Map is also used for the topographic information. This map is different from the FIRM map mainly because it will show isolated, or pocketed flooded areas. Kendall County uses both these maps in conjunction with each other for flooded area determinations. The Flood of Record maps, show the areas of flood for various years. Both of these maps stress that the recurrence of flooding is merely statistical. That is to say a 100-year flood may occur twice in one year, or twice in one week, for that matter.

It should be noted that greater floods than those shown on the two maps are possible. The flood boundaries indicated provide a historic record only until the map publication date. Additionally, these flood boundaries are a function of the watershed conditions existing when the maps were produced. Cumulative changes in runoff characteristics caused by urbanization can result in an increase in flood height of future flood episodes.

Floodplains play a vital role in reducing the flood damage potential associated with an urbanizing area and, when left in an undisturbed state, also provide valuable wildlife habitat benefits. If it is the petitioner's intent to conduct floodplain filling or modification activities, the petitioner and the Unit of Government responsible need to consider the potentially adverse effects this type of action could have on adjacent properties. The change or loss of natural floodplain storage often increases the frequency and severity of flooding on adjacent property.

If the available maps indicate the presence of a floodplain on the PIQ, the petitioner should contact the IDOT-DWR and FEMA to delineate a floodplain elevation for the parcel. If a portion of the property is indeed floodplain, applicable state, county and local regulations will need to be reflected in the site plans.

Another indication of flooding potential can be found in the soils information. Hydric soils indicate the presence of drainageways, areas subject to ponding, or a naturally occurring high water table. These need to be considered along with the floodplain information when developing the site plan and the stormwater management plan. If the site does include these hydric soils and development occurs, thus raising the concerns of the loss of water storage in these soils and the potential for increased flooding in the area.

This parcel is located on topography (**slopes 0 to 2%**) involving high and low areas (**elevation is approximately 640' above sea level**). The parcel lies within the **Fox River Watershed**. The topographic map indicates that the parcel drains predominately southeast.



Figure 5: FEMA Floodplain Map

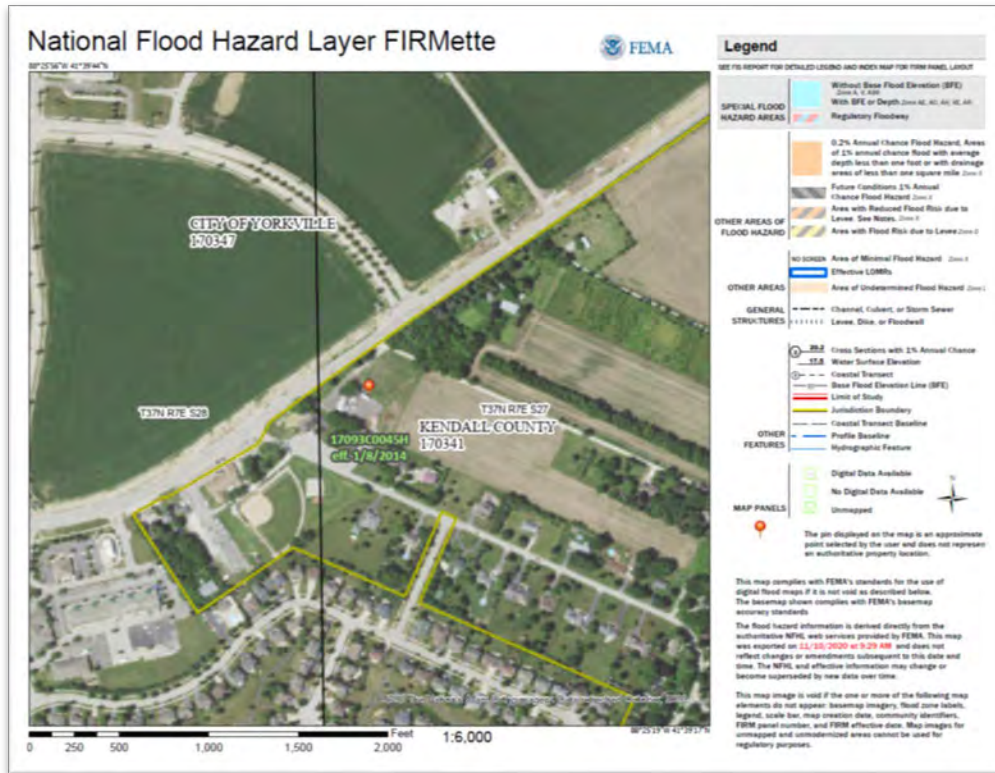
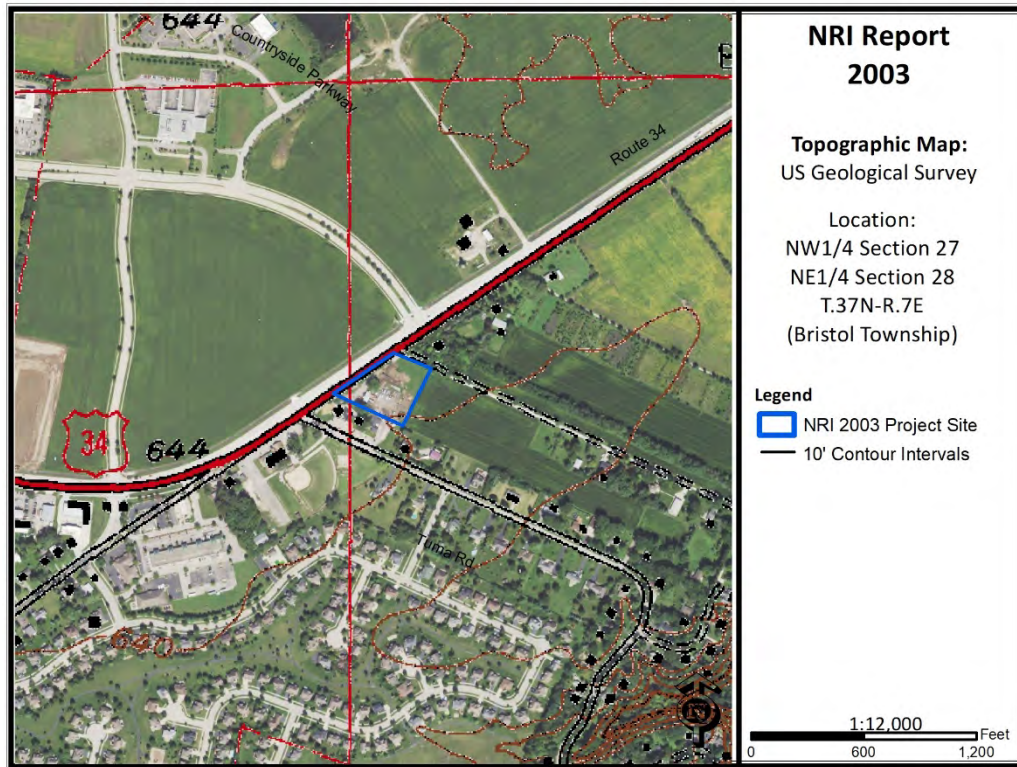


Figure 6: USGS Topographic Map



## WATERSHED PLANS

### Watershed and Subwatershed Information

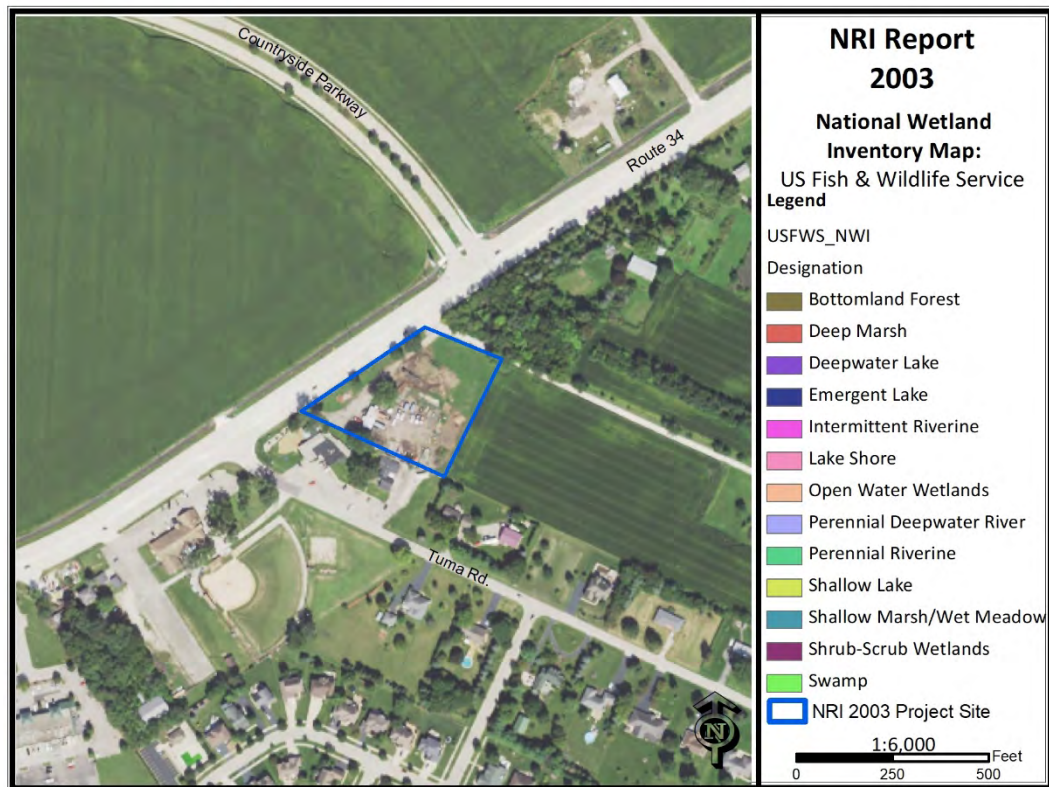
A watershed is the area of land that drains into a specific point including a stream, lake or other body of water. High points on the Earth's surface, such as hills and ridges define watersheds. When rain falls in the watershed, it flows across the ground towards a stream or lake. Rainwater carries any pollutants it comes in contact with such as oils, pesticides, and soil. Everyone lives in a watershed. Their actions can impact natural resources and people living downstream. Residents can minimize this impact by being aware of their environment and implications of their activities, implementing practices recommended in watershed plans and educating others about their watershed. This parcel is located within the **Fox River Watershed**.

The following are recommendations to developers for protection of this watershed:

- Preserve open space.
- Maintain wetlands as part of development.
- Use natural water management.
- Prevent soil from leaving a construction site.
- Protect subsurface drainage.
- Use native vegetation.
- Retain natural features.
- Mix housing styles and types.
- Decrease impervious surfaces.
- Reduce area disturbed by mass grading.
- Shrink lot size and create more open space.
- Maintain historical and cultural resources.
- Treat water where it falls.
- Preserve views.
- Establish and link trails.

## WETLAND INFORMATION

Figure 7: Wetland Map – USFWS National Wetland Inventory



Office maps indicate that wetlands **are not** present on the parcel in question (PIQ).

### Importance of Wetland Information

Wetlands function in many ways to provide numerous benefits to society. They control flooding by offering a slow release of excess water downstream or through the soil. They cleanse water by filtering out sediment and some pollutants, and can function as rechargers of our valuable groundwater. They also are essential breeding, rearing, and feeding grounds for many species of wildlife.

These benefits are particularly valuable in urbanizing areas as development activity typically adversely affects water quality, increases the volume of stormwater runoff, and increases the demand for groundwater. In an area where many individual homes rely on shallow groundwater wells for domestic water supplies, activities that threaten potential groundwater recharge areas are contrary to the public good. The conversion of wetlands, with their sediment trapping and nutrient absorbing vegetation, to biologically barren stormwater detention ponds can cause additional degradation of water quality in downstream or adjacent areas.

It has been estimated that over 95% of the wetlands that were historically present in Illinois have been destroyed while only recently has the true environmental significance of wetlands been fully recognized. America is losing 100,000 acres of wetland a year, and has saved 5 million acres total (since 1934). One acre of wetland can filter 7.3 million gallons of

water a year. These are reasons why our wetlands are high quality and important.

This section contains the NRCS (Natural Resources Conservation Service) Wetlands Inventory, which is the most comprehensive inventory to date. The NRCS Wetlands Inventory is reproduced from an aerial photo at a scale of 1" equals 660 feet. The NRCS developed these maps in cooperation with U.S. EPA (Environmental Protection Agency,) and the U.S. Fish and Wildlife Service, using the National Food Security Act Manual, 3rd Edition. The main purpose of these maps is to determine wetland areas on agricultural fields and areas that may be wetlands but are in a non-agriculture setting.

The NRCS Wetlands Inventory in no way gives an exact delineation of the wetlands, but merely an outline, or the determination that there is a wetland within the outline. For the final, most accurate wetland **determination** of a specific wetland, a wetland **delineation** must be certified by NRCS staff using the National Food Security Act Manual (on agricultural land.) On urban land, a certified wetland delineator must perform the delineation using the ACOE 1987 Manual. *See the glossary section for the definitions of "delineation" and "determination."*

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## Hydric Soils

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Soils information gives another indication of flooding potential. The soils map on this page indicates the soil(s) on the parcel that the Natural Resources Conservation Service indicates as hydric. Hydric soils by definition have seasonal high water at or near the soil surface and/or have potential flooding or ponding problems. All hydric soils range from poorly suited to unsuitable for building. One group of the hydric soils, are the organic soils, which formed from dead organic material. Organic soils are unsuitable for building because of not only the high water table, but also their subsidence problems.

It is also important to add the possibility of hydric inclusions in a soil type. An inclusion is a soil polygon that is too small to appear on these maps. While relatively insignificant for agricultural use, hydric soil inclusions become more important to more intense uses such as a residential subdivision.

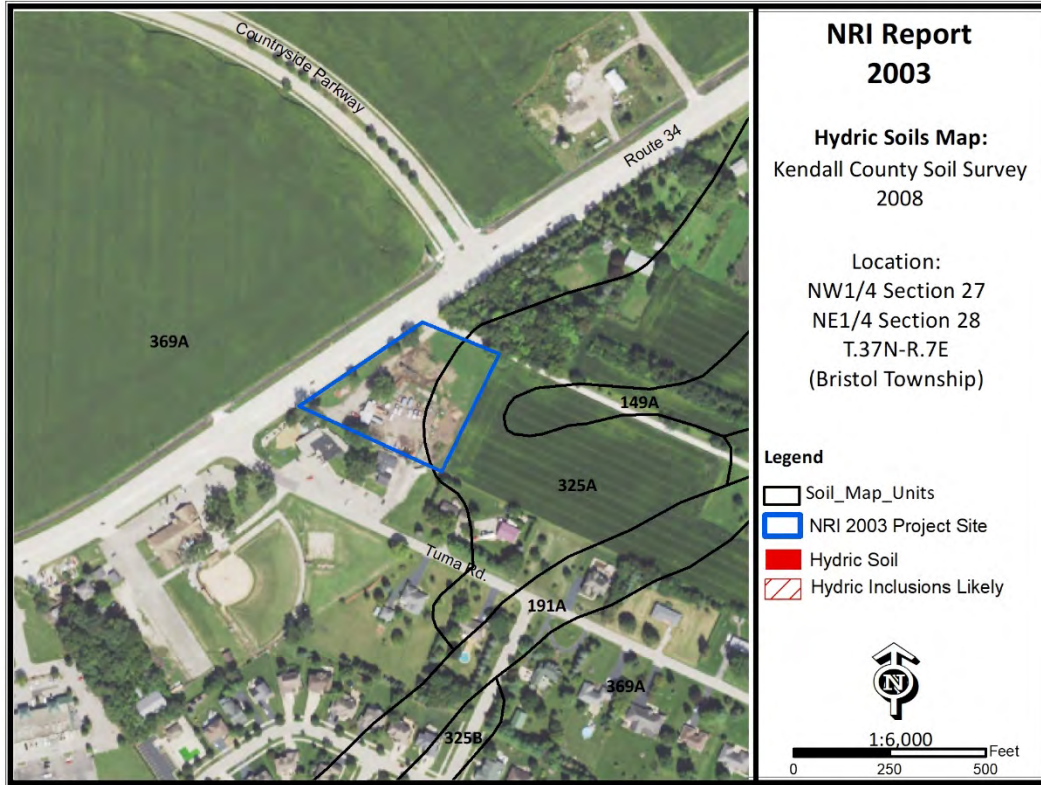
While considering hydric soils and hydric inclusions, it is noteworthy to mention that subsurface agriculture drainage tile occurs in almost all poorly drained and somewhat poorly drained soils. Drainage tile expedites drainage and facilitates farming. It is imperative that these drainage tiles remain undisturbed. A damaged subsurface drainage tile may return original hydrologic conditions to all of the areas that drained through the tile (ranging from less than one acre to many square miles.)

For an intense land use, such as a subdivision, the Kendall County SWCD recommends the following: a topographical survey with 1 foot contour intervals to accurately define the flood area on the parcel, an intensive soil survey to define most accurately the locations of the hydric soils and inclusions and a drainage tile survey on the area to locate the tiles that must be preserved to maintain subsurface drainage .

**Table 7: Hydric Soils**

Soil Types	Drainage Class	Hydric Designation	Hydric Inclusions Likely	Acreage	Percent
325A	Well Drained	Non-hydric	No	0.8	32%
369A	Well Drained	Non-hydric	No	1.7	68%

**Figure 8: Hydric Soils Map**



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## WETLAND AND FLOODPLAIN REGULATIONS

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PLEASE READ THE FOLLOWING IF YOU ARE PLANNING TO DO ANY WORK NEAR A STREAM (THIS INCLUDES SMALL UNNAMED STREAMS), LAKE, WETLAND OR FLOODWAY.

The laws of the United States and the State of Illinois assign certain agencies specific and different regulatory roles to protect the waters within the State's boundaries. These roles, when considered together, include protection of navigation channels and harbors, protection against flood way encroachments, maintenance and enhancement of water quality, protection of fish and wildlife habitat and recreational resources, and, in general, the protection of total public interest. Unregulated use of the waters within the State of Illinois could permanently destroy or alter the character of these valuable resources and adversely impact the public. Therefore, please contact the proper regulatory authorities when planning any work associated with Illinois waters so that proper consideration and approval can be obtained.

### WHO MUST APPLY

Anyone proposing to dredge, fill, rip rap, or otherwise alter the banks or beds of, or construct, operate, or maintain any dock, pier, wharf, sluice, dam, piling, wall, fence, utility, flood plain or flood way subject to State or Federal regulatory jurisdiction should apply for agency approvals.

### REGULATORY AGENCIES:

- ◆ **Wetlands or U.S. Waters:** U.S. Army Corps of Engineers, Rock Island District, Clock Tower Building, Rock Island, IL
- ◆ **Flood plains:** Illinois Department of Natural Resources \ Office of Water Resources, Natural Resources Way, Springfield, IL 62702-1270.
- ◆ **Water Quality \ Erosion Control:** Illinois Environmental Protection Agency, Springfield, IL

### COORDINATION

We recommend early coordination with the regulatory agencies BEFORE finalizing work plans. This allows the agencies to recommend measures to mitigate or compensate for adverse impacts. Also, the agency can make possible environmental enhancement provisions early in the project planning stages. This could reduce time required to process necessary approvals.

**CAUTION: Contact with the United States Army Corps of Engineers is strongly advised before commencement of any work in or near a water of the United States. This could save considerable time and expense. Persons responsible for willful and direct violation of Section 10 of the River And Harbor Act of 1899 or Section 404 of the Federal Water Pollution Control Act are subject to fines ranging up to \$27,500 per day of violation and imprisonment for up to one year or both.**

## GLOSSARY

### **AGRICULTURAL PROTECTION AREAS (AG AREAS)** -

Allowed by P.A. 81-1173. An AG AREA consists of a minimum of 350 acres of farmland, as contiguous and compact as possible. Petitioned by landowners, AG AREAS protect for a period of ten years initially, then reviewed every eight years thereafter. AG AREA establishment exempts landowners from local nuisance ordinances directed at farming operations, and designated land cannot receive special tax assessments on public improvements that do not benefit the land, e.g. water and sewer lines.

**AGRICULTURE** - The growing, harvesting and storing of crops including legumes, hay, grain, fruit and truck or vegetable including dairying, poultry, swine, sheep, beef cattle, pony and horse production, fur farms, and fish and wildlife farms; farm buildings used for growing, harvesting and preparing crop products for market, or for use on the farm; roadside stands, farm buildings for storing and protecting farm machinery and equipment from the elements, for housing livestock or poultry and for preparing livestock or poultry products for market; farm dwellings occupied by farm owners, operators, tenants or seasonal or year around hired farm workers.

**B.G.** - Below Grade. Under the surface of the Earth.

**BEDROCK** - Indicates depth at which bedrock occurs. Also lists hardness as rippable or hard.

**FLOODING** - Indicates frequency, duration, and period during year when floods are likely to occur.

**HIGH LEVEL MANAGEMENT** - The application of effective practices adapted to different crops, soils, and climatic conditions. Such practices include providing for adequate soil drainage, protection from flooding, erosion and runoff control, near optimum tillage, and planting the correct kind and amount of high quality seed. Weeds, diseases, and harmful insects are controlled. Favorable soil reaction and near optimum levels of available nitrogen, phosphorus, and potassium for individual crops are maintained. Efficient use is made of available crop residues, barnyard manure, and/or green manure crops. All operations, when combined efficiently and timely, can create favorable growing conditions and reduce harvesting losses -- within limits imposed by weather.

**HIGH WATER TABLE** - A seasonal high water table is a zone of saturation at the highest average depth during the wettest part of the year. May be apparent, perched, or artesian kinds of water tables.

**Water Table, Apparent** - A thick zone of free water in the soil. An apparent water table is indicated by the level at which water stands in an uncased borehole after adequate time is allowed for adjustment in the surrounding soil.

**Water Table, Artesian** - A water table under hydrostatic head, generally beneath an impermeable layer. When this layer is penetrated, the water level rises in an uncased borehole.

**Water Table, Perched** - A water table standing above an unsaturated zone. In places an upper, or perched, water table is separated from a lower one by a dry zone.

**DELINEATION** - For Wetlands: A series of orange flags placed on the ground by a certified professional that outlines the wetland boundary on a parcel.

**DETERMINATION** - A polygon drawn on a map using map information that gives an outline of a wetland.

**HYDRIC SOIL** - This type of soil is saturated, flooded, or ponded long enough during the growing season to develop anaerobic conditions in the upper part (USDA Natural Resources Conservation Service 1987)

**INTENSIVE SOIL MAPPING** - Mapping done on a smaller more intensive scale than a modern soil survey to determine soil properties of a specific site, e.g. mapping for septic suitability.

### **LAND EVALUATION AND SITE ASSESSMENT**

**(L.E.S.A.)** - LESA is a systematic approach for evaluating a parcel of land and to determine a numerical value for the parcel for farmland preservation purposes.

**MODERN SOIL SURVEY** - A soil survey is a field investigation of the soils of a specific area, supported by information from other sources. The kinds of soil in the survey area are identified and their extent shown on a map, and an accompanying report describes, defines, classifies, and interprets the soils. Interpretations predict the behavior of the soils under different used and the soils' response to management. Predictions are made for areas of soil at specific places. Soils information collected in a soil survey is useful in developing land-use plans and alternatives involving soil management systems and in evaluating and predicting the effects of land use.

**PALUSTRINE** - Name given to inland fresh water wetlands.

**PERMEABILITY** - Values listed estimate the range (in rate and time) it takes for downward movement of water in the major soil layers when saturated, but allowed to drain freely. The estimates are based on soil texture, soil structure, available data on

permeability and infiltration tests, and observation of water movement through soils or other geologic materials.

**PIQ** - Parcel in question

**POTENTIAL FROST ACTION** - Damage that may occur to structures and roads due to ice lens formation causing upward and lateral soil movement. Based primarily on soil texture and wetness.

**PRIME FARMLAND** - Prime farmland soils are lands that are best suited to food, feed, forage, fiber and oilseed crops. It may be cropland, pasture, woodland, or other land, but it is not urban and built up land or water areas. It either is used for food or fiber or is available for those uses. The soil qualities, growing season, and moisture supply are those needed for a well managed soil economically to produce a sustained high yield of crops. Prime farmland produces in highest yields with minimum inputs of energy and economic resources, and farming the land results in the least damage to the environment.

Prime farmland has an adequate and dependable supply of moisture from precipitation or irrigation. The temperature and growing season are favorable. The level of acidity or alkalinity is acceptable. Prime farmland has few or no rocks and is permeable to water and air. It is not excessively erodible or saturated with water for long periods and is not frequently flooded during the growing season. The slope ranges mainly from 0 to 5 percent. (Source USDA Natural Resources Conservation Service)

**PRODUCTIVITY INDEXES** - Productivity indexes for grain crops express the estimated yields of the major grain crops grown in Illinois as a single percentage of the average yields obtained under basic management from several of the more productive soils in the state. This group of soils is composed of the Muscatine, Ipava, Sable, Lisbon, Drummer, Flanagan, Littleton, Elburn and Joy soils. Each of the 425 soils found in Illinois are found in Circular 1156 from the Illinois Cooperative Extension Service.

**SEASONAL** - When used in reference to wetlands indicates that the area is flooded only during a portion of the year.

**SHRINK-SWELL POTENTIAL** - Indicates volume changes to be expected for the specific soil material with changes in moisture content.

**SOIL MAPPING UNIT** - A map unit is a collection of soil areas of miscellaneous areas delineated in mapping. A map unit is generally an aggregate of the delineations of many different bodies of a kind of soil or miscellaneous area but may consist of only one delineated body. Taxonomic class names and accompanying phase terms are used to name soil map units. They are described in terms of ranges of soil properties within the limits defined for taxa and in terms of ranges of taxadjuncts and inclusions.

**SOIL SERIES** - A group of soils, formed from a particular type of parent material, having horizons that, except for texture of the A or surface horizon, are similar in all profile characteristics and in arrangement in the soil profile. Among these characteristics are color, texture, structure, reaction, consistence, and mineralogical and chemical composition.

**SUBSIDENCE** - Applies mainly to organic soils after drainage. Soil material subsides due to shrinkage and oxidation.

**TERRAIN** - The area or surface over which a particular rock or group of rocks is prevalent.

**TOPSOIL** - That portion of the soil profile where higher concentrations of organic material, fertility, bacterial activity and plant growth take place. Depths of topsoil vary between soil types.

**WATERSHED** - An area of land that drains to an associated water resource such as a wetland, river or lake. Depending on the size and topography, watersheds can contain numerous tributaries, such as streams and ditches, and ponding areas such as detention structures, natural ponds and wetlands.

**WETLAND** - An area that has a predominance of hydric soils and that is inundated or saturated by surface or groundwater at a frequency and duration sufficient to support, and under normal circumstances does support, a prevalence of hydrophytic vegetation typically adapted for life in saturated soil conditions.

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## REFERENCES

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- Hydric Soils of the United States. USDA Natural Resources Conservation Service, 2007.
- FIRM – Flood Insurance Rate Maps for Kendall County. Prepared by FEMA – Federal Emergency Management Agency.
- Hydrologic Unit Map for Kendall County. Natural Resources Conservation Service, United States Department of Agriculture.
- Land Evaluation and Site Assessment System. The Kendall County Department of Planning Building and Zoning, and The Kendall County Soil and Water Conservation District. In cooperation with: USDA, Natural Resources Conservation Service.
- Soil Survey of Kendall County. United States Department of Agriculture 2008, Natural Resources Conservation Service.
- Illinois Urban Manuel. Association of Illinois Soil & Water Conservation Districts, 2016
- Kendall County Land Atlas and Plat Book. 19<sup>th</sup> Edition, 2014.
- Potential For Contamination of Shallow Aquifers from Land Burial of Municipal Wastes. Illinois State Geological Survey.
- Natural Resources Conservation Service Wetland Inventory Map. United States Department of Agriculture.
- Geologic Road Map of Illinois. Department of Natural Resources, Illinois State Geological Survey, Natural Resources Building, 615 East Peabody, Champaign IL 61820-6964.
- Wetlands - The Corps of Engineers' Administration of the Section 404 Program (GAO/RCED-88-110)
- Soil Erosion by Water - United States Department of Agriculture Natural Resources Conservation Service. Agriculture Information Bulletin 513.
- The Conservation of Biological Diversity in the Great Lakes Ecosystem: Issues and Opportunities, prepared by the Nature Conservancy Great Lakes Program 79W. Monroe Street, Suite 1309, Chicago, IL 60603, January 1994.





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**DEPARTMENT OF PLANNING, BUILDING & ZONING**

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**Petition 21-03**

**Larry Nelson on Behalf of the L and P Nelson Trust 103  
Major Amendment to Existing A-1 Special Use for Banquet  
Facility, Micro Distillery, Nano Brewery, Production and Sale  
of Sweet Cider, Year Round Seasonal Festival with Petting Zoo,  
and Related Variances Granted by Ordinance 2016-21**

**INTRODUCTION**

In October 2016, the Kendall County Board granted a special use permit for a banquet facility, nano brewery, micro distillery, year round seasonal festival with petting zoo, production and sale of sweet cider, and related variances at 15888 Frazier Road in Little Rock Township.

The Petitioner, Larry Nelson on Behalf of the L and P Nelson Trust 103, would like to expand the operations allowed by the special use permit in 2016 to the adjacent property on the east side of Creek Road. In addition to the structures already allowed, the Petitioner would like to construct some parking areas and thirty thousand (30,000) square feet of additional buildings on the east side of Creek Road. The Petitioner would like the conditions and variances previously approved in 2016 to apply to the expanded uses on the east side of Creek Road. The Petitioner would also like to remove the requirement setting the number of buildings at three (3); no non-agricultural building would be larger than ten thousand (10,000) square feet in size.

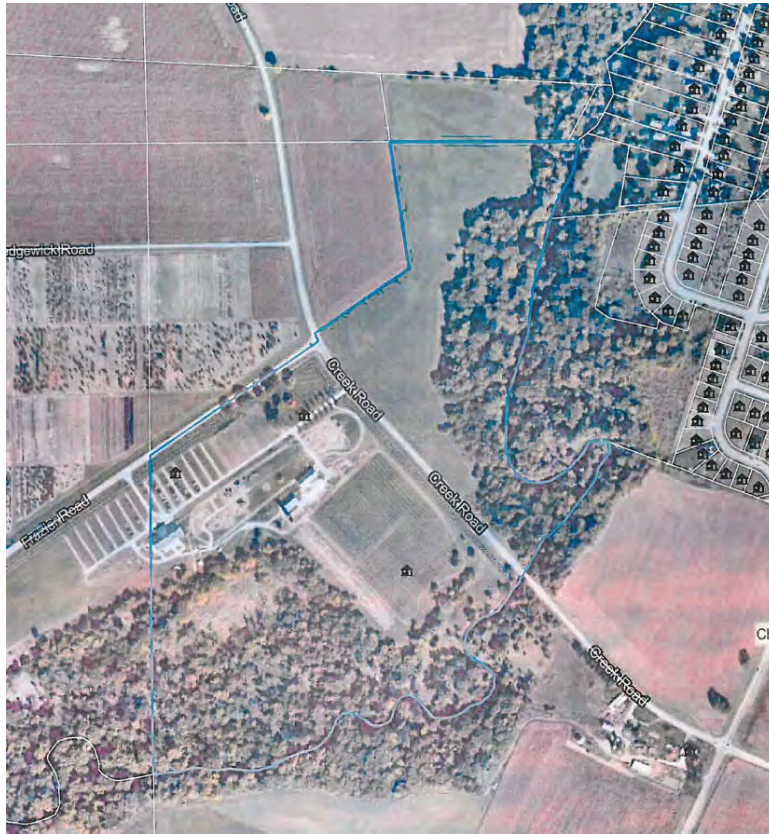
The application materials are included as Attachment 1. The concept plan is included as Attachment 2. Ordinance 2016-21 is included as Attachment 3. The aerial of the property is included as Attachment 4.

**SITE INFORMATION**

PETITIONER Larry Nelson on Behalf of the L and P Nelson Trust 103

ADDRESS 3210 Creek Road

LOCATION East Side of Creek Road at the T-Intersection Created by Creek and Frazier Roads



TOWNSHIP Little Rock

PARCEL #S 01-16-300-007 and 01-21-100-005

LOT SIZE Expansion Area is 30.99 +/- Acres; Original Area is 45.85 +/- Acres

EXISTING LAND USE Agricultural and Woody's Orchard

ZONING A-1 Agricultural District and A-1 Special Use

LRMP	Current Land Use	Agricultural and Woody's Orchard
	Future Land Use	Rural Estate Residential (Max 0.45 Du/Acre) and Countryside Residential (Max 0.33 Du/Acre)
	Roads	Creek Road is a township maintained Local Road
	Trails	The County has a trail planned along Creek Road north of Frazier Road
	Floodplain/Wetlands	The 100-Year Floodplain of Little Rock Creek is located on the far east and south sides of the property. A freshwater forested shrub wetland is located on the east side of the subject property. The proposed uses are outside of the floodplain and wetland.

REQUESTED ACTION Major Amendment to an Existing A-1 Special Use Permit for a Banquet Hall, Nano Brewery, Micro Distillery, Seasonal Festival with Petting Zoo, and Production and Sale of Sweet Cider with Variances

APPLICABLE REGULATIONS Section 7:01.D.12 – A-1 Special Uses – Permits Banquet Facilities with Certain Conditions

Section 7:01.D.12.a – Requires Banquet Facilities to be Located on an Arterial or Major Collector Road

Section 7:01.D.32 – A-1 Special Uses – Permits Micro Distilleries with Certain Conditions

Section 7:01.D.32.a – Requires Micro Distilleries to be Located on Major Collector of Higher Roads

Section 7:01.D.33 – A-1 Special Uses – Permits Nano Breweries with Certain Conditions

Section 7:01.D.33.a – Requires Nano Breweries to be Located on Major Collector of Higher Roads

Section 7:01.D.45 – A-1 Special Uses – Permits Production and Sale of Sweet Cider with Certain Conditions Including Setting a Maximum Building Square Footage at One Thousand (1,000) Square Feet.

Section 7:01.E.10 – A-1 Conditional Uses – Permits Seasonal Festivals with Petting Zoos with Certain Conditions

Section 7:01.E.10.i – Forbids the Sale of Alcohol at Seasonal Festivals

Section 7:01.E.10.j – Limits Seasonal Festivals to One (1) Event Per Year

Section 7:01.E.10.k – Limits Seasonal Festivals to Ninety (90) Consecutive Calendar Days

Section 7:01.G.2.b – Parking Not Allowed in Front Yard Setback Which is One Hundred Feet (100') from the Right-of-Way Line

Section 13:04 – Variance Procedures

Section 13.08 – Special Use Procedures

**SURROUNDING LAND USE**

Location	Adjacent Land Use	Adjacent Zoning	Land Resource Management Plan	Zoning within ½ Mile
North	Agricultural	A-1	Rural Estate Residential (Max 0.45 DU/Acre)	A-1 and R-3
South	Agricultural	A-1	Commercial	A-1
East	Agricultural/Wooded Outlot of Residential Subdivision	A-1 (County) AG-1 (Plano)	Open Space/Low Density Residential (Max 2.25 DU/Acre)/General Business (Plano)	A-1 (County) AG-1, F-1, R-5, B-2, and B-5

West	Agricultural/Residential	A-1 and A-1 SU	Agricultural/Countryside/Residential (Max 0.33 DU/Acre)/Commercial	(Plano) A-1 and A-1 SU
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The A-1 special uses to the west are for Woody’s Orchard and communication uses.

Unit 6 of Lakewood Springs and Unit 2 of Woodwind Subdivision are located near the subject property.

**PHYSICAL DATA**

**ENDANGERED SPECIES REPORT**

EcoCat submitted on January 5, 2021, and consultation was terminated (see Attachment 1, Pages 13-15)

**NATURAL RESOURCES INVENTORY**

NRI application submitted on January 8, 2021 (see Attachment 1, Pages 11 and 12)

**ACTION SUMMARY**

**LITTLE ROCK TOWNSHIP**

Little Rock Township was emailed information on January 19, 2021.

**LITTLE ROCK FOX FIRE PROTECTION DISTRICT**

Little Rock Fox Fire Protection District was emailed information on January 19, 2021.

**CITY OF PLANO**

The City of Plano was emailed information on January 19, 2021.

**GENERAL**

According to the business information provided (see Attachment 1, Page 2), the Petitioner would like to expand operations of Woody’s Orchard to the property they own on the east side of Creek Road. The Petitioners would like to construct approximately three (3) buildings with a total of thirty thousand square feet in substantially the locations shown on the concept plan (See Attachment 2). The concept plan also calls for two (2) parking areas and two (2) access points off of Creek Road. Traffic circulation would be one (1) way throughout the property. The concept plan also calls for an apple tree area on the north side of the property.

The Petitioner would like the conditions and variances imposed by Ordinance 2016-21 to carry over to the new area of operations. The conditions from Ordinance 2016-21 are as follows:

1. The property shall be developed in substantial compliance with the submitted concept plan.
2. The maximum number of patrons for banquets shall be limited to two hundred twenty-five (225), including any vendors working on the property for a banquet.
3. No event activity shall start earlier than 7:00 a.m. any day of the week, and shall end no later than 10:00pm, Monday thru Wednesday and no later than 11:30 pm Thursday thru Sunday. Banquets may end no later than midnight.
4. Lighting shall comply with Section 11:02.F.12 of the Zoning Ordinance.
5. Parking reserved for ADA accessibility shall be marked and constructed with a hard surface adjacent to the proposed retail store/bakery.
6. Any food prepared or sold on site, shall conform to the regulations of the Kendall County Health Department.
7. Retail sales are permitted provided that the retail sales will be ancillary to the main operation. Such sales may occur year around.

8. Noise generated by non-agricultural activities on-site shall comply with the following:
  - a. Day Hours: No person shall cause or allow the emission of sound during daytime hours (7:00 a.m. to 10:00 p.m.) from any noise source to any receiving residential land which exceeds sixty-five (65) dBA when measured at any point within such receiving residential land provided; however, that point of measurement shall be on the residential property line of the complainant.
  - b. Night Hours: No person shall cause or allow the emission of sound during nighttime hours (10:00 p.m. to 7:00 a.m.) from any noise source to any receiving residential land which exceeds fifty-five (55) dBA when measured at any point within such receiving residential land provided; however, that point of measurement shall be on the residential property line of the complainant.
  - c. EXEMPTION: Powered Equipment: Powered equipment, such as lawn mowers, small lawn and garden tools, riding tractors, and snow removal equipment which is necessary for the maintenance of property is exempted from the noise regulations between the hours of 7:00 a.m. and 10:00 p.m.
9. All applicable Federal (including the Alcohol and Tobacco Tax and Trade Bureau), State (including the Illinois Liquor Control Commission), and County rules and regulations shall apply.
10. A waste management plan shall be submitted to and approved by the Kendall County Health Department prior to operation of the micro distillery.
11. The petting zoo shall provide adequate hand sanitation devices as determined by the Department of Health.
12. There shall be a maximum of three (3) new buildings, with a maximum size of ten thousand (10,000) square feet each, for the banquet hall, bakery/retail store, and other commercial uses. This maximum number of buildings excludes agricultural buildings such as barns or sheds.
13. Signs shall comply with sign standards for Business Districts in the Kendall County Zoning Ordinance (Section 12:10), and may only be externally illuminated.
14. Adequate parking on site shall be provided in such a way that no on-street parking is necessary. Parking shall be setback a minimum of thirty feet (30') from the right-of-way of Frazier Road.
15. Accessory uses including but not limited to temporary vendors engaged in the sale of ancillary items not produced on site but which are related to products produced on site or associated with the season shall be permitted.

Failure to comply with the terms of this ordinance may be cited as a basis for amending or revoking this special use permit.

The variances from Ordinance 2016-21 are as follows:

1. That a Banquet Hall, Micro-Distillery, Nano-Brewery shall have direct access to Creek Road and Frazier Road (neither of which is designated as a collector or higher on the County's Transportation Plan).
2. The retail sales areas may exceed one thousand (1,000) square feet, but shall not exceed ten thousand (10,000) square feet per building.
3. That parking be allowed within thirty feet (30') of the Frazier Road right-of-way (reduced from the one hundred foot (100') agricultural setback).

## **BUSINESS OPERATION**

According to the business plan information provided on Attachment 1, Page 2, the proposed use is “a hybrid use of agriculture, entertainment, food and family fun.” Some commodities are grown onsite while others are grown offsite. Family friendly activities are also offered on the property.

No information was provided, either in the current application or in Ordinance 2016-21, regarding number of employees or number of events. Condition 3 of Ordinance 2016-21 stated that events cannot start prior to 7:00 a.m. any day of the week and shall end no later than 10:00 p.m. on Mondays thru Wednesdays and no later than 11:30 p.m. Thursdays thru Sundays. Banquets may end no later than midnight. Condition 2 of Ordinance 2016-21 stated that the maximum number of patrons at a banquet is limited to two hundred twenty-five (225), including vendors working at the property for a banquet.

The Petitioner did not indicate when they would start construction on the expansion, if the special use amendment was approved.

## **BUILDING CODES**

Building permits will be required for the proposed structures.

The Petitioner would like to amend Condition 3 of Ordinance 2016-21 by removing the three (3) building maximum. The total allowable square footage would remain at thirty thousand (30,000) and no non-agricultural building would be larger than ten thousand (10,000) square feet.

## **ENVIRONMENTAL HEALTH**

Section 7:01.D.32.g of the Kendall County Zoning Ordinance and Condition 10 of Ordinance 2016-21 requires a waste management plan be submitted and approved by the Kendall County Health Department prior to the operation of a micro distillery. Condition 11 of Ordinance 2016-21 requires adequate hand sanitation devices as determined by the Kendall County Health Department for the operation of a petting zoo. Condition 6 of Ordinance 2016-21 requires that any food prepared or sold on the property follow Kendall County Health Department regulations.

No information was provided regarding potable water availability or restroom facilities in the expansion area.

Electricity is onsite.

No information was provided for refuse control areas for refuse generated from the special uses.

## **ROAD ACCESS**

The property fronts Creek Road. According to the concept plan (See Attachment 2), the way into the property would be a drive across the street from the existing entrance to Woody's Orchard and the way out of the property would be through a drive that lines up with Frazier Road.

## **PARKING AND INTERNAL TRAFFIC CIRCULATION**

The concept plan shows two (2) parking areas. No information was provided regarding the dimensions of the parking areas or the number of parking spaces. According to Condition 5 of Ordinance 2016-21, ADA parking spaces shall be marked and constructed with a hard surface. According to Condition 14 of Ordinance 2016-21, parking shall be setback a minimum of thirty feet (30') from the right-of-way of Frazier Road.

## **LIGHTING**

According to Condition 4 of Ordinance 2016-21, all lighting shall comply with Section 11:02.F.12 of the Zoning Ordinance. No information was provided regarding the number or location of lights.

## **SIGNAGE**

According to Condition 13 of Ordinance 2016-21, all signage on the property shall follow the rules for signs in a Business District as outlined in Section 12:10 of the Zoning Ordinance. Signs may be externally illuminated. No information was provided regarding the number, location, or size of signs.

## **LANDSCAPING**

No specific information was provided regarding landscaping. The Petitioner indicated that they would provide additional landscaping information when applying for building permits.

## **NOISE CONTROL**

No information was provided regarding specific noise control measures. The uses must follow the noise regulations in the Zoning Ordinance and the allowable noise levels listed in Ordinance 2016-21.

## **RECOMMENDATION**

Before issuing a final recommendation, Staff would like comments from ZPAC Members, Little Rock Township, City of Plano, and the Little Rock Fox Fire Protection District.

As of the date of this memo, the proposed conditions for the amendment are as follows:

1. The subject property shall be developed substantially in accordance with the concept plan (Attachment 2). The site plan for the property on the west side of Creek Road shall be governed by the concept plan attached to Ordinance 2016-21.
2. The uses and variances previously allowed by Ordinance 2016-21 shall be allowed on and applicable to the subject property with the following exceptions:
  - a. Condition 5 of Ordinance 2016-21 shall not be applicable to the subject property. ADA accessible parking spaces shall be installed in locations and numbers required by Federal law and with a surface required by Federal law.
  - b. Condition 12 of Ordinance 2016-21 shall not be applicable to the subject property. Instead, there shall be a maximum of thirty thousand (30,000) square feet of additional buildings constructed on the subject property in substantially the locations shown on the concept plan (Attachment 2). No individual building shall be larger than ten thousand (10,000) square feet.
3. Condition 12 of Ordinance 2016-21 shall be modified for the West Side of Creek Rd property to read: "there may be a maximum of thirty thousand (30,000) square feet of additional non-agricultural exempt buildings constructed on the property. No individual, non-agricultural exempt building shall be larger than ten thousand (10,000) square feet.
4. Condition 3 of Ordinance 2016-21 shall be interpreted as variances to Sections 7:01.E.10.i, 7:01.E.10.j, and 7:01.E.10.k of the Kendall County Zoning Ordinance regarding the hours of operation, number, and days of operation of seasonal festivals for the subject property and the property governed by Ordinance 2016-21.
5. Condition 9 of Ordinance 2016-21 shall be interpreted as a variance to Section 7:01.E.10.d of the Kendall County Zoning Ordinance to allow the sale of alcohol at seasonal festivals.
6. The owners of the uses allowed by this special use permit acknowledge and agree to follow Kendall County's Right to Farm Clause.
7. The owners of the uses allowed by this special use permit amendment agree to follow all applicable Federal, State, and Local laws governing these types of uses.
8. Failure to comply with one or more of the above conditions or restrictions could result in the amendment or revocation of the special use permit.
9. If one or more of the above conditions is declared invalid by a court of competent jurisdiction, the remaining conditions shall remain valid.

## **ATTACHMENTS**

1. Application Materials
2. Concept Plan
3. Ordinance 2016-21
4. Aerial



*-Amendment-*

DEPARTMENT OF PLANNING, BUILDING & ZONING

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*To Pin*

APPLICATION

PROJECT NAME *Woody's Orchard East (originally Cider Creek)* FILE #:



NAME OF APPLICANT <i>L+P Nelson Trust 103</i>		
CURRENT LANDOWNER/NAME(s) <i>same</i>		
SITE INFORMATION ACRES <i>30.99</i>	SITE ADDRESS OR LOCATION <i>3210 Creek Rd</i>	ASSESSOR'S ID NUMBER (PIN) <i>01-16-300-007 and 01-20-400-005</i>
EXISTING LAND USE <i>A</i>	CURRENT ZONING <i>A</i>	LAND CLASSIFICATION ON LRMP <i>A 01-21-100-005</i>
REQUESTED ACTION (Check All That Apply):		
<input checked="" type="checkbox"/> SPECIAL USE	<input checked="" type="checkbox"/> MAP AMENDMENT (Rezone to <i>A-SU</i> )	<input type="checkbox"/> VARIANCE
<input type="checkbox"/> ADMINISTRATIVE VARIANCE	<input type="checkbox"/> A-1 CONDITIONAL USE for: _____	<input type="checkbox"/> SITE PLAN REVIEW
<input type="checkbox"/> TEXT AMENDMENT	<input type="checkbox"/> RPD ( <input type="checkbox"/> Concept; <input type="checkbox"/> Preliminary; <input type="checkbox"/> Final)	<input type="checkbox"/> ADMINISTRATIVE APPEAL
<input type="checkbox"/> PRELIMINARY PLAT	<input type="checkbox"/> FINAL PLAT	<input type="checkbox"/> OTHER PLAT (Vacation, Dedication, etc.)
<input checked="" type="checkbox"/> AMENDMENT TO A SPECIAL USE ( <input checked="" type="checkbox"/> Major, <input type="checkbox"/> Minor) <i>See File 1625</i>		
1 PRIMARY CONTACT <i>Larry Nelson</i>	PRIMARY CONTACT MAILING ADDRESS [REDACTED]	PRIMARY CONTACT EMAIL [REDACTED]
PRIMARY CONTACT PHONE # [REDACTED]	PRIMARY CONTACT FAX # [REDACTED]	PRIMARY CONTACT OTHER # (Cell, etc.) [REDACTED]
2 ENGINEER CONTACT <i>same</i>	ENGINEER MAILING ADDRESS	ENGINEER EMAIL
ENGINEER PHONE #	ENGINEER FAX #	ENGINEER OTHER # (Cell, etc.)
I UNDERSTAND THAT BY SIGNING THIS FORM, THAT THE PROPERTY IN QUESTION MAY BE VISITED BY COUNTY STAFF & BOARD/ COMMISSION MEMBERS THROUGHOUT THE PETITION PROCESS AND THAT THE PRIMARY CONTACT LISTED ABOVE WILL BE SUBJECT TO ALL CORRESPONDANCE ISSUED BY THE COUNTY.		
I CERTIFY THAT THE INFORMATION AND EXHIBITS SUBMITTED ARE TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND THAT I AM TO FILE THIS APPLICATION AND ACT ON BEHALF OF THE ABOVE SIGNATURES.		
SIGNATURE OF APPLICANT [REDACTED]	DATE <i>1-12-21</i>	

FILE PAID: \$1255  
CHECK: [REDACTED]

RECEIVED

JAN 14 2021

KENDALL COUNTY  
PLANNING, BUILDING & ZONING

<sup>1</sup>Primary Contact will receive all correspondence from County  
<sup>2</sup>Engineering Contact will receive all correspondence from the County's Engineering Consultants



Zoning Request

Woody's Major Amendment A-1SU

Woody's will be developed over a number of years as a hybrid use of agriculture, entertainment, food and family fun. Typically known as a U-Pick Orchard, offering commodities grown on and off the site, food produced from the commodities along with other food and refreshments, entertainment and activities will also be provided.

We are requesting expansion of our A-1 SU of the 45 acre parcel to add 30 acres on the East side of Creek Road in this application per Permit Section 7.01 D-Ag Special Uses Permitted; D-10 Banquet Halls, D-29 Micro Distillery; D-30 Nano Breweries; and D-42 (which is labeled as 32 (duplicated)) Production and sale of sweet cider (with the restriction of "Total retail area not to exceed 1,000 square feet" removed) and "E Conditional Use" as provided in JXV – to be a year round usage and removing restrictions IV, IX, X, XI.

Additionally, we are requesting a variance from the requirement the facility be located on a major collector or arterial roadway and if needed a variance removing restrictions on D-42 "retail area not to exceed 1,000 sq feet", and the restriction on "E Conditional Use" J to be year round usage and removing restrictions IV, IX, X, XI.

Note: Woody's (Originally Cider Creek) is a dba of The Bluffs, Inc., an Illinois corporation owned by the Nelson family/Trust.

As this is a major change to an Existing A-SU we ask for the same Kendall County Ordinance as 2016-21 adding the additional 30.97 acres and max of 3 additional 10,000 sq ft buildings, totaling 6 10,000 sq ft buildings or the equivalent square footage in additional buildings. Also the 30 ft set back included Creek Road.

LEGAL DESCRIPTION OF 30.9927-ACRE ZONING TRACT LYING EAST OF CREEK ROAD:

That Part of Sections 16 and 21, Township 37 North, Range 6 East of the Third Principal Meridian, described as follows: Commencing at the Northwest Corner of Section 20, Township and Range aforesaid; thence Southerly along the West Line of said Section 20, 330.3 feet; thence South  $41^{\circ}40'$  East, 312.2 feet to the center line of vacated Sedgewick Road; thence North  $88^{\circ}09'00''$  East along the center line of said vacated Sedgewick Road, 5796.01 feet to the center line of Creek Road; thence North  $09^{\circ}26'52''$  West along said center line of Creek Road, 591.65 feet; thence Northwesterly along said center line, being a curve to the left with a radius of 1494.95 feet and a chord bearing of North  $14^{\circ}29'40''$  West, an arc distance of 263.36 feet to the Southerly Line of a Tact conveyed to Barbara Yundt by Trustee's Deed recorded as Document No. 81-843 on March 11, 1981; thence South  $87^{\circ}39'00''$  East along said Southerly Line of the Yundt Tact, 575.0 feet for a point of beginning; then continuing South  $87^{\circ}39'00''$  East along said Southerly Line of the Yundt tract, 910.0 feet; thence South  $19^{\circ}16'54''$  West, 658.0 feet; thence South  $11^{\circ}36'04''$  West, 1037.0 feet; thence South  $40^{\circ}01'20''$  East, 639.14 feet to the center line of Little Rock Creek; thence South  $48^{\circ}30'00''$  West, along said center line, 82.0 feet; thence South  $29^{\circ}58'17''$  West, along said center line, 179.23 feet to the center line of Creek Road; thence North  $44^{\circ}01'24''$ , along said center line, 745.32 feet; thence North  $44^{\circ}54'15''$  West, along said center line, 514.15 feet; thence Northwesterly, along said center line, being a curve to the right with a radius of 875.40 feet and a chord bearing of North  $36^{\circ}38'03''$  West, an arc distance of 252.71 feet to the intersection of the center line of Frazier Road and the center line of Creek Road; thence continuing Northwesterly along the last described course and said Creek Road center line, being a curve to the right with a radius of 875.40 feet, and a chord bearing of North  $27^{\circ}02'41''$  West, an arc distance of 40.32 feet to the Easterly Extension of the North Line of Fraizer Road; thence North  $55^{\circ}49'05''$  East along said Easterly Extension of the North Line of Fraizer Road, 555.60 feet to a line drawn South  $09^{\circ}26'52''$  East from the point of beginning; thence North  $09^{\circ}26'52''$  West, 935.73 to the point of beginning, all in Little Rock Township, Kendall County, Illinois.



201 4086254-32

DEBEE  
TELETYPE  
ADDRESS: 210000

DATE: 4/26/51  
TIME: 11:58  
PAGE: 2

*Deed*

*copy*

Prepared By: \_\_\_\_\_  
See dck

Mail to: \_\_\_\_\_  
See dck

*CTIC #*

*880013655*

*Re Record to:  
correct  
Buyers name*

THIS PAGE ADDED TO PROVIDE ADEQUATE SPACE FOR RECORDING  
INFORMATION AND MICROFILMING.



**TRUSTEE'S DEED**

INSTRUMENT PREPARED BY:

McDERMOTT WILL & EMERY LLP  
227 WEST MONROE STREET  
CHICAGO, ILLINOIS 60606  
ATTN: DAVID P. DeYOE

*CTIC*  
*880013655*

20140005342

DEBBIE  
GILLETTE  
KENDALL COUNTY, IL

RECORDED: 4/24/2014 6:40 AM  
TRSD: 2100.00 RHPFS FEE: 10.00  
PAGES: 5

[Above Space for Recorder's Use Only]

THE NORTHERN TRUST COMPANY, an Illinois banking corporation of Chicago, Illinois, as Trustee under the provisions of a Trust Agreement dated January 10, 1953 and known as Trust No. 26766, "Grantor", for and in consideration of TEN DOLLARS (\$10.00) and other good and valuable consideration, the receipt and sufficiency of which are hereby acknowledged, and pursuant to the power and authority given it as such Trustee CONVEYS and QUITCLAIMS to Dallas C. Ingemunson, not personally, but as Trustee of The LP Trust Number 103 dated 12/26/2012, "Grantee", whose mailing address is 759 John Street, Suite A, Yorkville, Illinois, its interest in the following described real estate situated in the County of Kendall and State of Illinois, to-wit:

*\* Nelson*

- SEE LEGAL DESCRIPTION ATTACHED HERETO AS EXHIBIT A -

This conveyance is made without warranty, express or implied, and is made by THE NORTHERN TRUST COMPANY in its stated fiduciary capacity and on condition it shall have no liability in its individual capacity on any agreement, warranty or indemnity herein contained, or implied. Any recourse under and by virtue of this deed shall be had against the trust estate only.

IN WITNESS WHEREOF, the Grantor, THE NORTHERN TRUST COMPANY, has caused its name to be signed by its duly authorized officer effective as of the 16<sup>th</sup> day of April, 2014.

*Re Record to  
add "Nelson"  
after LP*

THE NORTHERN TRUST COMPANY,  
as Trustee as aforesaid and not personally

By:   
Its: VICE PRESIDENT

DM\_US 51014057-1.032594.0011

DM\_US 51014057-1.032594.0011

## EXHIBIT A

## LEGAL DESCRIPTION

THAT PART OF SECTIONS 16, 20 AND 21, TOWNSHIP 37 NORTH, RANGE 6 EAST OF THE THIRD PRINCIPAL MERIDIAN, DESCRIBED AS FOLLOWS: COMMENCING AT THE NORTHWEST CORNER OF SAID SECTION 20; THENCE SOUTHERLY ALONG THE WEST LINE OF SAID SECTION 20, 330.3 FEET; THENCE SOUTH 41 DEGREES 40 MINUTES EAST, 312.2 FEET TO THE CENTER LINE OF VACATED SEDGEWICK ROAD; THENCE NORTH 88 DEGREES 09 MINUTES 00 SECONDS EAST ALONG THE CENTER LINE OF SAID VACATED SEDGEWICK ROAD, 5796.01 FEET TO THE CENTER LINE OF CREEK ROAD; THENCE NORTH 09 DEGREES 26 MINUTES 52 SECONDS WEST ALONG SAID CENTER LINE OF CREEK ROAD, 591.65 FEET; THENCE NORTHWESTERLY ALONG SAID CENTER LINE, BEING A CURVE TO THE LEFT WITH A RADIUS OF 1494.95 FEET AND A CHORD BEARING OF NORTH 14 DEGREES 29 MINUTES 40 SECONDS WEST, AN ARC DISTANCE OF 263.36 FEET TO THE SOUTHERLY LINE OF A TRACT CONVEYED TO BARBARA YUNDT BY TRUSTEE'S DEED RECORDED AS DOCUMENT NO. 81-843 ON MARCH 11, 1981; THENCE SOUTH 87 DEGREES 39 MINUTES 00 SECONDS EAST, ALONG SAID SOUTHERLY LINE OF YUNDT TRACT, 575.0 FEET FOR A POINT OF BEGINNING; THEN CONTINUING SOUTH 87 DEGREES 39 MINUTES 00 SECONDS EAST ALONG SAID SOUTHERLY LINE OF YUNDT TRACT, 1141.02 FEET TO THE CENTER LINE OF LITTLE ROCK CREEK AS LOCATED ON SEPTEMBER 22, 1971; THENCE IN A GENERALLY SOUTHWESTERLY DIRECTION ALONG THE CENTER LINE OF LITTLE ROCK CREEK, TO A POINT ON THE CENTER LINE OF LAURIE ROAD EXTENDED SOUTHEASTERLY, SAID LINE HAVING A BEARING OF NORTH 41 DEGREES 36 MINUTES 00 SECONDS WEST; THENCE NORTH 41 DEGREES 36 MINUTES 00 SECONDS WEST ALONG THE CENTER LINE OF LAURIE ROAD, 1157.17 FEET TO THE CENTER LINE OF FRAIZER ROAD; THENCE NORTHEASTERLY ALONG SAID CENTER LINE, BEING A CURVE TO THE LEFT WITH A RADIUS OF 1910.0 FEET AND A CHORD BEARING OF NORTH 62 DEGREES 02 MINUTES 46 SECONDS EAST, AN ARC DISTANCE OF 457.61 FEET; THENCE NORTH 55 DEGREES 10 MINUTES 57 SECONDS EAST ALONG SAID CENTER LINE OF FRAIZER ROAD, 590.31 FEET; THENCE NORTHEASTERLY ALONG SAID CENTER LINE, BEING A CURVE TO THE RIGHT WITH A RADIUS OF 68780.0 FEET AND A CHORD BEARING OF NORTH 55 DEGREES 30 MINUTES 01 SECONDS EAST, AN ARC DISTANCE OF 762.94 FEET; THENCE NORTH 55 DEGREES 49 MINUTES 05 SECONDS EAST ALONG SAID CENTER LINE OF FRAIZER ROAD, 2473.06 FEET TO THE CENTER LINE OF CREEK ROAD; THENCE NORTHWESTERLY ALONG SAID CENTER LINE, BEING A CURVE TO THE RIGHT WITH A RADIUS OF 875.40 FEET; AND A CHORD BEARING OF NORTH 27 DEGREES 02 MINUTES 41 SECONDS WEST, AN ARC DISTANCE OF 40.32 FEET TO THE EASTERLY EXTENSION OF THE NORTH LINE OF FRAIZER ROAD; THENCE NORTH 55 DEGREES 49 MINUTES 05 SECONDS EAST ALONG SAID EASTERLY EXTENSION OF THE NORTH LINE OF FRAIZER ROAD, 555.60 TO A LINE DRAWN SOUTH 09 DEGREES 26 MINUTES 52 SECONDS EAST FROM THE POINT OF BEGINNING; THENCE NORTH 09 DEGREES 26 MINUTES 52 SECONDS WEST, 935.73 FEET TO THE POINT OF BEGINNING, ALL IN LITTLE ROCK TOWNSHIP, KENDALL COUNTY, ILLINOIS.

PIN's: 01-21-100-002-0000; 01-16-300-004-0000; 01-20-200-001-0000; 01-16-300-005-0000

Property address: Property located in Little Rock Township, Kendall County, IL

AFFIDAVIT

(FILE WITH PAUL P. ANDERSON, RECORDER OF DEEDS OF KENDALL COUNTY)

STATE OF ILLINOIS

COUNTY OF KENDALL

} SS.

DOCUMENT # \_\_\_\_\_

David P Deyde, being duly sworn on oath, states that  
\_\_\_\_\_ resides at \_\_\_\_\_ that the  
attached deed represents: \_\_\_\_\_

1. A distinct separate parcel on record prior to July 17, 1959.
2. A distinct separate parcel qualifying for a Kendall County building permit prior to August 10, 1971.
3. The division or subdivision of the land is into parcels or tracts of five acres or more in size which does not involve any new streets or easements of access.
4. The division is of lots or blocks of less than one acre in any recorded subdivision which does not involve any new streets or easements of access.
5. The sale or exchange of parcels of land is between owners of adjoining and contiguous land.
6. The conveyance is of parcels of land or interests therein for use as right of way for railroads or other public utility facilities, which does not involve any new streets or easement of access.
7. The conveyance is of land owned by a railroad or other public utility which does not involve any new streets or easements of access.
8. The conveyance is of land for highway or other public purposes or grants or conveyances relating to the dedication of land for public use or instruments relating to the vacation of land impressed with a public use.
9. The conveyance is made to correct descriptions in prior conveyances.
10. The sale or exchange is of parcels or tracts of land following the division into no more than two parts of a particular parcel or tract of land existing on July 17, 1959, and not involving any new streets or easements of access.
11. The sale is of a single lot of less than five acres from a larger tract, evidenced by a survey made by a registered surveyor which single lot is the first sale from said larger tract as determined by the dimensions and configurations thereof on October 1, 1973, and which sale does not violate any local requirements applicable to the subdivision of land.

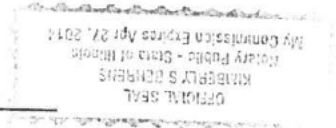
CIRCLE NUMBER ABOVE WHICH IS APPLICABLE TO ATTACHED DEED.

Affiant further states that \_\_\_\_\_ makes this affidavit for the purpose of inducing the Recorder of Deeds of Kendall County, Illinois, to accept the attached deed for recording.

SUBSCRIBED AND SWORN to before me

this 16 day of Apr, 2014

\_\_\_\_\_  
Notary Public



KEPLATAF



## CHICAGO TITLE INSURANCE COMPANY

ORDER NUMBER: [REDACTED]  
 STREET ADDRESS: [REDACTED]  
 CITY: PLANO COUNTY: KENDALL  
 TAX NUMBER:

## LEGAL DESCRIPTION:

THAT PART OF SECTIONS 16, 20 AND 21, TOWNSHIP 37 NORTH, RANGE 6 EAST OF THE THIRD PRINCIPAL MERIDIAN, DESCRIBED AS FOLLOWS: COMMENCING AT THE NORTHWEST CORNER OF SAID SECTION 20; THENCE SOUTHERLY ALONG THE WEST LINE OF SAID SECTION 20, 330.3 FEET; THENCE SOUTH 41 DEGREES 40 MINUTES EAST, 312.2 FEET TO THE CENTER LINE OF VACATED SEDGEWICK ROAD; THENCE NORTH 88 DEGREES 09 MINUTES 00 SECONDS EAST ALONG THE CENTER LINE OF SAID VACATED SEDGEWICK ROAD, 5796.01 FEET TO THE CENTER LINE OF CREEK ROAD; THENCE NORTH 09 DEGREES 26 MINUTES 52 SECONDS WEST ALONG SAID CENTER LINE OF CREEK ROAD, 591.65 FEET; THENCE NORTHWESTERLY ALONG SAID CENTER LINE, BEING A CURVE TO THE LEFT WITH A RADIUS OF 1494.95 FEET AND A CHORD BEARING OF NORTH 14 DEGREES 29 MINUTES 40 SECONDS WEST, AN ARC DISTANCE OF 263.36 FEET TO THE SOUTHERLY LINE OF A TRACT CONVEYED TO BARBARA YUNDT BY TRUSTEE'S DEED RECORDED AS DOCUMENT NO. 81-843 ON MARCH 11, 1981; THENCE SOUTH 87 DEGREES 39 MINUTES 00 SECONDS EAST, ALONG SAID SOUTHERLY LINE OF YUNDT TRACT, 575.0 FEET FOR A POINT OF BEGINNING; THEN CONTINUING SOUTH 87 DEGREES 39 MINUTES 00 SECONDS EAST ALONG SAID SOUTHERLY LINE OF YUNDT TRACT, 1141.02 FEET TO THE CENTER LINE OF LITTLE ROCK CREEK AS LOCATED ON SEPTEMBER 22, 1971; THENCE IN A GENERALLY SOUTHWESTERLY DIRECTION ALONG THE CENTER LINE OF LITTLE ROCK CREEK, TO A POINT ON THE CENTER LINE OF LAURIE ROAD EXTENDED SOUTHEASTERLY, SAID LINE HAVING A BEARING OF NORTH 41 DEGREES 36 MINUTES 00 SECONDS WEST; THENCE NORTH 41 DEGREES 36 MINUTES 00 SECONDS WEST ALONG THE CENTER LINE OF LAURIE ROAD, 1157.17 FEET TO THE CENTER LINE OF FRAIZER ROAD; THENCE NORTHEASTERLY ALONG SAID CENTER LINE, BEING A CURVE TO THE LEFT WITH A RADIUS OF 1910.0 FEET AND A CHORD BEARING OF NORTH 62 DEGREES 02 MINUTES 46 SECONDS EAST, AN ARC DISTANCE OF 457.61 FEET; THENCE NORTH 55 DEGREES 10 MINUTES 57 SECONDS EAST ALONG SAID CENTER LINE OF FRAIZER ROAD, 590.31 FEET; THENCE NORTHEASTERLY ALONG SAID CENTER LINE, BEING A CURVE TO THE RIGHT WITH A RADIUS OF 68780.0 FEET AND A CHORD BEARING OF NORTH 55 DEGREES 30 MINUTES 01 SECONDS EAST, AN ARC DISTANCE OF 762.94 FEET; THENCE NORTH 55 DEGREES 49 MINUTES 05 SECONDS EAST ALONG SAID CENTER LINE OF FRAIZER ROAD, 2473.06 FEET TO THE CENTER LINE OF CREEK ROAD; THENCE NORTHWESTERLY ALONG SAID CENTER LINE, BEING A CURVE TO THE RIGHT WITH A RADIUS OF 875.40 FEET; AND A CHORD BEARING OF NORTH 27 DEGREES 02 MINUTES 41 SECONDS WEST, AN ARC DISTANCE OF 40.32 FEET TO THE EASTERLY EXTENSION OF THE NORTH LINE OF FRAIZER ROAD; THENCE NORTH 55 DEGREES 49 MINUTES 05 SECONDS EAST ALONG SAID EASTERLY EXTENSION OF THE NORTH LINE OF FRAIZER ROAD, 555.60 TO A LINE DRAWN SOUTH 09 DEGREES 26 MINUTES 52 SECONDS EAST FROM THE POINT OF BEGINNING; THENCE NORTH 09 DEGREES 26 MINUTES 52 SECONDS WEST, 935.73 FEET TO THE POINT OF BEGINNING, ALL IN LITTLE ROCK TOWNSHIP, KENDALL COUNTY, ILLINOIS

LEGALD

KB9

04/16/14



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PLANNING, BUILDING & ZONING DEPARTMENT

111 WEST FOX STREET - ROOM 203 YORKVILLE, ILLINOIS 60560-1498

630.553-4141 • FAX 630.553-4179

---

**ADDRESS NOTIFICATION**

**DATE:** 01/07/2021

**OWNER:** LP NELSON TRUST

**Parcel#:** 01-21-100-005

**Lot#:**

**Subdivision:**

**ADDRESS:** 3210 CREEK ROAD  
PLANO, IL. 60545

If you have any questions, please feel free to contact our office.

Brian Holdiman  
Kendall County Code Official



KENDALL COUNTY  
DISCLOSURE OF BENEFICIARIES FORM

1-11-2021

1. Applicant Woody's Orchard - Landowner LVP Nelson Trust 103  
Address 16524 Frazer Rd  
City Plain State IL Zip 60545

2. Nature of Benefit Sought Trust

3. Nature of Applicant: (Please check one)

- Natural Person (a)
- Corporation (b)
- Land Trust/Trustee (c)
- Trust/Trustee (d)
- Partnership (e)
- Joint Venture (f)

4. If applicant is an entity other than described in Section 3, briefly state the nature and characteristics of the applicant:

5. If your answer to Section 3 you have checked letter b, c, d, e, or f, identify by name and address each person or entity who is a 5% shareholder in case of a corporation, a beneficiary in the case of a trust or land trust, a joint venture in the case of a joint venture, or who otherwise has proprietary interest, interest in profits and losses or right to control such entity:

NAME	ADDRESS	INTEREST
<u>Pam Nelson</u>	[REDACTED]	} <u>LVP Nelson</u> <u>Control Trust</u>
<u>Larry Nelson</u>	[REDACTED]	
<u>Doug Nelson</u>	[REDACTED]	
<u>Jenny Beckman</u>	[REDACTED]	
<u>Sgt. Killian, Lita Grant</u>	[REDACTED]	

6. Name, address, and capacity of person making this disclosure on behalf of the applicant:  
Larry Nelson [REDACTED]

VERIFICATION

I, Larry Nelson, being first duly sworn under oath that I am the person making this disclosure on behalf of the applicant, that I am duly authorized to make the disclosure, that I have read the above and foregoing Disclosure of Beneficiaries, and that the statements contained therein are true in both substance and fact.

Subscribed and sworn to before me this 10 day of January AD. 2021

(seal)



[REDACTED]

Notary Public



**Kendall County Soil & Water Conservation District**

7775A Route 47, Yorkville, Illinois 60560 • (630)553-5821 extension 3

[www.kendallswcd.org](http://www.kendallswcd.org)

**NATURAL RESOURCE INFORMATION (NRI) REPORT APPLICATION**

Petitioner: Woody's Orchard (L+P Nelson Trust) (103) Contact Person: Larry Nelson  
 Address: [REDACTED]  
 City, State, Zip: [REDACTED]  
 Phone Number: [REDACTED]  
 Email: [REDACTED]

Please select: How would you like to receive a copy of the NRI Report?  Email  Mail

**Site Location & Proposed Use**

Township Name Kendall Township 37N N, Range 6E E, Section(s) 16  
 Parcel Index Number(s) 01-16-300-007 and 01-20-400-005  
 Project or Subdivision Name Woody's Orchard Number of Acres 30 +/-  
 Current Use of Site Ag Proposed Use Ag-SU  
 Proposed Number of Lots N/A Proposed Number of Structures See Application  
 Proposed Water Supply Well Proposed type of Wastewater Treatment Septic  
 Proposed type of Storm Water Management N/A

**Type of Request**

Change in Zoning from A to A-SU  
 Variance (Please describe fully on separate page)  
 Special Use Permit (Please describe fully on separate page) see Application  
 Name of County or Municipality the request is being filed with: Kendall County

In addition to this completed application form, please including the following to ensure proper processing:

- Plat of Survey/Site Plan – showing location, legal description and property measurements
- Concept Plan - showing the locations of proposed lots, buildings, roads, stormwater detention, open areas, etc.
- If available: topography map, field tile map, copy of soil boring and/or wetland studies
- NRI fee (Please make checks payable to Kendall County SWCD)

The NRI fees, as of July 1, 2010, are as follows:

Full Report: \$375.00 for five acres and under, plus \$18.00 per acre for each additional acre or any fraction thereof over five.  
Executive Summary Report: \$300.00 (KCSWCD staff will determine when a summary or full report will be necessary.)

Fee for first five acres and under	\$ 375.00
<u>26</u> Additional Acres at \$18.00 each	\$ 468.00
<b>Total NRI Fee</b>	<b>\$ 843.00</b>

**NOTE:** Applications are due by the 1<sup>st</sup> of each month to be on that month's SWCD Board Meeting Agenda. Once a completed application is submitted, please allow 30 days for inspection, evaluation and processing of this report.

I (We) understand the filing of this application allows the authorized representative of the Kendall County Soil and Water Conservation District (SWCD) to visit and conduct an evaluation of the site described above. The completed NRI report expiration date will be 3 years after the date reported.

[REDACTED]  
 Petitioner or Authorized Agent

1-08-2021  
 Date

This report will be issued on a nondiscriminatory basis without regard to race, color, religion, national origin, age, sex, handicap or marital status.

**FOR OFFICE USE ONLY**

NRI# \_\_\_\_\_ Date initially rec'd \_\_\_\_\_ Date all rec'd \_\_\_\_\_ Board Meeting \_\_\_\_\_  
 Fee Due \$ \_\_\_\_\_ Fee Paid \$ \_\_\_\_\_ Check # \_\_\_\_\_ Over/Under Payment \_\_\_\_\_ Refund Due \_\_\_\_\_

**WOODY'S ORCHARD**  
Mailing - 16524 Frazier Road  
Deliveries - 16000 Frazier Road  
Plano, IL 60545  
Accounting@WoodysOrchard.com

FIRST NATIONAL BANK OF OMAHA  
SANDWICH, IL 60548  
Sandwich, IL 60548  
70-262719

1/11/2021

PAY TO THE ORDER OF Kendall County Soil & Water Conservation \$ \*\*843.00

Eight Hundred Forty-Three and 00/100\*\*\*\*\* DOLLARS

PROTECTED AGAINST FRAUD

Kendall County Soil & Water Conservation  
7775A Route 47 (USDA Service Center)

Yorkville, IL 60560

MEMO Natural Resource Information Report Application

© 2014 INTUIT INC. 1-800-333-6510

Details on Back Intuit® CheckLock™ Secure Check

Woody's Orchard

Date	Type	Reference	Original Amt.	Balance Due	1/11/2021 Discount	Payment
1/11/2021	Bill		843.00	843.00		843.00
				Check Amount		843.00

Woody's - Operating- Natural Resource Information Report Application 843.00

Woody's Orchard

Date	Type	Reference	Original Amt.	Balance Due	1/11/2021 Discount	Payment
1/11/2021	Bill		843.00	843.00		843.00
				Check Amount		843.00

Woody's - Operating- Natural Resource Information Report Application 843.00

PAYMENT RECORD





*Applicant:* Larry Nelson  
*Contact:* Same  
*Address:* [Redacted]

*IDNR Project Number:* 2109101  
*Date:* 01/05/2021

*Project:* Woodys east  
*Address:* 16524 frazier rd, Plano

*Description:* Farm land to be use by woodys Orchard east of creek rd  
own by L & P Nelson Trust

### Natural Resource Review Results

#### Consultation for Endangered Species Protection and Natural Areas Preservation (Part 1075)

The Illinois Natural Heritage Database contains no record of State-listed threatened or endangered species, Illinois Natural Area Inventory sites, dedicated Illinois Nature Preserves, or registered Land and Water Reserves in the vicinity of the project location.

**Consultation is terminated.** This consultation is valid for two years unless new information becomes available that was not previously considered; the proposed action is modified; or additional species, essential habitat, or Natural Areas are identified in the vicinity. If the project has not been implemented within two years of the date of this letter, or any of the above listed conditions develop, a new consultation is necessary. Termination does not imply IDNR's authorization or endorsement.

#### Location

The applicant is responsible for the accuracy of the location submitted for the project.



*County:* Kendall

*Township, Range, Section:*

37N, 6E, 16

37N, 6E, 21

#### IL Department of Natural Resources

##### Contact

Adam Rawe

217-785-5500

Division of Ecosystems & Environment

#### Government Jurisdiction

kendall county

Larry Nelson



#### Disclaimer

The Illinois Natural Heritage Database cannot provide a conclusive statement on the presence, absence, or condition of natural resources in Illinois. This review reflects the information existing in the Database at the time of this inquiry, and should not be regarded as a final statement on the site being considered, nor should it be a substitute for detailed site surveys or field surveys required for environmental assessments. If additional protected resources are encountered during the project's implementation, compliance with applicable statutes and regulations is required.

IDNR Project Number: 2109101

### **Terms of Use**

By using this website, you acknowledge that you have read and agree to these terms. These terms may be revised by IDNR as necessary. If you continue to use the EcoCAT application after we post changes to these terms, it will mean that you accept such changes. If at any time you do not accept the Terms of Use, you may not continue to use the website.

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IDNR Project Number: 2109101



<b>EcoCAT Receipt</b>	<b>Project Code</b> 2109101
-----------------------	-----------------------------

<b>APPLICANT</b>	<b>DATE</b>
------------------	-------------

Larry Nelson Same [REDACTED]	1/5/2021
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DESCRIPTION	FEE	CONVENIENCE FEE	TOTAL PAID
EcoCAT Consultation	\$ 125.00	\$ 2.81	\$ 127.81

TOTAL PAID      \$ 127.81

Illinois Department of Natural Resources  
 One Natural Resources Way  
 Springfield, IL 62702  
 217-785-5500  
[dnr.ecocat@illinois.gov](mailto:dnr.ecocat@illinois.gov)

## FINDINGS OF FACT SPECIAL USE

*That the establishment, maintenance, or operation of the special use will not be detrimental to or endanger the public health, safety, morals, comfort, or general welfare. True. The petitioner has submitted a concept plan indicating that measures will be taken to ensure that the use will not have a negative impact on public health, safety, morals, comfort, or general welfare including landscape screening and a one-way traffic flow.*

*That the special use will not be substantially injurious to the use and enjoyment of other property in the immediate vicinity for the purposes already permitted, nor substantially diminish and impair property values within the neighborhood. The Zoning classification of property within the general area of the property in question shall be considered in determining consistency with this standard. The proposed use shall make adequate provisions for appropriate buffers, landscaping, fencing, lighting, building materials, open space and other improvements necessary to insure that the proposed use does not adversely impact adjacent uses and is compatible with the surrounding area and/or the County as a whole. True. Adequate landscaping screening has been planted along Frazier Road and Creek Road. Conditions have been included that will regulate noise, lighting, and sanitation provisions.*

*That adequate utilities, access roads and points of ingress and egress, drainage, and/or other necessary facilities have been or are being provided. The project will have a one-way circulation system, with vehicles entering from Creek Road and exiting onto Frazier Road as illustrated on the attached Concept Plan. A site plan, storm water management plans, and appropriate Health Department regulations will be reviewed and approved prior to construction for all commercial improvements (banquet hall, bakery/restaurant/store). The Little Rock/Fox Fire Protection District has approved the proposed one-way road network.*

*That the special use shall in all other respects conform to the applicable regulations of the district in which it is located, except as such regulations may in each instance be modified by the County Board pursuant to the recommendation of the Zoning Board of Appeals. The petitioners have provided a concept plan that complies with the requirements for the proposed use including parking. Modifications to code requirements include:*

- a) That a Banquet Hall, Micro-Distillery, Nano-Brewery shall have direct access to Creek Road and Frazier Road (neither of which is designated as a collector or higher on the County's Transportation Plan)
- b) The retail sales areas may exceed one thousand (1,000) square feet, but shall not exceed 10,000 square feet per building.
- c) That parking be allowed within 30' of the Frazier Road right-of-way (reduced from the 100' agricultural setback).

*That the special use is consistent with the purpose and objectives of the Land Resource Management Plan and other adopted County or municipal plans and policies. This special use is consistent with the commercial use illustrated on the Future Land Use Plan within the County's LRMP. The agricultural nature of this facility is consistent with the overall character of the area.*

## FINDINGS OF FACT VARIANCES

*That the particular physical surroundings, shape, or topographical condition of the specific property involved would result in a particular hardship or practical difficulty upon the owner if the strict letter of the regulations were carried out. While the subject property is not on an existing collector road, both Frazier Road and Creek Road are well maintained Township Roads which frequently accommodate truck traffic from the nearby Hillside Nursery. The subject property is planned for commercial use on the County's Future Land Use Plan. The property owner has already installed a significant landscape buffer along both Frazier Road and Creek Road. This dense planting will help maintain the agricultural character of the area while allowing parking within the required 100' agricultural setback.*

*That the conditions upon which the requested variation is based would not be applicable, generally, to other property within the same zoning classification. True. This is a unique combination of uses, and is not likely to be replicated in other areas of the County.*

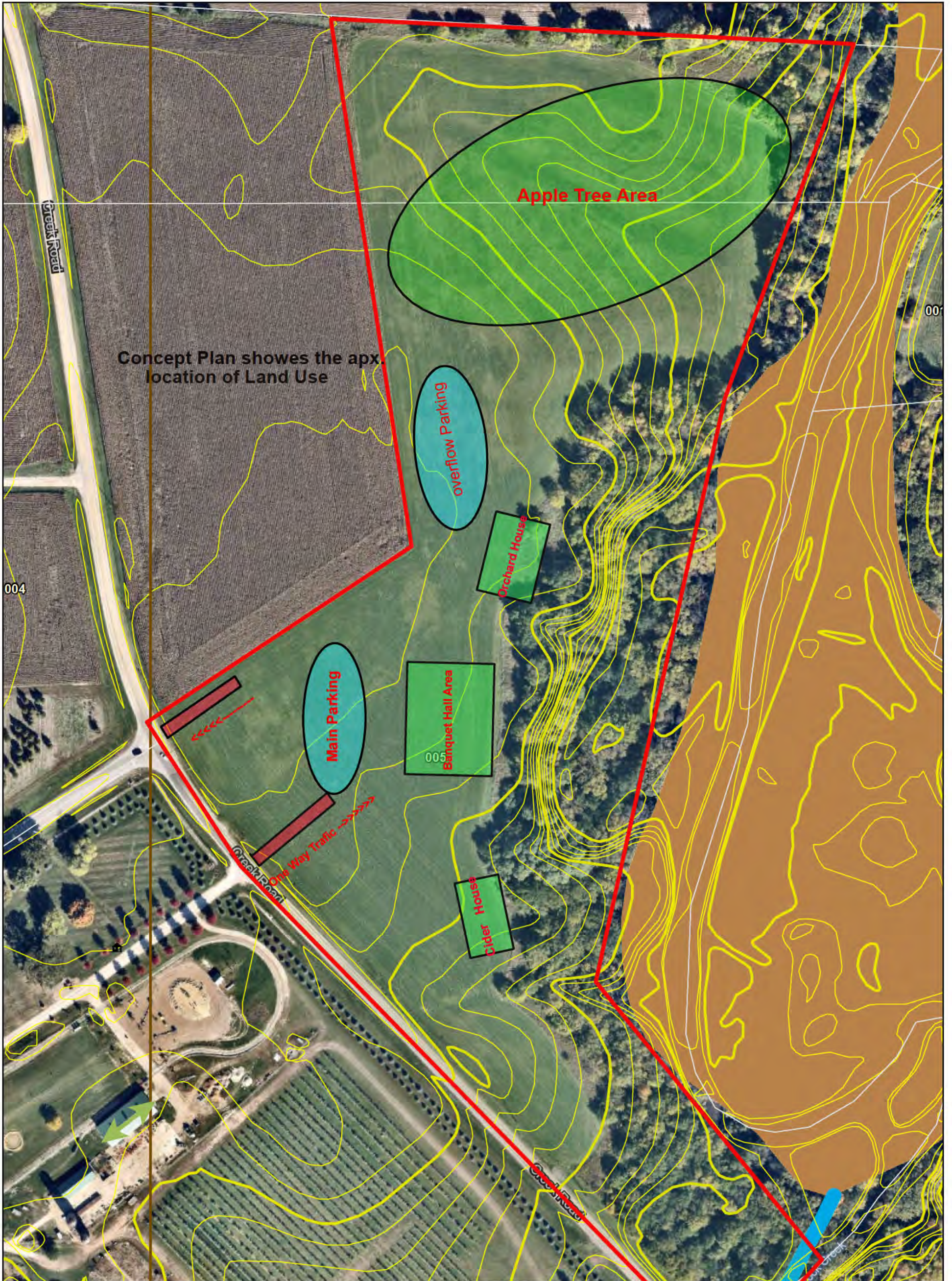
*That the alleged difficulty or hardship has not been created by any person presently having an interest in the property. The code requirements for a location on a collector road, a 100' parking setback, and maximum 1,000 square foot retail store were not created by the applicant.*

*That the granting of the variation will not materially be detrimental to the public welfare or substantially injurious to other property or improvements in the neighborhood in which the property is located. The surrounding area is primarily agricultural, and many of the proposed uses (apple orchard, cider mill) are also agricultural in nature. Appropriate conditions have been included to ensure limits to noise and lighting to protect the public welfare. The nearest home is approximately one-half mile from the proposed buildings.*














*That the proposed variation will not impair an adequate supply of light and air to adjacent property, or substantially increase the congestion in the public streets or increase the danger of fire, or endanger the public safety or substantially diminish or impair property values within the neighborhood. The Little Rock/Fox Township Fire Protection District has reviewed and approved the proposed special use, as has the Little Rock Township Road Commissioner.*

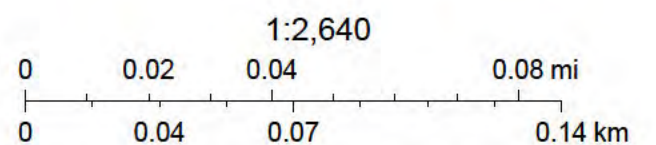


# Concept Planing of Woody' Site East of Creek Rd.

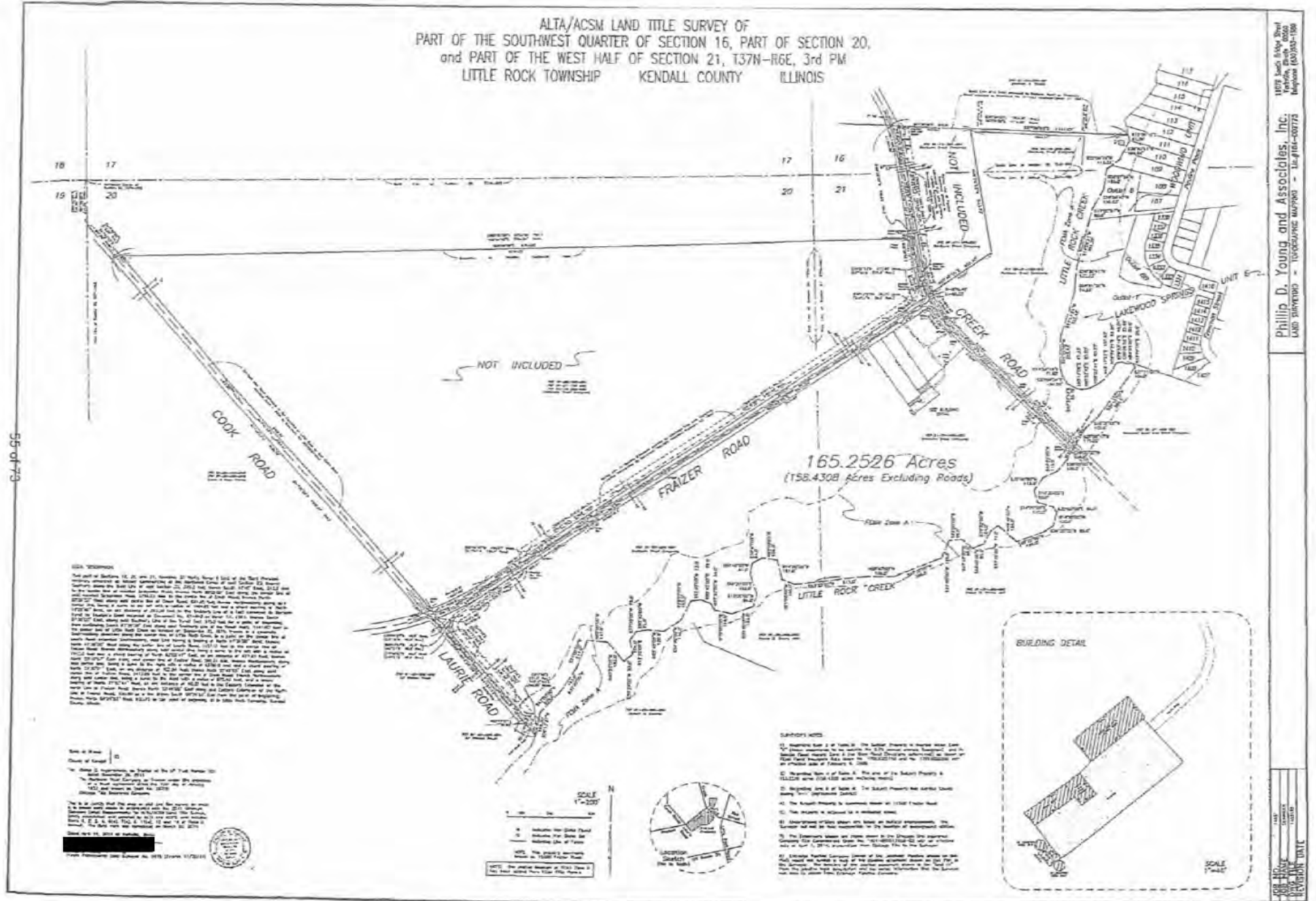


January 7, 2021

-  Kendall County Address Points
-  Parcels
-  parcel
-  Kendall County FEMA FIRM Panels
-  2018 Contours
-  Contour
-  Index Line
-  USA Wetlands
-  Marine
-  Estuarine
-  Palustrine
-  Riverine
-  Lacustrine



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KENDALL COUNTY, IL

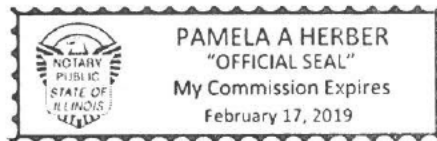
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PAGES: 7

State of Illinois  
County of Kendall

Zoning Petition  
#16-25

**ORDINANCE # 2016-21**  
GRANTING A SPECIAL USE AND VARIANCES FOR  
THE BLUFFS, INC., D/B/A CIDER CREEK LOCATED AT  
15888 FRAZIER ROAD IN LITTLE ROCK TOWNSHIP

Mailed to and Prepared by:  
Jeff Wilkins  
111 West Fox Street  
Yorkville, IL 60543



SEAL

Subscribed and sworn to before me  
This 28 day of October, 2016

[Redacted Signature]  
\_\_\_\_\_  
Jeff Wilkins  
Kendall County Administrator

[Redacted Signature]  
\_\_\_\_\_  
Notary Public

ORDINANCE NUMBER 2016 - 21

GRANTING A SPECIAL USE AND VARIANCES FOR  
THE BLUFFS, INC., D/B/A CIDER CREEK LOCATED AT  
**15888 FRAZIER ROAD IN LITTLE ROCK TOWNSHIP**

WHEREAS, THE L&P Nelson Trust 103 has filed a petition for a Special Use within the A-1 Agricultural District for a 45.8-acre property located at the southwest corner of Creek Road and Frazier Road. The street address is 15888 Frazier Road (PIN# 01-20-400-006 and 005), in Little Rock Township; and

WHEREAS, said property is legally described as:

That Part of the East Half of Section 20 and that Part of the West Half of Section 21, Township 37 North, Range 6 East of the Third Principal Meridian described as follows: Beginning at the intersection of the centerlines of Frazier Road and Creek Road; thence South 55°49'05" West, along said centerline of Frazier Road, 1980.0 feet; thence South 37°40'55" East, 537.0 feet; thence North 68°19'05" East, 1250.0 feet; thence South 51°40'55" East, 616.0 feet; thence North 72°41'29" East, 607.87 feet to the centerline of Little Rock Creek; thence North 38°00'00" East, along said centerline, 106.0 feet; thence North 29°00'00" East, along said centerline, 104.0 feet to said centerline of Creek Road; thence North 44°01'24" West, along said centerline, 745.32 feet; thence North 44°54'15" West, along said centerline, 514.15 feet; thence Northwesterly, along said centerline being a tangential curve to the right with a radius of 875.40 feet, an arc distance of 252.71 feet to the point of beginning in Little Rock Township, Kendall County, Illinois.

WHEREAS, said property is zoned A-1 Agricultural and shown primarily as commercial on the Kendall County Future Land Use Plan; and

WHEREAS, said petition is to obtain an A-1 Special Use Permit to operate a banquet hall, nano-brewery, a micro-distillery, a year around seasonal festival, a petting zoo, and production and sale of sweet cider, hard cider, wine, jams and wine jams. The petition also includes a request for variances from the following zoning code requirements:

- A. That a Banquet Hall, Micro-Distillery, Nano-Brewery shall have direct access to a road designated as a major collector (or higher) – neither Creek Road or Frazier Road are collectors
- B. The retail sales areas on site within any building or combination of buildings shall not exceed one thousand (1,000) square feet.
- C. That parking be allowed within the 100' agricultural setback and;

WHEREAS, all special use and variance procedures required by the Kendall County Zoning Ordinance were followed including notice for public hearing, preparation of the findings of fact in accordance with Section 13.08.J of the Zoning Ordinance, and recommendation for approval by the Special Use Hearing Officer and the Zoning Board of Appeals, both on October 3<sup>rd</sup>, 2016; and

WHEREAS, the findings of fact for the Special Use were approved as follows:

*That the establishment, maintenance, or operation of the special use will not be detrimental to or endanger the public health, safety, morals, comfort, or general welfare. **True. The petitioner has submitted a concept plan indicating that measures will be taken to ensure that the use will not have a negative impact on public health, safety, morals, comfort, or general welfare including landscape screening and a one-way traffic flow.***

*That the special use will not be substantially injurious to the use and enjoyment of other property in the immediate vicinity for the purposes already permitted, nor substantially diminish and impair property values within the neighborhood. The Zoning classification of property within the general area of the property in question shall be considered in determining consistency with this standard. The proposed use shall make adequate provisions for appropriate buffers, landscaping, fencing, lighting, building materials, open space and other improvements necessary to insure that the proposed use does not adversely impact adjacent uses and is compatible with the surrounding area and/or the County as a whole. **True. Adequate landscaping screening has been planted along Frazier Road and Creek Road. Conditions have been included that will regulate noise, lighting, and sanitation provisions.***

*That adequate utilities, access roads and points of ingress and egress, drainage, and/or other necessary facilities have been or are being provided. **The project will have a one-way circulation system, with vehicles entering from Creek Road and exiting onto Frazier Road as illustrated on the attached Concept Plan. A site plan, storm water management plans, and appropriate Health Department regulations will be reviewed and approved prior to construction for all commercial improvements (banquet hall, bakery/restaurant/store. The Little Rock/Fox Fire Protection District has approved the proposed one-way road network.***

*That the special use shall in all other respects conform to the applicable regulations of the district in which it is located, except as such regulations may in each instance be modified by the County Board pursuant to the recommendation of the Hearing Officer. **The petitioners have provided a concept plan that complies with the requirements for the proposed use including parking. Modifications to code requirements include:***

- a) That a Banquet Hall, Micro-Distillery, Nano-Brewery shall have direct access to Creek Road and Frazier Road (neither of which is designated as a collector or higher on the County's Transportation Plan)
- b) The retail sales areas may exceed one thousand (1,000) square feet, but shall not exceed 10,000 square feet per building.
- c) That parking be allowed within 30' of the Frazier Road right-of-way (reduced from the 100' agricultural setback).

*That the special use is consistent with the purpose and objectives of the Land Resource Management Plan and other adopted County or municipal plans and policies. **This special use is consistent with the commercial use illustrated on the Future Land Use Plan within the County's LRMP. The agricultural nature of this facility is consistent with the overall character of the area.***

WHEREAS, the findings of fact for the Variances were approved as follows:

*That the particular physical surroundings, shape, or topographical condition of the specific property involved would result in a particular hardship or practical difficulty upon the owner if the strict letter of*

State of Illinois  
County of Kendall

Zoning Petition  
#16-25

*the regulations were carried out. While the subject property is not on an existing collector road, both Frazer Road and Creek Road are well maintained Township Roads which frequently accommodate truck traffic from the nearby Hillside Nursery. The subject property is planned for commercial use on the County's Future Land Use Plan. The property owner has already installed a significant landscape buffer along both Frazier Road and Creek Road. This dense planting will help maintain the agricultural character of the area while allowing parking within the required 100' agricultural setback.*

*That the conditions upon which the requested variation is based would not be applicable, generally, to other property within the same zoning classification. True. This is a unique combination of uses, and is not likely to be replicated in other areas of the County.*

*That the alleged difficulty or hardship has not been created by any person presently having an interest in the property. The code requirements for a location on a collector road, a 100' parking setback, and maximum 1,000 square foot retail store were not created by the applicant.*

*That the granting of the variation will not materially be detrimental to the public welfare or substantially injurious to other property or improvements in the neighborhood in which the property is located. The surrounding area is primarily agricultural, and many of the proposed uses (apple orchard, cider mill) are also agricultural in nature. Appropriate conditions have been included to ensure limits to noise and lighting to protect the public welfare. The nearest home is approximately one-half mile from the proposed buildings.*

*That the proposed variation will not impair an adequate supply of light and air to adjacent property, or substantially increase the congestion in the public streets or increase the danger of fire, or endanger the public safety or substantially diminish or impair property values within the neighborhood. The Little Rock/Fox Township Fire Protection District has reviewed and approved the proposed special use, as has the Little Rock Township Road Commissioner.*

*WHEREAS, the Kendall County Board has considered the findings and recommendation of the Special Use Hearing Officer and the Zoning Board of Appeals and finds that said petition is in conformance with the provisions and intent of the Kendall County Zoning Ordinance.*

*NOW, THEREFORE, BE IT ORDAINED, that the Kendall County Board hereby grants approval of a special use permit for the operation of a banquet hall, nano-brewery, a micro-distillery, a year around seasonal festival, a petting zoo, and production and sale of sweet cider in accordance to the submitted Concept Plan included as "Exhibit A" attached hereto and incorporated herein subject to the following conditions:*

1. The property shall be developed in substantial compliance with the submitted concept plan.
2. The maximum number of patrons for banquets shall be limited to 225, including any vendors working on the property for a banquet.

3. No event activity shall start earlier than 7:00 A.M. any day of the week, and shall end no later than 10:00pm, Monday thru Wednesday and no later than 11:30pm Thursday thru Sunday. Banquets may end no later than midnight.
4. Lighting shall comply with Section 11 02.F.12 of the Zoning Ordinance.
5. Parking reserved for ADA accessibility shall be marked and constructed with a hard surface adjacent to the proposed retail store/bakery.
6. Any food prepared or sold on site, shall conform to the regulations of the Kendall County Health Department.
7. Retail sales are permitted provided that the retail sales will be ancillary to the main operation. Such sales may occur year around.
8. Noise generated by non-agricultural activities on-site shall comply with the following:
  - a. Day Hours: No person shall cause or allow the emission of sound during daytime hours (7:00 A.M. to 10:00 P.M.) from any noise source to any receiving residential land which exceeds sixty-five (65) dBA when measured at any point within such receiving residential land provided; however, that point of measurement shall be on the residential property line of the complainant.
  - b. Night Hours: No person shall cause or allow the emission of sound during nighttime hours (10:00 P.M. to 7:00 A.M.) from any noise source to any receiving residential land which exceeds fifty-five (55) dBA when measured at any point within such receiving residential land provided; however, that point of measurement shall be on the residential property line of the complainant.
  - c. EXEMPTION: Powered Equipment: Powered equipment, such as lawn mowers, small lawn and garden tools, riding tractors, and snow removal equipment which is necessary for the maintenance of property is exempted from the noise regulations between the hours of seven o'clock (7:00) A.M. and ten o'clock (10:00) P.M
9. All applicable Federal (including the Alcohol and Tobacco Tax and Trade Bureau), State (including the Illinois Liquor Control Commission), and County (including County Liquor Control) rules and regulations shall apply.
10. A waste management plan shall be submitted to and approved by the Kendall County Health Department prior to operation of the micro-distillery.
11. The petting zoo shall provide adequate hand sanitation devices as determined by the Department of Health.
12. There shall be a maximum of three new buildings, with a maximum size of 10,000 square feet each, for the banquet hall, bakery/retail store, and other commercial uses. This maximum number of buildings excludes agricultural buildings such as barns or sheds.
13. Signs shall comply with sign standards for Business Districts in the Kendall County Zoning Ordinance (Section 12.10), and may only be externally illuminated.
14. Adequate parking on site shall be provided in such a way that no on-street parking is necessary. Parking shall be setback a minimum of 30' from the right-of-way of Frazier Road.
15. Accessory uses including but not limited to temporary vendors engaged in the sale of ancillary items not produced on site but which are related to products produced on site or associated with the season shall be permitted.

Failure to comply with the terms of this ordinance may be cited as a basis for amending or revoking

State of Illinois  
County of Kendall

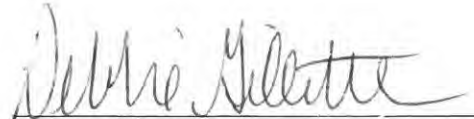
Zoning Petition  
#16-25

this special use permit.

IN WITNESS OF, this Ordinance has been enacted by the Kendall County Board this 18<sup>th</sup> day of October, 2016.

Attest:

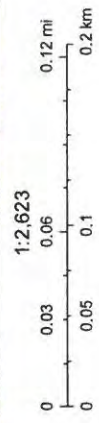
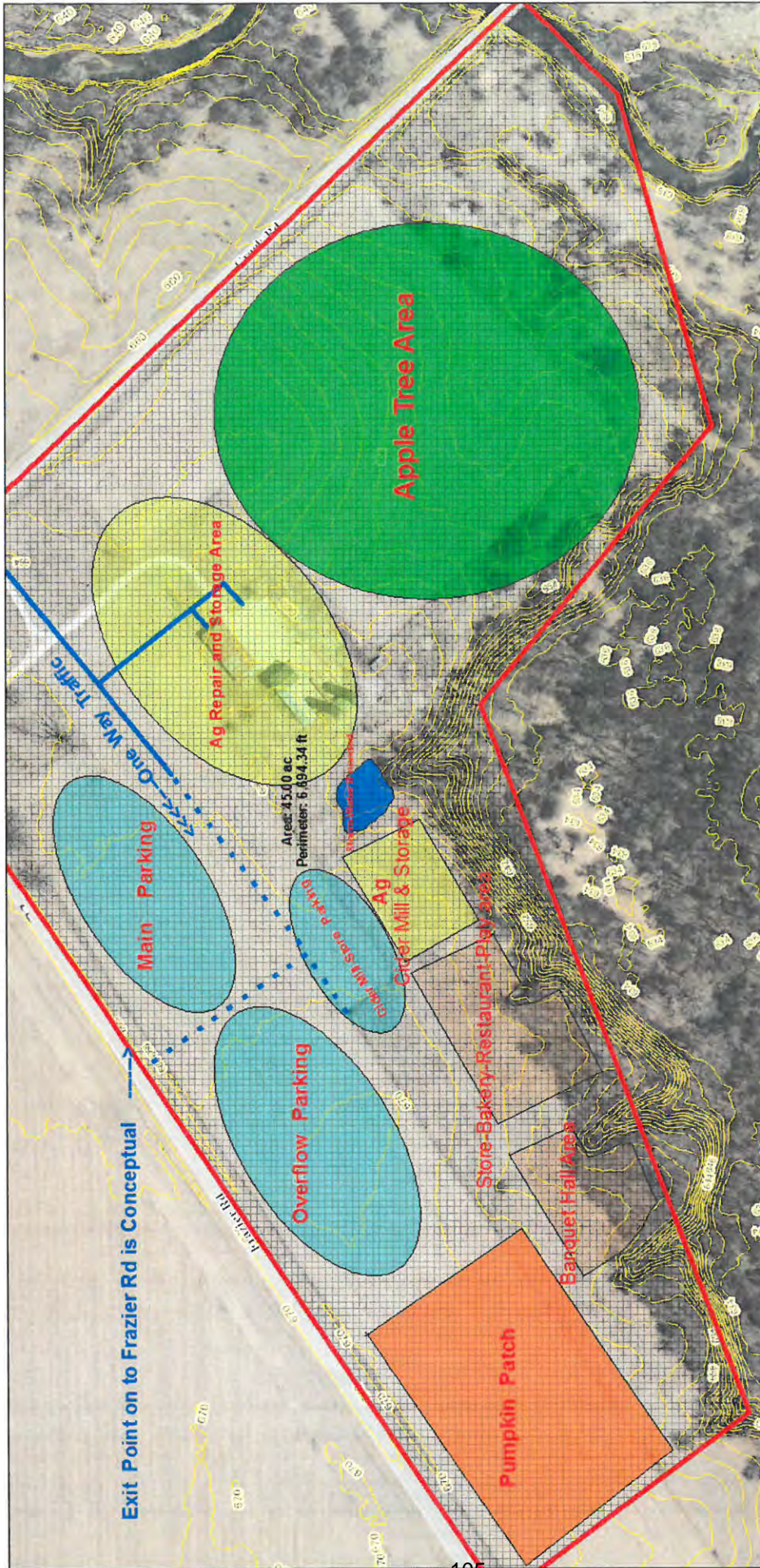
  
\_\_\_\_\_  
John A. Shaw  
Kendall County Board Chairman

  
\_\_\_\_\_  
Debbie Gillette  
Kendall County Clerk



POOR COPY  
RECORDER'S OFFICE  
NOT RESPONSIBLE

### Concept planning of Cider Creek site



September 6, 2016  
Road Names

Kendall County Illinois GIS

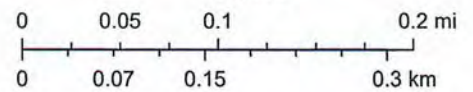
Cider Creek Sept 6, 2016  
Cider Creek


# Pin 01-21-100-005 Both sides of Creek Rd




January 13, 2021

1:8,400



 Kendall County Address Points

Parcels

 parcel

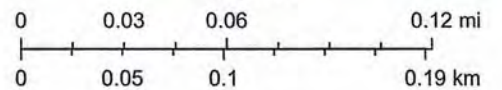
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# Pin 01-16-300-007 Woodys North End, East side Creek Rd



January 13, 2021

1:4,800



 Kendall County Address Points

Parcels

 parcel

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**DEPARTMENT OF PLANNING, BUILDING & ZONING**

111 West Fox Street • Room 203

Yorkville, IL • 60560

(630) 553-4141

Fax (630) 553-4179

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**Petition 21-04  
Oswegoland Park District  
Site Plan Approval**

**BACKGROUND AND INTRODUCTION**

The Oswegoland Park District would like to construct an approximately three thousand four hundred twenty-six (3,426) square foot addition on the northwest corner of their property at 0 Boulder Hill Pass.

Section 13:10 of the Zoning Ordinance requires site plan review for structures on properties zoned B-3.

The application material is included as Attachment 1. The plat of survey is included Attachment 2. The site plan is included as Attachment 3. The photometric plan is included as Attachment 4. The landscaping plan is included as Attachment 5. The improvement plan, including elevations and project timeline, is included as Attachment 6. Renderings are included as Attachment 7.

**SITE INFORMATION**

PETITIONER: Oswegoland Park District

ADDRESS: 0 Boulder Hill Pass

LOCATION: Northeast Corner of Route 25 and Boulder Hill Pass



TOWNSHIP: Oswego

PARCEL #S: 03-05-253-032 and 03-05-253-034

LOT SIZE: 2.39 +/- Acres

EXISTING LAND USE: Office and Recreational Facility (Former Car Dealership)

ZONING: B-3 Highway Business District and R-7 General Residence District

LRMP: Future Land Use	Suburban Residential (Max Density 1.00 DU/Acre)
Roads	Boulder Hill Pass is a local road maintained by Oswego Township. The property does not have access to Route 25 or Aldon Road.
Trails	There is an existing trail along Route 25. No trails are planned along Boulder Hill Pass or Aldon Road.
Floodplain/Wetlands	The far southwest corner of the property is in the 500-year floodplain. There are no wetlands on the property.

REQUESTED ACTION: Site Plan Approval

APPLICABLE REGULATIONS: Section 13:10 – Site Plan Approval

**SURROUNDING LAND USE**

Location	Adjacent Land Use	Adjacent Zoning	Land Resource Management Plan	Zoning within ½ Mile
North	Apartments	R-7	Suburban Residential (Max Density 1.00 DU/Acre)	N/A
South	Gas Station and Boulder Hill Market	B-3	Suburban Residential	N/A
East	Office Building, Duplex, and Single-Family Residence	R-3 SU, R-6, and B-1	Suburban Residential	N/A
West	Fox River	A-1	Unknown (Proposed Conservation)	N/A

Pictures of the property are included as Attachments 8-11

The special use permit to the east is for a duplex.

**ACTION SUMMARY**

**OSWEGO TOWNSHIP**

Petition information was sent to Oswego Township on January 25, 2021.

**VILLAGE OF MONTGOMERY**

Petition information was sent to the Village of Montgomery on January 25, 2021.

**OSWEGO FIRE PROTECTION DISTRICT**

Petition information was sent to the Oswego Fire Protection District on January 25, 2021.

## GENERAL INFORMATION

As noted in the project narrative in Attachment 1, Page 3, the Petitioner wishes to construct the proposed addition, include Americans with Disabilities Act Parking and related access, parking facility improvements, the installation of a new fire suppression system, and the installation of a new gravity sanitary sewer service. The plan also includes the addition of a rain garden.

The existing building was originally constructed in 1960 as a fourteen thousand nine hundred fifty-six (14,956) square foot car dealership. The building has been remolded several times since original construction. A complete breakdown of usage by square footage, both existing and proposed can be found on Attachment 6, Page 23.

The property where the building is located has been zoned B-3 since 1974. The strip of land to the north of the building has been zoned R-7 since 1967.

## DESIGN STANDARDS

Pursuant to Section 13:10.D of the Kendall County Zoning Ordinance, the following shall be taken into account when reviewing Site Plans (Staff comments in bold):

*Responsive to Site Conditions-Site plans should be based on an analysis of the site. Such site analysis shall examine characteristics such as site context; geology and soils; topography; climate and ecology; existing vegetation, structures and road network; visual features; and current use of the site. In addition to the standards listed below, petitioners must also follow the regulations outlined in this Zoning Ordinance. To the fullest extent possible, improvements shall be located to preserve the natural features of the site, to avoid areas of environmental sensitivity, and to minimize negative effects and alteration of natural features. Fragile areas such as wetlands and flood plains should be preserved as open space. Slopes in excess of 20 percent as measured over a 10-foot interval also should remain as open space, unless appropriate engineering measures concerning slope stability, erosion and safety are taken. **The majority of the subject property is already an improved commercial/indoor recreational use. The landscaping plan includes a new rain garden area with native plantings surrounded natural turf area to the north of the building. Mulch beds will be installed around the addition and landscape bed plantings will be installed to the west of the addition. No existing trees or landscaping will be removed from the property. Most of the site is already impervious surface and the Petitioners are increasing the impervious area by approximately nine hundred (900) square feet. No construction is planned in the area in the 500-year floodplain. No slopes exist on the property. A stormwater pollution prevent plan is included in the improvement plans.***

*Traffic and Parking Layout-Site plans should minimize dangerous traffic movements and congestion, while achieving efficient traffic flow. An appropriate number of parking spaces shall be provided while maintaining County design standards. The number of curb cuts should be minimized and normally be located as far as possible from intersections. Connections shall be provided between parking areas to allow vehicles to travel among adjacent commercial or office uses. Cross-access easements or other recordable mechanisms must be employed. **The property already possesses access off of Boulder Hill Pass. No additional access points off of Route 25 or Aldon Road are planned. As part of the project, the number of parking spaces shall be reduced from one hundred five (105) to ninety-four (94). The number of handicapped accessible spaces shall be reduced from five (5) to four (4).***

*Conflicts between pedestrians and vehicular movements should be minimized. When truck traffic will be present upon the site, the road size and configuration shall be adequate to provide for off-street parking and loading facilities for large vehicles. Barrier curb should be employed for all perimeters of and islands in paved parking lots, as well as for all service drives, loading dock areas, and the equivalent. Parking lots in industrial or commercial areas shall be paved with hot-mix asphalt or concrete surfacing. **No conflicts are foreseen. The parking lot will meet applicable surfacing requirements.***

*Site Layout-Improvements shall be laid out to avoid adversely affecting ground water and aquifer recharge; minimize cut and fill; avoid unnecessary impervious cover; prevent flooding and pollution; provide adequate access to lots and sites; and mitigate adverse effects of shadow, noise, odor, traffic, drainage and utilities on neighboring properties. **The top of the parapet of the addition, which is the highest point of the addition, will be approximately seventeen feet, three inches (17'3") in height. This is the same height as the existing parapets. No impacts to shadow, noise, odor, traffic, drainage, or utilities are foreseen.***

Consistent with the Land Resource Management Plan-The proposed use and the design of the site should be consistent with the Land Resource Management Plan. **This is true because the use is existing.**

*Building Materials-The proposed site plan design shall provide a desirable environment for its occupants and visitors as well as its neighbors through aesthetic use of materials, textures and colors that will remain appealing and will retain a reasonably adequate level of maintenance. Buildings shall be in scale with the ultimate development planned for the area. Monotony of design shall be avoided. Variations in detail, form, and setting shall be used to provide visual interest. Variation shall be balanced by coherence of design elements. The exterior of the addition will consist of an alpine timber colored stone veneer and a Navajo beige colored cement lap siding to match the existing siding. A non-illuminated, lettered sign will be on the addition.*

*Relationship to Surrounding Development-A site shall be developed in harmony with neighboring street pattern, setbacks and other design elements. The proposed addition is in harmony with the existing use and neighboring uses.*

*Open Space and Pedestrian Circulation-Improvements shall be designed to facilitate convenient and safe pedestrian and bicycle movement within and to the property. This is not an issue.*

*Buffering-Measures shall be taken to protect adjacent properties from any undue disturbance caused by excessive noise, smoke, vapors, fumes, dusts, odors, glare or stormwater runoff. Incompatible, unsightly activities are to be screened and buffered from public view. The proposed addition will be landscaped with the rain garden and existing vegetation creating buffer with the properties to the north. No issues regarding noise, smoke, vapors, fumes, dust, odors, glare, or stormwater runoff are foreseen.*

*Emergency Vehicle Access-Every structure shall have sufficient access for emergency vehicles. The property has access from Boulder Hill Pass. Circulation already exists in the property for emergency vehicles.*

*Mechanical Equipment Screening-All heating, ventilation and air conditioning equipment shall be screened on sides where they abut residential districts. The existing units on the roof are unscreened; the new units on the roof will also be unscreened.*

*Lighting-The height and shielding of lighting fixtures shall provide proper lighting without hazard to motorists on adjacent roadways or nuisance to adjacent residents by extending onto adjacent property. Cut-off lighting should be used in most locations, with fixtures designed so that the bulb/light source is not visible from general side view. The proposal calls for ten (10) single head poles on the property. All existing lighting will be replaced with energy efficient LED fixtures. Egress door lighting will be installed on the addition. Two (2) existing, illuminated monument signs are located on the property.*

*Refuse Disposal and Recycling Storage Areas-All refuse disposal and recycling storage areas should be located in areas designed to provide adequate accessibility for service vehicles. Locations should be in areas where minimal exposure to public streets or residential districts will exist. Screening shall be required in areas which are adjacent to residential districts or are within public view. Such enclosures should not be located in landscape buffers. Refuse containers and compactor systems shall be placed on smooth surfaces of non-absorbent material such as concrete or machine-laid asphalt. A concrete pad shall be used for storing grease containers. Refuse disposal and recycling storage areas serving food establishments shall be located as far as possible from the building's doors and windows. The use of chain link fences with slats is prohibited. The refuse enclosure area will be located near the northeast corner of the building. The enclosure will be board-on-board fencing with swings gates. The fencing will be six feet (6') in height.*

## **RECOMMENDATION**

Pending comments from ZPAC members, Staff recommends approval of the proposed site plan as proposed with the following conditions:

1. The site shall be developed substantial in conformance with the submitted site plan, photometric plan, landscaping plan, improvement plan, and renderings.
2. The site shall be developed in accordance with all applicable federal, state, and local laws related to

site development and the type of use proposed for the site, including, but, not limited to, securing the applicable building permits.

**ATTACHMENTS**

1. Application Materials
2. Plat of Survey
3. Site Plan
4. Photometric Plan
5. Landscaping Plan
6. Improvement Plan
7. Renderings
8. Addition Location 1
9. Addition Location 2
10. Existing Western Side of Building
11. Northern Strip





**DEPARTMENT OF PLANNING, BUILDING & ZONING**

111 West Fox Street • Yorkville, IL • 60560

(630) 553-4141

Fax (630) 553-4179

**APPLICATION**
PROJECT NAME Boulder Point Renovation FILE #: \_\_\_\_\_

<b>NAME OF APPLICANT</b>		
Oswegoland Park District		
<b>CURRENT LANDOWNER/NAME(S)</b>		
Oswegoland Park District		
<b>SITE INFORMATION</b>		
ACRES	SITE ADDRESS OR LOCATION	ASSESSOR'S ID NUMBER (PIN)
2.39	0 Boulder Hill Pass	03-05-253-032 & -034
EXISTING LAND USE	CURRENT ZONING	LAND CLASSIFICATION ON LRMP
Multi-Purpose Recreation Facility	B3 Highway Business (-032) and R-7 (-034)	Suburban Residential
<b>REQUESTED ACTION (Check All That Apply):</b>		
<input type="checkbox"/> SPECIAL USE	<input type="checkbox"/> MAP AMENDMENT (Rezone to _____)	<input type="checkbox"/> VARIANCE
<input type="checkbox"/> ADMINISTRATIVE VARIANCE	<input type="checkbox"/> A-1 CONDITIONAL USE for: _____	<input checked="" type="checkbox"/> SITE PLAN REVIEW
<input type="checkbox"/> TEXT AMENDMENT	<input type="checkbox"/> RPD ( <input type="checkbox"/> Concept; <input type="checkbox"/> Preliminary; <input type="checkbox"/> Final)	<input type="checkbox"/> ADMINISTRATIVE APPEAL
<input type="checkbox"/> PRELIMINARY PLAT	<input type="checkbox"/> FINAL PLAT	<input type="checkbox"/> OTHER PLAT (Vacation, Dedication, etc)
<input type="checkbox"/> AMENDMENT TO A SPECIAL USE ( <input type="checkbox"/> Major; <input type="checkbox"/> Minor)		
<b><sup>1</sup>PRIMARY CONTACT</b>	<b>PRIMARY CONTACT MAILING ADDRESS</b>	<b>PRIMARY CONTACT EMAIL</b>
Chad Feldotto, Dir. of Planning	313 E. Washington St., Oswego, IL 60543	cfeldotto@oswegolandpd.org
<b>PRIMARY CONTACT PHONE #</b>	<b>PRIMARY CONTACT FAX #</b>	<b>PRIMARY CONTACT OTHER #(Cell, etc.)</b>
630-554-4428	630-554-1577	
<b><sup>2</sup>ENGINEER CONTACT</b>	<b>ENGINEER MAILING ADDRESS</b>	<b>ENGINEER EMAIL</b>
John T. Whitehouse, P.E., P.L.S.	52 Wheeler R. Sugar Grove, IL 60554-9595	jwhitehouse@eeiweb.com
<b>ENGINEER PHONE #</b>	<b>ENGINEER FAX #</b>	<b>ENGINEER OTHER # (Cell, etc.)</b>
630-466-6717	630-466-6701	
I UNDERSTAND THAT BY SIGNING THIS FORM, THAT THE PROPERTY IN QUESTION MAY BE VISITED BY COUNTY STAFF & BOARD/ COMMISSION MEMBERS THROUGHOUT THE PETITION PROCESS AND THAT THE PRIMARY CONTACT LISTED ABOVE WILL BE SUBJECT TO ALL CORRESPONDANCE ISSUED BY THE COUNTY.		
I CERTIFY THAT THE INFORMATION AND EXHIBITS SUBMITTED ARE TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND THAT I AM TO FILE THIS APPLICATION AND ACT ON BEHALF OF THE ABOVE SIGNATURES.		
<b>SIGNATURE OF APPLICANT</b>		<b>DATE</b> <u>1/18/2021</u>

FEE PAID:\$ \_\_\_\_\_

CHECK #: \_\_\_\_\_

<sup>1</sup>Primary Contact will receive all correspondence from County<sup>2</sup>Engineering Contact will receive all correspondence from the County's Engineering Consultants

LEGAL DESCRIPTION OF OSWEGOLAND PARK DISTRICT PROPERTY AT 0 BOULDER HILL PASS, OSWEGO TOWNSHIP, KENDALL COUNTY, ILLINOIS.

LEGAL DESCRIPTION:

PARCEL 1: THAT PART OF THE NORTHEAST QUARTER OF SECTION 5, TOWNSHIP 37 NORTH, RANGE 8 EAST OF THE THIRD PRINCIPAL MERIDIAN, DESCRIBED AS FOLLOWS: BEGINNING AT THE MOST WESTERLY CORNER OF BOULDER HILL, UNIT 2, BEING ON THE NORTHWESTERLY LINE OF ALDON ROAD; THENCE NORTH 46 DEGREES 04 MINUTES 00 SECONDS WEST TO THE CENTERLINE OF ILLINOIS ROUTE NO. 25; THENCE SOUTHWESTERLY ALONG SAID CENTER LINE TO THE NORTHERLY LINE OF BOULDER HILL PASS AS ESTABLISHED IN BOULDER HILL UNIT 1; THENCE SOUTH 50 DEGREES 20 MINUTES 00 SECONDS EAST, ALONG SAID NORTHERLY LINE, 197.5 FEET; THENCE SOUTHEASTERLY ALONG SAID NORTHERLY LINE, BEING A LONG A CURVE TO THE RIGHT HAVING A RADIUS OF 3275.6 FEET, A DISTANCE OF 137 FEET; THENCE EASTERLY AND NORTHERLY ALONG A CURVE TO THE LEFT HAVING A RADIUS OF 25 FEET, A DISTANCE OF 38.45 FEET; THENCE NORTH 43 DEGREES 56 MINUTES 00 SECONDS EAST ALONG THE NORTHWESTERLY LINE OF ALDON ROAD, 247.40 FEET TO THE POINT OF BEGINNING, IN THE TOWNSHIP OF OSWEGO, KENDALL COUNTY, ILLINOIS.

PARCEL 2: THE SOUTHWESTERLY 30 FEET OF LOT 1 AND LOT 34 OF RESUBDIVISION OF BOULDER HILL, UNIT 15, IN THE TOWNSHIP OF OSWEGO, KENDALL COUNTY, ILLINOIS

PROJECT NARRATIVE  
BOULDER POINT BUILDING ADDITION, PARKING AND UTILITY IMPROVEMENTS  
OSWEGOLAND PARK DISTRICT

SCOPE OF PROJECT:

This project includes a 3,200 square foot M.O.L. building addition at the northwesterly side of the existing facility, ADA parking and access improvements meeting the Illinois Accessibility Code, parking facility improvements with removal and replacement of some pavement along with utility improvements including upsizing of the water service to accommodate a new fire suppression system and improvements to the sanitary sewer service to replace the existing sewer service lift station with a new gravity sanitary sewer service. Stormwater Best Management Practices are being provided for the new building addition in a rain garden even though stormwater detention is not required due to the overall site impervious area increasing by only 915 square feet.

No existing trees or landscaping on the site are being removed and additional foundation plantings and mulch beds are being added in conjunction with the building addition and sidewalk improvements. The existing refuse location is being moved closer to the building and is being provided with a new board on board fence enclosure.

Vehicular access to the property is not being changed from the current access via Boulder Hill Pass and the internal circulation and fire access has been reviewed by the District Fire Marshall and deemed acceptable.

Site lighting improvements are being proposed to replace all lighting with energy efficient LED fixtures. Existing signage is remaining with no proposed new signs.

This proposed facility improvement will better serve the Oswegoland Park District community.

202000027272

DEBBIE GILLETTE  
RECORDER - KENDALL COUNTY, IL  
RECORDED: 12/29/2020 10:07 AM  
REC FEE: 57.00 RHSPS: 10.00  
PAGES: 3

2001379244  
1/1 CS

**TRUSTEE'S DEED**

MAIL TO:

Mark R. Heinle  
Ancel Glink, P.C.  
1979 N. Mill Street, Suite 207  
Naperville, IL 60563

NAME AND ADDRESS OF  
TAXPAYER/GRANTEE:

Oswegoland Park District  
313 E. Washington Street  
Oswego, IL 60543

THE GRANTOR, **James K. Detzler, not personally but as Trustee under Trust Agreement dated February 22, 2017 and known as James K. Detzler Trust**, of the Village of Oswego, County of Kendall, State of Illinois, for and in consideration TEN and NO/100 dollars (\$10.00), in hand paid, and pursuant to the power and authority given to such trustee, does hereby CONVEY AND WARRANT to GRANTEE, **Oswegoland Park District, an Illinois body corporate and politic**, all interest in the following described Real Estate situated in the County of Kendall, in the State of Illinois, to wit:

THE SOUTHWESTERLY 30 FEET OF LOT 1 AND LOT 34 OF RESUBDIVISION OF BOULDER HILL, UNIT 15, IN THE TOWNSHIP OF OSWEGO, KENDALL COUNTY, ILLINOIS.

Subject to: General real estate taxes not due and payable at the time of closing; covenants, conditions, and restrictions of record; public and utility easements, building lines and easements, if any, so long as they do not interfere with the current use and enjoyment of the real estate.

Permanent Index Number(s): 03-05-253-034 (alternate PIN 10-05-253-034)

Property Address: Vacant land commonly known as Lots 1 and 34 in Boulder Hill, Oswego, Illinois 60543

TO HAVE AND TO HOLD the same unto said Grantee, and its successors and assigns forever.

DATED this 18 day of September, 2020.

SELLER:

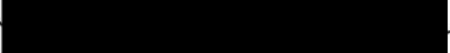


**James K. Detzler, as Trustee under Trust Agreement dated February 22, 2017 and known as James K. Detzler Trust**  
(not personally but as Trustee)

STATE OF ILLINOIS )  
 ) SS.  
COUNTY OF KENDALL )

I, the undersigned, a Notary Public in and for said County and State aforesaid, DO HEREBY CERTIFY, that **James K. Detzler, as Trustee under Trust Agreement dated February 22, 2017 and known as James K. Detzler Trust**, personally known to me to be the same person whose name is subscribed to the foregoing instrument, appeared before me this day in person and acknowledged that he signed, sealed and delivered the said instrument as his free and voluntary act, for the uses and purposes therein set forth.

Given under my hand and Notarial Seal this 18 day of September, 2020

Commission expires 11/20, 2020   
NOTARY PUBLIC




**NAME and ADDRESS OF PREPARER:**

Mark R. Heinle  
Ancel Glink, P.C.  
1979 N. Mill Street, Suite 207  
Naperville, IL 60563

EXEMPT UNDER PROVISIONS OF  
35 ILCS 200/31-45, PARAGRAPH (B),  
REAL ESTATE TRANSFER ACT

DATE:

September 29, 2020  
  
Signature of Buyer, Seller or Representative



Debbie Gillette
Kendall County Clerk & Recorder

PLAT ACT AFFIDAVIT OF METES AND BOUNDS

STATE OF ILLINOIS )
)SS
COUNTY OF KENDALL )

James K. Detzler, being duly sworn on oath, states that affiant resides at [redacted]. And further states that: (please check the appropriate box)

A. [X] That the attached deed is not in violation of 765 ILCS 205/1(a), in that the sale or exchange is of an entire tract of land not being part of a larger tract of land; or
B. [ ] That the attached deed is not in violation of 765 ILCS 205/1(b) for one of the following reasons: (please circle the appropriate number)

- 1. The division or subdivision of land into parcels or tracts of 5.0 acres or more in size which does not involve any new streets or easements of access;
2. The division of lots or blocks of less than one (1) acre in any recorded subdivision which does not involve any new streets or easements of access;
3. The sale or exchange of parcels of land between owners of adjoining and contiguous land;
4. The conveyance of parcels of land or interests therein for use as right of way for railroads or other public utility facilities and other pipe lines which does not involve any new streets or easements of access;
5. The conveyance of land owned by a railroad or other public utility which does not involve any new streets or easements of access;
6. The conveyance of land for highway or other public purposes or grants or conveyances relating to the dedication of land for public use or instruments relating to the vacation of land impressed with a public use;
7. Conveyances made to correct descriptions in prior conveyances;
8. The sale or exchange of parcels or tracts of land following the division into not more than two (2) parts of a particular parcel or tract of land existing on July 17, 1959, and not involving any new streets or easements of access;
9. The sale of a single lot of less than 5.0 acres from a larger tract when a survey is made by an Illinois Registered Land Surveyor, provided, that this exemption shall not apply to the sale of any subsequent lots from the same larger tract of land, as determined by the dimensions and configuration of the larger tract on October 1, 1973, and provided also that this exemption does not invalidate any local requirements applicable to the subdivision of land;
10. The conveyance is of land described in the same manner as title was taken by grantor(s).

AFFIANT further states that he makes this affidavit for the purpose of inducing the Recorder of Deeds of Kendall County, Illinois, to accept the attached deed for recording.

SUBSCRIBED AND SWORN TO BEFORE ME

This 1st day of October, 2020



Signature of Notary Public

Signature of Affiant



200900014318

WARRANTY DEED

(Kendall)  
804306(1/1)

DEBBIE  
GILLETTE  
KENDALL COUNTY, IL

RECORDED: 6/29/2009 9:16 AM  
WD: 3499.00 RHPSPS FEE: 10.00  
PAGES: 4

THE GRANTOR, LINCOLN SQUARE GROUP, LLC, a limited liability company created and existing under and by virtue of the laws the State of Illinois for and in consideration of TEN DOLLARS (\$10.00), and other good and valuable consideration, in hand paid, **CONVEYS AND WARRANTS** to Oswegoland Park District, the following described Real Estate situated in the County of Kendall in the State of Illinois, to WIT:

SEE EXHIBIT "A" ATTACHED HERETO

P.I.N. 03-05-253-032

PROPERTY ADDRESS: 0 Boulder Hill Pass, Montgomery, Il. 60538

SUBJECT to covenants, conditions and restrictions of record and to General Taxes for 2008 and subsequent years.

Grantor also hereby grants to the grantee, its successors and assigns, as rights and easements appurtenant to the subject unit described herein, the rights and easements for the benefit of said unit set forth in the declaration of condominium; and Grantor reserves to itself, it's successors and assigns, the rights and easements set forth in said declaration for the benefit of the remaining land described therein.

This deed is subject to all rights, easements, covenants and restrictions contained in said declaration the same as though the provisions of said declaration were reciting and stipulated at length herein.

IN WITNESS WHEREOF, said Grantor has caused its name to be Signed hereto by its Manager this 16 day of May, 2009

LINCOLN SQUARE GROUP, LLC:

[Redacted Signature]

By Denise Elizondo, it's Manager

GREATER ILLINOIS TITLE COMPANY  
300 East Roosevelt Road  
Wheaton, Illinois 60187

State of Illinois )  
County of Kendall ) SS

I, the undersigned, a notary public in and for said County, in the State aforesaid, do hereby certify that the above described individual, who is personally known to me to be the same person whose name is subscribed to the foregoing instrument, appeared before me this day in person and acknowledged that she signed, sealed and delivered said instrument as her free and voluntary act, for the uses and purposes therein set forth, as Manager of said Limited Liability Company.

Given under my hand and official seal, this 26 day of May, 2009.


Official Seal  
Karin Marie Foreman  
Notary Public State of Illinois  
My Commission Expires 12/01/2010

[Redacted Signature]

Notary Public

STATE TAX  
STATE OF ILLINOIS  
  
JUN. 29. 09  
KENDALL COUNTY

REAL ESTATE TRANSFER TAX  
# 0000012701  
0030000  
FP 103035

STATE TAX  
STATE OF ILLINOIS  
  
JUN. 29. 09  
KENDALL COUNTY

REAL ESTATE TRANSFER TAX  
# 0000012699  
0100000  
FP 103035

This instrument was prepared by:  
Kurt A. Richter, Esq.

[Redacted Name]

STATE TAX  
STATE OF ILLINOIS  
  
JUN. 29. 09  
KENDALL COUNTY

REAL ESTATE TRANSFER TAX  
# 0000012700  
0100000  
FP 103035

AFTER RECORDING MAIL TO:

Dexter Price  
[Redacted Address]

SEND SUBSEQUENT TAX BILLS TO:

Oswego and Park District  
Attn: Executive Director  
313 E WASHINGTON  
OSWEGO IL 60543

COUNTY OF KENDALL  
REAL ESTATE TRANSFER TAX  
\$ 1,150.00



EXHIBIT "A"

Attachment 1, Page 9

THAT PART OF THE NORTHEAST 1/4 OF SECTION 3, TOWNSHIP 37 NORTH, RANGE 8, EAST OF THE THIRD PRINCIPAL MERIDIAN, DESCRIBED AS FOLLOWS: BEGINNING AT THE MOST WESTERLY CORNER OF BOULDER HILL, UNIT 2, BEING ON THE NORTHWESTERLY LINE OF ALDON ROAD; THENCE NORTH 46 DEGREES 04 MINUTES 0 SECONDS WEST TO THE CENTERLINE OF ILLINOIS ROUTE NO. 25; THENCE SOUTHWESTERLY ALONG SAID CENTER LINE TO THE NORTHERLY LINE OF BOULDER HILL PASS AS ESTABLISHED IN BOULDER HILL, UNIT 1; THENCE SOUTH 50 DEGREES 20 MINUTES 00 SECONDS EAST ALONG SAID NORTHERLY LINE 197.5 FEET; THENCE SOUTHEASTERLY ALONG SAID NORTHERLY LINE, BEING ALONG A CURVE TO THE RIGHT HAVING A RADIUS OF 3275.6 FEET, A DISTANCE OF 137 FEET; THENCE EASTERLY AND NORTHERLY ALONG A CURVE TO THE LEFT HAVING A RADIUS OF 25 FEET, A DISTANCE OF 38.45 FEET; THENCE NORTH 43 DEGREES 56 MINUTES 00 SECONDS EAST ALONG THE NORTHWESTERLY LINE OF ALDON ROAD, 247.40 FEET TO THE POINT OF BEGINNING, IN THE TOWNSHIP OF OSWEGO, KENDALL COUNTY, ILLINOIS.

Unofficial

STATE OF ILLINOIS  
COUNTY OF DUPAGE } SS

DOCUMENT NO.:

The undersigned <sup>JB</sup> GREATER ILLINOIS TITLE COMPANY, being duly sworn on oath, states that he resides at 300 East Roosevelt Road, Wheaton, Illinois 60187. That the attached deed is not in violation of Section 1 of Chapter 109 of the Illinois Revised Statutes for one of the following reasons:

1. The division or subdivision of land is into parcels or tracts of five acres or more in size which does not involve any new streets or easements of access.
2. The division is of lots or blocks of less than one acre in any recorded subdivision which does not involve any new streets or easements of access.
3. The sale or exchange of parcels of land is between owners of adjoining and contiguous land.
4. The conveyance is of parcels of land or interests therein for use as right of way for railroads or other public utility facilities, which does not involve any new streets or easements of access.
5. The conveyance is of land owned by a railroad or other public utility which does not involve any new streets or easements of access.
6. The conveyance is of land for highway or other public purposes or grants or conveyances relating to the dedication of land for public use or instruments relating to the vacation of land impressed with a public use.
7. The conveyance is made to correct descriptions in prior conveyances.
8. The sale or exchange is of parcels or tracts of land following the division into no more than two parts of a particular parcel or tract of land existing on July 17, 1959 and not involving any new streets or easements of access.
9. The sale is of a single lot of less than five acres from a larger tract, the dimensions and configurations of said larger tract having been determined by the dimensions and configuration of said larger tract on October 1, 1973, and no sale, prior to this sale, or any lot or lots from said larger tract having taken place since October 1, 1973 and a survey of said single lot having been made by a registered land surveyor.
10. The conveyance is of land described in the same manner as title was taken by grantor(s).

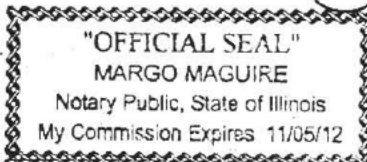
**THE APPLICABLE STATEMENT OR STATEMENTS ABOVE ARE CIRCLED.**

**AFFIANT** further states that he makes this affidavit for the purpose of inducing the Recorder of DuPage County, Illinois, to accept the attached deed for recording.

[Redacted Signature]

SUBSCRIBED AND SWORN TO before me

this 19 day of June 2009  
[Redacted Name]  
Notary Public

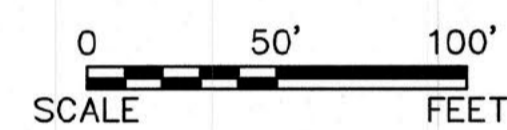
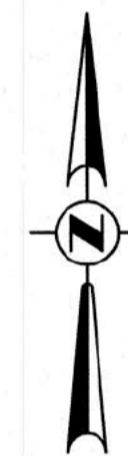
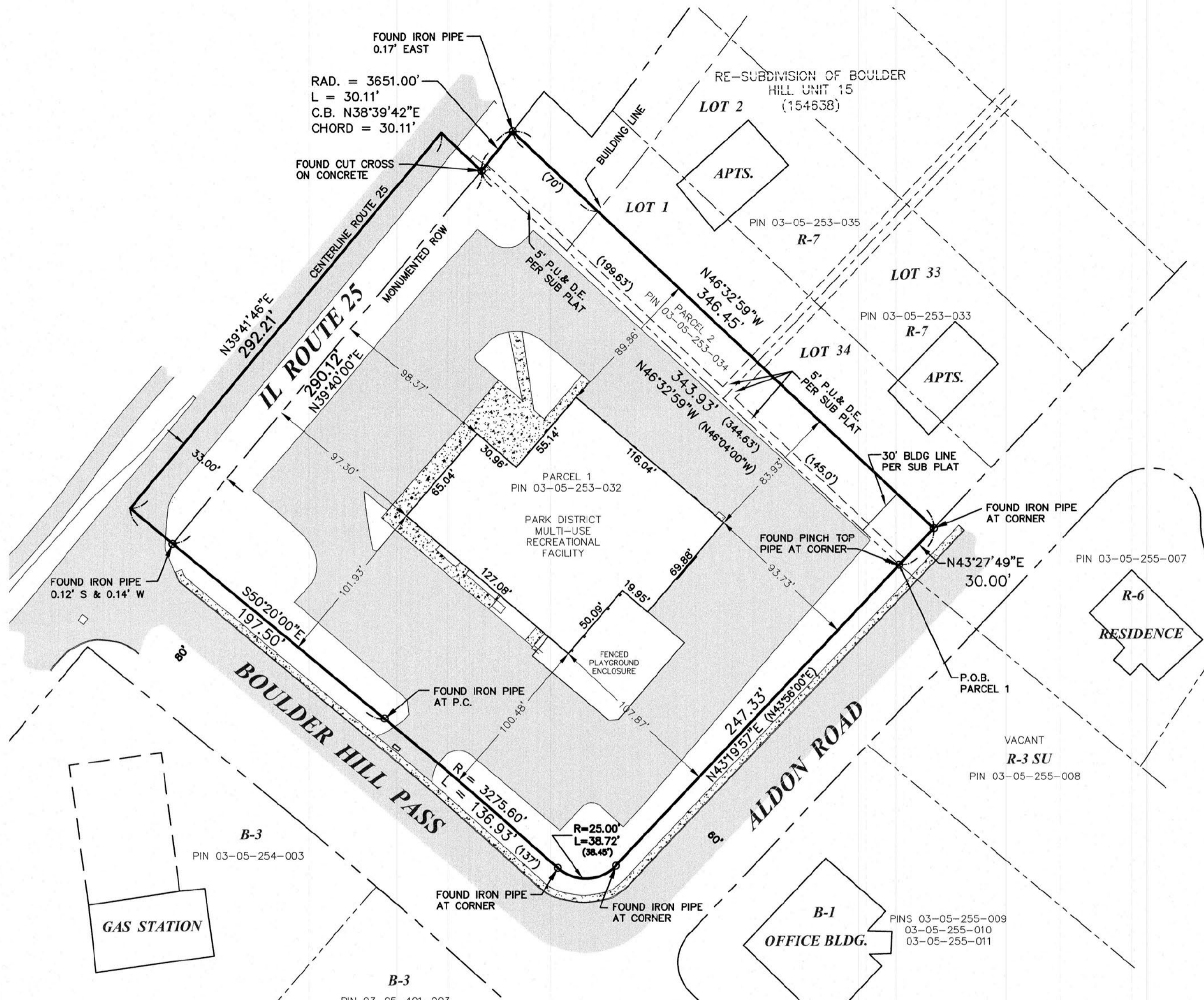


# PLAT OF SURVEY

OF PROPERTY DESCRIBED AS:

PARCEL 1: THAT PART OF THE NORTHEAST QUARTER OF SECTION 5, TOWNSHIP 37 NORTH, RANGE 8 EAST OF THE THIRD PRINCIPAL MERIDIAN, DESCRIBED AS FOLLOWS: BEGINNING AT THE MOST WESTERLY CORNER OF BOULDER HILL, UNIT 2, BEING ON THE NORTHWESTERLY LINE OF ALDON ROAD; THENCE NORTH 46 DEGREES 04 MINUTES 00 SECONDS WEST TO THE CENTERLINE OF ILLINOIS ROUTE NO. 25; THENCE SOUTHWESTERLY ALONG SAID CENTER LINE TO THE NORTHERLY LINE OF BOULDER HILL PASS AS ESTABLISHED IN BOULDER HILL UNIT 1; THENCE SOUTH 50 DEGREES 20 MINUTES 00 SECONDS EAST, ALONG SAID NORTHERLY LINE, 197.5 FEET; THENCE SOUTHEASTERLY ALONG SAID NORTHERLY LINE, BEING A LONG A CURVE TO THE RIGHT HAVING A RADIUS OF 3275.6 FEET, A DISTANCE OF 137 FEET; THENCE EASTERLY AND NORTHERLY ALONG A CURVE TO THE LEFT HAVING A RADIUS OF 25 FEET, A DISTANCE OF 38.45 FEET; THENCE NORTH 43 DEGREES 56 MINUTES 00 SECONDS EAST ALONG THE NORTHWESTERLY LINE OF ALDON ROAD, 247.40 FEET TO THE POINT OF BEGINNING, IN THE TOWNSHIP OF OSWEGO, KENDALL COUNTY, ILLINOIS.


PARCEL 2: THE SOUTHWESTERLY 30 FEET OF LOT 1 AND LOT 34 OF RESUBDIVISION OF BOULDER HILL, UNIT 15, IN THE TOWNSHIP OF OSWEGO, KENDALL COUNTY, ILLINOIS



STATE OF ILLINOIS)  
 )SS  
 COUNTY OF KANE)

THIS IS TO CERTIFY THAT WE, ENGINEERING ENTERPRISES INC., HAVE PERFORMED A BOUNDARY SURVEY OF THE PROPERTY DESCRIBED IN THE ABOVE LEGAL DESCRIPTION, AS SHOWN BY THE ANNEXED PLAT, WHICH IS A TRUE AND CORRECT REPRESENTATION OF SAID SURVEY. ALL DISTANCES SHOWN ARE IN FEET AND DECIMALS THEREOF. THIS PROFESSIONAL SERVICE CONFORMS TO THE CURRENT ILLINOIS MINIMUM STANDARDS FOR A BOUNDARY SURVEY. FIELD WORK PERFORMED FEBRUARY 12, 2020.

GIVEN UNDER MY HAND AND SEAL AT SUGAR GROVE, ILLINOIS, THIS 11th DAY OF MARCH, 2020.

BY:   
 JOHN T. WHITEHOUSE  
 PROFESSIONAL LAND SURVEYOR #35-2724  
 (EXPIRES 11-30-22)  
 ENGINEERING ENTERPRISES, INC.  
 PROFESSIONAL DESIGN FIRM #184-002003  
 (EXPIRES 04-30-21)



**NOTES:**

1. THE BASIS OF BEARINGS IS THE ILLINOIS STATE PLANE COORDINATE SYSTEM.
2. FOR BUILDING LINES, EASEMENTS AND OTHER RESTRICTIONS NOT SHOWN HEREON, REFER TO YOUR DEED, TITLE POLICY, ZONING ORDINANCE, ETC. CONTACT UTILITY COMPANIES BEFORE BUILDING.
3. ANGLES AND DISTANCES SHOWN IN PARENTHESES ARE RECORD DIMENSIONS. ALL OTHERS ARE MEASURED.
4. P.U.& D.E. REFERS TO PUBLIC UTILITY AND DRAINAGE EASEMENT
5. (000.00') (00'-00'-00") DENOTES DEED/RECORD DIMENSION OR BEARING.





**Engineering Enterprises, Inc.**  
 CONSULTING ENGINEERS  
 52 Wheeler Road  
 Sugar Grove, Illinois 60554  
 630.466.6700 / www.eeiweb.com

**OSWEGOLAND PARK DISTRICT  
 BOULDER POINT RENOVATION  
 0 BOULDER HILL PASS  
 MONTGOMERY, ILLINOIS**

NO.	DATE	REVISIONS

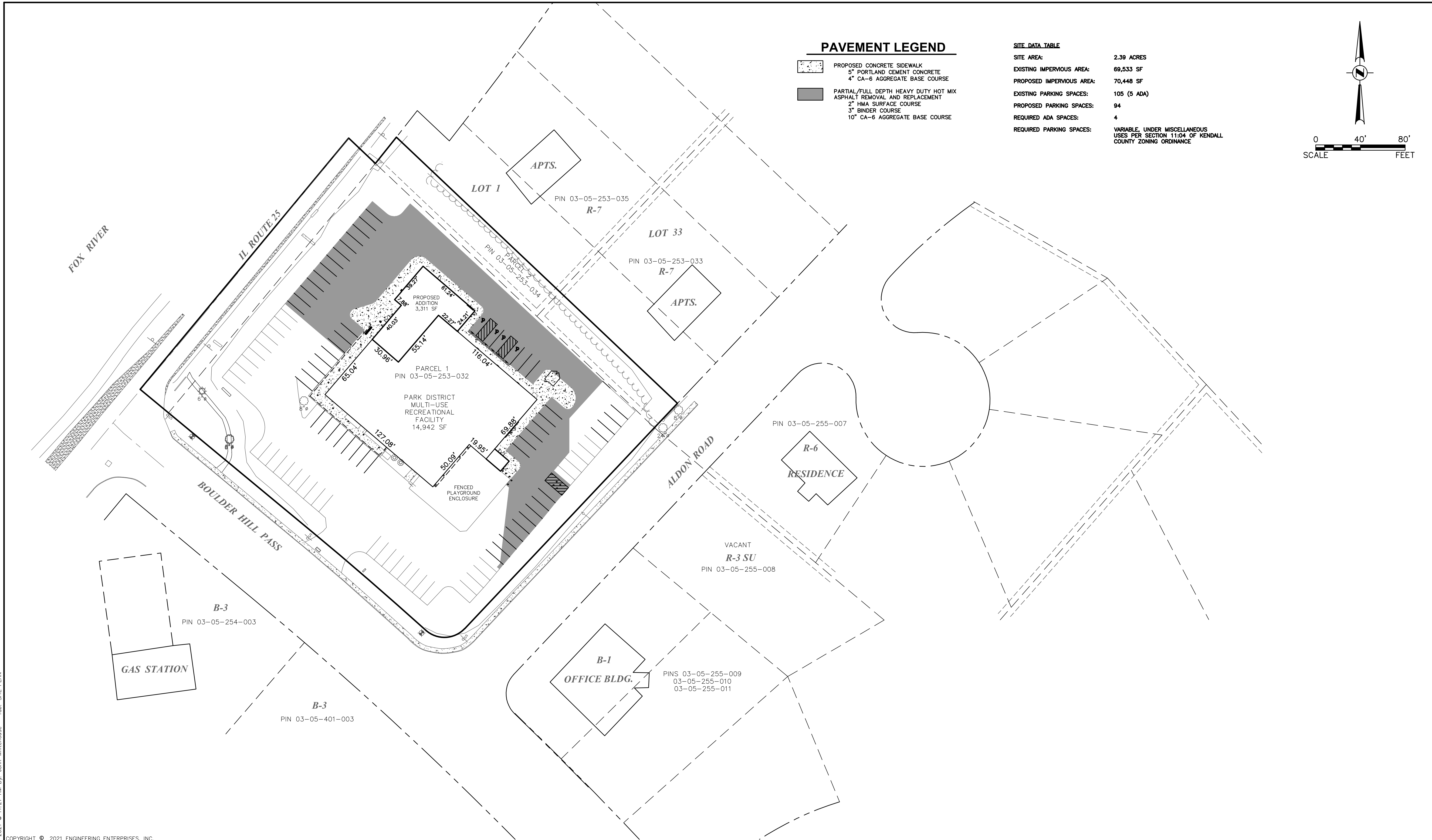
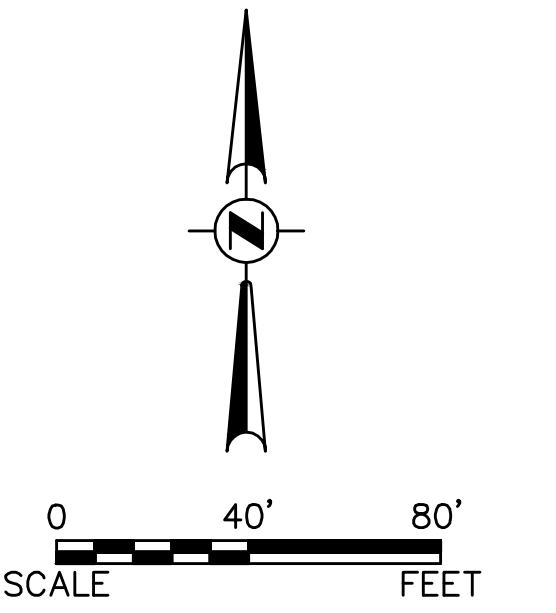
DATE: MARCH 09, 2020  
 PROJECT NO. PD1911  
 FILE NO PD1911 PLAT OF SURVEY  
**PAGE 1 OF 1**

**PAVEMENT LEGEND**

-  PROPOSED CONCRETE SIDEWALK  
5" PORTLAND CEMENT CONCRETE  
4" CA-6 AGGREGATE BASE COURSE
-  PARTIAL/FULL DEPTH HEAVY DUTY HOT MIX ASPHALT REMOVAL AND REPLACEMENT  
2" HMA SURFACE COURSE  
3" BINDER COURSE  
10" CA-6 AGGREGATE BASE COURSE

**SITE DATA TABLE**

SITE AREA:	2.39 ACRES
EXISTING IMPERVIOUS AREA:	69,533 SF
PROPOSED IMPERVIOUS AREA:	70,448 SF
EXISTING PARKING SPACES:	105 (5 ADA)
PROPOSED PARKING SPACES:	94
REQUIRED ADA SPACES:	4
REQUIRED PARKING SPACES:	VARIABLE, UNDER MISCELLANEOUS USES PER SECTION 11-04 OF KENDALL COUNTY ZONING ORDINANCE



Plotted: January 16, 2021 @ 11:27 AM By: John Whitehouse - Tab: SITE PLAN

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**Engineering Enterprises, Inc.**  
CONSULTING ENGINEERS  
52 Wheeler Road  
Sugar Grove, Illinois 60554  
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**OSWEGOLAND PARK DISTRICT**  
313 E. Washington Street  
Oswego, IL 60543-9661

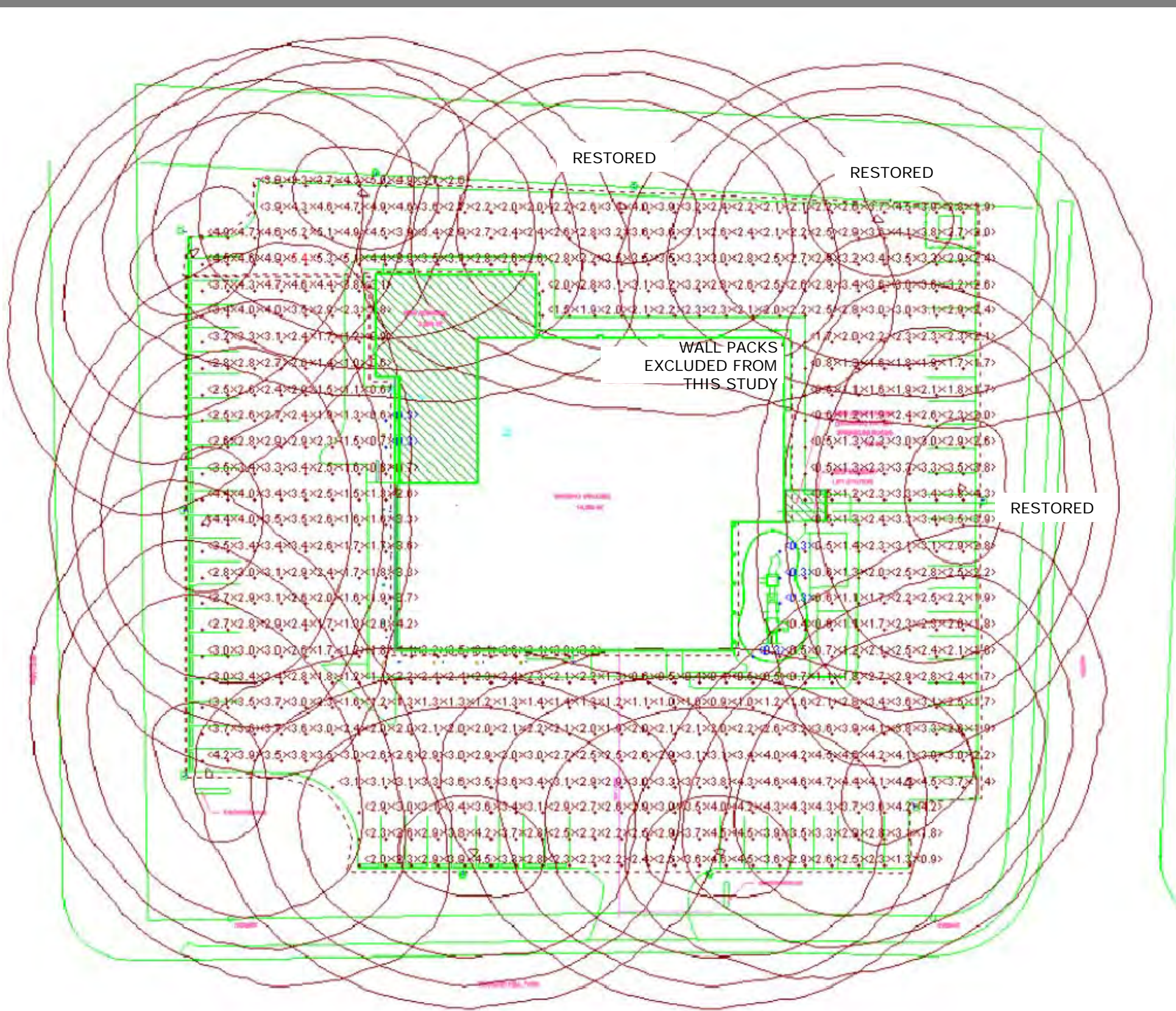
NO.	DATE	REVISIONS

**BOULDER POINT RENOVATION**

**SITE PLAN**

DATE:	JANUARY 2021
PROJECT NO:	PD1911
FILE:	PD1911-GEO
SHEET	<b>3A</b> OF <b>15</b>

Path: \\S:\PROJ\PD\_PARK\_DISTRICTS\2019\PD1911\DWG\_FINAL\_ENG\PD1911-GEO



POLE HEIGHTS ASSUMED TO BE 25' ABOVE TOP OF FOUNDATION; OPTICS ARE ASSUMED TO BE TYPE IV.

Statistics						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Calc Zone #2	+	2.7 fc	5.4 fc	0.3 fc	18.0:1	9.0:1

Schedule											
Symbol	Label	Quantity	Manufacturer	Catalog Number	Description	Lamp	Number Lamps	Filename	Lumens Per Lamp	Light Loss Factor	Wattage
○	A	10	BARRON LIGHTING GROUP		RxA-200-4-VS-4K	SS-200E-38B	1	RXA-200-4-VS-4K.IES	24711	1.63	204.6

EXISTING AREA LIGHTING PHOTOMETRIC WITH THREE MISSING FIXTURES RESTORED AT THE NORTHEAST CORNER OF THE LOT.

Designer

Date

1/18/2021

Scale

Not to Scale

Drawing No.

Summary

# PK Series

## RxA LED Area Light & Pole Kit



### DESCRIPTION

The PK Series is an RxA LED area luminaire and pole kit. RxA features a sleek low-profile housing design in lumen packages ranging from 9600 lumens to 41,000 lumens. Its high-efficiency light engine is designed for optimal light control and illumination with three distribution types in three physical sizes. The RxA family provides substantial energy savings with minimal to no uplight and efficacies up to 139 LPW. The RxA ships standard with a 7" upswept arm, and is designed for ease of installation on included poles. This product is ideal for large areas such as parking lots, walkways, roadways, etc.

### RxA SPECIFICATIONS

#### Construction:

- Sleek die-cast aluminum housing with stainless steel hardware and powder coated bronze (standard) finish for durability
- UV-stabilized polycarbonate optical lens
- Integral heat sink fins maximize heat dissipation
- Hinged driver access for ease of maintenance
- Standard with 7" straight arm
- Includes a 12" whip (5 conductors provided for convenience, dimming leads not connected)

#### Optics/LEDs:

- Designed with minimal uplight to eliminate light pollution
- 70 to 300 Watts replace up to 750 Watts HID for up to 70% energy savings
- Efficacies up to 139 LPW maximize energy savings and utility rebates
- Type III, IV and V distributions optimize light distribution
- Available in 3000K, 4000K and 5000K CCT
- L70 of 130,000 hours
- CRI ≥70

#### Electrical:

- Class 2 power supply, 120-277VAC, 50/60Hz
- 1-10V Dimming driver for models 150W+ (120-277VAC only), dimming leads require connection in field
- Power supply with high-power factor of 90% typical
- 347/480VAC Dedicated driver option for 70W, 150W, 200W and 300W
- Standard 10kVA surge protection for models ≥150W

#### Testing & Compliance: (See last page for RxA fixture details)

- cULus Listed for Wet Locations
- Tested to meet IP66 requirements
- DesignLights Consortium® (DLC) PREMIUM Qualified (consult QPL for qualified models)
- Operating temperature: -40°C to 45°C (-40°F to 113°F)

#### Installation:

- Hinged driver door for ease of access
- Standard with pole mount arm (7") suitable for 4" square poles. Arm features access door for easy wiring on site and includes knockouts for motion and photocontrol sensors

#### Options:

- Integral 120-277VAC dimming sensor (SC) for models 150W+
- 120-277VAC Twist Lock receptacle installed on arm (Twist Lock photocontrol included)



#### RxA Specs at a Glance

Model	RxA-70	RxA-100	RxA-150	RxA-200	RxA-300
Wattage*	70	100	150	200	300
Lumens (lm)	9600	13,800	20,800	25,700	41,000
	136	137	139	139	137
Equivalency (HID)	150/175W	250W	400W	400W	750W+
Distribution	Type III, IV, V				
CCT (K)	3000K, 4000K, 5000K				
CRI	>70				
Input Voltage	120-277VAC, 50/60Hz, 347/480VAC				
Operating Temp	-40°C to 45°C (-40°F to 113°F)				
	UL Listed for Wet Locations, DLC PREMIUM				
Warranty	5 Years				
Weight	8.9 lbs	9.4 lbs	12.4 lbs	12.9 lbs	18.7 lbs

\* Nominal Wattage. Tested at 5000K CCT, 120-277VAC, Type III distribution. See performance table for more detailed lumen information.

**Note:** Environment and application will affect actual performance. Typical values and 25°C used for testing.

#### Accessories:

- Twist Lock universal photocontrol (120-277VAC) for dusk to dawn lighting control
- Dimming sensor for additional energy savings
- Button photocontrol (120-277VAC) for 70W and 100W models

#### Warranty:

- Five year warranty on RxA, 1 year warranty on poles (Terms and Conditions Apply)

Model: \_\_\_\_\_ Date: \_\_\_\_\_

Accessories: \_\_\_\_\_

Job Name: \_\_\_\_\_ Type: \_\_\_\_\_

**POLE SPECIFICATIONS**

**Pole Shaft:**

- 4.0" Square non-tapered steel pole
- One piece construction fabricated from a weldable grade carbon steel structural tubing which has a uniform wall thickness of 11 gauge (0.1196") in the PK20X and PK25X series and 7 gauge (0.1793") in the PK30X series
- Pole shaft material shall conform to ASTM A-500 Grade C with a minimum yield of 50,000 psi
- Shaft has a full length longitudinal resistance weld
- Uniformly square cross-section with flat sides, small corner radii and excellent torsional properties

**Base Plate:**

- Fabricated from structural quality hot rolled carbon steel plate that meets or exceeds a minimum yield strength of 36,000 psi
- Anchor base telescopes the pole shaft and is circumferentially welded top and bottom
- All welds performed in accordance with the American Welding Society specification AWS D1.1, latest edition

**Hand Hole:**

- An oval reinforced gasketed handhole, having a nominal 3" x 5" inside opening, located 1'-6" above base, is standard on all poles
- A grounding provision is located inside the handhold ring

**Anchor Bolt:**

- Fabricated from commercial quality hot rolled carbon steel bar that meets or exceeds a minimum yield strength of 55,000 psi
- Four properly sized anchor bolts, each with two regular hex nuts and washers, are furnished and shipped with all poles unless otherwise specified
- Anchor bolts shall have the threaded end galvanized a minimum of 8" in accordance with ASTM A-153
- Anchor bolts and template shipped with pole - Note on PO if needs to ship early

<b>Nominal Height (ft.)</b>	20.0	25.0	30.0
<b>Base Diameter</b>	4.0"	4.0"	4.0"
<b>Gauge</b>	11 GA	11 GA	7 GA
<b>Handhole Size (in.)</b>	3.0 x 5.0		
<b>Anchor Bolt (in.)</b>	0.75 x 17.0 x 3.0	0.75 x 17.0 x 3.0	0.75 x 30.0 x 3.0
<b>Bolt Circle (in.)</b>	8.0		
<b>Max EPA (ft.2): 80 MPH</b>	12	6	6
<b>Max EPA (ft.2): 90 MPH</b>	9	4	4
<b>Max EPA (ft.2): 100 MPH</b>	6	2	1
<b>Weight</b>	151 lbs	182 lbs	312 lbs
<b>Warranty</b>	1 Year		

**Notes:**

1. Please verify wind load ratings at project location to determine if EPA meets local code.
2. Barron Lighting Group is not responsible for pole foundation design.
3. Freight allowed on all orders exceeding (5) 20- foot poles, (4) 25-foot poles or (3) 30-foot poles.
4. Consult factory in areas where wind loading exceeds 100 mph.

**Fixture Mounting:**

- All poles come pre-drilled and capped on all four sides to meet desired mounting

**Finish:**

- Standard - All exterior metal surfaces are mechanically cleaned to remove all oxides and contaminants prior to coating
- Standard finish is a polyester thermosetting powder coating applied to the surface of the substrate to a minimum of 3 mils for all color finishes

**Ordering Information** (Example: PK252-200-3-VS-4K-BR)

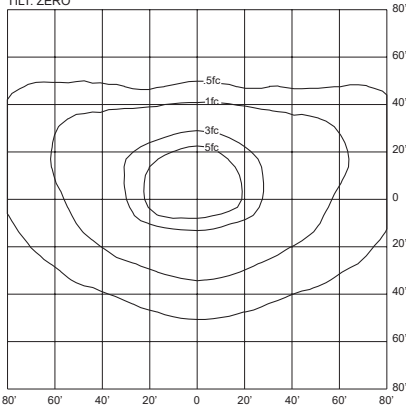
Series <sup>1</sup>	Wattage, Size	Distribution	Input Voltage	CCT	Finish <sup>4</sup>
PK201 = 20' Pole, 1 Head	70 = 70W, Small	3 = Type III	HVS <sup>2,3</sup> = 347/480VAC	3K = 3000K	BL = Black
PK202 = 20' Pole, 2 Head	100 = 100W, Small	4 = Type IV	VS = 120-277VAC	4K = 4000K	BR = Bronze
PK203 = 20' Pole, 3 Head	150 = 150W, Medium	5 = Type V		5K = 5000K	WH = White
PK204 = 20' Pole, 4 Head	200 = 200W, Medium				
PK251 = 25' Pole, 1 Head	300 = 300W, Large				
PK252 = 25' Pole, 2 Head					
PK253 = 25' Pole, 3 Head					
PK254 = 25' Pole, 4 Head					
PK301 = 30' Pole, 1 Head					
PK302 = 30' Pole, 2 Head					
PK303 = 30' Pole, 3 Head					
PK304 = 30' Pole, 4 Head					
			<b>Options</b>		
			SC <sup>5</sup> - Integral 120-277VAC Dimming Sensor (installed)		
			TLPC <sup>6</sup> - 120-277VAC Twist Lock Photocontrol and Receptacle (installed on arm)		
			<b>Accessories<sup>7</sup> (Field Installed)</b>		
			PCU = 120-277VAC Button Photocontrol for 70W and 100W models		
			TL-MSSW = Dimming Sensor (120-277VAC)		
			TL-MSSW-REMOTE = Remote for Sensor		
			TLPR = 120-277VAC Twist Lock Photocontrol and Receptacle		
			TLPRH = 347-480VAC Twist Lock Photocontrol and Receptacle		

**Notes**

- <sup>1</sup> Fixture and pole shipped separately
- <sup>2</sup> NOT available for 100W model
- <sup>3</sup> 200W Model with HVS is DLC standard qualified
- <sup>4</sup> Consult factory for other finishes, longer lead times apply
- <sup>5</sup> Sensor mounted to the fixture, not available for 70W and 100W models
- <sup>6</sup> Photocontrol mounts to receptacle installed on arm (arm and photocontrol installed in field)
- <sup>7</sup> Order as separate line item - Shipped in separate box for final installation in the field

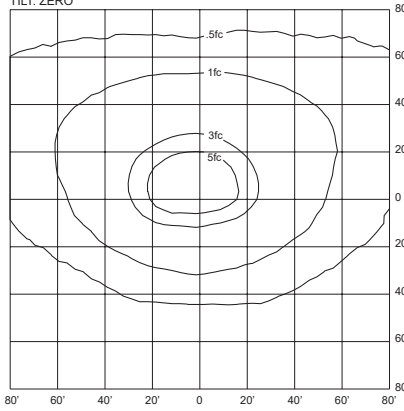
## Sample Photometry

RxA-150-3-VS-4K  
IES: TYPE III MEDIUM  
MOUNTING HEIGHT: 20'  
TILT: ZERO

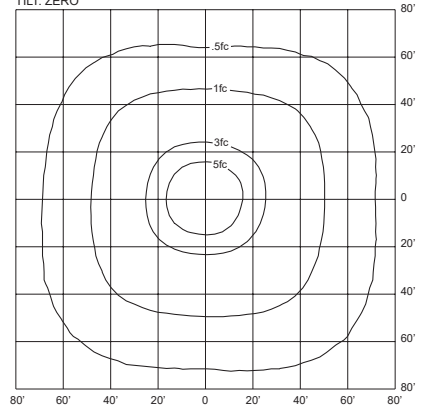


## Attachment 4, Page 4

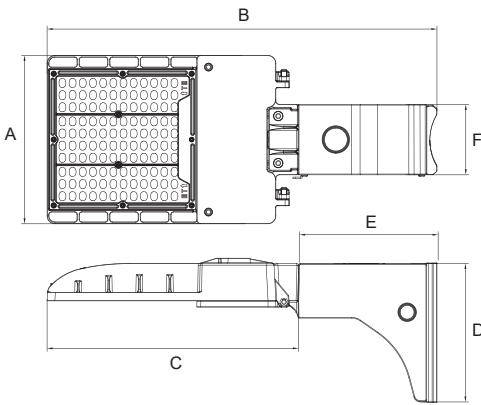
RxA-150-4-VS-4K  
IES: TYPE IV MEDIUM  
MOUNTING HEIGHT: 20'  
TILT: ZERO



RxA-150-5-VS-4K  
IES: TYPE V MEDIUM  
MOUNTING HEIGHT: 20'  
TILT: ZERO

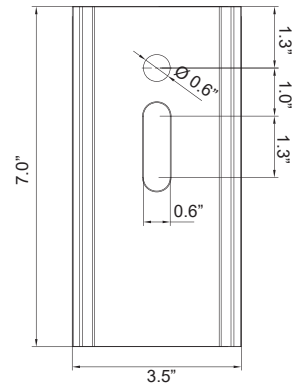


## Dimensions



Wattage	70/100W	150/250W	300W
Light Bars	3	3	6
A	8.5"	12.3"	12.3"
B	19.6"	21.6"	30.3"
C	12.7"	15.2"	23.3"
D	7.0"	7.0"	7.0"
E	7.0"	7.0"	7.0"
F	3.6"	3.6"	3.6"

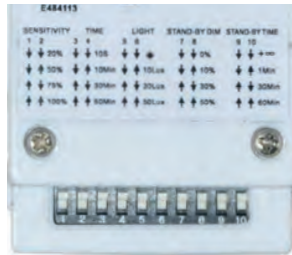
## Drilling Template (Standard Mount)



## Sensor Details (Option SC and Accessories TL-MSSW and TL-MSSW-REMOTE)



SC Option (Factory Installed)  
TL-MSSW Accessory (Sold Separately)



Sensor Dip Switch Settings  
(Dip Switches on Sensor)



TL-MSSW-REMOTE Accessory  
(Sold Separately)

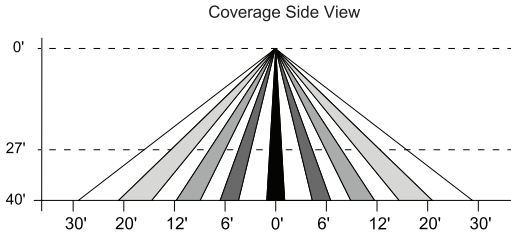
## Sensor Settings (Remote)

DETECTION RADIUS/ANGLE	MAX 60'/360°
MOUNTING HEIGHT	MAX 40'
REMOTE RANGE	MAX 33'
FREQUENCY	5.8 GHz
HIGH MODE	70%, 80%, 90%, 100% (DEFAULT 100%)
SENSITIVITY	20%, 50%, 75%, 100% (DEFAULT 100%)
HOLD TIME	10sec, 1min, 5min, 10min, 15min, 20min, 30min, 60min (DEFAULT 5min)
DAYLIGHT HARVESTING	☀️, (disabled), 10Lux, 30Lux, 50Lux, 100Lux, 150Lux, 200Lux, 300Lux (DEFAULT disabled)
STANDBY DIM SETTING	0, 10%, 20%, 30%, OFF (∞), (DEFAULT 30%)
STANDBY TIME SETTING (TO OFF)	ON (disabled), 1min, 30min, 60min (DEFAULT 60min)

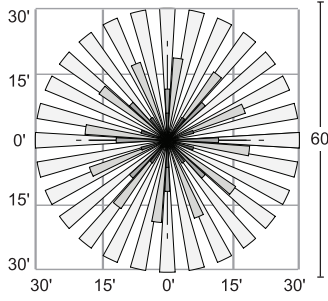




**Sensor Coverage**



**Attachment 4, Page 5**  
Coverage Top View



**360° Coverage**

**Fixture EPA Values**

<b>Model</b>	1	2 @ 90°	2 @ 180°	3 @ 90°	4 @ 90°
<b>70W/100W</b>	0.3413	0.5929	0.6826	1.0239	1.0499
<b>150W/200W</b>	0.423	0.735	0.846	1.158	1.185
<b>300W</b>	0.4759	0.7889	0.9518	1.2648	1.3711

**Pole EPA Values (See Page 2 for Additional Pole Information)**

<b>Pole Height (ft)</b>	20	25	30
<b>Max EPA (ft.2): 80 MPH</b>	12	6	6
<b>Max EPA (ft.2): 90 MPH</b>	9	4	4
<b>Max EPA (ft.2): 100 MPH</b>	6	2	1

**NOTE:** Any pole accessories added in the field (such as banner or flag brackets) will affect published EPA values and may void factory warranties.

**UL and DLC Nomenclature for Fixture Only** (RxA fixture is UL Listed and Appears on the DesignLights Consortium® PREMIUM Qualified Product List)

Series	Wattage, Size	Distribution	Input Voltage	CCT	Finish <sup>3</sup>	Mount
RxA	70 = 70W, Small	3 = Type III	HVS <sup>1,2</sup> = 347/480VAC	3K = 3000K	BL = Black	A = 7" Arm
	100 = 100W, Small	4 = Type IV	VS = 120-277VAC	4K = 4000K	BR = Bronze	
	150 = 150W, Medium	5 = Type V		5K = 5000K	SV = Silver	
	200 = 200W, Medium				WH = White	
	300 = 300W, Large					

**Options**

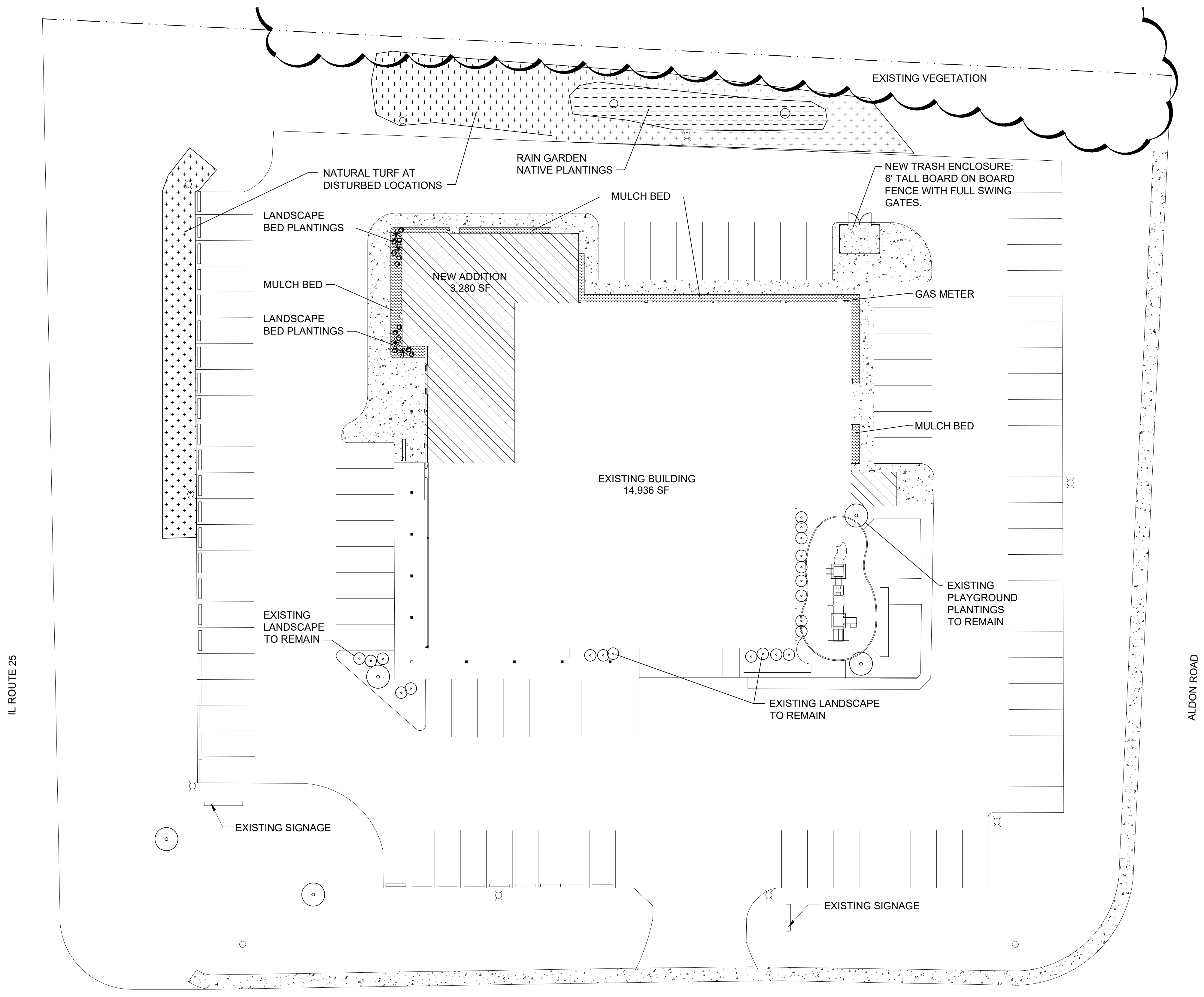
- SC<sup>4</sup> - Integral 120-277VAC Dimming Sensor (installed)
- TLPC<sup>5</sup> - 120-277VAC Twist Lock Photocontrol and Receptacle (installed on arm)

**Notes**

- <sup>1</sup> NOT available for 100W model
- <sup>2</sup> 200W Model with HVS is DLC standard qualified
- <sup>3</sup> Consult factory for other finishes, longer lead times apply
- <sup>4</sup> Sensor mounted to the fixture, 70W and 100W models mounted to pole mount arm only
- <sup>5</sup> Photocontrol mounts to receptacle installed on arm (arm and photocontrol installed in field)
- <sup>6</sup> Order as separate line item - Shipped in separate box for final installation in the field

**Accessories<sup>6</sup> (Field Installed)**

- PCU = 120-277VAC Button Photocontrol for 70W and 100W models
- TL-MSSW = Dimming Sensor (120-277VAC)
- TL-MSSW-REMOTE = Remote for Sensor
- TLPR = 120-277VAC Twist Lock Photocontrol and Receptacle
- TLPRH = 347-480VAC Twist Lock Photocontrol and Receptacle



- LANDSCAPE PLAN GENERAL NOTES:
1. RAIN GARDEN TO CONSIST OF DEEP ROOTED NATIVE PLANTS. REFER TO CIVIL SHEET 15.
  2. LANDSCAPE BED PLANTINGS TO BE PROVIDED BY OWNER. PLANTINGS EQUAL TO SIZE AND GROWTH AS PJM RHODODENDRON, IROQUOIS BEAUTY BLACK CHOKEBERRY, AND DWF CARLES VIBURNUM. FINAL PLANT SELECTION BY OWNER.



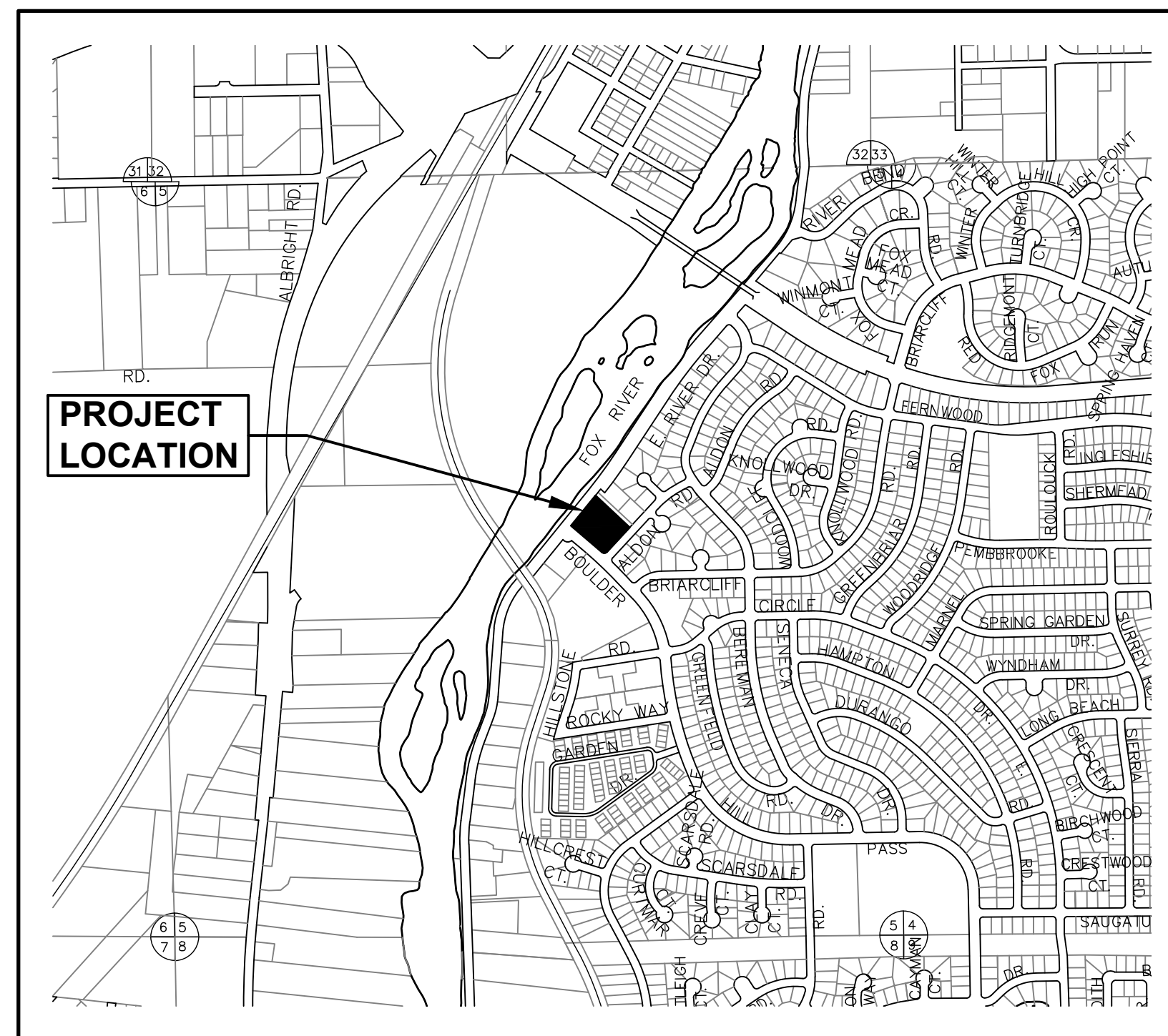
# IMPROVEMENT PLANS FOR BOULDER POINT RENOVATION OSWEGOLAND PARK DISTRICT KENDALL COUNTY, ILLINOIS

PERMIT/ BID PLANS: JANUARY 2021

### INDEX OF SHEETS

1. COVER SHEET
2. GENERAL CONSTRUCTION NOTES AND LEGEND
3. EXISTING CONDITIONS AND DEMOLITION PLAN
4. GEOMETRIC PLAN
5. GRADING AND EROSION CONTROL PLAN
6. ADA GRADING PLAN
7. UTILITY PLAN
8. SANITARY SEWER SERVICE PLAN AND PROFILE
9. STORMWATER POLLUTION PREVENTION PLAN
10. SWPPP DETAILS
- 11.-12. FOX METRO WATER RECLAMATION DISTRICT NOTES
13. FOX METRO WATER RECLAMATION DISTRICT DETAILS
- 14.-15. STANDARD DETAILS

EXISTING	DESCRIPTION	PROPOSED
	SANITARY SEWER	
	STORM SEWER	
	END SECTION	
	WATER MAIN & SIZE	
	WATER SERVICE & BOX	
	SEWER SERVICE	
	CONTOUR	
	GAS MAIN	
	TELEPHONE CABLE	
	SILT FENCE	
	MANHOLE	
	CATCH BASIN	
	INLET	
	HYDRANT	
	VALVE VAULT	
	TREE	
	ELEVATION	
	TRENCH BACKFILL	
	STREET LIGHT	
	SIGNS	
	FOUND IRON PIPE	
	GUY WIRE	
	FLAG POLE	
	UTILITY POLE	
	UTILITY PEDESTAL	
	HANDHOLE	
	STRAW BALES	
	ITEM DESIGNATED FOR REMOVAL	
	TREE PROTECTION REQUIRED	
	BITUMINOUS PAVEMENT	
	CONCRETE	
	GRAVEL	



**LOCATION MAP**  
1"=1000'

CLIENT:  
OSWEGOLAND PARK DISTRICT  
313 E. WASHINGTON STREET  
OSWEGO, IL 60543-9661



**Engineering Enterprises, Inc.**  
Consulting Engineers  
52 Wheeler Road  
Sugar Grove, Illinois 60554  
630.466.6700 / www.eeiweb.com

#### ENGINEER'S CERTIFICATION

I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED UNDER MY DIRECT SUPERVISION.

DATED AT SUGAR GROVE, ILLINOIS,

THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 2021.

\_\_\_\_\_  
CURTIS P. DETTMANN, P.E.  
ILLINOIS LICENSED PROFESSIONAL ENGINEER NO. 062-066060  
EXPIRATION DATE: 11/30/21

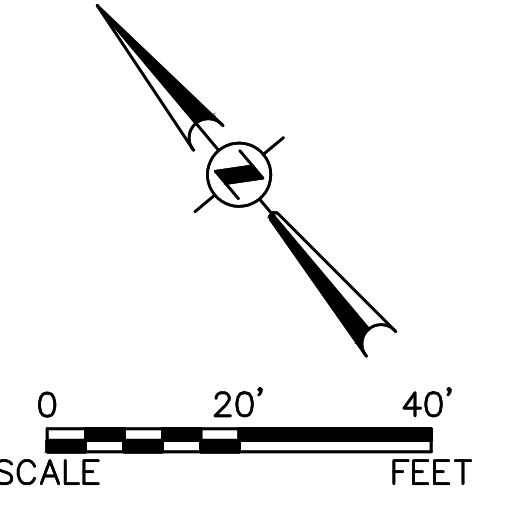
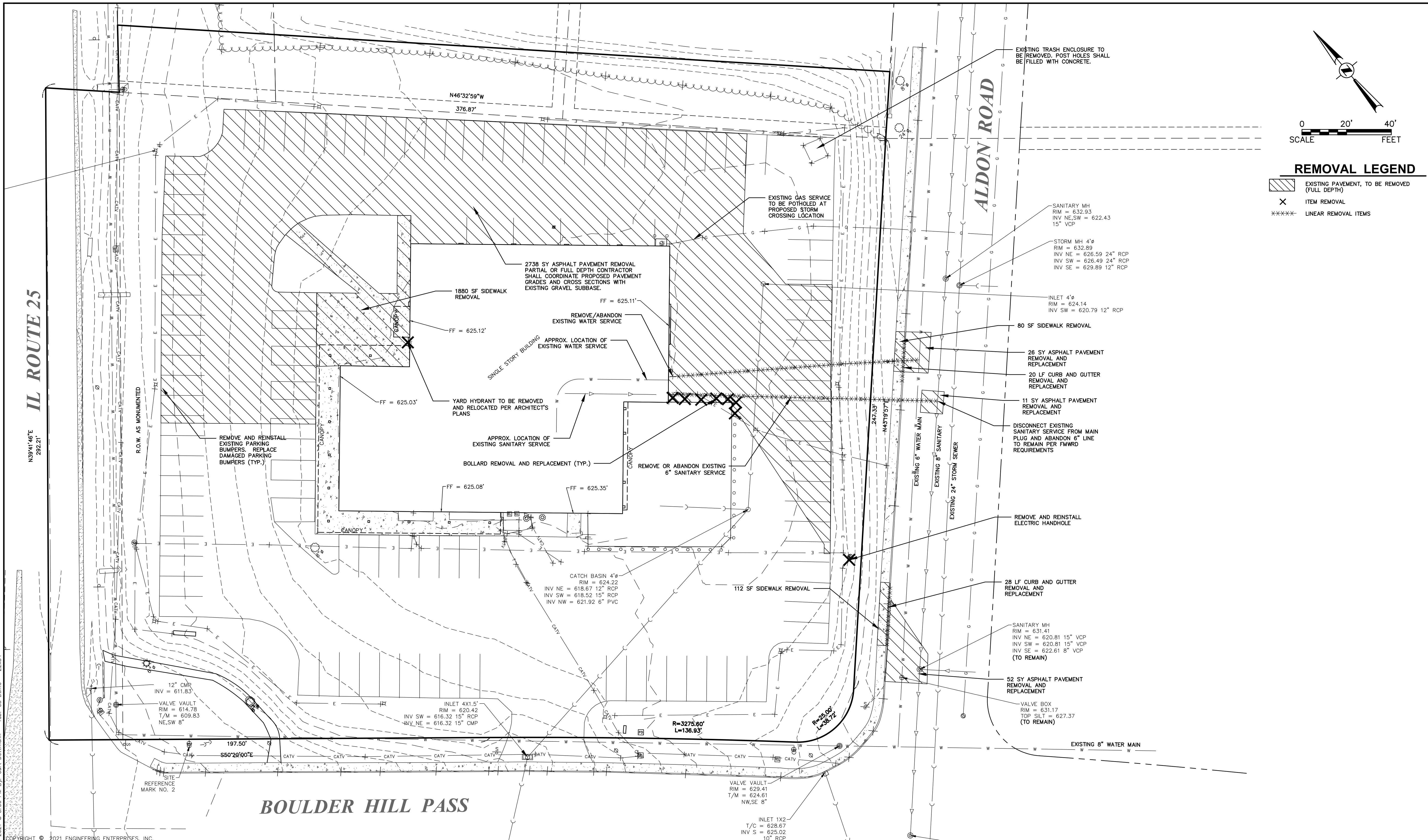
NO.	REVISIONS



SITE REFERENCE MARK 1  
CUT SQUARE ON TOP OF THE SOUTH SIDE OF CONCRETE LIGHT BASE AT NORTH CORNER OF PARKING LOT.  
ELEVATION = 621.09

SITE REFERENCE MARK 2  
TOP OF EAST ARROW FLANGE BOLT ON FIRE HYDRANT AT THE NORTHEASTERLY CORNER OF IL ROUTE 25 AND BOULDER HILL PASS.  
ELEVATION = 618.14





**REMOVAL LEGEND**

	EXISTING PAVEMENT, TO BE REMOVED (FULL DEPTH)
	ITEM REMOVAL
	LINEAR REMOVAL ITEMS

IL ROUTE 25  
N39°41'46"E  
292.21'

Plotted: January 15, 2021 @ 5:00 PM By: Curt Detmann - Tab: 03 Demo - 22x34  
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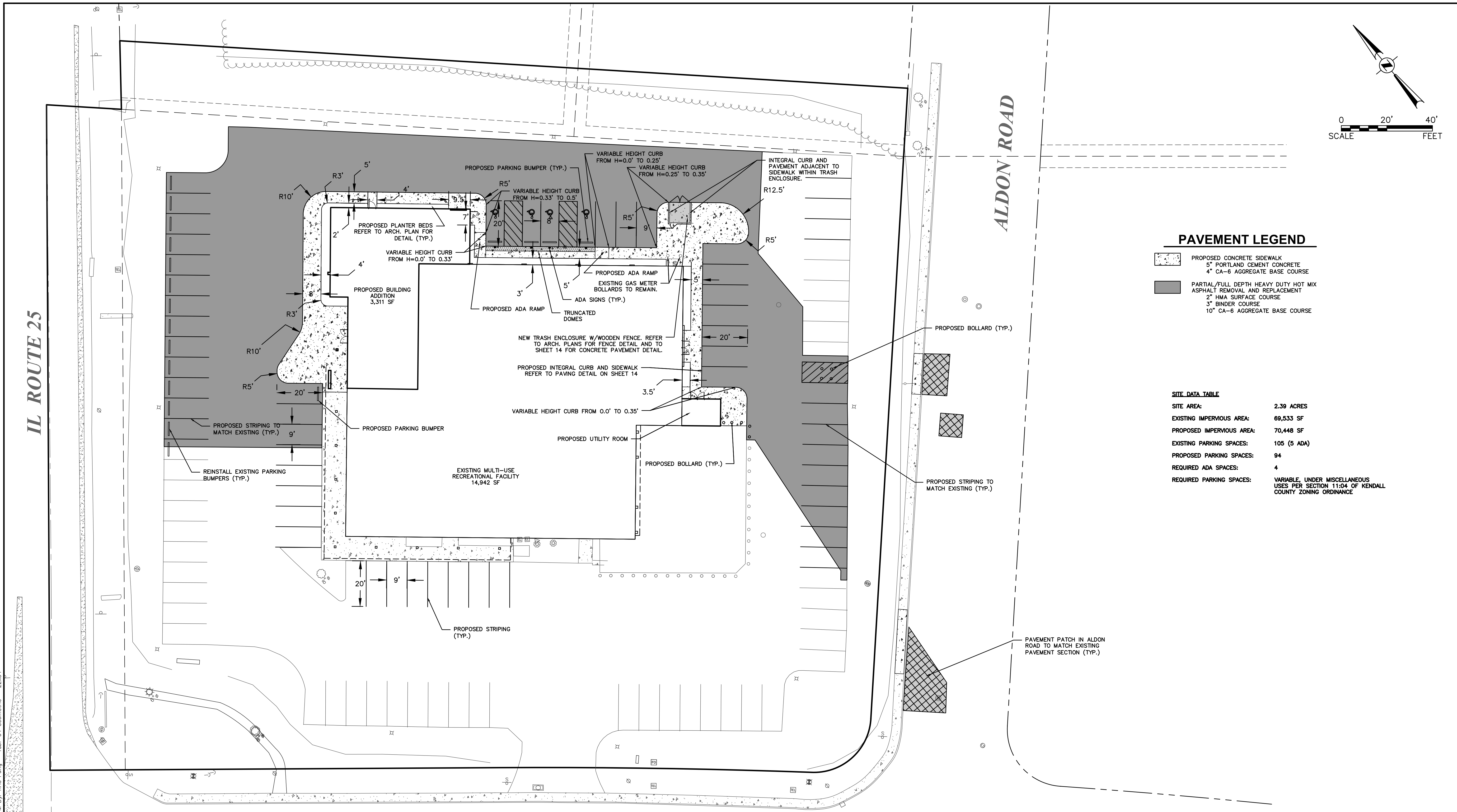
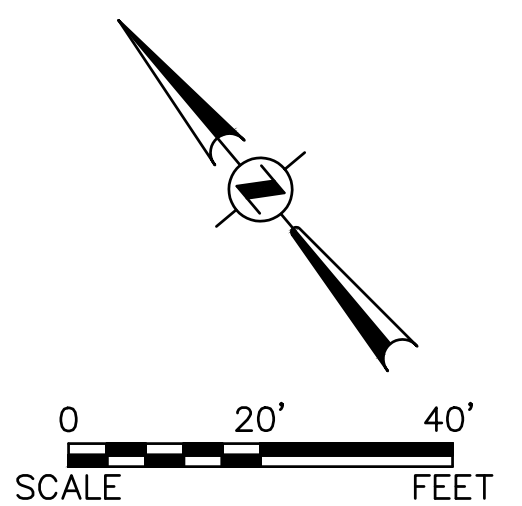
**OSWEGOLAND PARK DISTRICT**  
313 E. Washington Street  
Oswego, IL 60543-9661

NO.	DATE	REVISIONS

**BOULDER POINT RENOVATION**

**EXISTING CONDITIONS AND DEMOLITION PLAN**

DATE:	JANUARY 2021
PROJECT NO:	PD1911
FILE:	PD1911-DEMO
SHEET	<b>3</b> OF <b>15</b>



**PAVEMENT LEGEND**

- PROPOSED CONCRETE SIDEWALK  
5" PORTLAND CEMENT CONCRETE  
4" CA-6 AGGREGATE BASE COURSE
- PARTIAL/FULL DEPTH HEAVY DUTY HOT MIX ASPHALT REMOVAL AND REPLACEMENT  
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REQUIRED ADA SPACES:	4
REQUIRED PARKING SPACES:	VARIABLE, UNDER MISCELLANEOUS USES PER SECTION 11:04 OF KENDALL COUNTY ZONING ORDINANCE

**BOULDER HILL PASS**

Plotted: January 15, 2021 @ 4:31 PM By: Kris Fung - Tab: 04 Geometric - 22x34

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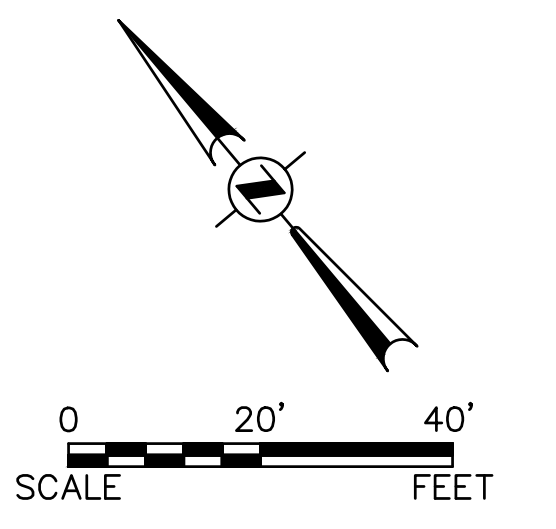
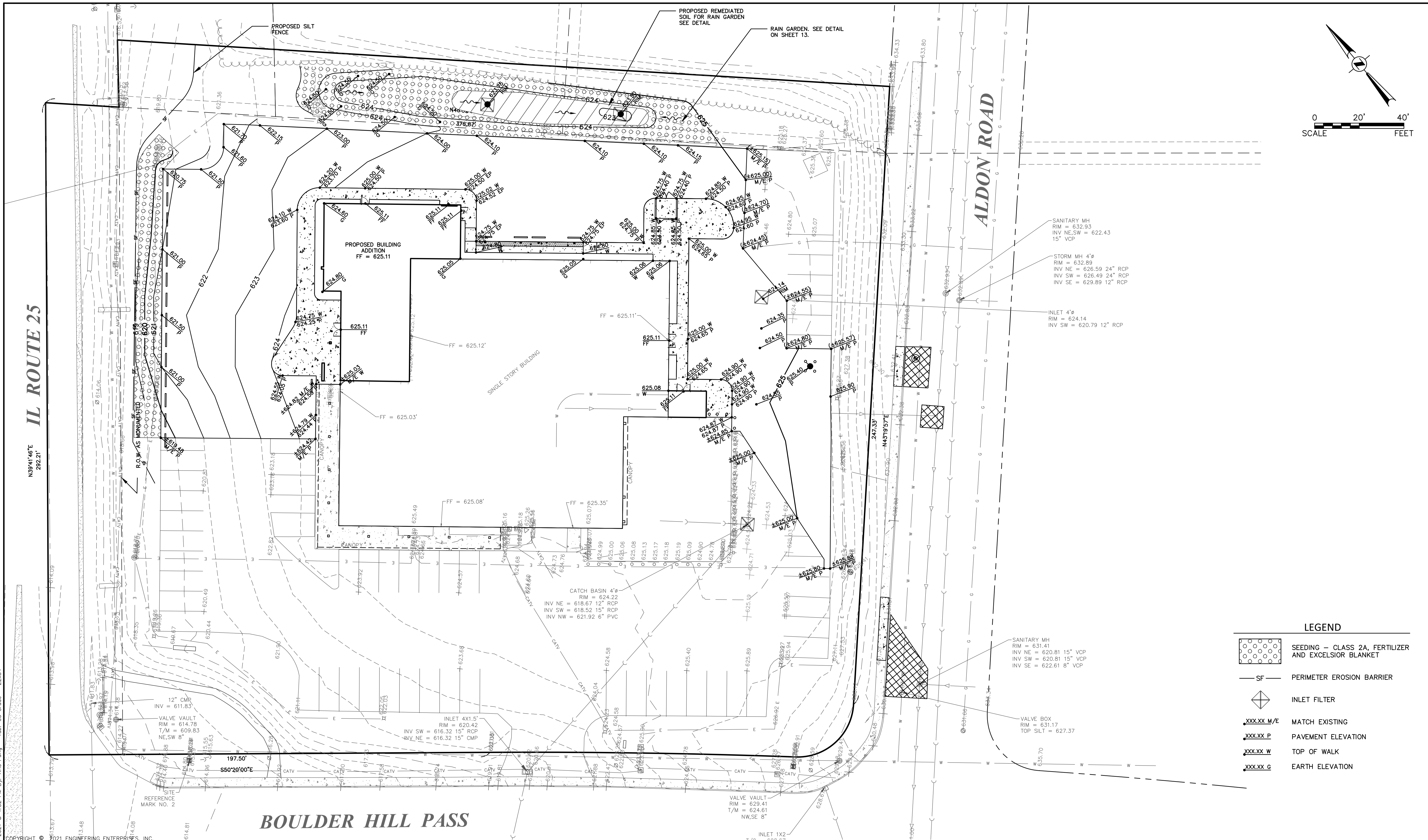
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NO.	DATE	REVISIONS

**BOULDER POINT RENOVATION**

**GEOMETRIC AND PAVING PLAN**

DATE:	JANUARY 2021
PROJECT NO:	PD1911
FILE:	PD1911-GEO
SHEET	<b>4</b> OF <b>15</b>



**LEGEND**

	SEEDING - CLASS 2A, FERTILIZER AND EXCELSIOR BLANKET
	PERIMETER EROSION BARRIER
	INLET FILTER
	MATCH EXISTING
	PAVEMENT ELEVATION
	TOP OF WALK
	EARTH ELEVATION

**BOULDER HILL PASS**

**IL ROUTE 25**

**ALDON ROAD**

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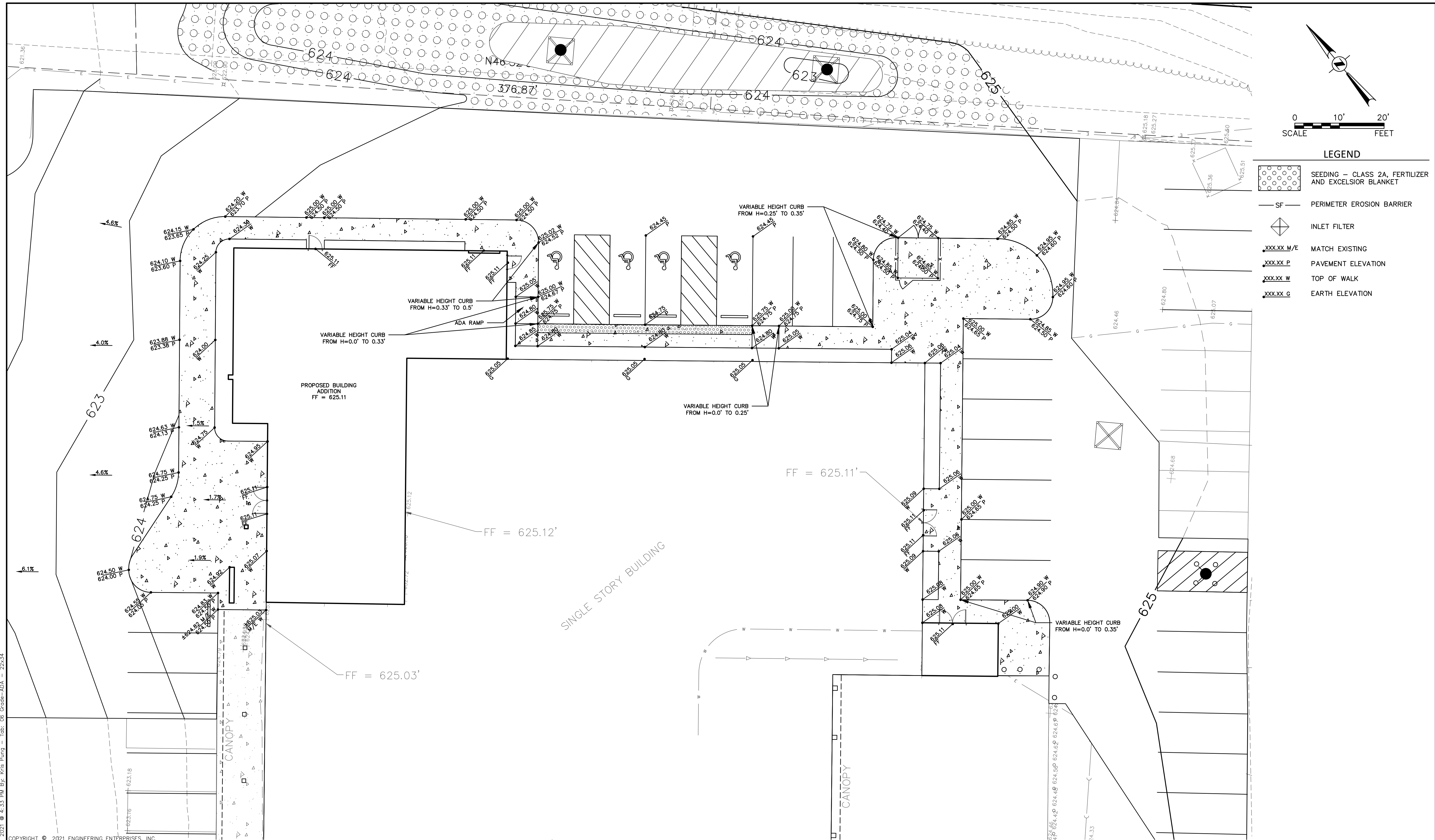
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NO.	DATE	REVISIONS

**BOULDER POINT RENOVATION**

**GRADING AND EROSION CONTROL PLAN**

DATE:	JANUARY 2021
PROJECT NO.:	PD1911
FILE:	PD1911-GRADE
SHEET	<b>5</b> OF <b>15</b>



- LEGEND**
- SEEDING - CLASS 2A, FERTILIZER AND EXCELSIOR BLANKET
  - SF PERIMETER EROSION BARRIER
  - INLET FILTER
  - MATCH EXISTING
  - PAVEMENT ELEVATION
  - TOP OF WALK
  - EARTH ELEVATION

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NO.	DATE	REVISIONS

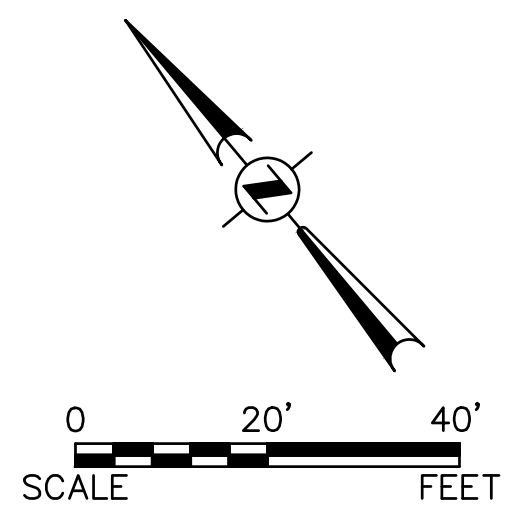
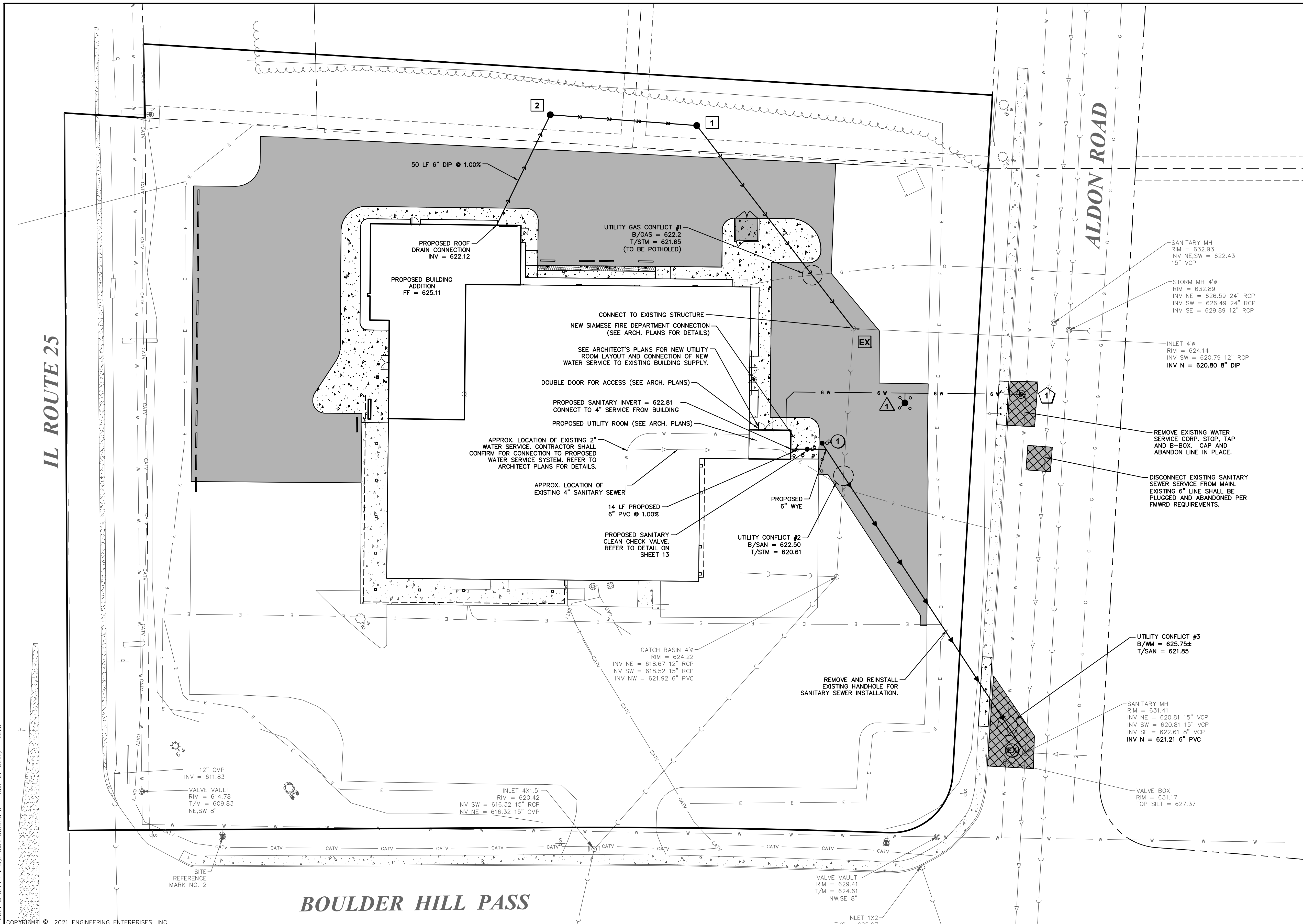
**BOULDER POINT RENOVATION**

**ADA GRADING PLAN**

DATE:	JANUARY 2021
PROJECT NO:	PD1911
FILE:	PD1911-GRADE
SHEET	<b>6</b> OF <b>15</b>

Path: H:\SOS\PROJ\PD\_1911\DISTRICTS\2019\PD1911\DWG\_FINAL\_ENG\VP1911-GRADE





**STORM SEWER STRUCTURES**

- 1** STORM CATCH BASIN NO. 1  
2' DIA., TYPE A  
RIM = 623.50  
INV = 621.32  
104 LF 8" DIP @ 0.50%
- 2** STORM CATCH BASIN NO. 2  
2' DIA., TYPE A  
RIM = 623.75  
INV = 621.62  
60 LF 6" PERFORATED HDPE @ 0.50%

**SANITARY SEWER STRUCTURES**

- 1** SANITARY CLEANOUT NO. 1  
RIM = 624.89  
INV = 622.67 6" PVC  
148 LF PROPOSED 6" PVC @ 1.00%

**WATER MAIN STRUCTURES**

- 1** VALVE BOX NO. 1  
CUT IN TEE WITH 6" GATE VALVE AND VALVE BOX. VALVE OPERATION TO ISOLATE 6" MAIN TO BE PERFORMED BY MONTGOMERY WATER DEPARTMENT.
- 1** FIRE HYDRANT NO. 1  
W/ 6"x6"x6" TEE (MJ) AND 6" AUXILIARY VALVE  
BURY ELEV. = 625.40

NOTE:  
1. CLSM FLOWABLE FILL SHALL BE USED AS TRENCH BACKFILL IN ROAD PATCHES.

IL ROUTE 25

ALDON ROAD

BOULDER HILL PASS

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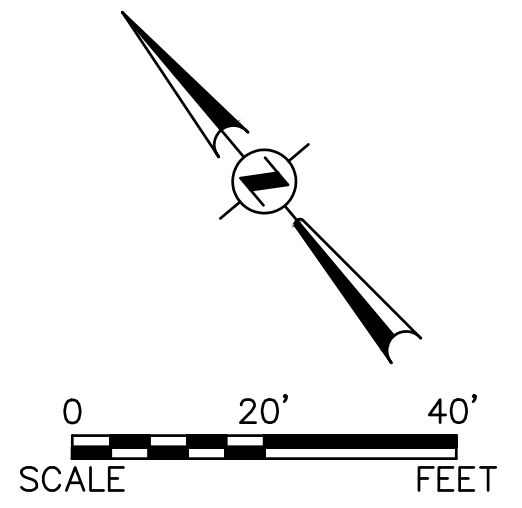
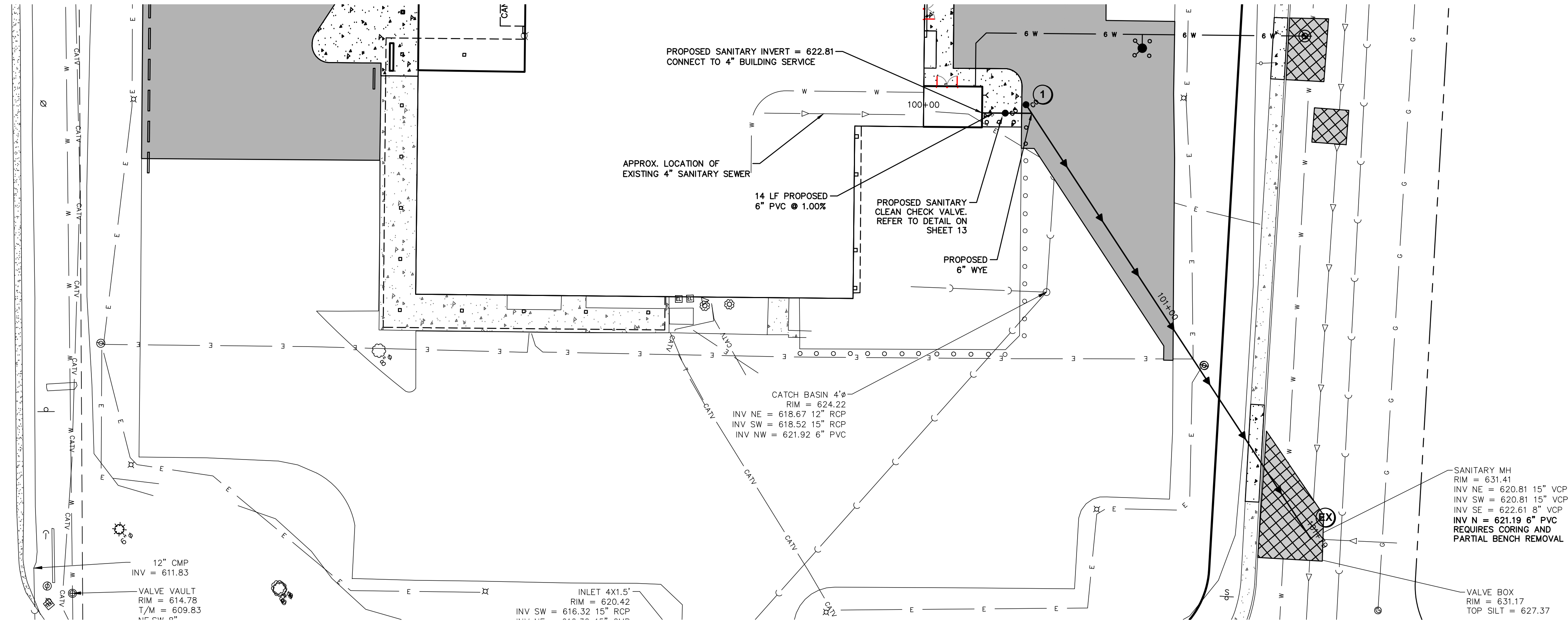
NO.	DATE	REVISIONS

BOULDER POINT RENOVATION

UTILITY PLAN

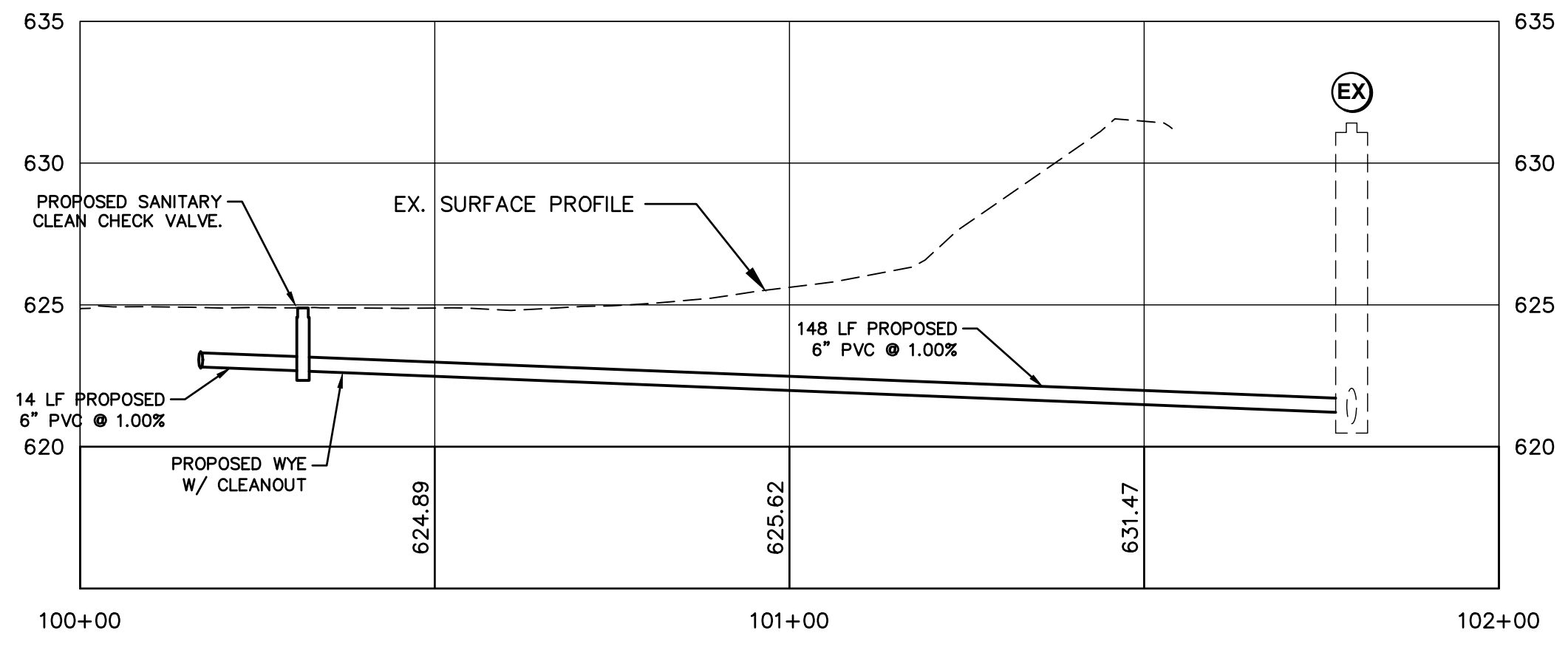
DATE:	JANUARY 2021
PROJECT NO:	PD1911
FILE:	PD1911-UTILITY
SHEET	7 OF 15

IL ROUTE



**SANITARY SEWER STRUCTURES**

- 1 SANITARY CLEANOUT NO. 1  
RIM = 624.89  
INV = 622.67 6" PVC  
148 LF PROPOSED 6" PVC @ 1.00%



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NO.	DATE	REVISIONS

**BOULDER POINT RENOVATION**

**SANITARY SEWER SERVICE PLAN AND PROFILE**

DATE:	JANUARY 2021
PROJECT NO:	PD1911
FILE NO:	1911-SANITARY P AND P
SHEET	<b>8</b> OF <b>15</b>

**STORMWATER POLLUTION PREVENTION PLAN**

A COPY OF THIS PLAN, ALONG WITH ALL INSPECTION REPORTS, WILL BE KEPT AT THE SITE AT ALL TIMES. THE PERMITTEE SHALL RETAIN COPIES OF STORMWATER POLLUTION PREVENTION PLANS AND ALL REPORTS AND NOTICES REQUIRED BY THIS PERMIT FOR A PERIOD OF AT LEAST THREE YEARS FROM THE DATE THE PERMIT COVERAGE EXPIRES OR IS TERMINATED.

**SITE DESCRIPTION:**

PROJECT NAME AND LOCATION:  
BOULDER POINT RENOVATION, OSWEGO TOWNSHIP, KENDALL COUNTY, IL.  
PROJECT DESCRIPTION:  
BUILDING ADDITION AND NEW ASSOCIATED UTILITIES, SITE WORK AND GRADING.

TOTAL ON-SITE AREA = 2.39 ACRES

TOTAL AREA DISTURBED = 0.85 ACRES

RUNOFF COEFFICIENT OF SITE AFTER CONSTRUCTION = 0.83

SOILS: 318D – LORENZO

802B – ORTHENTS

RECEIVING WATERS: FOX RIVER

EXISTING SITE CONDITIONS: COMMERCIAL

ADJACENT/OFFSITE AREAS: RESIDENTIAL AND COMMERCIAL

REFER TO IMPROVEMENT PLANS FOR ADDITIONAL SITE INFORMATION.

**EROSION AND SEDIMENT CONTROLS**

REFER TO THE IMPROVEMENT PLANS FOR BOULDER POINT RENOVATION AND THIS SWPPP.

**STABILIZATION PRACTICES:**

ANY AREAS WITHIN OR ADJACENT TO THE SITE PERIMETER THAT HAVE BEEN DISTURBED DURING THE COURSE OF CONSTRUCTION WILL BE STABILIZED PRIOR TO PROJECT COMPLETION.

**STRUCTURAL PRACTICES:**

SILT FENCE SHALL BE INSTALLED ALONG THE DOWNSTREAM PERIMETER OF THE SITE AS DIRECTED ON THE IMPROVEMENT PLANS.  
INLET FILTERS SHALL BE INSTALLED IN EXISTING DRAINAGE STRUCTURES PRIOR TO ANY GROUND DISTURBING ACTIVITIES.  
INLET FILTERS SHALL BE INSTALLED IN PROPOSED DRAINAGE STRUCTURES AS SOON AS THEY ARE INSTALLED.  
THE EXISTING PARKING LOT PAVEMENT AT THE ENTRANCES WILL BE UTILIZED AS THE STABILIZED CONSTRUCTION ENTRANCE.

**STORM WATER MANAGEMENT**

REFER TO THE IMPROVEMENT PLANS FOR BOULDER POINT RENOVATION AND THE STORMWATER MANAGEMENT CALCULATIONS INCLUDED IN THE KENDALL COUNTY STORMWATER PERMIT APPLICATION FOR ADDITIONAL INFORMATION

**RUNOFF:**

THE SITE IS URBAN AND FLOW IS EITHER SHEET DRAINED OR COLLECTED INTO PROPOSED DETENTION BASIN AND CONVEYED INTO STORM SEWER.

**DETENTION:**

A DRY BOTTOM POND WITH DEEP ROOTED PLANTINGS IS PROPOSED TO PROVIDE STORMWATER DETENTION.

**VELOCITY DISSIPATION**

THERE WILL BE NO POINT SOURCE FLOWS EXITING THE SITE OVERLAND.

**WASTE DISPOSAL**

ALL WASTES COMPOSED OF BUILDING MATERIALS MUST BE REMOVED FROM THE SITE FOR DISPOSAL IN PERMITTED DISPOSAL FACILITIES. THE PROJECT SITE WILL BE KEPT CLEAR OF ALL HUMAN AND CONSTRUCTION DEBRIS. NO BUILDING MATERIALS, GAS OR OIL SHALL BE BURIED, DUMPED, OR DISCHARGED AT THE SITE. A SECURELY LIDDED DUMPSTER WILL BE PROVIDED FOR STANDARD SOLID WASTE.

HAZARDOUS WASTE WILL BE DISPOSED OF AS SPECIFIED BY THE OSWEGOLAND PARK DISTRICT, THE ILLINOIS ENVIRONMENTAL PROTECTION AGENCY, OR THE MANUFACTURER OF THE MATERIAL, WHICH EVER IS STRICTER. SITE PERSONNEL WILL BE INSTRUCTED IN THESE PRACTICES AND THE GENERAL CONTRACTOR WILL BE RESPONSIBLE FOR THE PROPER DISPOSAL OF ALL HAZARDOUS WASTE PRODUCED AS A PART OF THIS CONSTRUCTION PROJECT.

SANITARY WASTE WILL BE COLLECTED IN PORTABLE UNITS AND DRAINED AS SPECIFIED BY KENDALL COUNTY AND THE FOX METRO WATER RECLAMATION DISTRICT.

ANY SPILLED OIL, GAS, OR OTHER CONSTRUCTION MATERIAL WILL BE CONTAINED AND CLEANED IMMEDIATELY. CONTAMINATED SOIL WILL BE DISPOSED OF IN AN APPROVED MANNER AT A LICENSED LANDFILL.

A SINGLE CONCRETE WASHOUT AREA WILL BE DESIGNATED BY THE CONTRACTOR FOR USE DURING THE DURATION OF THE PROJECT. CONCRETE WASHOUT SHOULD BE CONTAINED AT ALL TIMES. WASHOUT MATERIAL SHOULD NOT BE ALLOWED TO ENTER STORM SEWER OR LEACH INTO THE SOIL UNDER ANY CIRCUMSTANCES. ANY WASTE SHOULD BE DISPOSED OF PROPERLY AN THE LOCATION OF THE WASHOUT SHOULD BE DESIGNATED WITH PROPER SIGNAGE.

**OTHER REQUIREMENTS**

THE THE KENDALL COUNTY STORMWATER MANAGEMENT ORDINANCE WILL GOVERN ALL EROSION CONTROL AND STORMWATER MANAGEMENT OPERATIONS.

THE ENGINEER WILL INSPECT THE EROSION CONTROL MEASURES.

STABILIZATION OF DISTURBED AREAS MUST BE INITIATED WITHIN 1 WORKING DAY OF PERMANENT OR TEMPORARY CESSATION OF EARTH DISTURBING ACTIVITIES AND SHALL BE COMPLETED AS SOON AS POSSIBLE BUT NOT LATER THAN 14 DAYS FROM THE INITIATION OF THE STABILIZATION WORK IN THE AREA.

NO FUEL OR OIL WILL BE STORED ON-SITE WITHOUT PROPER CONTAINMENT AND WRITTEN PERMISSION FROM THE VILLAGE OF MONTGOMERY.

THE CONTRACTOR WILL PREVENT OFF-SITE TRACKING OF SEDIMENTS. IF THE STABILIZED CONSTRUCTION ENTRANCE IS NOT SUFFICIENT, FURTHER MEASURES MUST BE IMPLEMENTED. ANY SEDIMENT LEFT ON THE PUBLIC ROADWAY WILL BE CLEANED OFF EVERY NIGHT.

DUST CONTROL, IF DEEMED NECESSARY BY OSWEGO TOWNSHIP, WILL BE DONE BY MEANS OF A WATER TRUCK SPRAYING WATER ON THE SURFACE OF THE SITE.

STOCKPILES OF SOIL OR OTHER BUILDING MATERIALS SHOULD NOT BE LOCATED IN AREAS WITH HIGH POTENTIAL FOR CONTRIBUTION SEDIMENTS TO STORMWATER FACILITIES.

**NON-STORMWATER DISCHARGES**

IT IS EXPECTED THAT THE FOLLOWING NON-STORMWATER DISCHARGES WILL OCCUR FROM THIS SITE DURING THE CONSTRUCTION PERIOD:

- PAVEMENT WASH WATERS (WHERE NO SPILLS OR LEAKS OF TOXIC OR HAZARDOUS MATERIALS HAVE OCCURRED)
- UNCONTAMINATED GROUND AND SURFACE WATER FROM DEWATERING EXCAVATIONS AND DETENTION BASINS
- DUST CONTROL WATER

**SCHEDULE OF CONSTRUCTION**

1. INSTALL SILT FENCE AND EROSION CONTROL MEASURES.
2. PAVEMENT, TREE AND MISC. REMOVAL
3. INSTALL FURTHER EROSION CONTROL MEASURES AS NECESSARY INCLUDING TEMPORARY SEEDING.
4. INSTALL UTILITIES AND CONSTRUCT PARKING LOT.
5. FINISH REMAINING RESTORATION W/ PERMANENT SEEDING.

**MAINTENANCE AND INSPECTION PROCEDURES**

THE GENERAL CONTRACTOR FOR THIS PROJECT IS RESPONSIBLE FOR MAINTAINING THE EROSION AND SEDIMENT CONTROL MEASURES IN GOOD AND EFFECTIVE OPERATING CONDITIONS.

THE GENERAL CONTRACTOR IS RESPONSIBLE FOR ALL REGULAR INSPECTIONS REQUIRED BY THE NPDES GENERAL PERMIT #2 INCLUDING RECORDING AND KEEPING A RECORD OF EACH INSPECTION. THIS PROCESS WILL CONTINUE UNTIL FINAL STABILIZATION IS ACHIEVED AND A NOTICE OF TERMINATION IS RECEIVED BY THE OWNER. INSPECTIONS WILL BE PERFORMED AND RECORDED BY QUALIFIED INDIVIDUALS TRAINED BY THE GENERAL CONTRACTOR AT LEAST ONCE EVERY WEEK AND WITHIN 24 HOURS OF THE END OF A STORM THAT IS 0.5 INCHES OR GREATER.

DISTURBED AREAS AND AREAS USED FOR STORAGE OF MATERIALS THAT ARE EXPOSED TO PRECIPITATION SHALL BE INSPECTED FOR EVIDENCE OF, OR THE POTENTIAL FOR, POLLUTANTS ENTERING THE DRAINAGE SYSTEM. EROSION AND SEDIMENT CONTROL MEASURES IDENTIFIED IN THE PLAN SHALL BE OBSERVED TO ENSURE THAT THEY ARE OPERATING CORRECTLY. WHERE DISCHARGE LOCATIONS OR POINTS ARE ACCESSIBLE, THEY SHALL BE INSPECTED TO ASCERTAIN WHETHER EROSION CONTROL MEASURES ARE EFFECTIVE IN PREVENTING SIGNIFICANT IMPACTS TO RECEIVING WATERS. LOCATIONS WHERE VEHICLES ENTER OR EXIT THE SITE SHALL BE INSPECTED FOR EVIDENCE OF OFFSITE SEDIMENT TRACKING.

BASED ON THE RESULTS OF THE INSPECTIONS, MODIFICATIONS NECESSARY SHALL BE IMPLEMENTED WITHIN 7 DAYS OF THE INSPECTION.

ALL MEASURES WILL BE MAINTAINED IN GOOD WORKING ORDER. ANY NECESSARY REPAIRS WILL BE INITIATED IMMEDIATELY.

SEDIMENT BUILDUP WILL BE REMOVED FROM SILT FENCES WHEN IT HAS REACHED 1/3 THE HEIGHT OF THE FABRIC.

SEDIMENT BUILDUP WILL BE REMOVED FROM OTHER EROSION CONTROLS AS NEEDED TO MAINTAIN STORMWATER FLOW THROUGH THE SITE AND AVOID SEDIMENT FROM BYPASSING THE EROSION CONTROLS.

EROSION CONTROL MEASURES WILL BE REPAIRED, MAINTAINED, OR INCREASED AT THE DIRECTION OF THE KENDALL COUNTY SOIL AND WATER CONSERVATION DISTRICT, THE RESIDENT ENGINEER, OSWEGO TOWNSHIP OR THE KENDALL COUNTY HIGHWAY DEPARTMENT.

A MAINTENANCE INSPECTION REPORT WILL BE MADE AFTER EACH INSPECTION. THE REPORT SHALL SUMMARIZE THE SCOPE OF THE INSPECTION, NAME(S) AND QUALIFICATIONS OF PERSONNEL MAKING THE INSPECTION, THE DATE(S) OF THE INSPECTION, MAJOR OBSERVATIONS RELATING TO THE IMPLEMENTATION OF THE STORMWATER POLLUTION PREVENTION PLAN, AND ACTIONS TAKEN TO SOLVE ANY PROBLEMS OBSERVED. THE INSPECTION REPORT SHALL BE SIGNED BY A QUALIFIED INDIVIDUAL PER NPDES GENERAL PERMIT NO. 2.

INSPECTION REPORTS SHALL BE RETAINED AS A PART OF THE STORM WATER POLLUTION PREVENTION PLAN FOR AT LEAST THREE YEARS AFTER FINAL STABILIZATION AND A NOTICE OF DISCONTINUATION HAS BEEN SUBMITTED TO THE DEPARTMENT.

**REQUIRED CERTIFICATIONS**

I/WE CERTIFY UNDER PENALTY OF LAW THAT I/WE UNDERSTAND THE TERMS AND CONDITIONS OF THE GENERAL NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) PERMIT (ILR10) THAT AUTHORIZES THE STORMWATER DISCHARGES ASSOCIATED WITH INDUSTRIAL ACTIVITY FROM THE CONSTRUCTION SITE IDENTIFIED AS A PART OF THIS CERTIFICATION.

**OWNER**

COMPANY NAME

COMPANY ADDRESS

COMPANY PHONE NUMBER

PRINTED NAME AND TITLE

SIGNATURE

DATE

**CONSTRUCTION MANAGER**

COMPANY NAME

COMPANY ADDRESS

COMPANY PHONE NUMBER

PRINTED NAME AND TITLE

SIGNATURE

DATE

**SUB-CONTRACTOR #1**

SUB-CONTRACTOR'S RESPONSIBILITY

COMPANY NAME

COMPANY ADDRESS

COMPANY PHONE NUMBER

PRINTED NAME AND TITLE

SIGNATURE

DATE

USE ADDITIONAL SHEETS FOR ADDITIONAL SUB-CONTRACTORS. EACH SHEET WILL HAVE THE PROJECT NAME AND LOCATION AS DESCRIBED IN THE SITE DESCRIPTION ON THIS SHEET. EACH ADDITIONAL SUB-CONTRACTOR WILL PROVIDE THEIR RESPONSIBILITY, COMPANY NAME, ADDRESS AND PHONE NUMBER, PRINTED NAME AND TITLE, SIGNATURE AND DATE. THIS INFORMATION WILL BE KEPT WITH THIS PLAN.

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NO.	DATE		REVISIONS

**BOULDER POINT RENOVATION**

**STORMWATER POLLUTION PREVENTION PLAN**

DATE:	JANUARY 2021
PROJECT NO:	PD1911
FILE:	PD1911-COVER
SHEET	<b>9</b> OF <b>15</b>

FOR PERMANENT SEEDING SEE GRADING PLAN  
**TEMPORARY SEEDING**  
 ALL TEMPORARY SEEDING SHALL BE INSTALLED PER THE ILLINOIS URBAN MANUAL

**SEEDING MIXTURE**  
 SPRING OATS - 100 LBS./AC  
 WINTER WHEAT - 100 LBS./AC  
 SUDANGRASS - 100 LBS./AC

HYDROSEEDING - PER MANUFACTURER'S RECOMMENDATIONS, SEED MIX MUST BE APPROPRIATE FOR DATE OF APPLICATION  
 IT IS PERMITTED TO APPLY SEED, FERTILIZER AND MULCH AT THE SAME TIME

**MULCHING**  
 ALL MULCH SHALL BE INSTALLED PER THE ILLINOIS URBAN MANUAL  
 STRAW OR HAY MULCH - 2 TONS PER ACRE ANCHORED TO SOIL  
 HYDRAULIC MULCH - 1 1/2 TONS PER ACRE APPLIED PER MANUFACTURER'S RECOMMENDATIONS, HYDRAULIC MULCH MUST BE SUITABLE FOR 4:1 SLOPES

SEEDING SCHEDULE	JAN	FEB	MARCH	APRIL	MAY	JUNE	JULY	AUG	SEPT	OCT	NOV	DEC
TEMPORARY SEEDING AND MULCHING												
WINTER WHEAT												
SPRING OATS												
SUDAN GRASS												
MULCHING ONLY												

FERTILIZER MIXTURE FOR PROPOSED SEEDING AREAS  
 NITROGEN (N) 120 LBS./AC.  
 PHOSPHORUS (P) 52 LBS./AC. OR 120 LBS./AC. P<sub>2</sub>O<sub>5</sub>  
 POTASSIUM (K) 100 LBS./AC. OR 120 LBS./AC. K<sub>2</sub>O

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SCALE: N.T.S.  
 DATE: 8/24/94  
 FOLDER: EE-SE  
 DRAWING NUMBER: SI-03  
 REVISIONS: 02/25/08

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 Phone: (630) 466-9350

SCALE: N.T.S.  
 DATE: 8/24/94  
 FOLDER: EE-SE  
 DRAWING NUMBER: SI-03  
 REVISIONS: 02/25/08

**TEMPORARY CONCRETE WASHOUT FACILITY - BARRIER WALL**

**PLAN VIEW**  
 10' Min. width, 10' Min. height. Includes 30-Mil Polyethylene, Sandbag (Anchor Every 2' on Top of Barrier).

**BARRIER WALL ANCHOR SECTION**  
 Letters 6" Min. Height. Concrete Washout Area. Plywood or Aluminum 48" x 24" Min. 4"x4"16" Wood Post or 6" Steel Post Min. 3" Min. Sandbag. Native Soil. Sandbag Anchor.

**SIGN DETAIL**  
 3.5' Min. height, 2.5' width.

**NOTES:**  
 1. Maintaining temporary concrete washout facilities shall include removing and disposing of hardened concrete and/or slurry and returning the facilities to a functional condition.  
 2. Facility shall be cleaned or reconstructed in a new area once washout becomes two-thirds full.

REFERENCE: Project, Design, Check, Approved. Date, Date, Date, Date.

STANDARD DWG. NO. IUM-620B  
 SHEET 1 OF 2  
 DATE 3-16-12

**SILT FENCE PLAN**

**ELEVATION**  
 Filter Fabric, Fastener - Min. No. 10 Gage Wire, 4 Per Post Required. (Typ.), 2' Min. height, 18" Min. (Typ.) width.

**FABRIC ANCHOR DETAIL**  
 Filter Fabric, Direction Of Flow, Undisturbed Ground Line, 6" Min. height, 6" Min. width, Compacted Backfill.

**NOTES:**  
 1. Temporary sediment fence shall be installed prior to any grading work in the area to be protected. They shall be maintained throughout the construction period and removed in conjunction with the final grading and site stabilization.  
 2. Filter fabric shall meet the requirements of material specification 592 Geotextile Table 1 or 2, Class with equivalent opening size of at least 30 for nonwoven and 40 for woven.  
 3. Fence posts shall be either standard steel post or wood post with a minimum cross-sectional area of 3.0 sq. in.

REFERENCE: Project, Design, Check, Approved. Date, Date, Date, Date.

STANDARD DWG. NO. IUM-620B  
 SHEET 1 OF 2  
 DATE 3-16-12

**SILT FENCE - SPLICING TWO FENCES**

**ATTACHING TWO SILT FENCES**

**NOTES:**  
 1. Place the end post of the second fence inside the end post of the first fence.  
 2. Rotate both posts at least 180 degrees in a clockwise direction to create a tight seal with the fabric material.  
 3. Cut the fabric near the bottom of the stakes to accommodate the 6" flap.  
 4. Drive both posts a minimum of 18 inches into the ground and bury the flap.  
 5. Compact backfill (particularly at splices) completely to prevent stormwater piping.

REFERENCE: Project, Design, Check, Approved. Date, Date, Date, Date.

STANDARD DWG. NO. IUM-620B(W)  
 SHEET 1 OF 1  
 DATE 3-16-2012

**INLET PROTECTION LOG TYPE**

**SECTION**

NOT-TO SCALE

2" x 2" OAK STAKE TYP. 4' APART  
 12" TYP. LOG TRENCHED 2" MIN. INTO SUB-GRADE  
 18" depth, 2" width, 12" length.

**NOTES:**  
 1. 2" x 2" nominal hardwood stakes, 4 foot minimum length, driven into ground approximately 18 inches, stakes driven a minimum width of 12 inches away from the drop inlet.  
 2. Area inside the log, from edge of fabric to structure, must be stabilized with Erosion Control Blanket, Turf Reinforcement Mat, Geotextile 592 Table 2 Class 2 or CA-7 stone  
 3. The maximum distance between the stakes should be 4 feet.  
 4. A maintenance schedule must maintain a sediment accumulation of less than 50% of the height of the log.

REFERENCE: Project, Design, Check, Approved. Date, Date, Date, Date.

STANDARD DWG. NO. IUM-562  
 SHEET 1 OF 1  
 DATE 11-20-13

**INLET PROTECTION - PAVED AREAS DROP-IN PROTECTION**

**SECTION**

GRATE, CASTING, SUPPORT SYSTEM WITH LIFT HANDLES, OVERFLOW AREA, SEDIMENT BAG/FILTER, INLET STRUCTURE, COVER, INLET STRUCTURE, STORM SEWER.

SEE DETAIL ABOVE

REFERENCE: Project, Design, Check, Approved. Date, Date, Date, Date.

STANDARD DWG. NO. IUM-561D  
 SHEET 1 OF 1  
 DATE 01-11-11

**EROSION CONTROL BLANKET INSTALLATION DETAILS**

**DETAIL 1**  
 2 Rows Of Staples 12" O.C. Staggered, 6" width, 12" length, 6" depth, 1 Row Of Staples 12" O.C., 2 Rows Of Staples, Staggered 12" O.C. Along Row, Anchor Trench, Tamp Soil Firmly.

**DETAIL 2**  
 4" Staggered, Staple, 6" Minimum, Blanket Roll End Overlap.

**DETAIL 3**  
 6" Minimum, Staple, 6" Min. width, Blanket Side Overlap.

**STAPLE DETAIL**  
 6" to 12" length, 1" Min. diameter.

**DETAIL 4**  
 Center of Waterway, Staple Every 12", Blanket Side Edge.

**DETAIL 5**  
 12" Staggered, Flow, Staples, Terminal End.

**TABLE 1. MINIMUM REQUIREMENTS FOR EROSION CONTROL BLANKET**

	Coconut Blanket	Wood Fiber Blanket
Type of Fiber	100% coconut fibers	100% curled wood fibers
Weight, lbs./sq. yd	0.50	0.63
Fiber Length	N/A	80% of fibers > 6 in.
Fiber Dimensions	N/A	0.021 in. x 0.042 in.
	Optional - Top and bottom of blanket may be covered with a max. 5/8" x 5/8" opening size netting, bound to the mat on max. 1.5" centers.	Optional - Top and bottom of blanket may be covered with a max. 5/8" x 5/8" opening size netting

Not To Scale

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 630.466.6700 / www.eeiweb.com

**OSWEGOLAND PARK DISTRICT**  
 313 E. Washington Street  
 Oswego, IL 60543-9661

NO.	DATE	REVISIONS

**BOULDER POINT RENOVATION**

**STORMWATER POLLUTION PREVENTION PLAN DETAILS**

DATE: JANUARY 2021  
 PROJECT NO: PD1911  
 FILE: PD1911-COVER  
 SHEET 10 OF 15

NRCs Natural Resource Conservation Service United States Department of Agriculture  
 IL ENG-61  
 DISTRICTS 02015PD1911DWG FINAL-ENG-VP1911-COVER  
 SHEET 1 OF 1



## CONTRACTOR NOTICE

### Fox Metro Water Reclamation District

IMPORTANT – PLEASE READ!!

The following list represents costly problems or violations that commonly occur during or after construction. Our goal is to make everyone aware of these problems and hopefully reduce unnecessary delays, expenses, and fines.

In order to perform new construction or repair work on any private sanitary or water service, the following must be completed before work may commence:

- A \$25,000 license & permit bond made out to "Fox Metro Water Reclamation District" must be received and approved for new construction or repair work.
  - A District permit for new construction or a repair permit is required.
  - An inspection is required by the District. To save a \$50 same day inspection fee, please provide twenty-four (24) hour notice.
1. All public sanitary sewer construction must have an IEPA permit and plan approval letter on file at the District prior to commencing. Please provide our office with 48-hour notification to verify this before starting construction. If construction does not commence within two (2) days of the initial notice, start notification must be resubmitted.
  2. To prevent unnecessary flow or discharge into the existing sanitary system, all new sanitary construction must be securely plugged and maintained by the contractor. The plug(s) may only be removed after permission has been obtained from the municipality or the District's engineering department. All construction drainage must be properly removed from the new sanitary sewer system.
  3. All private building sewer connections must have a connection permit from the District. In addition, this work shall be inspected by the District. Please call (630) 301-6811 to schedule inspections twenty-four (24) hours from starting construction. No building sewers shall be installed until all proposed public sewers have been tested and approved by the District and a final recorded subdivision plat is submitted.

Rev: 3/15/17

4. All domestic water service installations (except for the Village of Oswego and the United City of Yorkville) are to be inspected by the District. Any/all final connections to any building, made by any plumber or excavator, shall also be inspected by the District. Do not backfill this connection before this inspection is completed.
5. All sanitary manholes are to be sealed (exterior of chimney & barrels) and vacuum tested. Any disruption of these manholes will break the seal(s), requiring a costly resealing and retesting process. Please stay clear of all manholes.
6. Ductile iron & cast iron pipe is not allowed for the use of gravity sewers in the District.

For questions regarding permitting and construction, call the District's engineering department at (630) 301-6882. For questions regarding inspections or to report violations, open manholes, or other issues please call (630) 301-6811.

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## GENERAL NOTES

### FOR SANITARY SEWER CONSTRUCTION IN THE FOX METRO WATER RECLAMATION DISTRICT

1. All sanitary sewer construction shall be performed in accordance with the "Fox Metro Water Reclamation District Sewer Use Ordinance No. 859", the "Standard Specifications for Water and Sewer Main Construction in Illinois", and "77 Illinois Administrative Code, part 890, Illinois Plumbing Code", latest edition.
2. Final approved set of plans and specifications must be kept on the job site. Failure to do this may result in a fine and/or be considered cause to stop the job.
3. Contractors for all sanitary sewer main extension projects shall notify the District's Engineering Department twenty-four (24) hours prior to the start of work. Notification shall be done via telephone at (630) 301-6882, fax at (630) 897-6094 or email (smedrano@foxmetro.org or mfrankino@foxmetro.org).
4. For service connection inspections, call twenty-four (24) hours in advance to schedule an inspection at (630) 301-6811.
5. To prevent any possible infiltration, inflow or debris from entering the downstream sanitary system, a factory-made plug shall be placed in the manhole by the contractor, as indicated on the final approved plans. The placement of the plug(s) shall not interrupt the service of any user. This plug is to be removed only upon approval by the District or the city/village and only after any construction drainage and/or debris has been properly removed. Under no circumstances is overland surface drainage allowed to drain into the sanitary system.
6. All sanitary sewers shall be tested in accordance with Section 31-1.12 of the "Standard Specifications for Water and Sewer Main Construction in Illinois". In addition, all manholes shall be vacuum tested (manhole testing will be in accordance with ASTM-1244-93 or in accordance with District requirements). In case of testing specification conflict, where deeper manholes are constructed, the more stringent requirement will apply.
7. When connecting to an existing sanitary main when a tee or wye is not provided, an "Inserta Tee" fitting must be installed. The minimum distance between fittings is four (4) feet center to center. Installation of a wye/tee on an existing main is prohibited. The angle of any new connection shall not exceed 1/1 or 45 degrees.

Rev: 3/26/18

8. Only "Infi-Shield", "Adaptor-Seal", and "Wrapid Seal" or approved equal chimney seals shall be installed on all manholes and grease removal systems.
9. Only PVC transition fittings shall be used in all new construction when joining PVC pipes which are damaged, disturbed during construction or have different outside diameters. Refer to Fox Metro "Manhole/Sewer Pipe Specifications" for information relating to repairs of mains damaged during construction.
10. All existing sanitary interceptor (mains 15" in diameter or greater) manhole frames located within any proposed development will be required to be adjusted to grade. Under no circumstances may the vertical height of the adjusting rings (two total) rings exceed eight (8) inches. Extreme care should be taken when working near all sanitary manholes.
11. Cast iron cleanout covers are required in areas receiving traffic loads.
12. Ductile iron and cast iron pipe is not allowed for the use of gravity sewers in the District.
13. Landscaping within any District easement is prohibited without review and subsequent plan approval. The easement shall be graded so that the ground surface does not exceed a six (6) percent gradient in all directions.
14. All building drains/sewers shall be overhead or "hung" through the basement wall of any new building. All sanitary risers shall be required to be constructed to a depth of no greater than six (6) to seven (7) feet at the right of way. If a conflict arises between a sanitary sewer and a water line, IEPA water & sewer separation requirements take precedent.
15. Whether any grease removal system is newly constructed or "retrofitted" to an existing building, a minimum each of 1% slope and 3.5' of cover for pipes are required.
16. Minimum design slopes shall be 1.00% for six (6) inch building sewers, .40% for eight (8) inch sewers, and .28% for ten (10) inch sewers with all other design slopes conforming to the requirements of the "Standard Specifications for Water and Sewer Main Construction in Illinois".
17. All manhole barrel sections (including those sections of existing manholes which have been exposed during construction) shall be required to be externally sealed with a "6" or "9" wide (min.) sealing band of rubber and mastic. The band shall have an outer layer of rubber or polyethylene with an under layer of rubberized mastic (with a protective film), meeting the requirements of ASTM C-877, \*\*type II or \*type III.
18. All sags, leaks, pipe defects, or other related issues with any newly televised sewer shall be repaired by the contractor at the discretion of the District. For approval of repairs, these areas will need to be confirmed in writing as completed by the appropriate municipality

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or re-televised by the District. At the District's discretion, connection permits may be withheld if confirmation of completed repairs cannot be obtained.

19. Any contractor, who consistently fails to perform in accordance with the District's standards and specifications as provided on the plans, may be prohibited from performing work in the District. The District reserves the right to revoke or disallow any contractor's bond.
20. The District shall televise all sewers eight (8) inches in diameter or greater. In order to access each manhole, the developer is responsible for providing a smooth, level area of sufficient width along the sanitary sewer system. If the sewers are found not to be clean during televising, the developer may incur additional charges if proper access to all manholes is not provided and/or for "heavy cleaning" of sewers by the District's contractor.
21. Full-sized cleanouts are required on all building sewers and shall be installed at a minimum depth of four (4) feet rim to invert.



## Fox Metro Water Reclamation District

Commercial (new service) Pre-Review Plan Checklist  
<http://www.foxmetro.dst.il.us/departments/engineering/>

Please include this checklist with submittal, showing completed items "checked off" or n/a. Be sure all applicable items have been completed. We cannot begin reviewing your plans until all applicable items have been incorporated into the design.

1. Provide the name of the sanitary excavator who will install the proposed sanitary service. A \$25,000 license & permit bond is required.
2. For meets & bounds parcels, provide a plat of survey (or a plat of re-sub, if applicable).
3. Provide an address for the proposed project.
4. Provide a detailed description of the use of this building. Tell whether or not any non-domestic waste water will be discharged to the public sewer.
5. If <1,500 g.p.d. of wastewater flow is estimated, provide calculations to support this. If >1,500 g.p.d. (or any non-domestic wastewater-schedule "N"), provide IEPA applications. To avoid a delay, this should be done ASAP.  
**NOTE: Schedule FTP (fast-track permit) applications are required where applicable. In addition, WPC-PS-1 shall accompany the FTP form.**
6. Provide full set of signed & sealed architecture and plumbing plans.
7. Food Service Establishments
  - o Provide Health Department comment & approval letters. This is needed before our review can commence.
  - o Be sure to route ALL kitchen fixtures into the G.R.S (including any mop sink). If the necessary G.R.S. is <= 1,000 gallons, show the dishwasher to domestic line.
  - o To assess the size of the grease removal system, please contact Jaime Thompson in our Pretreatment Department at 630-301-6825.
  - o Show a manhole on the exterior where the domestic and grease lines converge
  - o Show a full sized cleanout (cast iron cover if in paved area) 5' from the building on the grease line. Call out its rim & invert elevations.
  - o A cleanout is not needed on the domestic line as the inspection manhole will suffice for maintenance access.

Revised: 2/24/2017

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Plotted: January 8, 2021 @ 3:30 PM By: Kris Pung - Tab: 11 FWRD Notes - 22:34

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	<b>Engineering Enterprises, Inc.</b> CONSULTING ENGINEERS 52 Wheeler Road Sugar Grove, Illinois 60554 630.466.6700 / www.eeiweb.com	<b>OSWEGOLAND PARK DISTRICT</b> 313 E. Washington Street Oswego, IL 60543-9661	<b>BOULDER POINT RENOVATION</b>	<b>FOX METRO WATER RECLAMATION NOTES</b>	DATE: JANUARY 2021 PROJECT NO: PD1911 FILE: PD1911-COVER SHEET <b>11</b> OF <b>15</b>
			NO.	DATE	REVISIONS



Rev. 3/26/18

**FOX METRO WATER RECLAMATION DISTRICT  
 MANHOLE / SEWER PIPE MATERIALS AND INSTALLATION SPECIFICATIONS MATERIALS**

**1. PIPE & FITTINGS**

Pipe and fittings used in sanitary sewer construction shall be polyvinyl chloride (PVC) pipe. PVC pipe and fittings dated over one-year-old shall not be permitted for use. **No solvent-welded joints shall be allowed outside of the foundation wall of any building.**

The types of PVC pipe and fittings that shall be used in the District include:

- Poly Vinyl Chloride (PVC) Sewer Pipe and Fittings (ASTM – SDR series), conforming to ASTM Numbers D-1784 (cell classification), D-3034, D-3212 (joint spec), and F-477 (gaskets).
- Poly Vinyl Chloride (PVC) Pressure Rated Pipe and Fittings (ASTM – SDR series), conforming to ASTM Numbers D-1784 (cell classification), D-2241, D-3139 (joint spec), and F-477 (gaskets).
- Poly Vinyl Chloride (PVC) Pressure Rated Pipe and Fittings (AWWA DR-series) conforming to AWWA C-900, AWWA C-905, and ASTM Numbers D-1784 (cell classification), D-3139 (joint spec), F-477 & F-913 (gaskets).

All PVC plastic pipe and fittings shall have a cell classification of 12454 as defined in ASTM D-1784 and shall have minimum pipe stiffness as shown below in Table 1. The required Standard Dimension Ratio (SDR) or Dimension Ratio (DR) for PVC pipe and fittings shall be selected based upon the depth of cover, as also shown in the table below:

Depth of Cover	Pipe Diameter	Minimum Thickness	National Standard	Minimum Pipe Stiffness
3.5' - <15'	6" - 12"	SDR 26	ASTM D-3034	115
3.5' - <20'	6" - 12"	SDR 21	ASTM D-2241	224
3.5' - <30'	6" - 12"	DR-18	AWWA C-900	364
3.5' - <30'	14"	DR-18	AWWA C-905	364

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Fittings in sizes through twelve (12) inches shall have elastomeric joints and minimum socket depths as specified in each respective section. Fittings above twelve (12) inches shall be molded or fabricated with elastomeric joints in accordance with ASTM standards D-1784 and D-3139 incorporating the manufacturer's standard pipe bells and gaskets. Gaskets shall conform to ASTM F-477 and ASTM F-913.

The District reserves the right to approve/reject all pipe and fittings on a case-by-case basis.

**2. BEDDING, HAUNCHING, AND INITIAL BACKFILL**

Bedding material shall be CA-7 Class 1A, as outlined in ASTM D-2321 and shall be certified by the manufacturer and approved by the District prior to installation, to have the following characteristics:

- Description: Shall be crushed stone or crushed gravel, as produced ~~from crushing~~ by mechanical means.
- Gradation: Shall meet the IDOT gradation of CA-7, Class 1A.
- Plasticity Index: Shall meet a plasticity index of 0 to 4 percent as determined by the method given in AASHTO T 90.
- Specific Gravity: Shall have a specific gravity (dry) of greater than 2.45.

**LABORATORY TEST**

The District reserves the right to require a contractor to submit certified copies of all reports of tests conducted by an independent laboratory before installation of PVC plastic pipe. Tests shall be conducted in accordance with Standard Method of Test for "External Loading Properties of Plastic Pipe by Parallel-Plate Loading" per ASTM D2412.

**PIPE INSTALLATION AND FIELD TESTING**

**1. INSTALLATION**

If the invert of any overhead sewer exceeds two (2) feet above the footing, plate compaction of the CA-7 Class 1A aggregate shall be required in twelve (12) inch lifts.

Trench widths should be stable or supported, provide a width sufficient, but no greater than necessary to ensure working room to properly and safely place haunching and other embedment materials. The minimum trench width shall be 32" plus the outside diameter of the pipe and the maximum trench width shall be 48" plus the outside diameter of the pipe.

Pipe size shall be a minimum of eight (8) inches for public sewers and six (6) inches for building sewers.

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- 2.) The incoming building sewer shall be sealed within the public sewer with a four (4) foot minimum length cured in place pipe (C.I.P.P.) liner with hydrophilic gaskets.

Where a newly constructed public sewer needs to be repaired due to damage having occurred during construction, Cascade brand (CR style), or approved equal, stainless steel repair clamps shall be required. Only repair clamps conforming to ANSI/NSF-61 shall be allowed. When the damage occurs within thirty (30) feet of a manhole, the contractor shall remove and replace the damaged main from the nearest joint to the manhole.

**2. MANHOLES**

Each manhole, which has been disturbed in any way, including being raised or lowered, should be cleaned and dried before re-sealing. Each cone and barrel section joint shall require a double-layer of butyl rope and also be externally sealed with a \*6" or \*\*9" wide (min.) sealing band of rubber and mastic. The band shall have an outer layer of rubber or polyethylene with an under layer of rubberized mastic (with a protective film), meeting the requirements of ASTM C-877, \*\*type II or \*type III.

A maximum of eight (8) inches of adjusting rings (2 total rings) is allowed in any repair. The frame and chimney of the cone section shall be required to be sealed with a chimney seal. Only \*Adaptor-Seal", "Infi-Shield", Canusa (Wrapid Seal), or approved equal will be allowed.

**2. TESTING**

Each new manhole shall be vacuum tested after manhole is at finished grade. All lift holes shall be plugged with a non-shrinking grout. The manhole frame, adjusting rings and chimney seals shall be in place when testing. No grout shall be placed in the horizontal joints before, after or during testing in order to achieve a passing test result. All pipes entering the manhole shall be plugged, taking care to securely brace the plugs from being drawn into the manhole. A vacuum of ten (10) inches of mercury shall be drawn and the vacuum pump shut off. With the valves closed, the time shall be measured for the vacuum to drop to nine (9) inches of mercury (Hg) for the following time periods for each size manhole:

- \*Forty-eight (48) inches Diameter - sixty (60) seconds
- \*Sixty (60) inches Diameter - seventy-five (75) seconds
- \*Seventy-two (72) inches Diameter - ninety (90) seconds

\*Manhole testing will be in accordance with ASTM-1244-93 or in accordance with District requirements. In case of conflict, the more stringent requirement will apply (e.g. where deeper manholes are constructed).

The contractor shall provide all material and equipment necessary for testing. Should the manhole fail the vacuum test, the structure shall be disassembled to a point that said leak can be repaired with butyl rope. After the repair is complete, the manhole shall be re-tested until a satisfactory result is obtained.

**REPAIRS & REHABILITATION OF EXISTING PIPES AND MANHOLES**

**1. PIPES**

Pipe connections of dissimilar materials where no hub exists shall be made with a non-shear connector.

Where a new home is constructed on any lot where the sanitary service is made of rigid materials such as vitrified clay, cast iron, or ductile iron, said service will be required to be removed or lined to the public main. Any existing sanitary sewer main or service, which is required to be lined, shall be repaired with a cured-in-place pipe (CIPP) meeting the requirements of ASTM F1216, D5813, D790 and D2990. Said CIPP shall be installed using the inversion method only. Hot water or steam shall be used to cure all liners.

Building sewers shall be permanently abandoned using one of following two methods.

- 1.) Removed to within one (1) foot of the public sewer and plugged using a mechanical plug and mortar. This is the required method. If this is not feasible, see item two below.

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Pipes shall be laid in a manner which provides uniform support over the entire length. No blocking of any kind shall be used to adjust the pipe to grade except when embedment concrete is used. Bedding shall be a minimum of six (6) inches in depth. The bedding material shall be placed and worked in around pipe by hand to provide uniform support, then around and over the crown of the pipe by a minimum of twelve (12) inches. The granular embedment material shall be placed and consolidated along the full width of the trench. The contractor shall be required to install the pipe in such a manner that the diametric deflection of the pipe shall not exceed five (5) percent.

PVC transition fittings shall be used in all new construction when joining PVC pipes of different outside dimensions.

Service connections to new mains shall be with a tee/wye fitting with a six (6) inch branch and shall connect to the main at a (max.) forty-five (45) degree angle. Where no tee/wye exists, an Inserta Tee brand fitting shall be required.

Cast iron clean out covers conforming to ASTM A-48 Class 30 or equivalent shall be required for all sanitary sewer services located in any paved surface. Locations of said covers shall be limited to a spacing of no greater than one hundred (100) feet or that constructed per the approved engineering plan.

The use of ductile iron & cast iron pipe is not allowed for the use of gravity sewers in the District.

Either 4" X 6" rubber or non-shear couplings shall be used to connect the building drain to the building sewer. If using a rubber fitting, the four-inch pipe shall be inserted six to twelve inches inside of the six inch building sewer.

Whether any grease removal system (GRS) is newly constructed or retrofitted to an existing building, all District guidelines pertaining to minimum slope and cover depth for sanitary construction shall be strictly adhered to.

All building drains/sewers shall be overhead or "hung" through the wall of any basement.

Full-sized cleanouts shall be installed five (5) feet from the foundation wall.

**2. TESTING**

Before final acceptance, all public sewers shall be tested in accordance with Section 31-1.12 of the "Standard Specifications for Water and Sewer Main Construction in Illinois" (\*see item #2 under "Manhole Installation and Field Testing" below for vacuum testing).

All pipelines constructed of polyvinyl chloride (PVC) shall be subject to air infiltration, deflection, vacuum and televising tests.

The deflection test shall be performed no sooner than thirty (30) days of the backfilling operation and shall consist of measuring the pipe for vertical ring deflection. Maximum ring deflection of the pipeline under load shall be limited to five (5) percent of the internal pipe diameter. All pipes

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exceeding this deflection shall be considered to have reached the limit of its serviceability and shall be re-laid or replaced by the contractor at their sole expense.

The cost of all deflection testing shall be borne by the contractor and shall be accomplished by pulling a mandrel, sphere, or pin-type "go / no go" device, with a diameter equal to ninety-five (95) percent of the un-deflected inside diameter of the flexible pipe through the pipeline. Pipe shall be constructed so that the internal diameter does not decrease by more than five (5) percent.

All sanitary sewer (public or private) having a diameter of eight (8) inches or greater shall be televised by the District. Said televising work is scheduled once all sanitary testing (air & vacuum) has been received by the District. Any defects in said sewer shall be required to be excavated and repaired at the contractor's or developer's sole expense. Caution should be taken before constructing roads, curbs, sidewalks or any other infrastructure, whether it is above or below the ground surface. It is the responsibility of the utility contractor and the developer to contact the District prior to installing any of these utilities or infrastructure. Repairs to defective sanitary sewers shall be performed regardless of the status of other construction or extraneous expenses.

**MANHOLE INSTALLATION AND FIELD TESTING**

**1. INSTALLATION**

All manhole castings, adjusting rings and manhole sections shall be set in butyl rope or approved equal. The inside joints of manhole sections, adjusting rings, and frame shall not be mortared. However, the area between the pipe and flow channel shall be filled with cement mortar to provide a flush smooth surface.

Each manhole cone and barrel section joint shall also be externally sealed with a \*6" or \*\*9" wide (min.) sealing band of rubber and mastic (see "REPAIRS" below). The band shall have an outer layer of rubber or polyethylene with an under layer of rubberized mastic (with a protective film), meeting the requirements of ASTM C-877, \*\*type II or \*type III.

Pipe connections to all manholes through openings (cast or core-drilled) shall be provided with a flexible rubber watertight connector conforming to ASTM C-923, "Standard Specifications for Resilient Connectors between Reinforced Concrete Manhole Structures and Pipes".

A maximum of eight (8) inches of adjusting rings (2 total rings) is allowed. The frame, chimney, and top "lip" of the cone section shall be required to be sealed with a chimney seal.

Only \*Adaptor-Seal", "Infi-Shield", Canusa (Wrapid Seal), or an approved equal will be allowed. Do not use unapproved seals.

When a new manhole is approved to be constructed on an existing public sewer, only Cascade brand (CR style), or approved equal, stainless steel repair clamps shall be installed. Only repair clamps conforming to ANSI/NSF-61 shall be allowed. This work shall be inspected by the District.

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Plotted: January 8, 2021 @ 10:27 AM By: Douglas Keppy - Tab: 12: FIMWRD Notes - 22a,34

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							PROJECT NO: PD1911
							FILE: PD1911-COVER
							SHEET <b>12</b> OF <b>15</b>
		NO.	DATE	REVISIONS			

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**PIPE TO EXISTING MANHOLE CONNECTION**

**NOTES**

- \* TO ESTABLISH NEW INVERT, MATCH THE ELEVATION OF THE TOP OF THE INCOMING PIPE TO THE TOP OF THE EXISTING DOWNSTREAM PIPE. FOR EXISTING SEWERS GREATER THAN OR EQUAL TO 18", SEE APPROVED PLANS.
- SERVICES: NO DROP CONNECTIONS ALLOWED. CORE AT THE MANHOLE BOTTOM PER ABOVE WITH A SINGLE CONNECTION, THEN USE TWO 45 DEGREE FITTINGS TO ESTABLISH UPSTREAM LINE/GRADE.

DESIGNED	FMWRD	REVISION	2017
DRAWN	KZ	D Flow Channel Rev.	02/20/20
APPROVED	KZ, MF	E Grout Note	01/20/20
DATE	05-15-00	F Note Additions	04/20/20
SCALE	NTS	G Notes revision	02/20/21
SHEET	1	CAD DWG.	REVISION
OF	1	JOB NO.	C

**SANITARY SEWER AT STORM SEWER CROSSING**

**NOTE**

- \* SHOW DR 18 THROUGH CONFLICT AREA, TO ANY PROPOSED MANHOLE, IF SAID STRUCTURE IS WITHIN 30' OF CENTERLINE OF THE CROSSING.
- \*\* IN LIEU OF ABOVE STANDARD METHOD, DR 18 MAY BE INSTALLED MANHOLE TO MANHOLE.

DESIGNED	FMWRD	REVISION	2017
DRAWN	KZ	E Note Revision	02/20/20
APPROVED	KZ, MF	F Fitting & Note Revision	02/20/21
DATE	05-15-00	G Dimension Change	04/20/20
SCALE	NTS	H Full Length DR 18 Note Rev.	02/20/21
SHEET	1	CAD DWG.	REVISION
OF	1	JOB NO.	H

**REQUIRED WHEN A 10' MINIMUM SEPARATION IS NOT POSSIBLE FOR WATER AND SEWER SERVICES**

**SANITARY SEWER SERVICE & POTABLE WATER SERVICE SEPARATION**

**NOTE**

INSTALL PER \*77 ILL. ADMIN. CODE PART 890 ILLINOIS PLUMBING CODE\* LATEST EDITION.

DESIGNED	FMWRD	REVISION	2017
DRAWN	KZ	A Revised 2004	02/20/04
APPROVED	KZ, MF	B Depth Note	02/20/05
DATE	08-28-00	C Note Revision	02/20/05
SCALE	NTS	CAD DWG.	REVISION
SHEET	1	JOB NO.	C

**SANITARY SEWER SERVICE ABANDONMENT/RECONSTRUCTION**

**PERMANENT ABANDONMENT**

- \* REMOVE TO A POINT 1' FROM THE PUBLIC SEWER, MECHANICALLY PLUG, AND THEN SEAL WITH A FAST-SETTING MORTAR. (SEE INSET BELOW)

**RE-CONSTRUCTION**

- \*\* IF A NEW HOME/BUILDING WILL BE CONSTRUCTED AT ANY POINT IN THE FUTURE, THE EXISTING SERVICE OR STUB WILL EITHER NEED TO BE REPLACED TO THE MAIN OR LINED (PER DISTRICT SPECIFICATION).
- \* CONNECT NEW P.V.C. PIPE TO A 1' LENGTH OF EXISTING PIPE USING A NON-SHEAR COUPLING.

FOR BUILDING RE-BUILDS, DOCUMENTATION FROM THE CITY OR VILLAGE MAY BE REQUIRED.

DESIGNED	FMWRD	REVISION	2017
DRAWN	KZ	A Inset & Note Revision	02/20/21
APPROVED	KZ, MF	B Removed Temporary Abandonment Note	02/20/21
DATE	05-09-05	C Rev. notes to reflect abandon at main	02/20/21
SCALE	NTS	D Documentation note added	02/20/21
SHEET	1	CAD DWG.	REVISION
OF	1	JOB NO.	D

**TRENCH DETAIL FOR SANITARY SERVICES & MAINS**

**NOTE**

- IF THE INVERT OF ANY OVERHEAD SEWER EXCEEDS 2' ABOVE THE FITTING PLATE COMPACTION OF THE CA-7 CLASS 1A AGGREGATE SHALL BE REQUIRED IN 12" LIFTS.

DESIGNED	FMWRD	REVISION	2017
DRAWN	KZ	C Revised 2004	01/20/04
APPROVED	KZ, MF	D Stone Note	01/20/05
DATE	05-12-00	E Of Revisions	02/20/07
SCALE	NTS	F Overdig Compaction Note	02/20/07
SHEET	1	CAD DWG.	REVISION
OF	1	JOB NO.	F

**TYPE "A" MANHOLE**

**NOTE**

- INVERTS OF INCOMING PIPE(S) SHALL BE DETERMINED BY MATCHING ELEVATIONS OF THE TOPS OF THE NEW AND OUTGOING PIPES. HOWEVER, FOR SEWERS 18" OR LARGER, SEE APPROVED PLANS FOR INFORMATION ON INVERTS. ALL FLOW CHANNELS SHALL BE PRECAST INTO THE BENCH OR CORED.

DESIGNED	FMWRD	REVISION	2017
DRAWN	KZ	E Chimney Seal Note	02/20/07
APPROVED	KZ, MF	F Note Revisions	02/20/08
DATE	05-12-00	G Note Revision-Invert Elev's	02/20/21
SCALE	NTS	H Misc. Note Revisions	02/20/21
SHEET	1	CAD DWG.	REVISION
OF	1	JOB NO.	H

**Clean Check, Inc.**

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E-mail: [support@cleancheck.net](mailto:support@cleancheck.net)

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6" or 8" ABS/PVC THREADED PLUG\*\*

COLLAR

4" ABS/PVC INSERT PIPE\*

FLAPPER ASSEMBLY

FLAPPER

6" or 8" ABS/PVC FEMALE ADAPTER\*\*

6" or 8" ABS/PVC RISER PIPE\*

VALVE BODY

\* Parts to be supplied by others  
\*\* May be purchased as an option with valve

P.O. Box 2437 Hayden, ID 83835-2437 Phone Toll Free 866-288-2583 (866-28VALVE) Fax 866-288-5636

**Engineering Enterprises, Inc.**  
CONSULTING ENGINEERS  
52 Wheeler Road  
Sugar Grove, Illinois 60554  
630.466.6700 / [www.eeiweb.com](http://www.eeiweb.com)

**OSWEGOLAND PARK DISTRICT**  
313 E. Washington Street  
Oswego, IL 60543-9661

NO.	DATE	REVISIONS

**BOULDER POINT RENOVATION**

**FOX METRO WATER RECLAMATION DETAILS**

DATE:	JANUARY 2021
PROJECT NO:	PD1911
FILE:	PD1911-COVER
SHEET	13 OF 15

Plotted: January 8, 2021 @ 2:14 PM By: Kris Pung - Tab: 13 FMWRD Dets - 22x34

Path: \\SOSREP001\PD\_FARR\_DISTRICTS\2019\PD1911\DWG\_FINAL\_ENG\VP1911-COVER

**TYPICAL P.C.C. SIDEWALK SECTION**

Engineering Enterprises, Inc. 52 Wheeler Road, Sugar Grove, Illinois 60554, Phone: (630) 466-9350

SCALE: N.T.S.	FOLDER: EE-PV	DRAWING NUMBER: SW-04	DRAWN BY: CLN
DATE: 5/01/01		REVISED: 04/28/10	

**HANDICAP PARKING STALL**

Engineering Enterprises, Inc. 52 Wheeler Road, Sugar Grove, Illinois 60554, Phone: (630) 466-9350

SCALE: N.T.S.	FOLDER: EE-HC	DRAWING NUMBER: 06	DRAWN BY: CLN
DATE: 11/05/06		REVISED: 2/22/08	

**HANDICAP PAINTED SYMBOL**

Engineering Enterprises, Inc. 52 Wheeler Road, Sugar Grove, Illinois 60554, Phone: (630) 466-9350

SCALE: N.T.S.	FOLDER: EE-HC	DRAWING NUMBER: 07	DRAWN BY: CLN
DATE: 9/04/91		REVISED: 2/22/08	

**TYPICAL PCC PAVEMENT SECTION**

Engineering Enterprises, Inc. 52 Wheeler Road, Sugar Grove, Illinois 60554, Phone: (630) 466-9350

SCALE: N.T.S.	FOLDER: EE-PV	DRAWING NUMBER: PS-05	DRAWN BY: CLN
DATE: 9/01/95		REVISED: 10/31/16	

**TYPICAL BITUMINOUS PAVEMENT SECTION**

Engineering Enterprises, Inc. 52 Wheeler Road, Sugar Grove, Illinois 60554, Phone: (630) 466-9350

SCALE: N.T.S.	FOLDER: EE-PV	DRAWING NUMBER: PS-05	DRAWN BY: CLN
DATE: 9/01/95		REVISED: 10/31/16	

**TYPICAL BITUMINOUS PARKING LOT PAVEMENT SECTION**

Engineering Enterprises, Inc. 52 Wheeler Road, Sugar Grove, Illinois 60554, Phone: (630) 466-9350

SCALE: N.T.S.	FOLDER: EE-PV	DRAWING NUMBER: PA-09	DRAWN BY: CLN
DATE: 6/27/97		REVISED: 8/7/13	

**CATCH BASIN TYPE "C"**

Engineering Enterprises, Inc. 52 Wheeler Road, Sugar Grove, Illinois 60554, Phone: (630) 466-9350

SCALE: N.T.S.	FOLDER: EE-ST	DRAWING NUMBER: CB-03	DRAWN BY: CLN
DATE: 4/24/91		REVISED: 7/22/96	

**BOLLARD**

Engineering Enterprises, Inc. 52 Wheeler Road, Sugar Grove, Illinois 60554, Phone: (630) 466-9350

SCALE: N.T.S.	FOLDER: EE-MI	DRAWING NUMBER: 20	DRAWN BY: CLN
DATE: 9/04/91		REVISED: 2/22/08	

Plotted: January 12, 2021 @ 2:48 PM By: Curt Detmann - Tab: 14 Strd Dets - 22x34

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**Engineering Enterprises, Inc.**  
 CONSULTING ENGINEERS  
 52 Wheeler Road  
 Sugar Grove, Illinois 60554  
 630.466.6700 / www.eiweb.com

**OSWEGOLAND PARK DISTRICT**  
 313 E. Washington Street  
 Oswego, IL 60543-9661

NO.	DATE	REVISIONS

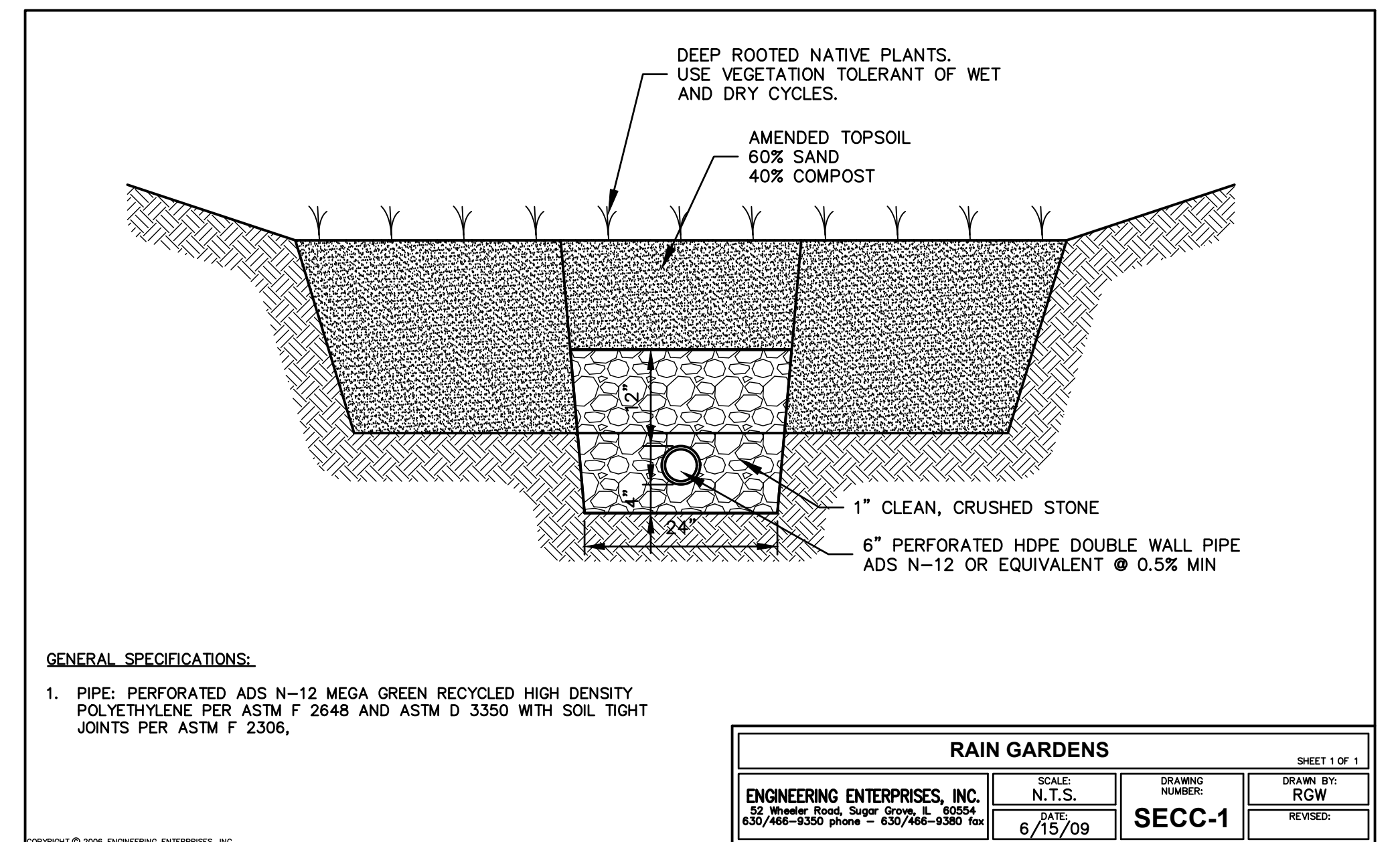
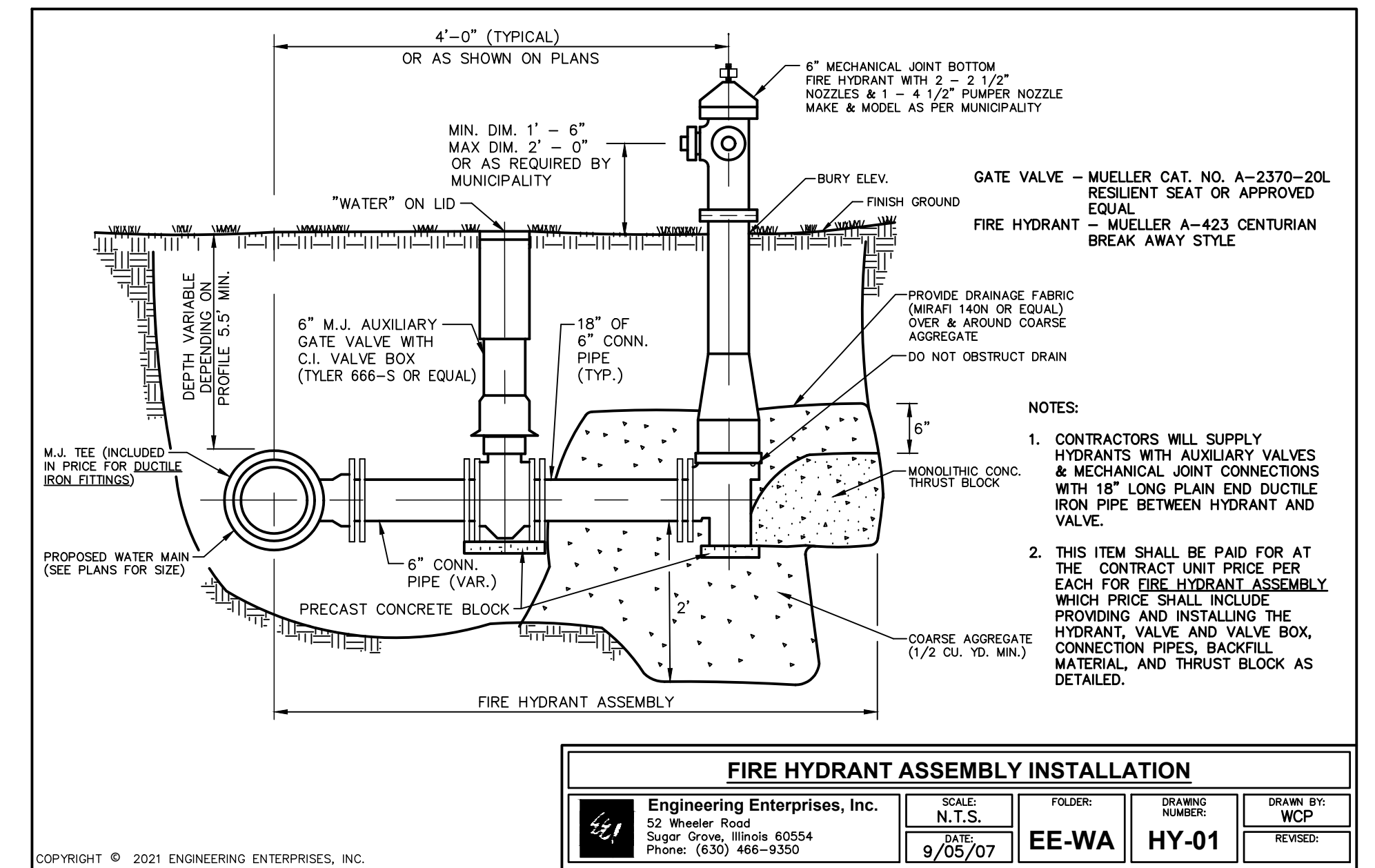
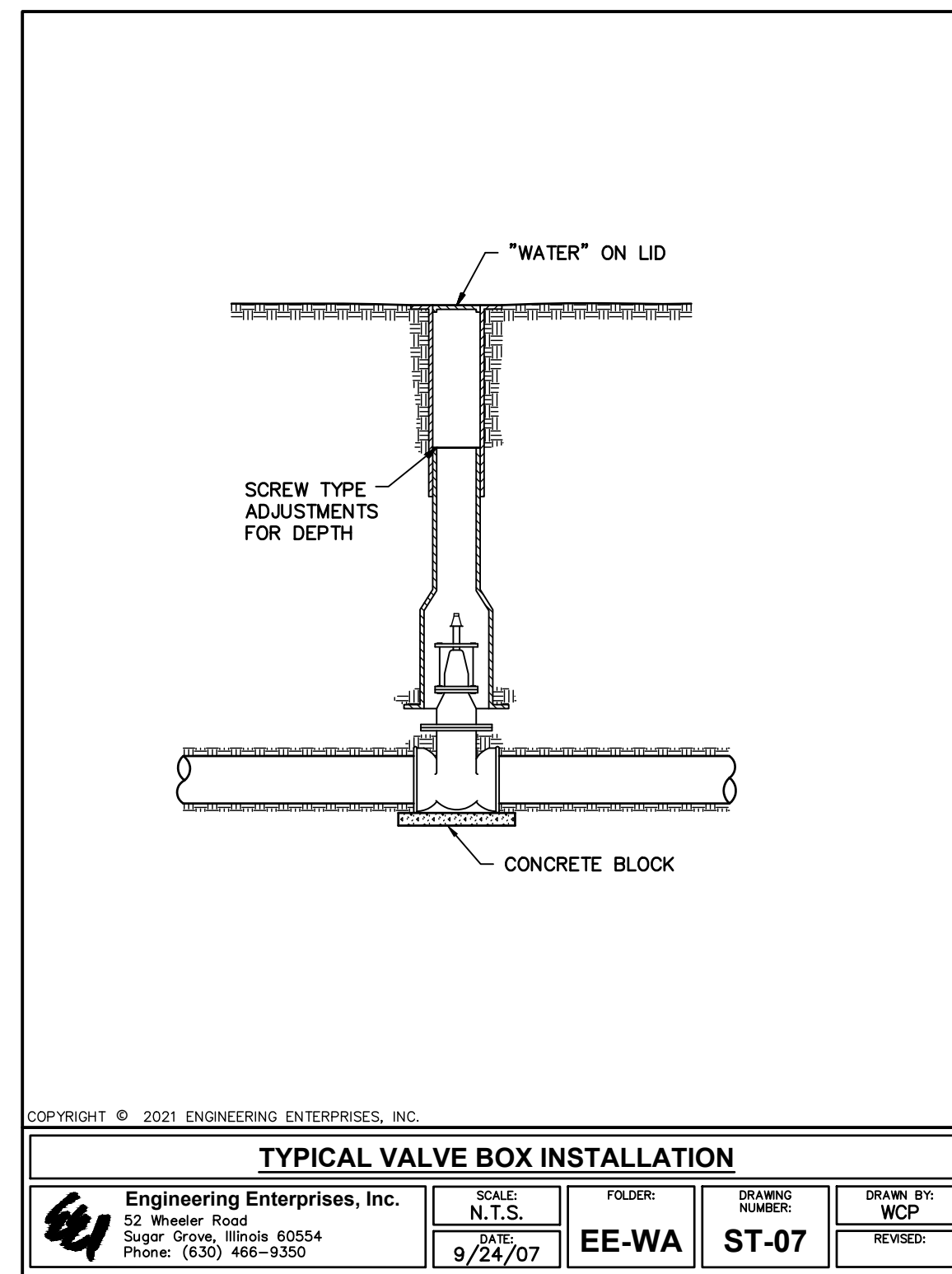
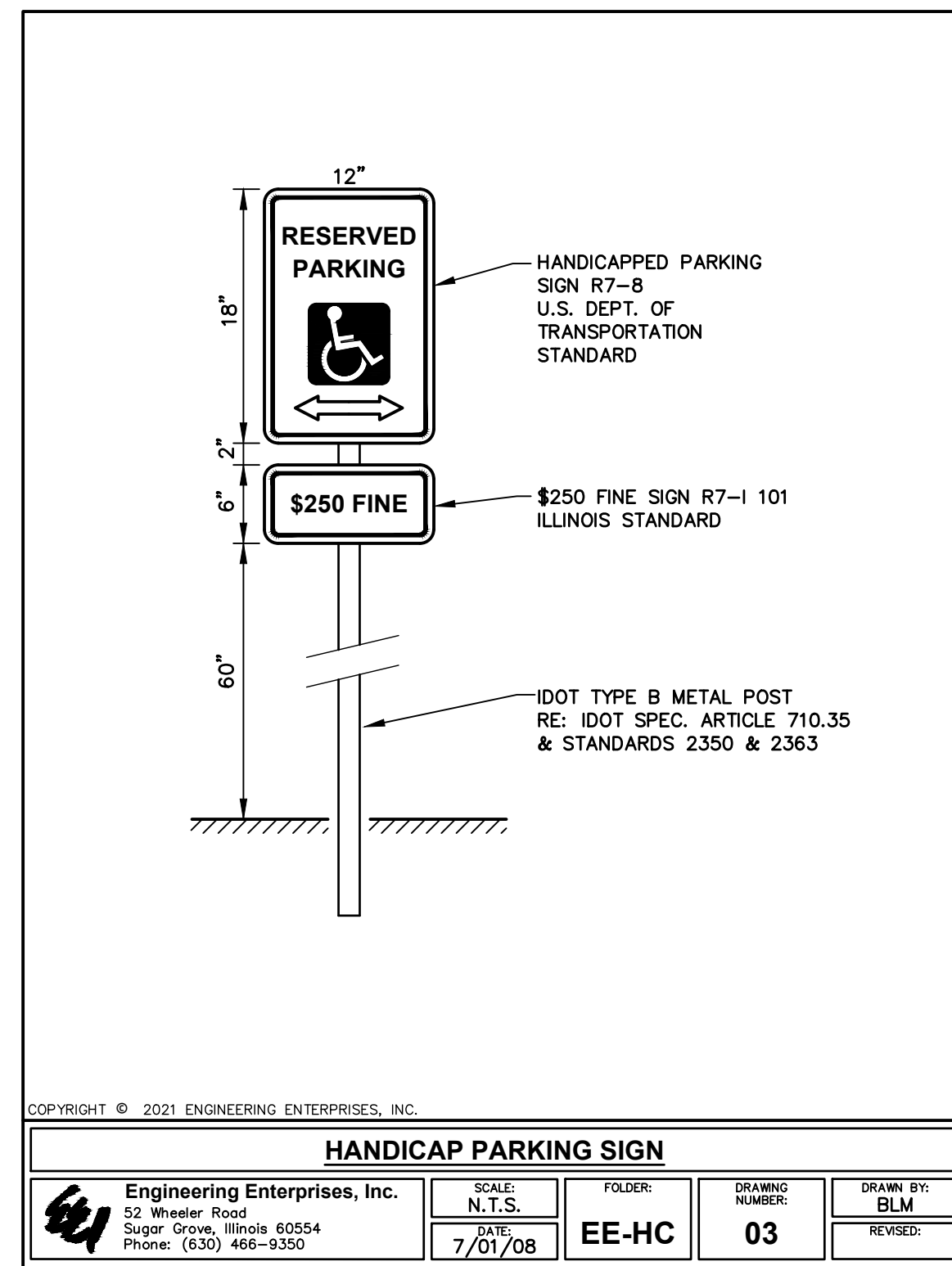
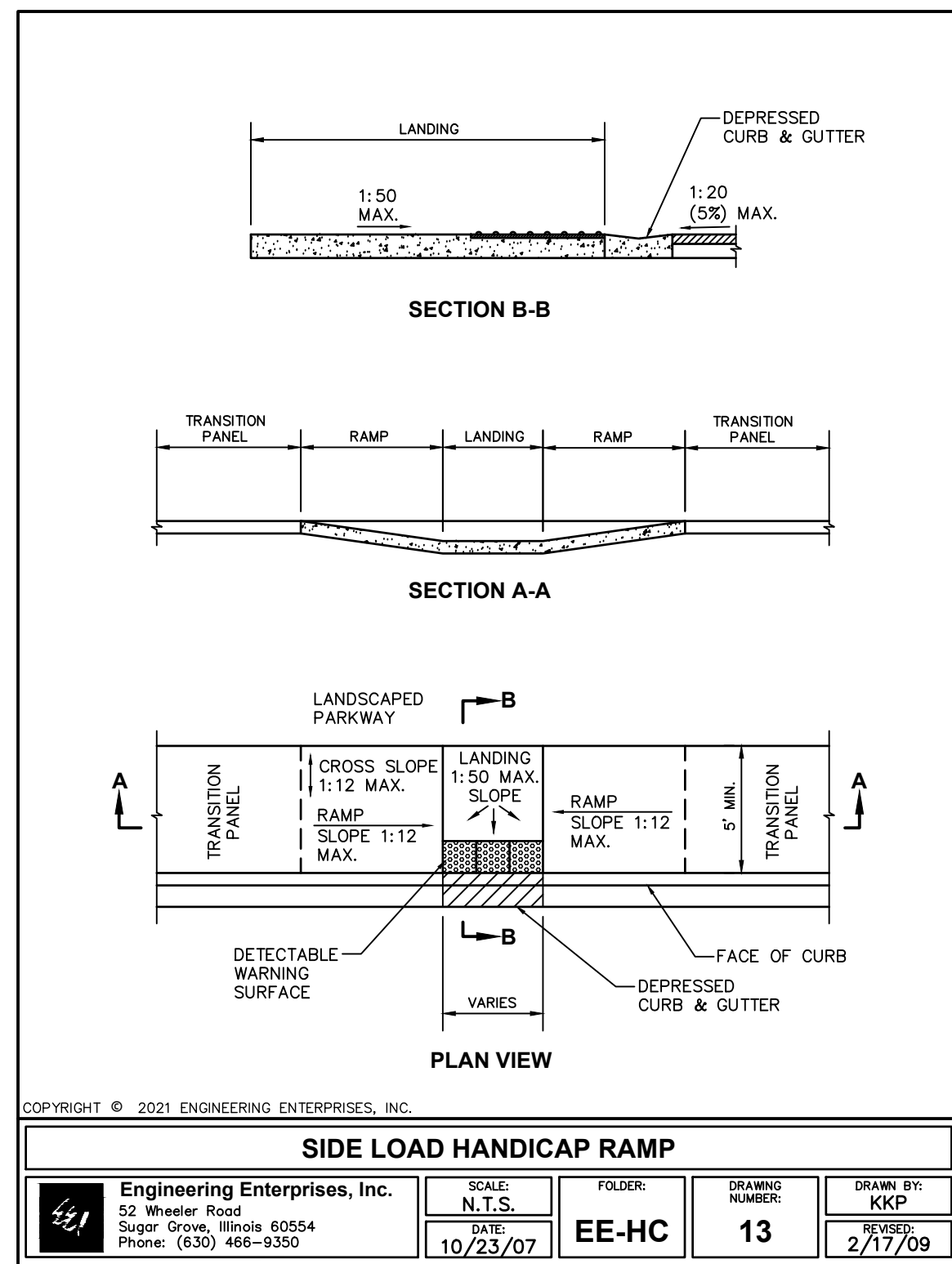
**BOULDER POINT RENOVATION**

**STANDARD DETAILS**

DATE:	JANUARY 2021
PROJECT NO:	PD1911
FILE:	PD1911-COVER
SHEET	14 OF 15

Path: H:\3058\PROJ\PD\_1911\BARR-DISTRICTS\2019\PD1911\VDWG-FINAL-ENG\VPD1911-COVER





Plotted: January 11, 2021 @ 4:39 PM By: Kris Pung - Tab: 15 Stud Dets - 22x34

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**Engineering Enterprises, Inc.**  
CONSULTING ENGINEERS  
52 Wheeler Road  
Sugar Grove, Illinois 60554  
630.466.6700 / www.eiweb.com

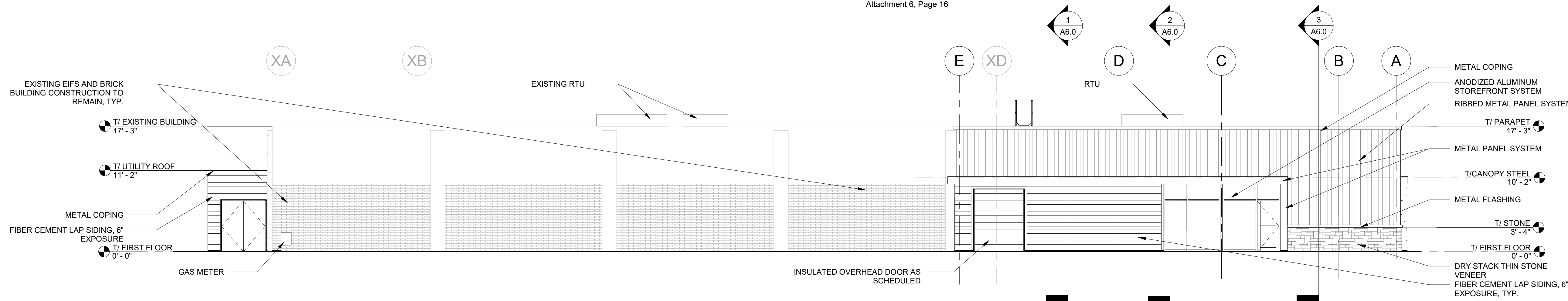
**OSWEGOLAND PARK DISTRICT**  
313 E. Washington Street  
Oswego, IL 60543-9661

NO.	DATE	REVISIONS

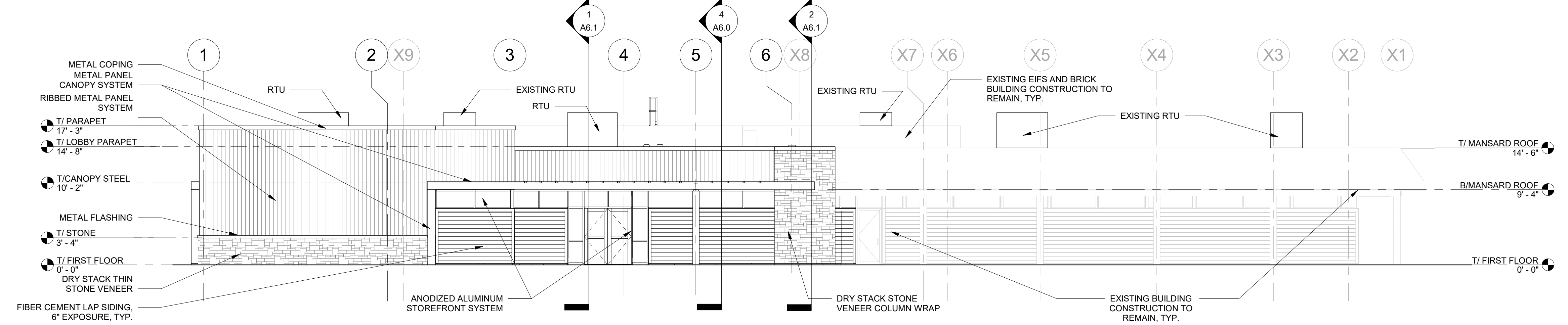
**BOULDER POINT RENOVATION**

**STANDARD DETAILS**

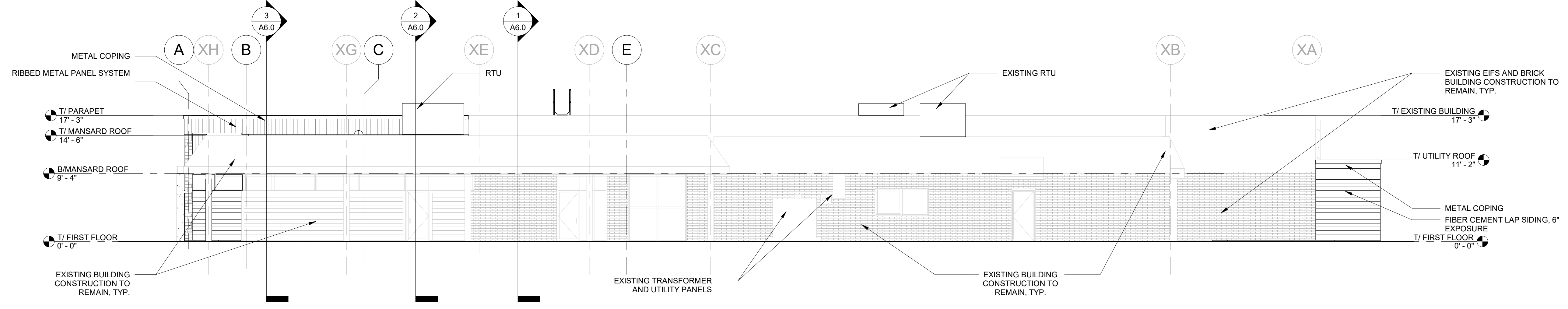
DATE: JANUARY 2021  
PROJECT NO: PD1911  
FILE: PD1911-COVER  
SHEET **15** OF **15**



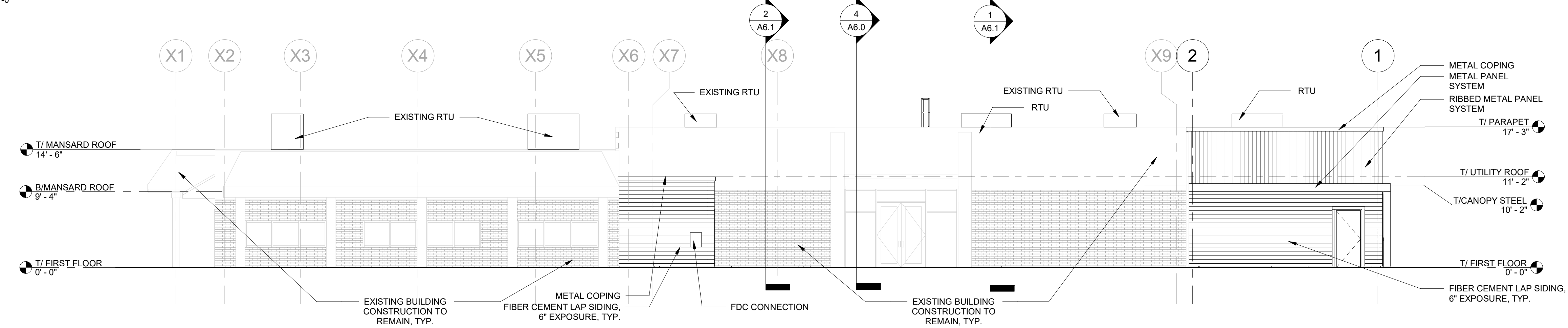
1 NORTH ELEVATION  
1/8" = 1'-0"



4 WEST ELEVATION  
1/8" = 1'-0"



2 SOUTH ELEVATION  
1/8" = 1'-0"



3 EAST ELEVATION  
1/8" = 1'-0"

CORDOGAN CLARK & ASSOCIATES INC. ARCHITECTS • ENGINEERS  
Chicago  
15 North Wells Street  
Chicago, IL 60606  
Tel: 312.943.7000  
Fax: 312.943.4771



BOULDER POINT RENOVATION  
OSWEGOLAND PARK DISTRICT  
0 BOULDER HILL PASS  
MONTGOMERY, IL 60538

BUILDING ELEVATIONS

JOB NUMBER 19-464  
DATE 01.19.20

REVISIONS:

A5.1

Line	Activity ID	Activity Description	Duration	Start	Finish	2020												2021												2022											
						A	M	J	J	A	S	O	N	D	J	F	M	A	M	J	J	A	S	O	N	D	J	F	M												
1	60	<b>Design and Engineering</b>	233d	04/15/20	03/05/21	Design and Engineering																																			
2		Schematic Design Complete	120d	04/15/20	09/30/20	Schematic Design Complete																																			
3		Design Development	70d	10/05/20	01/08/21	Design Development																																			
4	50	Civil Design	40d	11/16/20	01/08/21	Civil Design																																			
5	10	BP#1/Construction Documents- Civil and Demolition	20d	12/14/20	01/08/21	BP#1/Construction Documents- Civil and Demolition																																			
6	50	BP#2/Construction Documents- Concrete, MEP, and Enclosure /Steel/Misc Metals/Cold Form	20d	01/11/21	02/05/21	BP#2/Construction Documents- Concrete, MEP, and Enclosure /Steel/Misc Metals/Cold Form																																			
7	100	BP#3/Construction Documents-Finishes	20d	02/08/21	03/05/21	BP#3/Construction Documents-Finishes																																			
8	70	<b>Estimating and Bidding</b>	239d	05/15/20	04/15/21	Estimating and Bidding																																			
9	100	100% Schematic Design Budget	86d	05/15/20	09/14/20	100% Schematic Design Budget																																			
10	120	BP#1	28d	01/11/21	02/17/21	BP#1																																			
11	170	BP#1 Bidding	15d	01/11/21	01/29/21	BP#1 Bidding																																			
12	220	BP#1 Post Bids	5d	02/01/21	02/05/21	BP#1 Post Bids																																			
13	60	BP#2B Bidding	15d	02/08/21	02/26/21	BP#2B Bidding																																			
14	60	BP#2A Steel Bidding	10d	02/08/21	02/19/21	BP#2A Steel Bidding																																			
15	270	BP#1 GMP Park District Review	2d	02/08/21	02/09/21	BP#1 GMP Park District Review																																			
16	50	BP #2	28d	02/08/21	03/17/21	BP #2																																			
17	320	BP#1 GMP Park District Board Review	6d	02/10/21	02/17/21	BP#1 GMP Park District Board Review																																			
18	320	BP#1 GMP Park District Board Approval	0d	02/18/21	02/18/21	BP#1 GMP Park District Board Approval																																			
19	70	BP#2A Steel Post Bids	1d	02/22/21	02/22/21	BP#2A Steel Post Bids																																			
20	80	BP#2A Steel GMP Park District Review	1d	02/23/21	02/23/21	BP#2A Steel GMP Park District Review																																			
21	90	BP#2A Steel GMP Park District Board Review	6d	02/24/21	03/03/21	BP#2A Steel GMP Park District Board Review																																			
22	70	BP#2B Post Bids	5d	03/01/21	03/05/21	BP#2B Post Bids																																			
23	100	BP#2A Steel GMP Park District Board Approval	0d	03/04/21	03/04/21	BP#2A Steel GMP Park District Board Approval																																			
24	80	BP#2B GMP Park District Review	2d	03/08/21	03/09/21	BP#2B GMP Park District Review																																			
25	170	BP #3	28d	03/08/21	04/14/21	BP #3																																			
26	150	BP#3 Bidding	15d	03/08/21	03/26/21	BP#3 Bidding																																			
27	90	BP#2B GMP Park District Board Review	6d	03/10/21	03/17/21	BP#2B GMP Park District Board Review																																			
28	100	BP#2B GMP Park District Board Approval	0d	03/18/21	03/18/21	BP#2B GMP Park District Board Approval																																			
29	160	BP#3 Post Bids	5d	03/29/21	04/02/21	BP#3 Post Bids																																			
30	110	BP#3 GMP Park District Review	2d	04/05/21	04/06/21	BP#3 GMP Park District Review																																			
31	160	BP#3 GMP Park District Board Review	6d	04/07/21	04/14/21	BP#3 GMP Park District Board Review																																			
32	120	BP#3 GMP Park District Board Approval	0d	04/15/21	04/15/21	BP#3 GMP Park District Board Approval																																			

	<b>20-6564 Boulder Point Renovations</b> Bid Package 1 Schedule		Date	Revision	Checked	Approved
			11/6/2020	1	Tyler Nassar	



Line	Activity ID	Activity Description	Duration	Attachment 6, Page 18		2020												2021												2022			
				Start	Finish	A	M	J	J	A	S	O	N	D	J	F	M	A	M	J	J	A	S	O	N	D	J	F	M				
<b>33</b>	<b>20</b>	<b>Site Investigation</b>	<b>48d</b>	<b>09/30/20</b>	<b>A</b>	<b>12/04/20</b>																											
34	120	Acquire ALTA Survey (Easements)	0d	09/30/20	A	09/30/20	◆ Acquire ALTA Survey (Easements)																										
35	170	Acquire Topographical Survey	0d	09/30/20	A	09/30/20	◆ Acquire Topographical Survey																										
36	220	Acquire Storm Delineation Req's	0d	09/30/20	A	09/30/20	◆ Acquire Storm Delineation Req's																										
37	270	Acquire EPA Assessment/Phase 1	0d	09/30/20	A	09/30/20	◆ Acquire EPA Assessment/Phase 1																										
38	270	Acquire Geotechnical Investigation	0d	09/30/20	A	09/30/20	◆ Acquire Geotechnical Investigation																										
39		Internet/Phones Coordination (New Service)-n/a	0d	09/30/20	A	09/30/20	◆ Internet/Phones Coordination (New Service)-n/a																										
40	50	ComEd Electric Coordination (New Service)-n/a	0d	09/30/20	A	09/30/20	◆ ComEd Electric Coordination (New Service)-n/a																										
41	10	Nicor Coordination (New Service)-n/a	0d	09/30/20	A	09/30/20	◆ Nicor Coordination (New Service)-n/a																										
42	270	Water Main Flow Reports (Fire Pump?)-n/a	0d	09/30/20	A	09/30/20	◆ Water Main Flow Reports (Fire Pump?)-n/a																										
43	320	Water Investigation	7d	10/22/20	A	11/02/20	■ Water Investigation																										
44	370	Sanitary Investigation	7d	10/22/20	A	11/02/20	■ Sanitary Investigation																										
45	420	Foundation Investigation	5d	11/30/20		12/04/20	■ Foundation Investigation																										
<b>46</b>	<b>80</b>	<b>Permits and Approvals</b>	<b>133d</b>	<b>01/11/21</b>		<b>07/14/21</b>																											
47		IEPA - NPDES Permit	60d	01/11/21		04/02/21	■ IEPA - NPDES Permit																										
48		Fox Metro - Sewer Permit	60d	01/11/21		04/02/21	■ Fox Metro - Sewer Permit																										
49		Montgomery - Water Permit	60d	01/11/21		04/02/21	■ Montgomery - Water Permit																										
50		Kendal County - Storm Permit	60d	01/11/21		04/02/21	■ Kendal County - Storm Permit																										
51	10	Kendal County - BP#1 Permit	60d	01/11/21		04/02/21	■ Kendal County - BP#1 Permit																										
52	50	ZPAC	11d	01/19/21		02/02/21	■ ZPAC																										
53	50	Kendal County - BP#2 Permit	60d	02/08/21		04/30/21	■ Kendal County - BP#2 Permit																										
54	60	Kendal County - BP#3 Permit	60d	03/08/21		05/28/21	■ Kendal County - BP#3 Permit																										
55	100	OFPD - Fire Alarm Permit (Delegated Design)	60d	04/22/21		07/14/21	■ OFPD - Fire Alarm Permit (Delegated Design)																										
56		OFPD - Fire Protection Permit (Delegated Design)	60d	04/22/21		07/14/21	■ OFPD - Fire Protection Permit (Delegated Design)																										
<b>57</b>	<b>1300460</b>	<b>Submittal and Procurement</b>	<b>125d</b>	<b>02/18/21</b>		<b>08/11/21</b>																											
58	1300510	Procurement BP#1	5d	02/18/21		02/24/21	■ Procurement BP#1																										
59	50	Demolition	25d	02/25/21		03/31/21	■ Demolition																										
60	100	Asphalt	30d	02/25/21		04/07/21	■ Asphalt																										
61	10	Lift Station (6 WKS FAB)	60d	02/25/21		05/19/21	■ Lift Station (6 WKS FAB)																										
62	20	Site Electric	35d	02/25/21		04/14/21	■ Site Electric																										
63	250	Earthwork	35d	02/25/21		04/14/21	■ Earthwork																										
64	260	Site Utility Precast Structures (7 WKS FAB)	70d	02/25/21		06/02/21	■ Site Utility Precast Structures (7 WKS FAB)																										

	<b>20-6564 Boulder Point Renovations</b> Bid Package 1 Schedule	Date	Revision	Checked	Approved	
		11/6/2020	1	Tyler Nassar		











### Oswegoland Park District - Boulder Point Renovation

1/19/2021

Original car dealership parking counts were not altered when the Park District took occupancy. Peak parking currently is approximately 60% full.

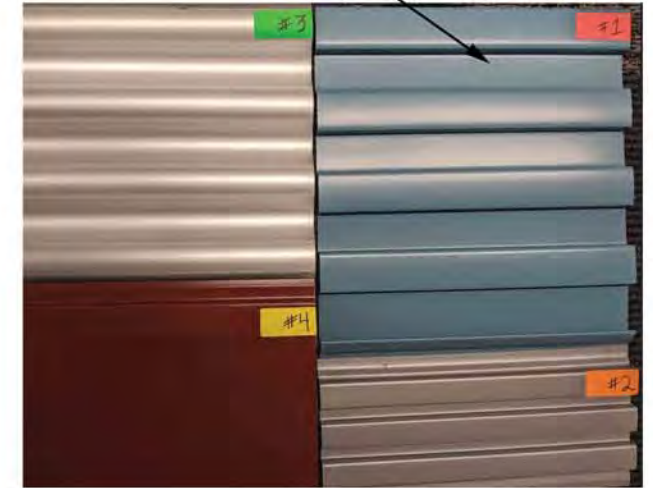
Occupied Space Name	EXIST SF	NEW SF	IBC Occupancy		EXISTING	NEW
			Factor	IBC count	IBC count	
Lobby (N)	160	400	15	10.67	26.67	
Large Assembly Room (N)		832	15	0.00	55.47	
Storage (N)		280	300	0.00	0.93	
Small Assembly Room (N)		523	15	0.00	34.87	
Storage (N)		73	300	0.00	0.24	
Reception (N)	120	220	150	0.80	1.47	
Office 1 (N)	140	111	150	0.93	0.74	
Office 2 (N)		111	150	0.00	0.74	
Office 3 (N)		111	150	0.00	0.74	
Gymnasium_E	5600	5600	50	112.00	112.00	
Room 4_E	670	670	15	44.67	44.67	
Room 5_E	1100	1100	15	73.33	73.33	
Storage_E	231	231	300	0.77	0.77	
Storage_E	135	135	300	1.00	0.45	
Room 6_E	1220	1220	50	24.40	24.40	
Room 7_E	517	517	35	14.77	14.77	
Room 8_E	377	377	35	10.77	10.77	
Room 9_E	385	385	35	11.00	11.00	
Reception_E	151	151	150	1.01	1.01	
Mezzanine_E	960	723	300	3.20	2.41	
				<b>309.32</b>	<b>417.44</b>	
				<b>Existing Occs</b>	<b>New Occs</b>	

EXISTING Parking      **105 includes 5 ADA**  
 NEW Parking            **94 includes 4 ADA**

**NEW Parking            4.4 occupants per space**



PHYSICAL SAMPLE #1  
METAPHOR



Local Installation:  
 Shake Shack Oakbrook (Interior/Exterior)  
 1950 Spring Rd, Oak Brook, IL 60523  
 (BOULDER POINT INSTALL WOULD BE VERTICAL)



METAL PANEL - OPTION 1

BOULDER POINT RENOVATION

JANUARY 8, 2021



Alpine  
Timber

#2

#1

#2

#3

#1

#2

#3





01/20/2021 12:24



01/20/2021 12:24



01/20/2021 12:25



01/20/2021 12:25