

KENDALL COUNTY ZONING AND PLATTING ADVISORY COMMITTEE

111 West Fox Street • Rooms 209 and 210 • Yorkville, IL • 60560 (630) 553-4141 Fax (630) 553-4179

AGENDA

May 3, 2022 - 9:00 a.m.

CALL TO ORDER

<u>ROLL CALL:</u> County Board: Scott Gengler, PBZ Committee Chair; County Highway Department: Fran Klaas, County Engineer; WBK Engineering, LLC: Greg Chismark, Stormwater Consultant; County Health Department: Aaron Rybski, Director Environmental Health; Forest Preserve District: David Guritz, Director; SWCD: Alyse Olson, Resource Conservationist; Sheriff's Office: Commander Jason Langston; GIS: Meagan Briganti; PBZ: Brian Holdiman, Code Official; Matt Asselmeier, Senior Planner

APPROVAL OF AGENDA

<u>APPROVAL OF MINUTES:</u> Approval of April 5, 2022 ZPAC Meeting Minutes (Pages 2-8)

PETITIONS:

1.	Petition 22 – 10 – Mark Fecht on Behalf of Fecht Brothers, Inc. (Property Owner) and Jeremy and Samantha Dippold on Behalf of Best Budget Tree, LLC (Contract Purchaser) (Pages 9-69)	
Request:	Special Use Permit for a Landscaping Business	
PINs:	09-15-200-003	
Location:	North Side of Route 52 Across from 2190 and 2200 Route 52, Minooka in Seward Township	
Purpose:	Petitioners Want to Operate a Tree Service and Landscaping Business at the Property; Property is Zoned A-1	

REVIEW OF PETITIONS THAT WENT TO COUNTY BOARD

1. Petition 22-08 Vacation of Easements on Lots 12 and 13 in Grove Estates

OLD BUSINESS/ NEW BUSINESS None

CORRESPONDENCE

PUBLIC COMMENT

ADJOURNMENT- Next meeting on June 7, 2022

If special accommodations or arrangements are needed to attend this County meeting, please contact the Administration Office at 630-553-4171, a minimum of 24-hours prior to the meeting time.

ZONING, PLATTING & ADVISORY COMMITTEE (ZPAC) April 5, 2022 – Unapproved Meeting Minutes

PBZ Chairman Scott Gengler called the meeting to order at 9:00 a.m.

<u>Present:</u> Matt Asselmeier – PBZ Department Meagan Briganti – GIS Department Scott Gengler – PBZ Committee Chair Fran Klaas – Highway Department Commander Jason Langston – Sheriff's Department Aaron Rybski – Health Department

<u>Absent:</u> Greg Chismark – WBK Engineering, LLC David Guritz – Forest Preserve Brian Holdiman – PBZ Department Alyse Olson – Soil and Water Conservation District

Audience:

None

AGENDA

Mr. Klaas made a motion, seconded by Ms. Briganti, to approve the agenda as presented.

With a voice vote of six (6) ayes, the motion carried.

MINUTES

Mr. Klaas made a motion, seconded by Ms. Briganti, to approve the March 1, 2022, meeting minutes.

With a voice vote of six (6) ayes, the motion carried.

PETITIONS

Petition 22-08 Jonathan A. Bieritz on Behalf of JB Architecture Group, Inc. and Eric and Lisa Weires (Property Owners)

Mr. Asselmeier summarized the request.

A five foot (5') public utility and drainage easement exists on the east and west lot lines of Lots 12 and 13 in the Grove Estates Subdivision (7327 and 7301 Fitkins Drive, Oswego) in Na-Au-Say Township.

Eric and Lisa Weires would like to merge the two (2) lots and construct a new house over the easements.

The application materials and the plat of vacation were provided.

The properties were approximately one point five (1.5) acres and the vacation area was approximately five hundredths 0.05) of an acre.

The property was zoned RPD-2 and was wooded.

Fitkins Drive is a local road maintained by Na-Au-Say Township.

There were no trails, floodplains, or wetlands on the property.

The adjacent land uses are wooded lots.

The adjacent properties were zoned RPD-2.

The Future Land Use Map calls for the area to be Rural Residential (max 0.65 du/acre).

ZPAC Meeting Minutes 04.05.22

The zoning districts within one half (1/2) mile are A-1 and RPD-2.

Na-Au-Say Township was emailed information on March 22, 2022.

The Village of Oswego was emailed information on March 22, 2022.

The Oswego Fire Protection District was emailed information on March 22, 2022.

Staff requested that the Petitioners provide information stating that none of the utilities were in opposition to the request. Mr. Asselmeier provided emails from Comcast and Comed stating they had no objections to the request.

The homeowners' association submitted an email, which was provided, stating they were not in opposition to this request.

Mr. Asselmeier presented a letter from WBK Engineering stating they had no objections to the request.

Staff recommended approval of the requested vacation with the following conditions:

- 1. Lots 12 and 13 of Grove Estates Subdivision shall not be sold as individual lots upon the successful recording of the plat of vacation. Within ninety (90) days of the effective date of this ordinance, the Petitioners shall submit a parcel consolidation request to Kendall County.
- 2. This vacation shall become effective upon the successful recording of the plat of vacation in the timeframe outlined in Section 7.06.H of the Kendall County Subdivision Control Ordinance unless an extension is granted by the Kendall County Board.

It was noted that the Petitioners own the land to east.

Mr. Klaas asked if any utilities were in the easement. Mr. Asselmeier said a JULIE Locate occurred and no utilities were presently located in the easements.

No comments had been submitted by NICOR or AT&T.

Mr. Rybski made a motion, seconded by Commander Langston, to recommend approval of the requested vacation.

With a voice vote of six (6) ayes, the motion carried.

The proposal goes to the Kendall County Planning, Building and Zoning Committee on April 11, 2022.

Petition 22-09 Kendall County Regional Planning Commission

Mr. Asselmeier summarized the request.

In October 2020, the Kendall County Comprehensive Land Plan and Ordinance Committee initiated discussions regarding changing the Future Land Use Map for properties located along the Eldamain Road Corridor south of the Fox River, in light of the funding for the Eldamain Road Bridge and the abandonment of the centerline for the Prairie Parkway. In particular, the Committee discussed possible commercial and/or manufacturing investment in this area.

The Kendall County Future Land Use Map currently calls for this area to be Rural Residential (Max Density 0.65 DU/Acre) and Mixed Use Business. A copy of the existing Future Land Use Map was provided.

The Yorkville Future Land Use Map currently calls for this area to be Estate Residential. The Millbrook Future Land Use Map currently calls for this area to be Business Park Office and Commercial with Industrial near the former Prairie Parkway alignment. The Plano Future Land Use Map currently calls for the area in their planning jurisdiction to be Estate Residential (0-0.8 DU/Acre). Copies of all of the Future Land Use Maps for this area were provided.

Following meetings with property owners in the area in October and December 2021, the Committee decided to limit changes to three (3) properties along the railroad tracks west of Fox Road. Letters to impacted property owners were mailed in mid-December 2021, mid-February 2022, and mid-March 2022.

At their meeting on February 23, 2022, the Comprehensive Land and Ordinance Committee voted to forward the proposal to the Kendall County Regional Planning Commission.

At their meeting on March 24, 2022, the Kendall County Regional Planning Commission voted to initiate the amendment to the Future Land Use Map.

A copy of the updated map was provided.

Petition information will be sent to Fox Township, the Village of Millbrook, and the United City of Yorkville on March 29, 2022.

Mr. Klaas asked if Yorkville and Plano had a boundary agreement in this area. Mr. Asselmeier responded that Yorkville's boundary is Highpoint Road and Plano's extraterritorial planning area did not extend to the subject properties. Yorkville did not have a boundary agreement with Millbrook.

Mr. Klaas felt that any commercial and industrial developments in this area would probably be annexed to a municipality.

Mr. Asselmeier noted that to reclassify the property to Residential would be easier than to obtain that a Mixed Use Business classification.

Commander Langston asked if the owners of the house at 12565 Fox Road objected to the request. Mr. Asselmeier responded that no objections had been received.

Mr. Rybski clarified the request was for a reclassification on the Future Land Use Map and not the rezoning of the properties.

Mr. Rybski made a motion, seconded by Ms. Briganti, to recommend approval of the requested change to the Future Land Use Map.

With a voice vote of six (6) ayes, the motion carried.

The proposal goes to the Kendall County Regional Planning Commission on April 27, 2022.

REVIEW OF PETITIONS THAT WENT TO COUNTY BOARD

Mr. Asselmeier reported that Petitions 22-03 and 22-04 were approved by the County Board.

OLD BUSINESS/NEW BUSINESS

Follow-Up from February 5th Kendall County Regional Planning Commission Annual Meeting

Mr. Asselmeier reported the summary for 2021 and 2022 future projects and goals.

Fifty-one (51) petitions filed in 2021; thirty-two (32); petitions filed in 2020; forty-six (46) petitions filed in 2019; thirty-three (33) petitions filed in 2018 and 2017.

Thirty-two (32) new housing starts in 2021; thirty-four (34) new housing starts in 2020; twenty (20) new housing starts in 2019.

Three hundred fifty-four (354) Total Permits in 2021; three hundred twenty-six (326) total Permits in 2020; two fifty-seven (257) Total Permits in 2019.

Total deposits (Building Fees, Zoning Fees, Land Cash Fees, and Off-Site Roadway) for the FY2021 were Two Hundred Ninety-Three Thousand, Nine Hundred Forty-One Dollars (\$293,941), the Highest Since 2006.

Department had two (2) months (June and November) with revenues in excess of Forty-Two Thousand Dollars (\$42,000); in 2020, the Department had one (1) month (June) with revenues in excess of Forty Thousand Dollars (\$40,000); this was the first time monthly revenues had exceeded Forty Thousand Dollars (\$40,000) since the mid-2000s.

Kendall County's population increased to one hundred thirty-one thousand, eight hundred sixty-nine (131,869) in the 2020 Census, an increase of approximately fourteen point nine percent (14.9%) from the 2010 Census making Kendall County the fastest growing county in Illinois by percent change.

The Census stated that the population of the unincorporated area was twenty-four thousand, one hundred thirty-eight (24,138).

ZPAC Meeting Minutes 04.05.22

County Board approved the update to the Transportation Plan in Land Resource Management Plan to match the Long Range Transportation Plan.

County submitted the Notice of Intent for Renewal of General Permit for Discharges from Small Municipal Separate Storm Sewer Systems (MS4's).

WBK Engineering reviewed FEMA Floodplain Management Bulletin P-2140 Floodplain Management Requirements for Agricultural Structures and Accessory Structures and recommended no changes to Kendall County's Stormwater Management Ordinance.

County Board approved amendments to the Kendall County Stormwater Management Ordinance related to Bulletin 75.

Continued doing annual NPDES surveys to the townships.

Noxious weed related documents and notices drafted and approved by the County Board.

Soils information added to the GIS.

Planning, Building and Zoning Committee reaffirmed the Department's voluntary compliance policy in cases of ordinance violations.

Planning, Building and Zoning Committee held a special committee meeting in Boulder Hill.

Kendall County became a Certified Local Government.

County Board requested and the State approved the Certification of the Kendall County Historic Preservation Ordinance for the purposes of the Property Tax Freeze Assessment Program through the Illinois Department of Natural Resources.

Kendall County Historic Preservation Commission held a special meeting at Lyon Farm.

Submitted Certified Local Government Grant for historic structure survey in unincorporated Kendall and Bristol Townships.

Continued Historic Preservation Commission awards.

Senior Planner Assisted with the codification process.

Senior Planner drafted a letter to local legislators requesting that townships be allowed to apply for grants through the Abandoned Property Program if the Illinois Housing Development Authority offers grants in the future.

Reviewed future land uses along Eldamain Road from the Fox River to Route 71.

Reviewed future land uses along Route 47 in Kendall and Lisbon Townships.

Continued adjustments of departmental operations due to the COVID-19 pandemic, including the issuance of permits and the performance of inspections.

Code Compliance Official issued permits at the former CAT Property, ANR Pipeline, Go Pro Sports Dome, and Four Seasons Storage.

Code Compliance Official held a community event at Ace Hardware in Oswego.

Items for 2022 including the following:

Continue to assist with the codification process.

Continue to implement the citation policies for the various ordinances.

Work with the Village of Montgomery to ensure that information related to the former CAT property is transferred to the Village.

Assist with the historic structure survey in unincorporated Kendall and Bristol Townships if grant funding is approved.

Work with Kendall County EMA to pursue disaster related grants and other funding.

Continue to meet with townships regarding their role in the development approval process.

Work with WBK Engineering to review the County's stormwater regulations and recommend appropriate changes based on changes in Federal and State stormwater regulations.

Continue to monitor changes to zoning related regulations at the State level.

Continue to work with GIS to ensure correct zoning information for each parcel.

Continue to work with GIS to connect parcels to the applicable special use and map amendment ordinances.

Continue to work to ensure special use permits that require renewals and reviews are examined in a timely manner.

Ensure that noxious weed and NPDES Permit documents are submitted to the State in a timely manner.

Work with the Illinois Historic Preservation Agency and Historic Preservation Commission on Certified Local Government projects.

Increase the visibility and activities of the Historic Preservation Commission through collaboration with other historic preservation organizations and events.

Continue working with the Northwest Water Planning Alliance.

Participate with Implementation of CMAP's 'On To 2050 Plan' for the Chicago Region.

Continue reviewing and addressing potential changes to the Zoning Ordinance and departmental operations for increased efficiency.

There were eight (8) new special use permits.

There were two (2) major amendments to existing special use permits.

There were three (3) minor amendments to existing special use permits.

There was one (1) revocation of an existing special use permit.

There was one (1) special use permit renewal.

There were (4) variances not part of a special use permit.

There eight (8) administrative variances.

There was one (1) variance to the Stormwater Management Ordinance.

There were zero (0) conditional use permits.

There were zero (0) temporary use permits.

There were six (6) site plan reviews.

There zero (0) plats of vacation, preliminary plats, or final plats.

ZPAC Meeting Minutes 04.05.22

There were three (3) text amendments.

There were two (2) amendments to the Land Resource Management Plan.

There were nine (9) map amendments.

There was one (1) Stormwater Ordinance related amendment.

There were zero (0) amendments to the Historic Preservation Ordinance and zero (0) landmarks.

There was one (1) other for historic preservation, the tax freeze for historic properties.

There was one (1) building and zoning other, the amendment to the citation form.

There were fifty-one (51) petitions in 2021.

There were eleven (11) ZPAC meetings.

There were eleven (11) Regional Planning Commission meetings.

There were nine (9) Zoning Board of Appeals meetings.

There were twelve (12) Historic Preservation Commission meetings.

There was one (1) Stormwater Management Oversight Committee meeting.

There were six (6) Comprehensive Land Plan and Ordinance Committee meetings.

There were thirteen (13) Planning, Building and Zoning Committee meetings.

Of the thirty-five (35) ordinances approved by the County Board in 2021, nineteen (19) were Planning, Building and Zoning related. Of the twenty-six (26) ordinances approved by the County Board in 2020, thirteen (13) were Planning, Building and Zoning related. Of the thirty-nine (39) ordinances approved by the County Board in 2019, twenty-two (22) were Planning, Building and Zoning related.

The Department investigated zero (0) noxious weed violations in 2021 compared to zero (0) noxious weed violation investigation in 2020 and 2019.

There were thirty-two (32) single-family dwelling units permitted in 2021. The breakdowns by township and subdivision were provided.

The Code Officials conducted nine hundred eighty-three (983) field visits and inspections. A breakdown of inspections was provided.

The Code Officials reviewed and issued thirty hundred sixty-five (365) permits and ninety-six (96) plumbing inspections occurred.

The Code Official's goals for 2022 include:

Renew International Code Council Certifications.

Test and implement permit tracking site created by GIS.

Provide an education program during the Kendall County Fair.

Mr. Asselmeier noted that the Village of Oswego was considering annexing the Hide-A-Way Lakes Campground.

CORRESPONDENCE

None

PUBLIC COMMENT

None

ADJOURNMENT

Mr. Klaas made a motion, seconded by Mr. Rybski, to adjourn.

With a voice vote of six (6) ayes, the motion carried.

The ZPAC, at 9:27 a.m., adjourned.

Respectfully Submitted, Matthew H. Asselmeier, AICP, CFM Senior Planner



DEPARTMENT OF PLANNING, BUILDING & ZONING

111 West Fox Street • Room 203 Yorkville, IL • 60560 (630) 553-4141 Fax (630) 553-4179

Petition 22-10 Mark Fecht on Behalf of Fecht Brothers, Inc. and Jeremy and Samantha Dippold on Behalf of Best Budget Tree, LLC A-1 Special Use Permit for Landscaping Business

INTRODUCTION

Best Budget Tree, LLC would like to purchase the subject property from Fecht Brothers Inc. in order to operate a tree and landscaping business at the property.

Best Budget Tree, LLC has been in existence for over ten (10) years.

The application materials are included as Attachment 1. The site plan is included as Attachment 2. The landscaping plan is included as Attachment 3. The stormwater plans are included as Attachment 4. The renderings of the proposed building are included as Attachment 5.

SITE INFORMATION

PETITIONERS: Mark Fecht on Behalf of Fecht Brothers, Inc. (Property Owner) Jeremy and Samantha Dippold on Behalf of Best Budget Tree, LLC (Contract Purchaser)

- ADDRESS: None Assigned (Across Route 52 from 2190 and 2200 Route 52, Minooka)
- LOCATION: Approximately 0.1 Miles West of Arbeiter Road on the North Side of Route 52



TOWNSHIP: Seward

PARCEL #: 09-15-200-003

- LOT SIZE: 48.3 +/- Acres
- EXISTING LAND Agricultural USE:
 - ZONING: A-1

LRMP:	Future	Rural Residential (Max 0.65 DU/Acre) (County)	
	Land Use	Residential and Commercial (Shorewood)	
	Roads Route 52 is a State maintained Arterial.		
	Trails Joliet has a trail planned along Route 52, but Joliet does not w		
		right-of-way dedication at this time, see Attachment 6.	
	Floodplain/	There are no floodplains on the property. There is a wetland near	
	Wetlands	the northwest corner of the property.	

REQUESTED ACTION:

DN. Special Use Permit for a Landscaping Business

APPLICABLE	Section 7:01.D.30 – A-1 Special Uses
REGULATIONS:	Section 13:08 – Special Use Procedures

Location	Adjacent Land Use	Adjacent Zoning	Land Resource Management Plan	Zoning within ½ Mile
North	Agricultural	A-1	Rural Residential (Max 0.65 Du/Acre) (County)	A-1
			Residential (Joliet)	
South	Agricultural/Single- Family Residential	A-1	Rural Residential and Commercial (County)	A-1
			Residential and Commercial (Shorewood)	
East	Agricultural/Single Family-Residential	A-1 and R-3	Suburban Residential (Max 1.00 Du/Acre) (County)	A-1 and R-3
			Residential and Commercial (Shorewood)	
			Commercial	

SURROUNDING LAND USE

West	Agricultural	A-1	Rural Residential (County)	A-1, A-1 SU, and R-1
			Residential (Shorewood)	

The A-1 special use permit to the west is for the sale of agricultural products not grown on the premises.

PHYSICAL DATA

ENDANGERED SPECIES REPORT

EcoCAT Report was submitted on April 15, 2022, and indicated the following protected resources:

Aux Sable Creek INAI Site Greater Redhorse (Moxostoma valenciennesi)

The Illinois Department of Conservation determined that negative impacts were unlikely and consultation was terminated on April 18, 2022, see Attachment 1, Pages 25-28.

NATURAL RESOURCES INVENTORY

The application for NRI was submitted April 21, 2022, see Attachment 1, Page 30.

ACTION SUMMARY

SEWARD TOWNSHIP

Petition information was sent to Seward Township on April 25, 2022.

VILLAGE OF SHOREWOOD

Petition information was sent to the Village of Shorewood on April 25, 2022.

MINOOKA FIRE PROTECTION DISTRICT

Petition information was sent to the Minooka Fire Protection District on April 25, 2022.

GENERAL INFORMATION

Per Section 7:01.D.30 of the Kendall County Zoning Ordinance, landscaping businesses can be special uses on A-1 zoned property subject to the following conditions:

- 1. All vehicles, equipment and materials associated with a landscaping business shall be stored entirely within an enclosed structure, unless otherwise permitted under the terms of this Special Use Permit.
- 2. The business shall be located on, and have direct access to, a State, County or Collector Highway as identified in the County's LRMP, having an all-weather surface, designed to accommodate loads of at least seventy-three thousand, two hundred eighty pounds (73,280 lbs.), unless otherwise approved in writing by the agency having jurisdiction over said Highway. Such approvals shall establish limitations as to the number of employees and types of vehicles coming to and from the site that are engaged in the operation of the use (including delivery vehicles). These restrictions shall be included as controlling conditions of the Special Use.
- 3. No landscape waste generated off the property can be burned on this site.

If the County Board approves the outdoor storage of materials, the above conditions have been met.

BUSINESS OPERATIONS

According to the business plan found on pages 3 and 4 of Attachment 1, the business currently operates two (2) four (4) employee crews in April through October and one (1) four (4) employee crew in November through March. The Petitioners plan to hire four (4) additional employees, if business increases. Employees arrive at the property at approximately 7:30 a.m., go to work sites, and return to the property and leave to go home by between 3:30 p.m. and 4:00 p.m. Employees unload equipment and materials and leave between 4:30 p.m. and 5:00 p.m. The business operates on Monday through Fridays with an occasional Saturday.

ZPAC Memo – Prepared by Matt Asselmeier – April 25, 2022

Business equipment presently consists of two (2) bucket trucks, two (2) wood chippers, two (2) one (1) ton pickup trucks, two (2) utility trailers, two (2) spare pick-up trucks, and one (1) wheel leader tractor. When not in operation, the Petitioners plan to house vehicles and equipment inside the proposed approximately nine thousand six hundred (9,600) square foot building. Mulch and firewood piles would be placed on the gravel area as shown on the site plan and landscaping plan (Attachments 2 and 3) and would be piled a maximum twelve feet (12') in height. The Petitioners do not plan to store stone, brick, or rock at the property. Per the site plan (Attachment 2), the gravel area is approximately ten point five (10.5) acres in size. If there is a motor vehicle or equipment related leak, the area impacted gravel will be removed and replaced with clean gravel.

No retail services will be available at the property and retail customers will not be invited onto the property.

If approved, the Petitioners plan to start operations as quickly as possible.

BUILDINGS AND BUILDING CODES

One (1) approximately nine thousand six hundred (9,600) square foot building is proposed for the site in the location depicted on the site plan and landscaping plan (Attachments 2 and 3). The building will look substantially like the rendering provided in Attachment 5. The walls will be approximately sixteen feet (16') feet tall and the doors will be fourteen feet (14') in height. The peak of the building will be a maximum twenty-four feet (24').

Any structures related to the landscaping business would be required to obtain applicable building permits.

ENVIRONMENTAL HEALTH

No well or septic system presently exists on the property. No other utilities are located on the property.

One (1) ten foot by ten foot (10' X 10') dumpster enclosure was shown on the site plan and landscaping plan east of the vehicle parking area.

STORMWATER

The property drains to the south.

There is one (1) wetland located near the northwest corner of the property.

The site plan and landscaping plan (Attachments 2 and 3) show a proposed seventy-three thousand, nine hundred eighty-four (73,984) square foot wet bottom pond. At the deepest point, the pond will be sixteen feet (16') deep. The stormwater plan information is included as Attachment 4.

ACCESS

Per the site plan and landscaping plan (Attachments 2 and 3), the Petitioners plan to install one (1) thirty foot (30') wide gravel driveway. The driveway will be approximately forty-eight feet (48') from the western property line.

PARKING AND INTERNAL TRAFFIC CIRCULATION

According to site plan and landscaping plan (Attachments 2 and 3), the Petitioners plan to install two (2) parking areas. One (1) parking area is planned south of the building and the other parking area is planned west of the building. The total number of parking spaces is twenty-one (21) including one (1) handicapped accessible parking space.

EASEMENTS

Three (3) pipeline easements exist on the property.

LIGHTING

No existing lighting is located on the property. The Petitioners plan to install security lighting. No information was provided regarding lighting type or location.

SIGNAGE

According to the site plan and landscaping plan (Attachments 2 and 3), one (1) non-illuminated sign is proposed between the gravel driveway and the western property line. No information was provided regarding sign dimensions or height.

SECURITY

No security information was provided.

LANDSCAPING

The landscaping plan (Attachment 3) shows one hundred fifty (150) white pines along the perimeter of the property. The white pines will be three (3') feet at the time of planting and will grow to between fifty feet (50') and eighty feet (80'). Ten (10) deciduous trees are planned along the perimeter of the pond. The trees will be one and one half inches (1.5") at the time of planting. The landscaping plan also calls for a seed mix of Kentucky blue grass and turf type perennial grass around the pond and along the gravel driveway. Vegetation will be installed after the gravel and pond are installed.

The portion of the property not used for storage, building, driveway, or the pond will remain farmed. Most of the property will be farmed in 2022, which will delay the installation of the landscaping until 2023.

NOISE CONTROL

No information was provided regarding noise control.

ODORS

No new odors are foreseen by the proposed use.

RELATION TO OTHER SPECIAL USES

If approved, this would be the nineteenth (19th) special use permit for a landscaping business in unincorporated Kendall County.

FINDINGS OF FACT-SPECIAL USE PERMIT

§ 13:08.J of the Zoning Ordinance outlines findings that the Zoning Board of Appeals must make in order to recommend in favor of the applicant on special use permit applications. They are listed below in *italics*. Staff has provided findings in **bold** below based on the recommendation:

That the establishment, maintenance, or operation of the special use will not be detrimental to or endanger the public health, safety, morals, comfort, or general welfare. Provided the site is developed in accordance with the submitted site plan and landscaping plan, the operation of the special use will not be detrimental to the public health, safety, morals, comfort, or general welfare. Conditions may be placed in the special use permit ordinance to address hours of operation.

That the special use will not be substantially injurious to the use and enjoyment of other property in the immediate vicinity for the purposes already permitted, nor substantially diminish and impair property values within the neighborhood. The Zoning classification of property within the general area of the property in question shall be considered in determining consistency with this standard. The proposed use shall make adequate provisions for appropriate buffers, landscaping, fencing, lighting, building materials, open space and other improvements necessary to insure that the proposed use does not adversely impact adjacent uses and is compatible with the surrounding area and/or the County as a whole. Appropriate restrictions may be placed in the special use permit to regulate the number of employees, hours of operation, site landscaping, and noise. Therefore, the neighboring property owners should not suffer loss in property values and the use will not negatively impact the adjacent land uses.

That adequate utilities, access roads and points of ingress and egress, drainage, and/or other necessary facilities have been or are being provided. If a stormwater management permit is issued based on the submitted materials, drainage should not be an issue. If the Illinois Department of Transportation approves the access, ingress and egress should not be an issue. Utilities will need to be extended and/or installed on the property.

That the special use shall in all other respects conform to the applicable regulations of the district in which it is ZPAC Memo – Prepared by Matt Asselmeier – April 25, 2022 Page 5 of 8

located, except as such regulations may in each instance be modified by the County Board pursuant to the recommendation of the Zoning Board of Appeals. This is true. No variances are required.

That the special use is consistent with the purpose and objectives of the Land Resource Management Plan and other adopted County or municipal plans and policies. True, the proposed use is consistent with an objective found on Page 9-21 of the Kendall County Land Resource Management Plan which calls for "a strong base of agricultural, commercial and industrial uses that provide a broad range of job opportunities, a healthy tax base, and improved quality of services to County residents". Also, the Kendall County Future Land Use Map and the Village of Shorewood's Future Land Use Map call for commercial uses near the intersection of Route 52 and Arbeiter Road.

RECOMMENDATION

Staff recommends approval of the special use permit for a landscaping business subject to the following conditions and restrictions:

- 1. The site shall be developed substantially in accordance with the attached site plan (Attachment 2) and landscaping plan (Attachment 3).
- 2. The gravel area shown on the attached site plan (Attachment 2) and landscaping plan (Attachment 3) shall not exceed ten point five (10.5) acres in size. The owners of the business allowed by this special use permit may reduce the amount of acreage covered by gravel.
- 3. The owners of the businesses allowed by this special use permit shall diligently monitor the property for leaks from equipment and vehicles parked and stored and items stored on the subject property and shall promptly clean up the site if leaks occur.
- 4. One (1) approximately nine thousand six hundred (9,600) square foot building may be installed on the subject property in substantially the location shown on the site plan (Attachment 2). The building shall look substantially like the building depicted in the attached rendering (Attachment 5). The maximum height of the building shall be twenty-four feet (24').
- 5. Any new structures constructed or installed related to the business allowed by this special use permit on the property shall not be considered for agricultural purposes and must secure applicable building permits.
- 6. No business operations may commence at the subject property until an occupancy permit is issued for the building shown on the attached site plan (Attachment 2). No business operations may commence at the subject property until the parking stalls, dumpster enclosure, and wet bottom pond shown on the attached site plan (Attachment 2) are installed. Business operations may commence at the subject property prior to the installation of vegetation shown on the attached landscaping plan (Attachment 3).
- 7. Equipment and vehicles related to the business allowed by the special use permit may be stored outdoors at the subject property during the hours the business is open and shall be stored indoors during non-business hours.
- 8. None of the vehicles or equipment parked or stored on the subject property related to the business allowed by the special use permit shall be considered agricultural vehicles or agricultural equipment.
- 9. All of the vehicles and equipment stored on the subject property related to the business allowed by the special use permit shall be maintained in good condition with no deflated tires and shall be licensed if required by law.
- 10. All landscape related materials shall be stored indoors or on the gravel area depicted on the site plan (Attachment 2). The maximum height of the piles of landscaping related material shall be twelve feet (12') in height, unless otherwise restricted by a stormwater management permit. Stone, brick, and rock shall not be stored outdoors.
- 11. The size and depth of the wet bottom pond shall be governed by the stormwater management permit issued for the subject property.

- 12. One (1) two (2) sided non-illuminated sign may be installed on the location depicted on the attached site plan (Attachment 2).
- 13. One hundred fifty (150) white pines shall be installed in substantially the locations shown on the attached landscaping plan (Attachment 3). The white pines shall be a minimum of three feet (3') in height at the time of planting. The white pines shall be installed by June 30, 2023. Damaged or dead white pines shall be replaced on a timeframe approved by the Kendall County Planning, Building and Zoning Department. The Kendall County Planning, Building and Zoning Committee may grant an extension to the deadline to install the white pines.
- 14. Ten (10) deciduous trees shall be installed in substantially the locations shown on the attached landscaping plan (Attachment 3). The deciduous trees shall be a minimum one point five inches (1.5") in diameter at the time of planting. The deciduous trees shall be installed by June 30, 2023. Damaged or dead deciduous trees shall be replaced on a timeframe approved by the Kendall County Planning, Building and Zoning Department. The Kendall County Planning, Building and Zoning Committee may grant an extension to the deadline to install the deciduous trees.
- 15. The seed mix called for in the attached landscaping plan (Attachment 3) shall be installed by June 30, 2023. The Kendall County Planning, Building and Zoning Committee may grant an extension to the deadline to install the seed mix.
- 16. No landscape waste generated off the property can be burned on the subject property.
- 17. A maximum of twenty (20) employees of the business allowed by this special use permit, including the owners of the business allowed by this special use permit, may report to this site for work. No employees shall engage in the sale of landscaping related materials on the property.
- 18. No retail customers of the business allowed by this special use permit shall be invited onto the property by anyone associated with the use allowed by this special use permit.
- 19. The hours of operation of the business allowed by this special use permit shall be Monday through Saturday from 7:30 a.m. until 5:00 p.m. The owners of the business allowed by this special use permit may reduce these hours of operation.
- 20. The noise regulations are as follows:

Day Hours: No person shall cause or allow the emission of sound during daytime hours (7:00 A.M. to 10:00 P.M.) from any noise source to any receiving residential land which exceeds sixty-five (65) dBA when measured at any point within such receiving residential land, provided; however, that point of measurement shall be on the property line of the complainant.

Night Hours: No person shall cause or allow the emission of sound during nighttime hours (10:00 P.M. to 7:00 A.M.) from any noise source to any receiving residential land which exceeds fifty-five (55) dBA when measured at any point within such receiving residential land provided; however, that point of measurement shall be on the property line of the complainant.

EXEMPTION: Powered Equipment: Powered equipment, such as lawn mowers, small lawn and garden tools, riding tractors, and snow removal equipment which is necessary for the maintenance of property is exempted from the noise regulations between the hours of seven o'clock (7:00) A.M. and ten o'clock (10:00) P.M.

- 21. At least one (1) functioning fire extinguisher and one (1) first aid kit shall be on the subject property. Applicable signage stating the location of the fire extinguisher and first aid kit shall be placed on the subject property.
- 22. The owners of the business allowed by this special use permit acknowledge and agree to follow Kendall County's Right to Farm Clause.
- 23. The property owner and operator of the business allowed by this special use permit shall follow all

applicable Federal, State, and Local laws related to the operation of this type of business.

- 24. Failure to comply with one or more of the above conditions or restrictions could result in the amendment or revocation of the special use permit.
- 25. If one or more of the above conditions is declared invalid by a court of competent jurisdiction, the remaining conditions shall remain valid.
- 26. This special use permit shall be treated as a covenant running with the land and is binding on the successors, heirs, and assigns as to the same special use conducted on the property.

ATTACHMENTS

- 1. Application Materials (Including Petitioner's Findings of Fact, NRI Application, and EcoCat)
- 2. Site Plan
- 3. Landscaping Plan
- 4. Stormwater Plans
- 5. Building Renderings
- 6. April 21, 2022 Joliet Email

Attachment 1, Page 1 **DEPARTMENT OF PLANNING, BUILDING & ZONING** 111 West Fox Street

Yorkville, IL

60560 (630) 553-4141 Fax (630) 553-4179 APPLICATION PROJECT NAME Best Budget Tree Site Plan FILE #: NAME OF APPLICANT Best Budget Tree Service - Jeremy & Samantha Dippold CURRENT LANDOWNER/NAME(s) Fecht Brothers, Inc. SITE INFORMATION SITE ADDRESS OR LOCATION ACRES ASSESSOR'S ID NUMBER (PIN) 48.59 2195 US Highway 52, Minooka, IL 09-15-200-003 EXISTING LAND USE CURRENT ZONING LAND CLASSIFICATION ON LRMP AG A1 REQUESTED ACTION (Check All That Apply): X SPECIAL USE MAP AMENDMENT (Rezone to ____) ____ VARIANCE A-1 CONDITIONAL USE for:______ SITE PLAN REVIEW ADMINISTRATIVE VARIANCE TEXT AMENDMENT ____ RPD (___Concept; ___ Preliminary; ___ Final) ____ ADMINISTRATIVE APPEAL PRELIMINARY PLAT FINAL PLAT OTHER PLAT (Vacation, Dedication, etc.) AMENDMENT TO A SPECIAL USE (Major: Minor) ¹PRIMARY CONTACT PRIMARY CONTACT MAILING ADDRESS PRIMARY CONTACT EMAIL bestbudgettree@yahoo.com 22419 W Renwick Rd, Plainfield, IL 60544 Jeremy Dippold PRIMARY CONTACT OTHER #(Cell, etc.) PRIMARY CONTACT PHONE # PRIMARY CONTACT FAX # 815-685-2444 ENGINEER MAILING ADDRESS ENGINEER EMAIL ²ENGINEER CONTACT info@tebruggeengineering.com John Tebrugge 410 E Church St, Ste A, Sandwich, IL 60548 **ENGINEER PHONE #** ENGINEER OTHER # (Cell, etc.) ENGINEER FAX # 815-786-0195 I UNDERSTAND THAT BY SIGNING THIS FORM, THAT THE PROPERTY IN QUESTION MAY BE VISITED BY COUNTY STAFF & BOARD/ COMMISSION MEMBERS THROUGHOUT THE PETITION PROCESS AND THAT THE PRIMARY CONTACT LISTED ABOVE WILL BE SUBJECT TO ALL CORRESPONDANCE ISSUED BY THE COUNTY. I CERTIFY THAT THE INFORMATION AND EXHIBITS SUBMITTED ARE TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND THAT I AM TO FILE THIS APPLICATION AND ACT ON BEHALF OF THE ABOVE SIGNATURES. SIGNATURE OF APPLICANT DATE 4-19-71 FEE PAID:\$1/ CHECK #: \()

¹Primary Contact will receive all correspondence from County

²Engineering Contact will receive all correspondence from the County's Engineering Consultants

×

FECHT BROTHERS, INC. 1708 Albert Hall Court Naperville, IL 60564

April 18, 2022

Kendall County Planning, Building & Zoning Department Attn: Matt Asselmeier, Senior Planner 111 West Fox Street Yorkville, IL 60560

Re: Special Use Permit Application

To the Kendall County Planning, Building & Zoning Department:

Fecht Brothers, Inc. is the current owner of the property located at 48 US Highway 52, Minooka, Kendall County, IL 60447 (the "Property"). Fecht Brothers, Inc. is under contract to sell the Property to Jeremy and Samantha Dippold ("Dippolds"). It is our understanding that the Dippolds are seeking a special use permit to the Property's zoning. Fecht Brothers, Inc. supports and approves the Dippold's application for a special use permit for a landscaping company.

Please find the enclosed title policy dated March 7, 2022 from Fidelity National Title Insurance Company referencing our ownership and the Dippolds as the proposed insured.

Thank you for the opportunity to be of assistance.

Sincerely,

Print Name: Mark Fecht Sec. (sign)

Fecht Brothers, Inc.

Proposed Use and Business Plan

The Petitioners are requesting a special use permit to operate a landscaping company at the Property. The Petitioners have operated Best Budget Tree Service, LLC for over ten years. The primary purpose of the landscaping company is the removal of trees, processing mulch, spreading mulch and processing trees into firewood for delivery to customers.

A. Employees:

The Petitioners operate the following crews during the following months:

April through October

There are two crews (4 employees each) that cut down and remove trees. Additionally, there is a full-time employee who maintains the property grounds and processes the tree branches into firewood. In addition, the Petitioners also work for the landscaping company.

November through March

There is one crew (4 employees) that cut down and remove trees. Additionally, there is a full-time employee who maintains the property grounds and processes the tree branches into firewood. In addition, the Petitioners also work for the landscaping company.

There are currently no plans to hire additional employees at this time. However, if the demand for their landscaping services should increase in the future, the Petitioners would likely hire and form a third crew (4 employees each).

B. Hours of Operation:

The Petitioners will operate between the hours of 8:00am to 4:30pm Monday through Friday. On some occasions, the crew will run their operations on Saturday. Employees usually arrive onsite by 7:30am, load the equipment and materials, get the day's schedule and are on the road by 8:00am. Employees typically arrive back at the Property approximately 3:30-4:00pm. The employees unload all equipment, unload branches, mulch, firewood into the appropriate areas, clean and maintain the work vehicles and leave between 4:30"5:00pm.

If approved, the Petitioners plan to start operations upon a successful purchase and closing of the property.

C. Vehicles in Use:

The Petitioners own and utilize the following vehicles: 2 bucket trucks, 2 wood chippers, 2 oneton pick-up trucks, 2 utility trailers, 2 spare pick-up trucks, and 1 wheel leader tractor.

D. Improvements:

The Petitioners plan on building a metal building to house the vehicles and equipment as well as their general office. The Petitioners plan to store the processed mulch and firewood in large areas in the rear of the site to keep everything organized and clean. Mulch and firewood piles would be about 12' in height.

E. Materials:

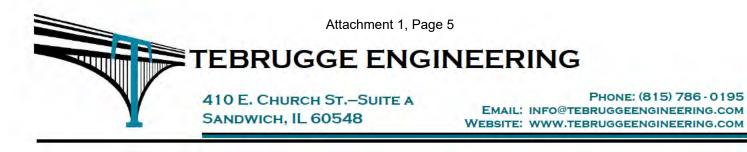
The Petitioners only plan to store branches, mulch and firewood on the Property and to deliver to the customer. The Petitioners do not store stone, brick or rock.

F. Site Plan:

The Petitioners shall develop the property in accordance with the Site Plan submitted with the Application.

G. Not Retail

The Petitioners do not intend this landscaping business to be open to the public for retail purchases. The Property will be used to house the business operations, equipment and materials.



April 18, 2022

Mr. Matt Asselmeier Kendall County Planning, Building and Zoning Department 111 W Fox St Room 204 Yorkville, IL 60560-1498

Re: Best Budget Tree Site Plan 2195 US Highway 52 Minooka, IL

Dear Mr. Asselmeier,

We have received your email dated April 18, 2022, and have the following comments / corrections.

- How far from the western property will the gravel driveway be located? Response: The drive will be 48' from the western property line and the parking area will be 30'. Additional dimensions will be added.
- 2. Would they have any objections to setting the maximum number of employees at 20, including the owners of the business allowed by the special use permit?
 - Response: No objections, there are not more than 20 employees currently.
- 3. Who actually owns the property? Do Fecht Brothers own the property? Response: The current owners are Fecht Brothers but Best Budget Tree is in the process of purchasing and within their due diligence period currently.
- 4. The business plan mentions having several stalls to house landscaping materials. Do you have a description of these stalls (i.e. height, width, etc.)?

Response: There will not be stalls for material storage. Mulch and firewood stockpiles are too wide for stalls to be utilized.

- 5. Please add the location of the stalls to a site plan or landscaping plan. Response: No stalls are proposed.
- 6. What is the maximum height of the materials that will be placed inside the stalls? Response: Approximately 12' height of stockpiles
- 7. Are there any structures presently located on the property?

Response: There are no structures on the property, currently it is farmed land only.

8. Are there any structures located on adjacent properties within 100 feet of the property line of this property?

Response: There are barns located within the 100' adjacent to the east of the site, these have been located on the plans.

9. Are there any utilities presently located on the property?

Response: There are no utilities on the site.

10. Other than the pipeline easements, are there any other easements located on the property?

Response: No other easements are located on the plat for the property.

11. Does the existing easements for the pipelines allow non-agricultural vehicles to cross the easements? Do the pipelines have any objections to having this use going over their easements?

Response: Currently the pipelines run under US Highway 52. We will maintain the existing cover over the pipelines

12. The Kendall County GIS shows a wetland on the northwest corner of the property. Could that be added to the landscaping plan or site plan?

Response: The approximate wetlands have been added to the property per the Kendall County GIS.

13. Please provide the present zoning classifications and PINs for the subject property and adjacent properties. This information could be added to a site plan or landscaping plan or provided on a separate sheet.

Response: The PINS, property owners and current zoning has been added to the Final Plan.

14. The civil plans reference the Kane County GIS. Did you use the Kane County information or the Kendall County information?

Response: The Kendall County 2' contour map was used, this has been corrected on the plan set. A topographic survey will be conducted when conditions allow.

15. There was also some language regarding drains connecting to the sanitary sewer. Is this information correct?

Response: This might be in our standard notes. No sanitary sewer lines are in the area, this site will utilize septic and well.

16. What are the dimensions of the pond?

Response: The pond dimensions are 272' X 272'. This has been added to the plan.

17. How deep will the pond be?

Response: The pond will be 16' deep total. There is a 10' deep area for fish per the ordinance. The underwater contours have been dashed to show the wet bottom area.

18. Do the Petitioners plan to install signage on the property? If yes, please add this information to the site plan or landscaping plan.

Response: Yes, a standard sign located outside of the pipeline easement on US Highyway 52, the location has been added to the plan. It will not be a lit up sign and no electric will go to it.

19. Do the Petitioners plan to install lights on the property? If yes, please state where the new lights will be located.

Response: The only lights on the property will be wall packs on the building.

20. Will there be an outdoor refuse area? If yes, please add this information to the site plan or landscaping plan.

Response: A fenced area for a small dumpster has been added to the plans.

21. The landscaping plan references a seed mix of Kentucky blue grass and turf type perennials. Where will these be planted on the property? Could the locations of these plantings be added to the landscaping plan? Response: The mesic prairie mix will be in the detention pond. There is a note

Response: The mesic prairie mix will be in the detention pond. There is a note located on sheet 2 of the landscape plan. All areas outside the improvements will continue to be farmed.

22. How tall will the Colorado blue spruce be at full growth?

Response: The owner has requested White Pines instead and the height fully grown would be 50'-80'

- 23. What is the timeline for planting the vegetation referenced in the landscaping plan? Response: The tree plantings will happen after the detention pond and gravel area is constructed.
- 24. How tall will the 80 x 120 building be? Response: 16' walls and 14' doors.

If you have any additional questions, please contact us.

Sincerely,

Tebrugge Engineering

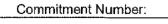
John Tebrugge

LEGAL DESCRIPTION

THE EAST HALF OF THE NORTHEAST QUARTER OF SECTION 15, TOWNSHIP 35 NORTH, RANGE 8 EAST OF THE THIRD PRINCIPAL MERIDIAN, (EXCEPT THE NORTH 1043.62 FEET OF THE EAST 417.40 FEET THEREOF AND ALSO EXCEPT THE SOUTH 417.42 FEET OF THE EAST 417.42 FEET THEREOF, AND ALSO EXCEPT THAT PART OF THE EAST 417.40 FEET LYING NORTH OF THE NORTH LINE OF THE SOUTH 417.42 FEET AND LYING SOUTH OF THE SOUTH LINE OF THE NORTH 1109.62 FEET THEREOF, AND ALSO EXCEPT THE WEST 402 FEET OF THE EAST 819.42 FEET OF THE SOUTH 417.42 FEET THEREOF, AND ALSO EXCEPT THE WEST 402.02 FEET OF THE SOUTH 417.42 FEET OF THE NORTH 341.07 FEET OF THE SOUTH 758.49 FEET THEREOF), IN THE TOWNSHIP OF SEWARD, IN KENDALL COUNTY, ILLINOIS.

ALTA COMMITMENT FOR TITLE INSURANCE





NOTICE

IMPORTANT - READ CAREFULLY: THIS COMMITMENT IS AN OFFER TO ISSUE ONE OR MORE TITLE INSURANCE POLICIES. ALL CLAIMS OR REMEDIES SOUGHT AGAINST THE COMPANY INVOLVING THE CONTENT OF THIS COMMITMENT OR THE POLICY MUST BE BASED SOLELY IN CONTRACT.

THIS COMMITMENT IS NOT AN ABSTRACT OF TITLE, REPORT OF THE CONDITION OF TITLE, LEGAL OPINION, OPINION OF TITLE, OR OTHER REPRESENTATION OF THE STATUS OF TITLE. THE PROCEDURES USED BY THE COMPANY TO DETERMINE INSURABILITY OF THE TITLE. INCLUDING ANY SEARCH AND EXAMINATION. ARE PROPRIETARY TO THE COMPANY, WERE PERFORMED SOLELY FOR THE BENEFIT OF THE COMPANY, AND CREATE NO EXTRACONTRACTUAL LIABILITY TO ANY PERSON, INCLUDING A PROPOSED INSURED.

THE COMPANY'S OBLIGATION UNDER THIS COMMITMENT IS TO ISSUE A POLICY TO A PROPOSED INSURED IDENTIFIED IN SCHEDULE A IN ACCORDANCE WITH THE TERMS AND PROVISIONS OF THIS COMMITMENT. THE COMPANY HAS NO LIABILITY OR OBLIGATION INVOLVING THE CONTENT OF THIS COMMITMENT TO ANY OTHER PERSON.

COMMITMENT TO ISSUE POLICY

Subject to the Notice; Schedule B, Part I-Requirements; Schedule B, Part II-Exceptions; and the Commitment Conditions, Fidelity National Title Insurance Company, a Florida corporation (the "Company"), commits to issue the Policy according to the terms and provisions of this Commitment. This Commitment is effective as of the Commitment Date shown in Schedule A for each Policy described in Schedule A, only when the Company has entered in Schedule A both the specified dollar amount as the Proposed Policy Amount and the name of the Proposed Insured.

If all of the Schedule B, Part I-Requirements have not been met within one hundred eighty (180) days after the Commitment Date, this Commitment terminates and the Company's liability and obligation end.

By: Michael J. Nolan, President Attest:

Fidelity National Title Insurance Company

Marjorie Nemzura, Secretary

This page is only a part of a 2016 ALTA® Commitment for Title Insurance issued by Fidelity National Title Insurance Company. This Commitment is not valid without the Notice, the Commitment to Issue Policy; the Commitment Conditions; Schedule A; Schedule B, Part I-Requirements; Schedule B, Part II-Exceptions; and a counter-signature by the Company or its issuing agent that may be in electronic form.

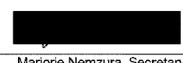
Copyright American Land Title Association. All rights reserved.

The use of this Form (or any derivative thereof) is restricted to ALTA licensees and ALTA members in good standing as of the date of use. All other uses are prohibited. Reprinted under license from the American Land Title Association.



Countersigned By:

Authorized Officer or Agent



FIDELITY NATIONAL TITLE INSURANCE COMPANY

COMMITMENT

Transaction Identification Data for reference only:

ORIGINATING OFFICE:	FOR SETTLEMENT INQUIRIES, CONTACT:
Fidelity National Title Company, LLC	Fidelity National Title Company, LLC
674 Veterans Pkwy, Unit C	674 Veterans Pkwy, Unit C
Yorkville, IL 60560	Yorkville, IL 60560
Main Phone: (630)553-3041	Main Phone: (630)553-3041 Main Fax: (630)553-3047
Email: ilyorkville@fnf.com	

Name and Address of Title Insurance Agent: John Robert Felton

John Robert Felton 2804 Breckenridge Circle Aurora, IL 60504

Order Number:

Property Ref.: 48 US Highway 52, Minooka, IL 60447

SCHEDULE A

- 1. Commitment Date: March 7, 2022
- 2. Policy to be issued:
 - (a) ALTA Owner's Policy 2006
 Proposed Insured: Jeremy Dippold and Samantha Dippold
 Proposed Policy Amount: \$607,425.00
 - (b) ALTA Loan Policy 2006 Proposed Insured:
 Lender with a contractual obligation under a loan agreement with the Proposed Insured for an Owner's Policy, its successors and/or assigns as their respective interests may appear
 Proposed Policy Amount:
 \$485,940.00
- 3. The estate or interest in the Land described or referred to in this Commitment is:

Fee Simple

4. The Title is, at the Commitment Date, vested in:

Fecht Brothers, Inc.

5. The Land is described as follows:

SEE EXHIBIT "A" ATTACHED HERETO AND MADE A PART HEREOF

END OF SCHEDULE A

This page is only a part of a 2016 ALTA® Commitment for Title Insurance issued by Fidelity National Title Insurance Company. This Commitment is not valid without the Notice; the Commitment to Issue Policy; the Commitment Conditions; Schedule A; Schedule B, Part I-Requirements; Schedule B, Part II-Exceptions; and a counter-signature by the Company or its issuing agent that may be in electronic form.

Copyright American Land Title Association. All rights reserved.

The use of this Form (or any derivative thereof) is restricted to ALTA licensees and ALTA members in good standing as of the date of use. All other uses are prohibited. Reprinted under license from the American Land Title Association. ALTA Commitment for Title Insurance (08/01/2016)



Attachment 1, Page 11 **EXHIBIT "A"** Legal Description

The East 1/2 of the Northeast 1/4 of Section 15, Township 35 North, Range 8 East of the Third Principal Meridian, (except the North 1043.62 feet of the East 417.40 feet thereof and also except the South 417.42 feet of the East 417.42 feet thereof, and also except that part of the East 417.40 feet lying North of the North Line of the South 417.42 feet and lying South of the South Line of the North 1109.62 feet thereof and also except the West 402 feet of the East 819.42 feet of the South 417.42 feet thereof and also except the West 402.02 feet of the East 819.42 feet of the South 341.07 feet of the South 758.49 feet thereof), in the Township of seward, in Kendall County, Illinois.

This page is only a part of a 2016 ALTA® Commitment for Title Insurance issued by Fidelity National Title Insurance Company. This Commitment is not valid without the Notice; the Commitment to Issue Policy; the Commitment Conditions; Schedule A; Schedule B, Part I-Requirements; Schedule B, Part II-Exceptions; and a counter-signature by the Company or its issuing agent that may be in electronic form.

Copyright American Land Title Association. All rights reserved.

The use of this Form (or any derivative thereof) is restricted to ALTA licensees and ALTA members in good standing as of the date of use. All other uses are prohibited. Reprinted under license from the American Land Title Association.

AMERICAN LAND TITLE ASSOCIATION

FIDELITY NATIONAL TITLE INSURANCE COMPANY

Name and Address of Title Insurance Agent: John Robert Felton 2804 Breckenridge Circle Aurora, IL 60504

SCHEDULE B, PART I REQUIREMENTS

All of the following Requirements must be met:

- 1. The Proposed Insured must notify the Company in writing of the name of any party not referred to in this Commitment who will obtain an interest in the Land or who will make a loan on the Land. The Company may then make additional Requirements or Exceptions.
- 2. Pay the agreed amount for the estate or interest to be insured.
- 3. Pay the premiums, fees, and charges for the Policy to the Company.
- 4. Documents satisfactory to the Company that convey the Title or create the Mortgage to be insured, or both, must be properly authorized, executed, delivered, and recorded in the Public Records.
- 5. The "Good Funds" section of the Title Insurance Act (215 ILCS 155/26) is effective January 1, 2010. This Act places limitations upon our ability to accept certain types of deposits into escrow. Please contact your local Fidelity National Title office regarding the application of this new law to your transaction.
- 6. Payment of real estate taxes affecting the land that may be due or payable prior to closing (or as may be required by a lender to be insured). Schedule B tax exception will be amended accordingly based on a later date search and payment as noted herein.
- 7. For all mortgages and liens referenced below, we should be furnished with proper payoff figures, authorizations, funds and documents sufficient to pay off and release said liens at or prior to closing.
- 8. We should be furnished a properly executed ALTA statement and, unless the land insured is a condominium unit, a survey if available. Matters disclosed by the above documentation will be shown specifically.
- 9. Effective June 1, 2009, pursuant to Public Act 95-988, satisfactory evidence of identification must be presented for the notarization of any and all documents notarized by an Illinois notary public. Satisfactory identification documents are documents that are valid at the time of the notarial act; are issued by a state or federal government agency; bear the photographic image of the individual's face; and bear the individual's signature.
- 10. Notice: Please be aware that due to the conflict between federal and state laws concerning the cultivation, distribution, manufacture or sale of marijuana, the Company is not able to close or insure any transaction involving Land that is associated with these activities.
- 11. The Company should be provided a statement from the borrower(s) relative to any mortgage identified in Schedule B disclosing whether the borrower(s) have entered into any forbearance or loan modification agreement with the lender relative to delayed or postponed payments or other restructuring of the debt secured by the mortgage.
- 12. A mortgage to secure an indebtedness as shown below Amount: \$500,000.00 Dated: March 30, 2020

This page is only a part of a 2016 ALTA® Commitment for Title Insurance issued by Fidelity National Title Insurance Company. This Commitment is not valid without the Notice; the Commitment to Issue Policy; the Commitment Conditions; Schedule A; Schedule B, Part I-Requirements; Schedule B, Part II-Exceptions; and a counter-signature by the Company or its issuing agent that may be in electronic form.

Copyright American Land Title Association. All rights reserved.

The use of this Form (or any derivative thereof) is restricted to ALTA licensees and ALTA members in good standing as of the date of use. All other uses are prohibited. Reprinted under license from the American Land Title Association.



FIDELITY NATIONAL TITLE INSURANCE COMPANY

SCHEDULE B, PART I REQUIREMENTS

(continued)

Mortgagor:Fecht Brothers, Inc.Mortgagee:Compeer Financial, PCARecording Date:April 9, 2020Recording No:20200005551

(Affects land and other property)

13. The Company will require the following documents for review prior to the issuance of any title insurance predicated upon a conveyance or encumbrance by the corporation named below:

Name of Corporation: Fecht Brothers, Inc.

- a) A Copy of the corporation By-laws and Articles of Incorporation
- b) An original or certified copy of a resolution authorizing the transaction contemplated herein
- c) If the Articles and/or By-laws require approval by a 'parent' organization, a copy of the Articles and By-laws of the parent
- d) A current dated certificate of good standing from the proper governmental authority of the state in which the entity was created

The Company reserves the right to add additional items or make further requirements after review of the requested documentation.

- 14. The Company should be furnished a statement that there is no property manager employed to manage the Land, or, in the alternative, a final lien waiver from any such property manager.
- 15. The Land described in Schedule A either is unsubdivided property or constitutes part of a subdivided lot. As a result, a Plat Act Affidavit should accompany any conveyance to be recorded. In the alternative, compliance should be had with the provisions of the Plat Act (765 ILCS 205/1 et seq.)
- 16. For each policy to be issued as identified in Schedule A, Item 2; the Company shall not be liable under this commitment until it receives a designation for a Proposed Insured, acceptable to the Company. As provided in Commitment Condition 4, the Company may amend this commitment to add, among other things, additional exceptions or requirements after the designation of the Proposed Insured.
- 17. The Company will require a survey of the subject Land, which is in compliance with minimum technical standards, prepared by a duly registered and licensed surveyor. If the owner of the Land the subject of this transaction is in possession of a survey, the Company will require that said survey be submitted for review and approval; otherwise, a new survey, satisfactory to the Company, must be submitted to the Company for examination. In order to prevent delays, please furnish the survey at least 10 days prior to the close of this transaction.

If an existing survey is to be relied upon, an affidavit from the seller(s)/mortgagor(s) must be furnished to the Company stating that no improvements have been made on the Land the subject of this transaction or adjacent

This page is only a part of a 2016 ALTA® Commitment for Title Insurance Issued by Fidelity National Title Insurance Company. This Commitment is not valid without the Notice; the Commitment to Issue Policy; the Commitment Conditions; Schedule A; Schedule B, Part I-Requirements; Schedule B, Part II-Exceptions; and a counter-signature by the Company or its issuing agent that may be in electronic form.

Copyright American Land Title Association. All rights reserved.

The use of this Form (or any derivative thereof) is restricted to ALTA licensees and ALTA members in good standing as of the date of use. All other uses are prohibited. Reprinted under license from the American Land Title Association.

SCHEDULE B, PART I REQUIREMENTS

(continued)

thereto subsequent to the survey presented to the Company.

The Company reserves the right to add additional items or make further requirements after review of the requested documentation.

18. Note for Information regarding endorsement requests:

All endorsements requests should be made prior to closing to allow ample time for the Company to examine required documentation.

END OF SCHEDULE B, PART I

This page is only a part of a 2016 ALTA® Commitment for Title Insurance issued by Fidelity National Title Insurance Company. This Commitment is not valid without the Notice; the Commitment to Issue Policy; the Commitment Conditions; Schedule A; Schedule B, Part I-Requirements; Schedule B, Part II-Exceptions; and a counter-signature by the Company or its issuing agent that may be in electronic form.

Copyright American Land Title Association. All rights reserved.

The use of this Form (or any derivative thereof) is restricted to ALTA licensees and ALTA members in good standing as of the date of use. All other uses are prohibited. Reprinted under license from the American Land Title Association.

ALTA Commitment for Title Insurance (08/01/2016)

FIDELITY NATIONAL TITLE INSURANCE COMPANY

Name and Address of Title Insurance Agent: John Robert Felton

John Robert Felton 2804 Breckenridge Circle Aurora, IL 60504

SCHEDULE B, PART II EXCEPTIONS

THIS COMMITMENT DOES NOT REPUBLISH ANY COVENANT, CONDITION, RESTRICTION, OR LIMITATION CONTAINED IN ANY DOCUMENT REFERRED TO IN THIS COMMITMENT TO THE EXTENT THAT THE SPECIFIC COVENANT, CONDITION, RESTRICTION, OR LIMITATION VIOLATES STATE OR FEDERAL LAW BASED ON RACE, COLOR, RELIGION, SEX, SEXUAL ORIENTATION, GENDER IDENTITY, HANDICAP, FAMILIAL STATUS, OR NATIONAL ORIGIN.

The Policy will not insure against loss or damage resulting from the terms and provisions of any lease or easement identified in Schedule A, and will include the following Exceptions unless cleared to the satisfaction of the Company:

GENERAL EXCEPTIONS

- 1. Rights or claims of parties in possession not shown by Public Records.
- 2. Any encroachment, encumbrance, violation, variation, or adverse circumstance affecting the title that would be disclosed by an accurate and complete land survey of the Land.
- 3. Easements, or claims of easements, not shown by the Public Records.
- 4. Any lien, or right to a lien, for services, labor or material heretofore or hereafter furnished, imposed by law and not shown by the Public Records.
- 5. Taxes or special assessments which are not shown as existing liens by the Public Records.
- Any defect, lien, encumbrance, adverse claim, or other matter that appears for the first time in the Public Records or is created, attaches, or is disclosed between the Commitment Date and the date on which all of the Schedule B, Part I—Requirements are met.
- A 7. Taxes for the years 2021 and 2022.

Taxes for the years 2021 and 2022 are not yet due or payable.

Permanent Tax No.: 09-15-200-003-0000

Note: Taxes for the year 2020 amounting to \$1,357.62 are paid of record.

- H 8. Existing unrecorded leases and all rights thereunder of the lessees and of any person or party claiming by, through or under the lessees.
- B 9. Rights of Way for drainage tiles, ditches, feeders, laterals and underground pipes, if any.

This page is only a part of a 2016 ALTA® Commitment for Title Insurance issued by Fidelity National Title Insurance Company. This Commitment is not valid without the Notice; the Commitment to Issue Policy; the Commitment Conditions; Schedule A; Schedule B, Part I-Requirements; Schedule B, Part II-Exceptions; and a counter-signature by the Company or its issuing agent that may be in electronic form.

Copyright American Land Title Association. All rights reserved.

The use of this Form (or any derivative thereof) is restricted to ALTA licensees and ALTA members in good standing as of the date of use. All other uses are prohibited. Reprinted under license from the American Land Title Association.



FIDELITY NATIONAL TITLE INSURANCE COMPANY

COMMITMENT NO. 1

SCHEDULE B, PART II EXCEPTIONS

- (continued)
- C 10. Rights of the public, the State of Illinois and the municipality in and to that part of the Land, if any, taken or used for road purposes, including, but not limted to that part thereof falling within Route 52 and that part thereof falling within Arbeiter Road.
- D 11. Easement in favor of the Commonwealth Edison Company, and its/their respective successors and assigns, to install, operate and maintain all equipment necessary for the purpose of serving the Land and other property, together with the right of access to said equipment, and the provisions relating thereto contained in the grant recorded/filed as Document No. 81-3521, affecting that part of the Land falling within the road on the Southerly line.
- E 12. Grant dated July 23, 1949 and recorded August 29, 1949 in book 107 of deeds, page 62 made by Clifford Findlay and Dortha Findlay, his wife to Michigan-Wisconsin Pipeline Company, a Delaware, Corporation, its successors and/or assigns, of the right to lay, maintain, operate and remove a pipe line for the transporation of oil, gas, petroleum or any of its products with the right of ingress and egress to and from the same, on, over and through a strip of Land 75 feet in width extending in a Southeasterly direction across the Southwest 1/4 of the Land, and a grant dated February 4, 1960 and recorded February 29, 1960 for a new pipe line to be constructed two feet below the existing tile or at the same depth of the presently existing pipe line.
- F 13. Easement in favor of Lakehead Pipe Line Company for the purpose of an exclusive right-of-way and perpetual easement to construct, operate, maintain, inspect (including aerial patrol), remove, abandon in place, replace and reconstruct a pipeline, together with valves, fittings, protective apparatus and all other equipment and appurtenances, as may be convenient in connection therewith for the transporation of crude petroleum and any product, by-product and derivatieves thereof, whether liquid or gaseous, or any material or substance which can be conveyed through a pipeline on, over under and across a strip of Land, recorded/filed June 12, 1998 as Document No. 9807782, and the terms and provisions contained therein. See Document for exact location.
- G 14. Easement in favor of Guardian pipeline, LLC for the purpose of an exclusive perpetual easement in, through, upon and over a strip of Land 50 feet in width to lay, construct, test, operate, inspect, maintain, patrol, replace, repair, reconstruct, alter, relocate, enlarge and remove a pipeline with any associated valves, connections and appurtenances for the transmission of gas and associated condensates in, through, upon and over said Strip of Land, together with the right of ingress and egress to said Strip of Land at convenient points recorded/filed June 21, 2002 as Document No. 200200014405, and the terms and provisions contained therein. See Document for exact location.
- I 15. Note: The only conveyance(s) affecting said Land recorded within 24 months of the date of this commitment are as follows:

Grantor:Alan Leupold, as Trustee under Trust Agreement dated June 22, 2006 and known asthe Wayne LeupoldRevocable TrustGrantee:Fecht Brothers, Inc.Recording Date:May 2, 2011Recording No:201100007151

This page is only a part of a 2016 ALTA® Commitment for Title Insurance issued by Fidelity National Title Insurance Company. This Commitment is not valid without the Notice; the Commitment to Issue Policy; the Commitment Conditions; Schedule A; Schedule B, Part I-Requirements; Schedule B, Part II-Exceptions; and a counter-signature by the Company or its issuing agent that may be in electronic form.

Copyright American Land Title Association. All rights reserved.

ALTA Commitment for Title Insurance (08/01/2016)

The use of this Form (or any derivative thereof) is restricted to ALTA licensees and ALTA members in good standing as of the date of use. All other uses are prohibited. Reprinted under license from the American Land Title Association.



Attachment 1, Page 17

FIDELITY NATIONAL TITLE INSURANCE COMPANY

COMMITMENT NO. Y

SCHEDULE B, PART II EXCEPTIONS (continued)

END OF SCHEDULE B, PART II

This page is only a part of a 2016 ALTA® Commitment for Title Insurance issued by Fidelity National Title Insurance Company. This Commitment is not valid without the Notice; the Commitment to Issue Policy; the Commitment Conditions; Schedule A; Schedule B, Part I-Requirements; Schedule B, Part II-Exceptions; and a counter-signature by the Company or its issuing agent that may be in electronic form.

Copyright American Land Title Association. All rights reserved.

The use of this Form (or any derivative thereof) is restricted to ALTA licensees and ALTA members in good standing as of the date of use. All other uses are prohibited. Reprinted under license from the American Land Title Association.

AMERICAN LAND TITSI Association

FIDELITY NATIONAL TITLE INSURANCE COMPANY

COMMITMENT CONDITIONS

1. DEFINITIONS

- (a) "Knowledge" or "Known": Actual or imputed knowledge, but not constructive notice imparted by the Public Records.
- (b) "Land": The land described in Schedule A and affixed improvements that by law constitute real property. The term "Land" does not include any property beyond the lines of the area described in Schedule A, nor any right, title, interest, estate, or easement in abutting streets, roads, avenues, alleys, lanes, ways, or waterways, but this does not modify or limit the extent that a right of access to and from the Land is to be insured by the Policy.
- (c) "Mortgage": A mortgage, deed of trust, or other security instrument, including one evidenced by electronic means authorized by law.
- (d) "Policy": Each contract of title insurance, in a form adopted by the American Land Title Association, issued or to be issued by the Company pursuant to this Commitment.
- (e) "Proposed Insured": Each person identified in Schedule A as the Proposed Insured of each Policy to be issued pursuant to this Commitment.
- (f) "Proposed Policy Amount": Each dollar amount specified in Schedule A as the Proposed Policy Amount of each Policy to be issued pursuant to this Commitment.
- (g) "Public Records": Records established under state statutes at the Commitment Date for the purpose of imparting constructive notice of matters relating to real property to purchasers for value and without Knowledge.
- (h) "Title": The estate or interest described in Schedule A.
- 2. If all of the Schedule B, Part I-Requirements have not been met within the time period specified in the Commitment to Issue Policy, this Commitment terminates and the Company's liability and obligation end.
- 3. The Company's liability and obligation is limited by and this Commitment is not valid without:
 - (a) the Notice;
 - (b) the Commitment to Issue Policy;
 - (c) the Commitment Conditions;
 - (d) Schedule A;
 - (e) Schedule B, Part I-Requirements;
 - (f) Schedule B, Part II-Exceptions; and
 - (g) a counter-signature by the Company or its issuing agent that may be in electronic form.

4. COMPANY'S RIGHT TO AMEND

The Company may amend this Commitment at any time. If the Company amends this Commitment to add a defect, lien, encumbrance, adverse claim, or other matter recorded in the Public Records prior to the Commitment Date, any liability of the Company is limited by Commitment Condition 5. The Company shall not be liable for any other amendment to this Commitment.

5. LIMITATIONS OF LIABILITY

- (a) The Company's liability under Commitment Condition 4 is limited to the Proposed Insured's actual expense incurred in the interval between the Company's delivery to the Proposed Insured of the Commitment and the delivery of the amended Commitment, resulting from the Proposed Insured's good faith reliance to:
 - (i) comply with the Schedule B, Part I-Requirements;
 - (ii) eliminate, with the Company's written consent, any Schedule B, Part II-Exceptions; or
 - (iii) acquire the Title or create the Mortgage covered by this Commitment.
- (b) The Company shall not be liable under Commitment Condition 5(a) if the Proposed Insured requested the amendment or had Knowledge of the matter and did not notify the Company about it in writing.
- (c) The Company will only have liability under Commitment Condition 4 if the Proposed Insured would not have incurred the expense had the Commitment included the added matter when the Commitment was first delivered to the Proposed Insured.
- (d) The Company's liability shall not exceed the lesser of the Proposed Insured's actual expense incurred in good faith and described in Commitment Conditions 5(a)(i) through 5(a)(iii) or the Proposed Policy Amount.
- (e) The Company shall not be liable for the content of the Transaction Identification Data, if any.
- (f) In no event shall the Company be obligated to issue the Policy referred to in this Commitment unless all of the Schedule B, Part I-Requirements have been met to the satisfaction of the Company.
- (g) in any event, the Company's liability is limited by the terms and provisions of the Policy.

6. LIABILITY OF THE COMPANY MUST BE BASED ON THIS COMMITMENT

- (a) Only a Proposed Insured identified in Schedule A, and no other person, may make a claim under this Commitment.
- (b) Any claim must be based in contract and must be restricted solely to the terms and provisions of this Commitment.

This page is only a part of a 2016 ALTA® Commitment for Title Insurance issued by Fidelity National Title Insurance Company. This Commitment is not valid without the Notice; the Commitment to Issue Policy; the Commitment Conditions; Schedule A; Schedule B, Part I-Requirements; Schedule B, Part II-Exceptions; and a counter-signature by the Company or its issuing agent that may be in electronic form.

Copyright American Land Title Association. All rights reserved.

The use of this Form (or any derivative thereof) is restricted to ALTA licensees and ALTA members in good standing as of the date of use. All other uses are prohibited. Reprinted under license from the American Land Title Association. ALTA Commitment for Title Insurance (08/01/2016)



FIDELITY NATIONAL TITLE INSURANCE COMPANY

COMMITMENT NO. Y

(continued)

- (c) Until the Policy is issued, this Commitment, as last revised, is the exclusive and entire agreement between the parties with respect to the subject matter of this Commitment and supersedes all prior commitment negotiations, representations, and proposals of any kind, whether written or oral, express or implied, relating to the subject matter of this Commitment.
- (d) The deletion or modification of any Schedule B, Part II-Exception does not constitute an agreement or obligation to provide coverage beyond the terms and provisions of this Commitment or the Policy.
- (e) Any amendment or endorsement to this Commitment must be in writing and authenticated by a person authorized by the Company.
- (f) When the Policy is issued, all liability and obligation under this Commitment will end and the Company's only liability will be under the Policy.

IF THIS COMMITMENT HAS BEEN ISSUED BY AN ISSUING AGENT 7.

The issuing agent is the Company's agent only for the limited purpose of issuing title insurance commitments and policies. The issuing agent is not the Company's agent for the purpose of providing closing or settlement services.

8 **PRO-FORMA POLICY**

The Company may provide, at the request of a Proposed Insured, a pro-forma policy illustrating the coverage that the Company may provide. A pro-forma policy neither reflects the status of Title at the time that the pro-forma policy is delivered to a Proposed Insured, nor is it a commitment to insure.

ARBITRATION 9

The Policy contains an arbitration clause. All arbitrable matters when the Proposed Policy Amount is Two Million And No/100 Dollars (\$2,000,000.00) or less shall be arbitrated at the option of either the Company or the Proposed Insured as the exclusive remedy of the parties. A Proposed Insured may review a copy of the arbitration rules at http://www.alta.org/arbitration.

END OF CONDITIONS

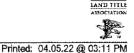
1031 EXCHANGE SERVICES

If your transaction involves a tax deferred exchange, we offer this service through our 1031 division, IPX1031. As the nation's largest 1031 company, IPX1031 offers guidance and expertise. Security for Exchange funds includes segregated bank accounts and a 100 million dollar Fidelity Bond. Fidelity National Title Group also provides a 50 million dollar Performance Guaranty for each Exchange. For additional information, or to set-up an Exchange, please call Scott Nathanson at (312)223-2178 or Anna Barsky at (312)223-2169.

This page is only a part of a 2016 ALTA® Commitment for Title Insurance issued by Fidelity National Title Insurance Company. This Commitment is not valid without the Notice; the Commitment to Issue Policy; the Commitment Conditions; Schedule A; Schedule B, Part I-Requirements; Schedule B, Part II-Exceptions; and a counter-signature by the Company or its issuing agent that may be in electronic form.

Copyright American Land Title Association. All rights reserved.

The use of this Form (or any derivative thereof) is restricted to ALTA licensees and ALTA members in good standing as of the date of use. All other uses are prohibited. Reprinted under license from the American Land Title Association.





WIRE FRAUD ALERT

This Notice is not intended to provide legal or professional advice. If you have any questions, please consult with a lawyer.

All parties to a real estate transaction are targets for wire fraud and many have lost hundreds of thousands of doilars because they simply relied on the wire instructions received via email, without further verification. If funds are to be wired in conjunction with this real estate transaction, we strongly recommend verbal verification of wire instructions through a known, trusted phone number prior to sending funds,

In addition, the following non-exclusive self-protection strategies are recommended to minimize exposure to possible wire fraud.

- NEVER RELY on emails purporting to change wire instructions. Parties to a transaction rarely change wire instructions in the course of a transaction.
- ALWAYS VERIFY wire instructions, specifically the ABA routing number and account number, by calling the party who sent the instructions to you. DO NOT use the phone number provided in the email containing the instructions, use phone numbers you have called before or can otherwise verify. Obtain the number of relevant parties to the transaction as soon as an escrow account is opened. DO NOT send an email to verify as the email address may be incorrect or the email may be intercepted by the fraudster.
- USE COMPLEX EMAIL PASSWORDS that employ a combination of mixed case, numbers, and symbols. Make your passwords greater than eight (8) characters. Also, change your password often and do NOT reuse the same password for other online accounts.
- USE MULTI-FACTOR AUTHENTICATION for email accounts. Your email provider or IT staff may have specific instructions on how to implement this feature.

For more information on wire-fraud scams or to report an incident, please refer to the following links:

Federal Bureau of Investigation: http://www.fbi.gov

Internet Crime Complaint Center: http://www.ic3.gov

FIDELITY NATIONAL FINANCIAL PRIVACY NOTICE

Effective January 1, 2021

Fidelity National Financial, Inc. and its majority-owned subsidiary companies (collectively, "FNF," "our," or "we") respect and are committed to protecting your privacy. This Privacy Notice explains how we collect, use, and protect personal information, when and to whom we disclose such information, and the choices you have about the use and disclosure of that information.

A limited number of FNF subsidiaries have their own privacy notices. If a subsidiary has its own privacy notice, the privacy notice will be available on the subsidiary's website and this Privacy Notice does not apply.

Collection of Personal Information

FNF may collect the following categories of Personal Information:

- contact information (e.g., name, address, phone number, email address);
- demographic information (e.g., date of birth, gender, marital status);
- identity information (e.g. Social Security Number, driver's license, passport, or other government ID number);
- financial account information (e.g. loan or bank account information); and
- other personal information necessary to provide products or services to you.

We may collect Personal Information about you from:

- information we receive from you or your agent;
- information about your transactions with FNF, our affiliates, or others; and
- information we receive from consumer reporting agencies and/or governmental entities, either directly from these entities or through others.

Collection of Browsing Information

FNF automatically collects the following types of Browsing Information when you access an FNF website, online service, or application (each an "FNF Website") from your Internet browser, computer, and/or device:

- Internet Protocol (IP) address and operating system;
- browser version, language, and type;
- domain name system requests; and
- browsing history on the FNF Website, such as date and time of your visit to the FNF Website and visits to the pages within the FNF Website.

Like most websites, our servers automatically log each visitor to the FNF Website and may collect the Browsing Information described above. We use Browsing Information for system administration, troubleshooting, fraud investigation, and to improve our websites. Browsing Information generally does not reveal anything personal about you, though if you have created a user account for an FNF Website and are logged into that account, the FNF Website may be able to link certain browsing activity to your user account.

Other Online Specifics

<u>Cookies</u>. When you visit an FNF Website, a "cookie" may be sent to your computer. A cookie is a small piece of data that is sent to your Internet browser from a web server and stored on your computer's hard drive. Information gathered using cookies helps us improve your user experience. For example, a cookie can help the website load properly or can customize the display page based on your browser type and user preferences. You can choose whether or not to accept cookies by changing your Internet browser settings. Be aware that doing so may impair or limit some functionality of the FNF Website.

<u>Web Beacons</u>. We use web beacons to determine when and how many times a page has been viewed. This information is used to improve our websites.

Do Not Track. Currently our FNF Websites do not respond to "Do Not Track" features enabled through your browser.

Links to Other Sites. FNF Websites may contain links to unaffiliated third-party websites. FNF is not responsible for the privacy practices or content of those websites. We recommend that you read the privacy policy of every website you visit.

Use of Personal Information

FNF uses Personal Information for three main purposes:

- To provide products and services to you or in connection with a transaction involving you.
- To improve our products and services.
- To communicate with you about our, our affiliates', and others' products and services, jointly or independently.

When Information Is Disclosed

We may disclose your Personal Information and Browsing Information in the following circumstances:

- to enable us to detect or prevent criminal activity, fraud, material misrepresentation, or nondisclosure;
- to nonaffiliated service providers who provide or perform services or functions on our behalf and who agree to use the information only to provide such services or functions;
- to nonaffiliated third party service providers with whom we perform joint marketing, pursuant to an agreement with them to jointly market financial products or services to you;
- to law enforcement or authorities in connection with an investigation, or in response to a subpoena or court order; or
- in the good-faith belief that such disclosure is necessary to comply with legal process or applicable laws, or to
 protect the rights, property, or safety of FNF, its customers, or the public.

The law does not require your prior authorization and does not allow you to restrict the disclosures described above. Additionally, we may disclose your information to third parties for whom you have given us authorization or consent to make such disclosure. We do not otherwise share your Personal Information or Browsing Information with nonaffiliated third parties, except as required or permitted by law. We may share your Personal Information with affiliates (other companies owned by FNF) to directly market to you. Please see "Choices with Your Information" to learn how to restrict that sharing.

We reserve the right to transfer your Personal Information, Browsing Information, and any other information, in connection with the sale or other disposition of all or part of the FNF business and/or assets, or in the event of bankruptcy, reorganization, insolvency, receivership, or an assignment for the benefit of creditors. By submitting Personal Information and/or Browsing Information to FNF, you expressly agree and consent to the use and/or transfer of the foregoing information in connection with any of the above described proceedings.

Security of Your Information

We maintain physical, electronic, and procedural safeguards to protect your Personal Information.

Choices With Your Information

If you do not want FNF to share your information among our affiliates to directly market to you, you may send an "opt out" request as directed at the end of this Privacy Notice. We do not share your Personal Information with nonaffiliates for their use to direct market to you without your consent.

Whether you submit Personal Information or Browsing Information to FNF is entirely up to you. If you decide not to submit Personal Information or Browsing Information, FNF may not be able to provide certain services or products to you.

For California Residents: We will not share your Personal Information or Browsing Information with nonaffiliated third parties, except as permitted by California law. For additional information about your California privacy rights, please visit the "California Privacy" link on our website (<u>https://fnf.com/pages/californiaprivacy.aspx</u>) or call (888) 413-1748.

<u>For Nevada Residents</u>: You may be placed on our internal Do Not Call List by calling (888) 934-3354 or by contacting us via the information set forth at the end of this Privacy Notice. Nevada law requires that we also provide you with the following contact information: Bureau of Consumer Protection, Office of the Nevada Attorney General, 555 E. Washington St., Suite 3900, Las Vegas, NV 89101; Phone number: (702) 486-3132; email: BCPINFO@ag.state.nv.us.

For Oregon Residents: We will not share your Personal Information or Browsing Information with nonaffiliated third parties for marketing purposes, except after you have been informed by us of such sharing and had an opportunity to indicate that you do not want a disclosure made for marketing purposes.

<u>For Vermont Residents</u>: We will not disclose information about your creditworthiness to our affiliates and will not disclose your personal information, financial information, credit report, or health information to nonaffiliated third parties to market to you, other than as permitted by Vermont law, unless you authorize us to make those disclosures.

Information From Children

The FNF Websites are not intended or designed to attract persons under the age of eighteen (18). We do <u>not</u> collect Personal Information from any person that we know to be under the age of thirteen (13) without permission from a parent or guardian.

International Users

FNF's headquarters is located within the United States. If you reside outside the United States and choose to provide Personal Information or Browsing Information to us, please note that we may transfer that information outside of your country of residence. By providing FNF with your Personal Information and/or Browsing Information, you consent to our collection, transfer, and use of such information in accordance with this Privacy Notice.

FNF Website Services for Mortgage Loans

Certain FNF companies provide services to mortgage loan servicers, including hosting websites that collect customer information on behalf of mortgage loan servicers (the "Service Websites"). The Service Websites may contain links to both this Privacy Notice and the mortgage loan servicer or lender's privacy notice. The sections of this Privacy Notice titled When Information is Disclosed, Choices with Your Information, and Accessing and Correcting Information do not apply to the Service Websites. The mortgage loan servicer or lender's privacy notice governs use, disclosure, and access to your Personal Information. FNF does not share Personal Information collected through the Service Websites, except as required or authorized by contract with the mortgage loan servicer or lender, or as required by law or in the good-faith belief that such disclosure is necessary: to comply with a legal process or applicable law, to enforce this Privacy Notice, or to protect the rights, property, or safety of FNF or the public.

Your Consent To This Privacy Notice; Notice Changes; Use of Comments or Feedback

By submitting Personal Information and/or Browsing Information to FNF, you consent to the collection and use of the information in accordance with this Privacy Notice. We may change this Privacy Notice at any time. The Privacy Notice's effective date will show the last date changes were made. If you provide information to us following any change of the Privacy Notice, that signifies your assent to and acceptance of the changes to the Privacy Notice.

Accessing and Correcting Information; Contact Us

If you have questions, would like to correct your Personal Information, or want to opt-out of information sharing for affiliate marketing, visit FNF's <u>Opt Out Page</u> or contact us by phone at (888) 934-3354 or by mail to:

Fidelity National Financial, Inc. 601 Riverside Avenue, Jacksonville, Florida 32204 Attn: Chief Privacy Officer Fidelity National Title Company, LLC 674 Veterans Pkwy, Unit C Yorkville, IL 60560 Phone: (630)553-3041 Fax: (630)553-3047

INITIAL FEE QUOTE

\$485,940.00

\$607,425.00

John Robert Felton 2804 Breckenridge Circle Aurora, IL 60504

Order Number:		Invoice Date: Invoice Number:	
Delivered:			
Buyer/Borrower(s):	Jeremy Dippold and Samantha Dippold	Seller(s):	Fecht Brothers, Inc
Lender:	Lender with a contractual obligation under a loan agreement with the Proposed Insured for an Owner's Policy		

Property Description (1):

48 US Highway 52, Minooka, IL 60447 Parcel ID(s): 09-15-200-003-0000

Policies Applied For: ALTA Loan Policy 2006 ALTA Owner's Policy 2006

Description	Seller Charge	Buyer Charge
Owner's Policy (Coverage \$607,425.00) (ALTA Owner's Policy 2006)	2,695.00	0.00
Loan Policy (Coverage \$485,940.00) (ALTA Loan Policy 2006)	0.00	525.00
ALTA 8.1-06 - Environmental Protection Lien (CLTA 110.9-06)	0.00	175.00
ALTA 9-06 - Restrictions, Encroachments, Minerals	0.00	175.00
SE 32-06 - Homeowner's Inflation Protection (Residential)	0.00	175.00
Extended Coverage Endorsement	0.00	0.00
Escrow Fees - Borrower	0.00	2,000.00
CPL Fee to Buyer	0.00	2,000.00
CPL Fee to Seller	50.00	23.00
CPL Fee to Lender	0.00	25.00
Overnight Delivery & Handling	50.00	23.00 50.00
Recording Fees (Deed, Mortgage/Deed of Trust)	0.00	134.00
County Transfer Tax (Deed)	303.75	0.00
State Transfer Tax	607.50	0.00
Recording Service Fee	0.00	
Commitment Update Fee	150.00	15.00
Policy Update Fee	0.00	0.00
Chain of Title 24 Month		150.00
State of Illinois Policy Registration Fee	0.00	250.00
Email Package Service Fee	3.00	3.00
Tax Paying Agent Fees	0.00	50.00
Wire Transfer Service Fee	50.00	0.00
	50.00	50.00
TOTALS:	\$3,959.25	\$3,802.00

Invoice Notes: 1. Recording Fees are an estimate. Please refer to www.FNTiweb.com for actual recording fees.

2. Settlement Agent License ID: TA.13.1303663

3. Preliminary Fee Quote includes an estimated Tax Paying Agent Fee in the event Fidelity is paying taxes at closing.

Initial Fee Quote generated on 04/05/2022 03:12 PM by M 1 of 1





Best Budget Tree Service Applicant: Contact: Jeremy Dippold Address: 22419 W Renwick Rd Plainfield, IL 60544 Project: Best Budget Tree Site Plan

2195 US Highway 52, Minooka

IDNR Project Number: 2212088 Date:

04/15/2022

Description: Construct an entrey drive, commercial building, gravel storage area and detention pond for a Tree Business

Natural Resource Review Results

Consultation for Endangered Species Protection and Natural Areas Preservation (Part 1075)

The Illinois Natural Heritage Database shows the following protected resources may be in the vicinity of the project location:

Aux Sable Creek INAI Site Greater Redhorse (Moxostoma valenciennesi)

An IDNR staff member will evaluate this information and contact you to request additional information or to terminate consultation if adverse effects are unlikely.

Location

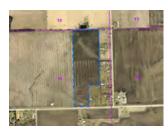
Address:

The applicant is responsible for the accuracy of the location submitted for the project.

County: Kendall

Township, Range, Section: 35N, 8E, 10 35N, 8E, 15

IL Department of Natural Resources Contact **Kvle Burkwald** 217-785-5500 **Division of Ecosystems & Environment**



Government Jurisdiction Kendall County Planning, Building & Zoning Matt Asselmeier 111 W Fox Street Yorkville, Illinois 60560

Disclaimer

The Illinois Natural Heritage Database cannot provide a conclusive statement on the presence, absence, or condition of natural resources in Illinois. This review reflects the information existing in the Database at the time of this inquiry, and should not be regarded as a final statement on the site being considered, nor should it be a substitute for detailed site surveys or field surveys required for environmental assessments. If additional protected resources are encountered during the project's implementation, compliance with applicable statutes and regulations is required.

Terms of Use

By using this website, you acknowledge that you have read and agree to these terms. These terms may be revised by IDNR as necessary. If you continue to use the EcoCAT application after we post changes to these terms, it will mean that you accept such changes. If at any time you do not accept the Terms of Use, you may not continue to use the website.

1. The IDNR EcoCAT website was developed so that units of local government, state agencies and the public could request information or begin natural resource consultations on-line for the Illinois Endangered Species Protection Act, Illinois Natural Areas Preservation Act, and Illinois Interagency Wetland Policy Act. EcoCAT uses databases, Geographic Information System mapping, and a set of programmed decision rules to determine if proposed actions are in the vicinity of protected natural resources. By indicating your agreement to the Terms of Use for this application, you warrant that you will not use this web site for any other purpose.

2. Unauthorized attempts to upload, download, or change information on this website are strictly prohibited and may be punishable under the Computer Fraud and Abuse Act of 1986 and/or the National Information Infrastructure Protection Act.

3. IDNR reserves the right to enhance, modify, alter, or suspend the website at any time without notice, or to terminate or restrict access.

Security

EcoCAT operates on a state of Illinois computer system. We may use software to monitor traffic and to identify unauthorized attempts to upload, download, or change information, to cause harm or otherwise to damage this site. Unauthorized attempts to upload, download, or change information on this server is strictly prohibited by law.

Unauthorized use, tampering with or modification of this system, including supporting hardware or software, may subject the violator to criminal and civil penalties. In the event of unauthorized intrusion, all relevant information regarding possible violation of law may be provided to law enforcement officials.

Privacy

EcoCAT generates a public record subject to disclosure under the Freedom of Information Act. Otherwise, IDNR uses the information submitted to EcoCAT solely for internal tracking purposes.





EcoCAT Receipt

Project Code 2212088

APPLICANT	DATE
Best Budget Tree Service Jeremy Dippold 22419 W Renwick Rd Plainfield, IL 60544	4/15/2022

DESCRIPTION	FEE	CONVENIENCE FEE	TOTAL PAID
EcoCAT Consultation	\$ 125.00	\$ 2.81	\$ 127.81

TOTAL PAID\$ 127.81Illinois Department of Natural ResourcesOne Natural Resources Way

Springfield, IL 62702 217-785-5500 <u>dnr.ecocat@illinois.gov</u>



Illinois Department of Natural Resources

One Natural Resources Way Springfield, Illinois 62702-1271 http://dnr.state.il.us

JB Pritzker, Governor

Colleen Callahan, Director

April 18, 2022

Jeremy Dippold Best Budget Tree Service 22419 W Renwick Rd Plainfield, IL 60544

RE: Best Budget Tree Site Plan Project Number(s): 2212088 **County: Kendall**

Dear Applicant:

This letter is in reference to the project you recently submitted for consultation. The natural resource review provided by EcoCAT identified protected resources that may be in the vicinity of the proposed action. The Department has evaluated this information and concluded that adverse effects are unlikely. Therefore, consultation under 17 Ill. Adm. Code Part 1075 is terminated.

This consultation is valid for two years unless new information becomes available that was not previously considered; the proposed action is modified; or additional species, essential habitat, or Natural Areas are identified in the vicinity. If the project has not been implemented within two years of the date of this letter, or any of the above listed conditions develop, a new consultation is necessary.

The natural resource review reflects the information existing in the Illinois Natural Heritage Database at the time of the project submittal, and should not be regarded as a final statement on the site being considered, nor should it be a substitute for detailed site surveys or field surveys required for environmental assessments. If additional protected resources are encountered during the project's implementation, you must comply with the applicable statutes and regulations. Also, note that termination does not imply IDNR's authorization or endorsement of the proposed action.

Please contact me if you have questions regarding this review.



Kyle Burkwald Division of Ecosystems and Environment 217-785-5500

Please fill out the following finding state finding to the desst of your capabilities. §13:08.J of the Zoning Ordinance outlines findings that the Zoning Board of Appeals shall consider in rendering a decision, but is not required to make an affirmative finding on all items in order to grant a **special use**. They are as follows:

That the establishment, maintenance, and operation of the special use will not be detrimental to, or endanger, the public health, safety, morals, comfort, or general welfare. True. The Petitioner has submitted a site plan indicating that measures will be taken to ensur

that the use will not have a negative impact on public heath, safety, morals, comfort or general welfare.

The Petitioner agrees to follow all applicable public health and public safety related laws.

That the special use will not be substantially injurious to the use and enjoyment of other properties in the immediate vicinity for the purposes already permitted, nor substantially diminish and impair property values within the neighborhood. The Zoning classification of property within the general area of the property in question shall be considered in determining consistency with this standard. The proposed use shall make adequate provisions for appropriate buffers, landscaping, fencing, lighting, building materials, open space and other improvements necessary to insure that the proposed use does not adversely impact adjacent uses and is compatible with the surrounding area and/or the County as a whole.

True. Conditions are proposed that will regulate hours of operation and site layout. The site plan makes

provisions for landscaping, lighting, open spaces and improvements to ensure the proposed use

will not adversely impact adjacent uses and is compatible with the surrounding area and County.

That adequate utilities, access roads and points of ingress and egress, drainage, and/or other necessary facilities have been or are being provided.

True. The property will have adequate utilities, access to the property and only one point of ingress and

egress off of Route 52.

That the special use shall in all other respects conform to the applicable regulations of the district in which it is located, except as such regulations may in each instance be modified by the County Board pursuant to the recommendation of the Zoning Board of *Appeals* True. No variances have been requested.

That the special use is consistent with the purpose and objectives of the Land Resource Management Plan and other adopted County or municipal plans and policies. True. The proposed use is consistent with an objective found on Pages 3-5 of the Kendall County Land

Resource Management Plan which calls for " a strong base of agricultural, commercial and industrial use

that provide a broad range of job opportunities, a healthy tax base and improved quality of services..."



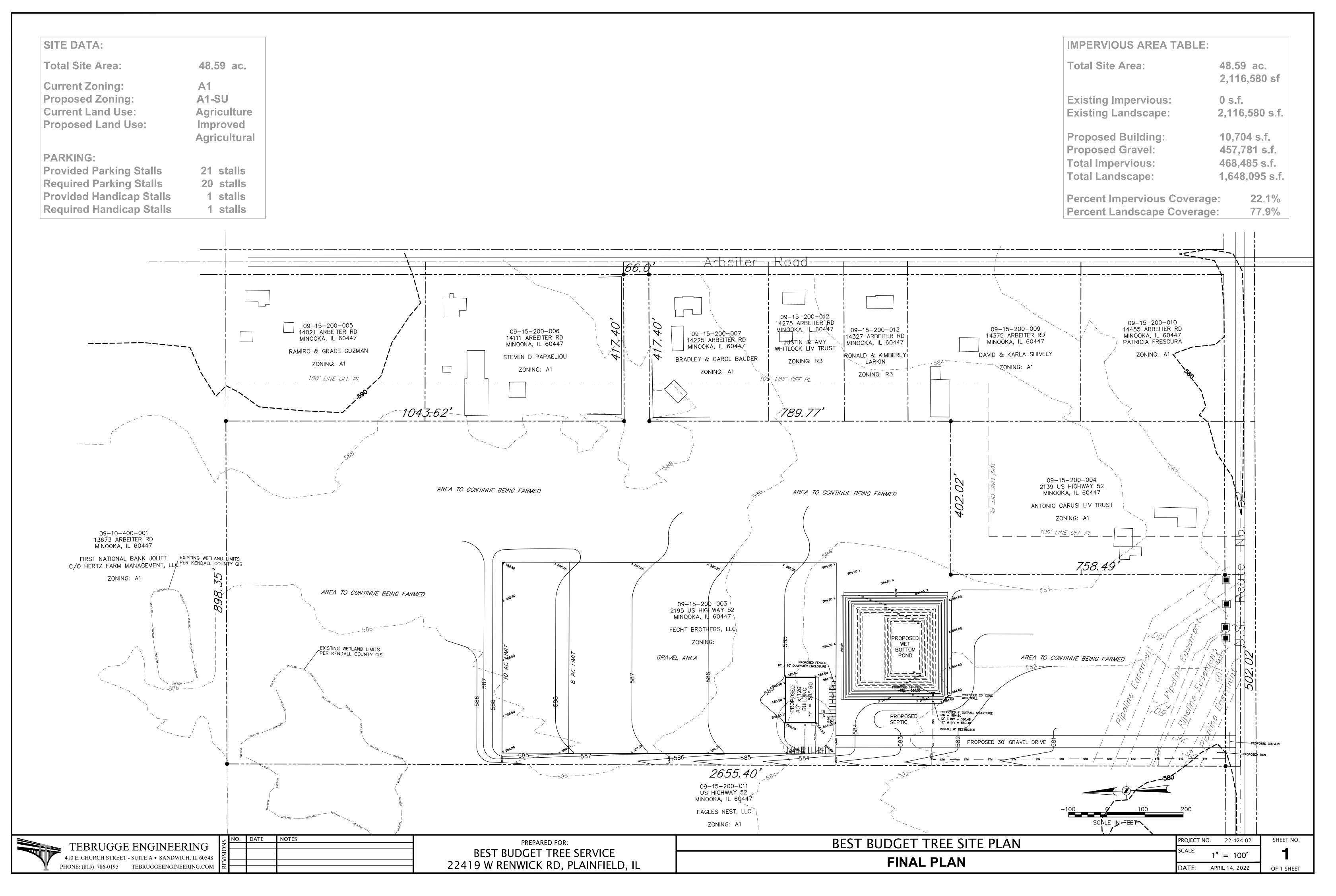
Attachment 1, Page 30

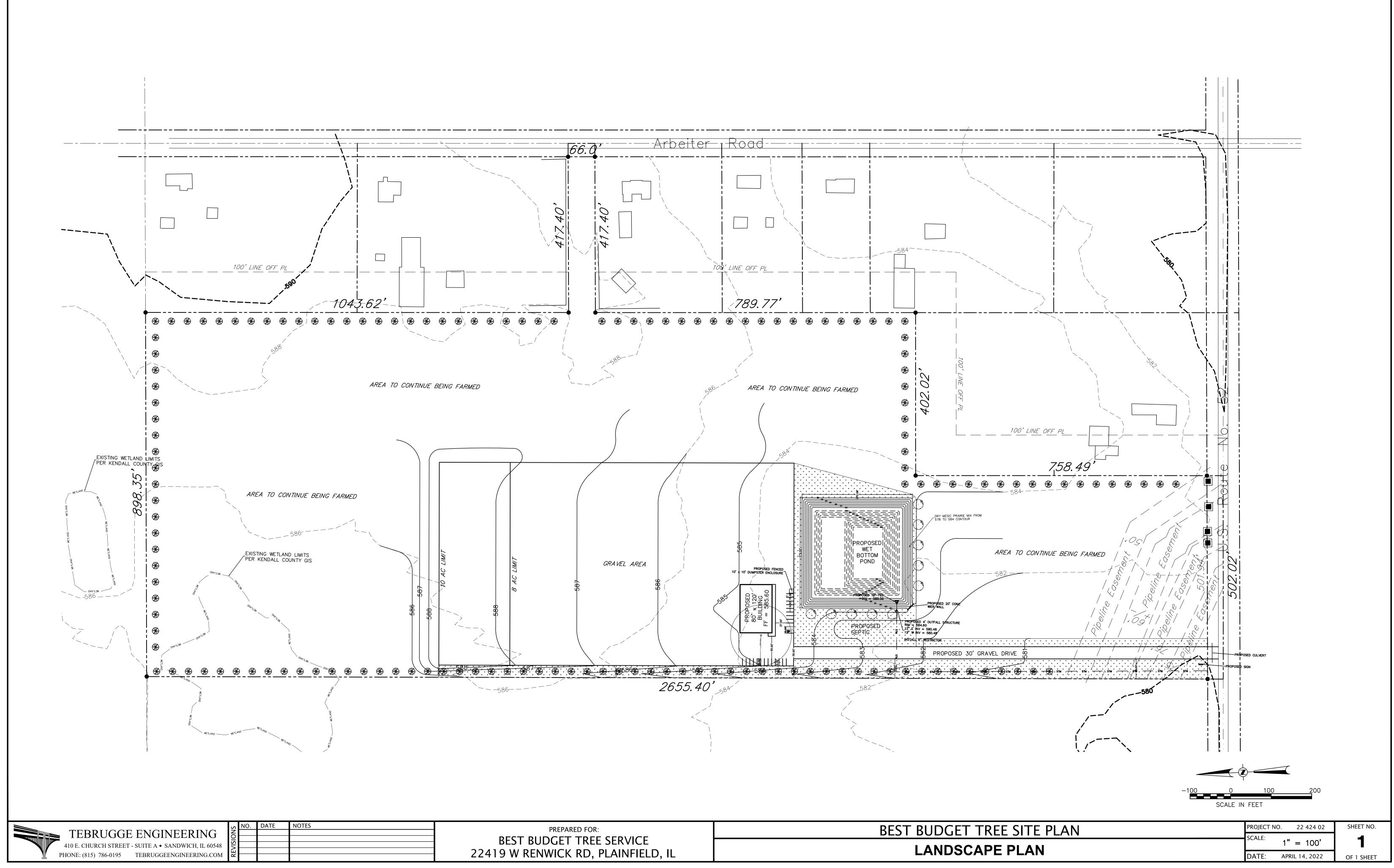
7775A Route 47, Yorkville, Illinois 60560 • (630)553-5821 extension 3

www.kendallswcd.org

NATURAL RESOURCE INFORMATION (NRI) REPORT APPLICATION

Site Location & Proposed Use Township Name Seward Parcel Index Number(s) 09-15-200-003 Project or Subdivision Name Best Budget Tree Site Plan Current Use of Site A1 Proposed Number of Lots 1 Proposed Water Supply Well Proposed type of Storm Water Management Wet Bott Type of Request	Proposed Use <u>A1-SU</u> Proposed Number of Structures <u>1</u> Proposed type of Wastewater Treatment <u>Septic</u> ttom Detention Pond
Phone Number: () 815-685-2444 Email: bestbudgettree@yahoo.com Please select: How would you like to receive Site Location & Proposed Use Township Name Seward Parcel Index Number(s) 09-15-200-003 Project or Subdivision Name Best Budget Tree Site Plan Current Use of Site A1 Proposed Number of Lots 1 Proposed Water Supply Well Proposed type of Storm Water Management Wet Bott Type of Request ☑ Change in Zoning from A1	we a copy of the NRI Report? Email Mail Township 35N N, Range 8E E, Section(s) 15 n Number of Acres 48.59 Proposed Use A1-SU
Phone Number: () 815-685-2444 Email: bestbudgettree@yahoo.com Please select: How would you like to receive Site Location & Proposed Use Township Name Seward Parcel Index Number(s) 09-15-200-003 Project or Subdivision Name Best Budget Tree Site Plan Current Use of Site A1 Proposed Number of Lots 1 Proposed Water Supply Well Proposed type of Storm Water Management Wet Bott Type of Request ☑ Change in Zoning from A1	Township 35N N, Range 8E E, Section(s) 15
Please select: How would you like to receive Site Location & Proposed Use Township Name Seward Parcel Index Number(s) 09-15-200-003 Project or Subdivision Name Best Budget Tree Site Plan Current Use of Site A1 Proposed Number of Lots 1 Proposed Water Supply Well Proposed type of Storm Water Management Wet Both Type of Request ☑ Change in Zoning from A1	Township 35N N, Range 8E E, Section(s) 15
Site Location & Proposed Use Township Name Seward Parcel Index Number(s) 09-15-200-003 Project or Subdivision Name Best Budget Tree Site Plan Current Use of Site A1 Proposed Number of Lots 1 Proposed Water Supply Well Proposed type of Storm Water Management Wet Bott Type of Request ☑ ☑ Change in Zoning from A1	Township 35N N, Range 8E E, Section(s) 15
Township Name Seward Parcel Index Number(s) 09-15-200-003 Project or Subdivision Name Best Budget Tree Site Plan Current Use of Site A1 Proposed Number of Lots 1 Proposed Water Supply Well Proposed type of Storm Water Management Wet Both Type of Request ✓ ✓ Change in Zoning from A1 to	n Number of Acres <u>48.59</u> Proposed Use <u>A1-SU</u> Proposed Number of Structures <u>1</u> Proposed type of Wastewater Treatment <u>Septic</u> ttom Detention Pond
Parcel Index Number(s) <u>09-15-200-003</u> Project or Subdivision Name Best Budget Tree Site Plan Current Use of Site <u>A1</u> Proposed Number of Lots <u>1</u> Proposed Water Supply <u>Well</u> Proposed type of Storm Water Management <u>Wet Bott</u> Type of Request ☑ Change in Zoning from <u>A1</u> to <u>1</u>	n Number of Acres <u>48.59</u> Proposed Use <u>A1-SU</u> Proposed Number of Structures <u>1</u> Proposed type of Wastewater Treatment <u>Septic</u> ttom Detention Pond
Project or Subdivision Name Best Budget Tree Site Plan Current Use of Site A1 Proposed Number of Lots 1 Proposed Water Supply Well Proposed type of Storm Water Management Wet Bott Type of Request	Proposed Use <u>A1-SU</u> Proposed Number of Structures <u>1</u> Proposed type of Wastewater Treatment <u>Septic</u> trom Detention Pond
Current Use of Site A1 Proposed Number of Lots 1 Proposed Water Supply Well Proposed type of Storm Water Management Wet Bott Type of Request C Change in Zoning from A1 to	Proposed Use <u>A1-SU</u> Proposed Number of Structures <u>1</u> Proposed type of Wastewater Treatment <u>Septic</u> trom Detention Pond
Proposed Number of Lots <u>1</u> Proposed Water Supply <u>Well</u> Proposed type of Storm Water Management <u>Wet Bott</u> Type of Request Change in Zoning from <u>A1</u> to <u></u>	Proposed Number of Structures <u>1</u> Proposed type of Wastewater Treatment <u>Septic</u> ttom Detention Pond
Proposed Water Supply Well Proposed type of Storm Water Management Wet Bott Type of Request Change in Zoning from A1 to	Proposed type of Wastewater Treatment Septic
Proposed type of Storm Water Management Wet Bott Type of Request Change in Zoning from A1 to	ttom Detention Pond
Type of Request ✓ Change in Zoning from <u>A1</u> tototototototototototo	
Change in Zoning from A1 to	
Variance (Please describe fully on separate page)	A1-SU
Special Use Permit (Please describe fully on separa	ate page)
Name of County or Municipality the request is being fil	iled with: Kendall County
A REAL PROPERTY OF A REA	us \$18.00 per acre for each additional acre or any fraction thereof over five. staff will determine when a summary or full report will be necessary.)
Fee for first five acres	es and under \$ <u>375.00</u>
44 Additional Ac	cres at \$18.00 each \$792
Total NRI Fee	\$ <u>1167</u>
NOTE: Applications are due by the 1 st of each month to application is submitted, please allow 30 days for inspe	o be on that month's SWCD Board Meeting Agenda. Once a completed ection, evaluation and processing of this report.
	the authorized representative of the Kendall County Soil and Water evaluation of the site described above. The completed NRI report d. $4 \times 19 \times 22$
Petitioner or Authorized Ag	gent Date
This report will be issued on a nondiscriminatory basis without	ut regard to race, color, religion, national origin, age, sex, handicap or marital status.
FOR OFFICE USE ONLY	- Decord Marchine
NRI# Date initially rec'd Date a Fee Due \$ Fee Paid \$ Check	all rec'd Board Meeting k # Over/Under Payment Refund Due





LANDSCAPE PLAN FOR BEST BUDGET TREE

	BEST BUDGET T
BEST BUDGET TREE SERVICE 22419 W RENWICK RD, PLAINFIELD, IL	LANDSCA

LANDSCAPE NOTES

PART 1 - GENERAL

- 1.01 DESCRIPTION
- PROVIDE TURF, TREES, SHRUBS, AND GROUNDCOVER AS SHOWN AND SPECIFIED. THE WORK INCLUDES: 1. SOIL PREPARATION
- 2. FERTILIZATION 3. SEEDING
- 4. TREES, SHRUBS, AND GROUNDCOVERS
- 5. MULCH AND PLANT ACCESSORIES 6. MAINTENANCE AND GUARANTEE
- 7. CLEANING UP WORK AREAS
- 1.02 QUALITY ASSURANCE
- COMPLY WITH APPLICABLE LOCAL REGULATIONS.
- B. SOD: COMPLY WITH AMERICAN SOD PRODUCERS ASSOCIATION (ASPA) CLASSES OF SOD MATERIAL
- . PLANT NAMES INDICATED COMPLY WITH "STANDARD PLANT NAMES" AS ADOPTED BY THE LATEST EDITION OF THE AMERICAN JOINT COMMITTEE OF HORTICULTURAL NOMENCLATURE. NAMES OF VARIETIES NOT LISTED CONFORM GENERALLY WITH NAMES ACCEPTED BY THE NURSERY TRADE. PROVIDE STOCK TRUE TO BOTANICAL NAME AND LEGALLY TAGGED.
- COMPLY WITH SIZING AND GRADING STANDARDS OF THE LATEST EDITION OF "AMERICAN STANDARD FOR NURSERY STOCK". A PLANT
- SHALL BE DIMENSIONED AS IT STANDS IN ITS NATURAL POSITION. ALL PLANTS SHALL BE NURSERY GROWN UNDER CLIMATIC CONDITIONS SIMILAR TO THOSE IN THE LOCALITY OF THE PROJECT FOR A MINIMUM OF 2 YEARS.

1.03 SUBMITTALS

- . SEED: SUBMIT SEED VENDOR'S CERTIFICATION FOR REQUIRED GRASS SEED MIXTURE, INDICATING PERCENTAGE BY WEIGHT, AND PERCENTAGES OF PURITY, GERMINATION, AND WEED SEED FOR EACH GRASS SPECIES.
- . SOD: SUBMIT SOD GROWER'S CERTIFICATION OF GRASS SPECIES. IDENTIFY SOURCE. MULCH
- D. STRAW BLANKET
- 1.04 DELIVERY, STORAGE, AND HANDLING
- . SEED: DELIVER SEED AND FERTILIZE MATERIALS IN ORIGINAL UNOPENED CONTAINERS, SHOWING WEIGHT, ANALYSIS, AND NAME OF MANUFACTURER. STORE IN MANNER TO PREVENT WETTING AND DETERIORATION.
- SOD: DELIVER AND INSTALL SOD CUT WITHIN 48-HOUR PERIOD. DELIVER FERTILIZER MATERIALS IN ORIGINAL, UNOPENED, AND UNDAMAGED CONTAINERS SHOWING WEIGHT, ANALYSIS, AND NAME OF MANUFACTURER. STORE IN MANNER TO PREVENT WETTING AND DETERIORATION. TAKE ALL PRECAUTIONS CUSTOMARY IN GOOD TRADE PRACTICE IN PREPARING PLANTS FOR MOVING. WORKMANSHIP THAT FALLS TO
- MEET THE HIGHEST STANDARDS WILL BE REJECTED. DIG, PACK, TRANSPORT, AND HANDLE PLANTS WITH CARE TO ENSURE PROTECTION AGAINST INJURY. INSPECTION CERTIFICATES REQUIRED BY LAW SHALL ACCOMPANY EACH SHIPMENT INVOICE OR ORDER TO STOCK AND ON ARRIVAL; THE CERTIFICATE SHALL BE FILLED WITH THE LANDSCAPE ARCHITECT. PROTECT ALL PLANTS FROM DYING OUT. IF PLANTS CANNOT BE PLANTED IMMEDIATELY UPON DELIVERY, PROPERLY PROTECT THEM WITH SOIL, OR MULCH. WATER HEELED-IN PLANTINGS REGULARLY COVER PLANTS TRANSPORTED ON OPEN VEHICLES WITH A PROTECTIVE COVERING TO PREVENT WINDBURN, WHEN IN LEAF.

1.05 PROJECT CONDITIONS

- CONFIRM THAT THE QUALITY AND DEPTH OF TOPSOIL IS SATISFACTORY PRIOR TO BEGINNING FINE GRADING. . FINE GRADING MUST BE APPROVED BY OWNER PRIOR TO START OF SEEDING OR SODDING.
- PERFORM GRASSING WORK ONLY AFTER PLANTING AND OTHER WORK AFFECTING GROUND SURFACE HAS BEEN COMPLETED. INSTALL SEED UNDER FAVORABLE WEATHER CONDITIONS UNLESS APPROVED BY THE OWNER'S REPRESENTATIVE. THE GENERALLY ACCEPTED TIMES FOR SEEDING ARE:
- SPRING APRIL 1ST TO MAY 31ST FALL - AUGUST 15TH TO SEPTEMBER 30TH

1.06 GUARANTEE

- GUARANTEE ALL WORK FOR ONE YEAR FOLLOWING THE DATE OF INSTALLATION.
- B. AT THE END OF THE GUARANTEE PERIOD, RESEED AND RESOD AREAS WITH SPECIFIED MATERIALS, WHICH FAIL TO PROVIDE A UNIFORM STAND OF GRASS. REPLACE, IN ACCORDANCE WITH THE DRAWINGS AND SPECIFICATIONS, ALL PLANTS THAT ARE DEAD OR, AS DETERMINED BY THE
- LANDSCAPE ARCHITECT, ARE IN AN UNHEALTHY OR UNSIGHTLY CONDITION. GURANTEE SHALL NOT INCLUDE DAMAGE OR LOSS OF TREES, PLANTS, GROUNDCOVERS, OR TURF CAUSED BY FIRES, FLOODS, FREEZING RAINS, LIGHTNING STORMS, OR WINDS OVER 75 MILES PER HOUR, WINTER KILL CAUSED BY EXTREME COLD AND SEVERE WINTER CONDITIONS NOT TYPICAL OF PLANTING AREA; OR ACT OF VANDALISM.

PART 2 - PRODUCTS

2.01 MATERIALS

- A. SEED/SOD FERTILIZER: 1. GRANULAR, 10-10-10. ALL PURPOSE AT A RATE OF 1LBS N-P-K PER 1,000 S.F.
- B. PLANT FERTILIZER 1. PROVIDE A GRANULAR COMMERCIAL FERTILIZER WITH AN ANALYSIS OF 10-10-10.
- C. SEED: 1. LAWN SEED: FRESH, CLEAN SEED FROM MOST RECENTLY HARVESTED CROP WHICH COMPLIES WITH ALL LOCAL, STATE, AND FEDERAL SEED AND WEED LAWS IS FREE FROM POA ANNUAL, BENT GRASS AND NOXIOUS WEEDS. 2. BLEND: PERCENT BY WEIGHT:
- FIELD OF DREAMS RESEEDER MIX, (AS AVAILABLE FROM NATURAL SEED, DOWNERS GROVE, IL)
- 2 NAMED KENTUCKY BLUE GRASSES 50%
- 2 NAMED TURF TYPE PERENNIAL GRASSES 50%
- 3. BOTTOM OF STORM WATER MANAGEMENT BASINS TO BE OVER SEEDED WITH RED TOP SEED AT A RATE OF 50 LBS PER ACRE. PLANTS: PROVIDE PLANTS TYPICAL OF THEIR SPECIES OR VARIETY WITH NORMAL, DENSELY DEVELOPED BRANCHES AND VIGOROUS. FIBROUS ROOT SYSTEMS. PROVIDE ONLY SOUND, HEALTHY, PLANTS FREE FROM DEFECTS, SUN SCALD INJURIES, FROST CRACKS, ABRASIONS OF THE BARK, PLANT DISEASE, INSECT EGGS, BORERS, AND ALL FORMS OF INFESTATION. ALL PLANTS SHALL HAVE A FULL
- DEVELOPMENT FORM. 1. DIG BALLED AND BURLAPPED PLANTS WITH FIRM, NATURAL BALLS OR EARTH. PROVIDE BALL SIZES COMPLYING WITH THE LATEST EDITION OF THE "AMERICAN STANDARD FOR NURSERY STOCK".
- 2. PROVIDE SHADE AND EVERGREEN TREE SPECIES WITH A SINGLE MAIN TRUNK UNLESS OTHERWISE SPECIFIED OR ACCEPTED.
- PROVIDE PLANTS MATCHED IN FORM WHEN ARRANGED IN GROUPS. I. PROVIDE EVERGREEN TREES BRANCHED TO THE GROUND UNLESS OTHERWISE SPECIFIED OR ACCEPTED.
- 5. PROVIDE SHRUBS AND SMALL PLANTS MEETING THE REQUIREMENTS FOR SPREAD AND HEIGHT INDICATED IN THE PLANT LIST. 5.a. THE MEASUREMENTS FOR HEIGHT SHALL BE TAKEN FROM THE GROUND LEVEL TO THE AVERAGE HEIGHT OF THE TOP OF THE PLANT AND NOT THE LONGEST BRANCH.

PART 3 - EXECUTION

3.01 INSPECTION

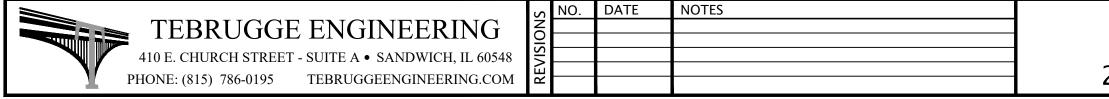
- A. EXAMINE FINISH SURFACE GRADES, TOPSOIL QUALITY, DEPTH, AND CONDITIONS OF INSTALLATIONS.
- 3.02 PREPARATION
- A. LOOSEN TOPSOIL OF LAWN AREAS TO MINIMUM DEPTH OF 2". REMOVE STONES OVER 1" IN ANY DIMENSION AND STICKS, ROOTS,
- RUBBISH, AND EXTRANEOUS MATTER. B. GRADE LAWN AREAS TO SMOOTH, FREE DRAINING AND EVEN SURFACE WITH A LOOSE, UNIFORMLY FINE TEXTURE. MECHANICALLY OR MANUALLY RAKE; REMOVE RIDGES AND FILL DEPRESSIONS AS REQUIRED TO DRAIN.
- RESTORE PREPARED AREAS TO SPECIFIED CONDICTION IF ERODED, SETTLED, OR OTHERWISE DISTURBED AFTER FINE GRADING AND PRIOR TO SEEDING OR SODDING. D. TIME OF PLANTING
- 1. EVERGREEN MATERIAL; PLANT EVERGREEN MATERIALS BETWEEN SEPTEMBER 2ND AND NOVEMBER 1ST OR IN SPRING BEFORE NEW GROWTH BEGINS 2. DECIDUOUS MATERIAL; PLANT DECIDUOUS MATERIALS IN A DORMANT CONDITION OR PRE-DIG AND HEAL UNTIL SITE IS READY.
- LOCATE PLANTS AS INDICATED AND APPROVED IN THE FIELD BY THE LANDSCAPE ARCHITECT. ROTOTILL ALL GROUNDCOVER BEDS.
- G. PROVIDE SHRUB PITS AT LEAST 8" GREATER THAN THE DIAMETER OF THE ROOT SYSTEM AND 12" GREATER FOR TREES.

3.03 SEED INSTALLATION

- A. TURF AREAS; . SEED IMMEDIATELY AFTER PREPARATION OF BED.
- PERFORM SEEDING OPERATIONS WHEN THE SOIL IS DRY AND WHEN WINDS DO NOT EXCEED 20 MILES PER HOUR VELOCITY. 3. SOW SEED AT 300 LBS. PER ACRE. 3.a. CONVENTIONAL SEEDING:
- 3.a.1. APPLY SEED WITH A ROTARY OR DROP TYPE DISTRIBUTOR. SEED EVENLY.
- 3.a.2. AFTER SEEDING, RAKE SOIL SURFACE LIGHTLY TO INCORPORATE SEED. 4. WITHIN 24 HOURS, PLACE STRAW BLANKET OVER ALL SEEDED AREAS. PLACE BLANKET PERPENDICULAR TO CONTOUR LINES AND FASTEN IN PLACE PER MANUFACTURES RECOMMENDATIONS.

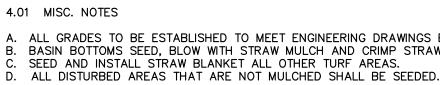
3.04 PLANT INSTALLATION

- A. TREES AND SHRUBS: SET PLANT MATERIAL IN THE PLANTING PIT TO PROPER GRADE AND ALIGNMENT. DO NOT FILL AROUND TRUNKS OR STEMS.
- AFTER BALLED OR BURLAPPED PLANTS ARE SET, FILL ALL VOIDS. . MIX APPROVED COMMERCIAL FERTILIZER AT 10 LBS. PER CUBIC YARD OF BACKFILL.
- B. GROUNDCOVERS:
- 1. WHERE GROUNDCOVERS ARE SPECIFIED ON THE PLANS, ROTOTILL ENTIRE PLANT BED TO 6" DEPTH USING AMENDED TOPSOIL. INCORPORATE COMMERCIAL 10-10-10 FERTILIZER INTO PREPARED SOIL MIXTURE AT AN APPROPRIATE RATE OF 1 LB. PER SQUARE YARD. MULCHING:
- 1. MULCH TREE AND SHRUB PLANTING PITS AND SHRUB BEDS WITH REQUIRED MULCHING MATERIAL 3" DEEP IMMEDIATELY AFTER PLANTING. THOROUGHLY WATER MULCHED AREAS. AFTER WATERING, RAKE MULCH TO PROVIDE A UNIFORM FINISHED SURFACE.
- WRAPPING: . INSPECT TREES FOR INJURY TO TRUNKS, EVIDENCE OF INSECT INFESTATIONS, AND IMPROPER PRUNING BEFORE WRAPPING.
- 2. WRAP TRUNKS OF ALL TREES SPIRALLY FROM BOTTOM TO TOP WITH SPECIFIED TREE WRAP AND SECURE IN PLACE. WRAPPING IS AT THE DISCRETION OF THE CONTRACTOR.



WILL CONSTITUTE FINAL ACCEPTANCE. AT NO ADDITIONAL COST TO OWNER. 3.06 CLEANING

E. PRUNING:



 \mathbf{X}

1. PRUNE BRANCHES OF DECIDUOUS STOCK, AFTER PLANTING, TO PRESERVE THE NATURAL CHARACTER APPROPRIATE TO THE PARTICULAR PLANT REQUIREMENTS. IN GENERAL, REMOVE APPROXIMATELY 1/4 OF THE LEAF BEARING BUDS. REMOVE OR CUT BACK BROKEN, DAMAGED, AND UNSYMMETRICAL GROWTH OF NEW WOOD. 2. MULTIPLE LEADER PLANTS: PRESERVE THE LEADER WHICH WILL BEST PROMOTE THE SYMMETRY OF THE PLANT. CUT BRANCHES FLUSH WITH THE TRUNK OR MAIN BRANCH, AT DIAMETER OF THE SUPPORTING BRANCH. MAKE CUT ON AN ANGLE. 3. PRUNE EVERGREENS ONLY TO REMOVE BROKEN OR DAMAGED BRANCHES.

3.05 FINAL COMPLETION, INSPECTION, AND ACCEPTANCE

A. UPON COMPLETION INSPECTION OF ALL WORK WILL BE MADE BY THE OWNER OR HIS REPRESENTATIVE. AT THAT TIME IF ALL WORK IS SATISFACTORY, THAT WILL CONSTITUTE FINAL ACCEPTANCE. B. SEEDED AREAS WILL BE INSPECTED AT COMPLETION OF THE INSTALLATION AND ACCEPTED SUBJECT TO COMPLIANCE WITH SPECIFIED MATERIALS AND INSTALLATION REQUIREMENTS. SEEDED AREAS WILL BE ACCEPTABLE PROVIDED ALL REQUIREMENTS, HAVE BEEN COMPLIED WITH. NO SEEDED AREAS SHALL HAVE BARE SPOTS OR UNACCEPTABLE COVER TOTALING MORE THAN 2% OF THE INDIVIDUAL AREAS, IN AREAS REQUESTED TO BE INSPECTED. C. INSPECTION OF ALL WORK SHALL BE MADE UPON REQUEST OF CONTRACTOR. AT THAT TIME, IF ALL WORK IS SATISFACTORY, THAT D. PLANTS THAT HAVE DIED OR ARE IN UNHEALTHY OR BADLY IMPAIRED CONDITION UPON INSPECTION SHALL BE TREATED OR REPLACED E. REPLACE REJECTED PLANTS IN THE SEASON THAT IS MOST FAVORABLE FOR RESETTING KINDS OF PLANTS REQUIRED.

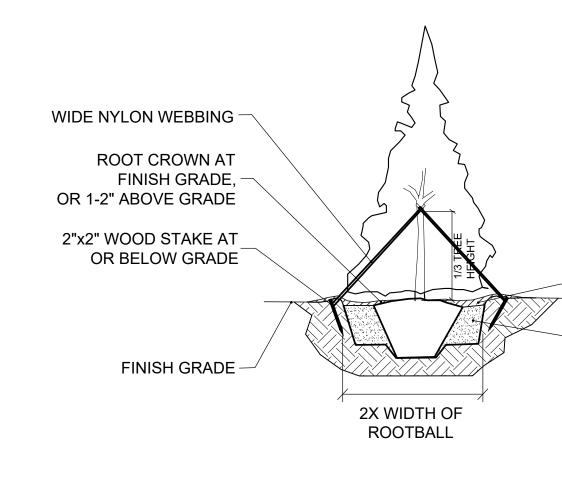
A. PERFORM CLEANING DURING INSTALLATION OF THE WORK AND UPON COMPLETION OF THE WORK. REMOVE FROM SITES ALL EXCESS MATERIALS, SOIL, DEBRIS, AND EQUIPMENT.

A. ALL GRADES TO BE ESTABLISHED TO MEET ENGINEERING DRAWINGS BY OTHERS. 3. BASIN BOTTOMS SEED, BLOW WITH STRAW MULCH AND CRIMP STRAW IN PLACE, AS NOTED ON PLANS. SEED AND INSTALL STRAW BLANKET ALL OTHER TURF AREAS.

PROPOSED LANDSCAPING MATERIAL

	CODE:	DESCRIPTION:		UNIT OF MEASURE	QTY
	EVERGREEN	<u>N TREES</u>			
Ì	WHITE	WHITE PINES	PINUS STROBUS	3'	150
<i>•</i>) <i>q</i>	DECIDUOUS	<u>TREES</u>			
and a start	LIND	LITTLE LEAF LINDEN	TILIA CORDATA	1 1/2"	10
	TURF				

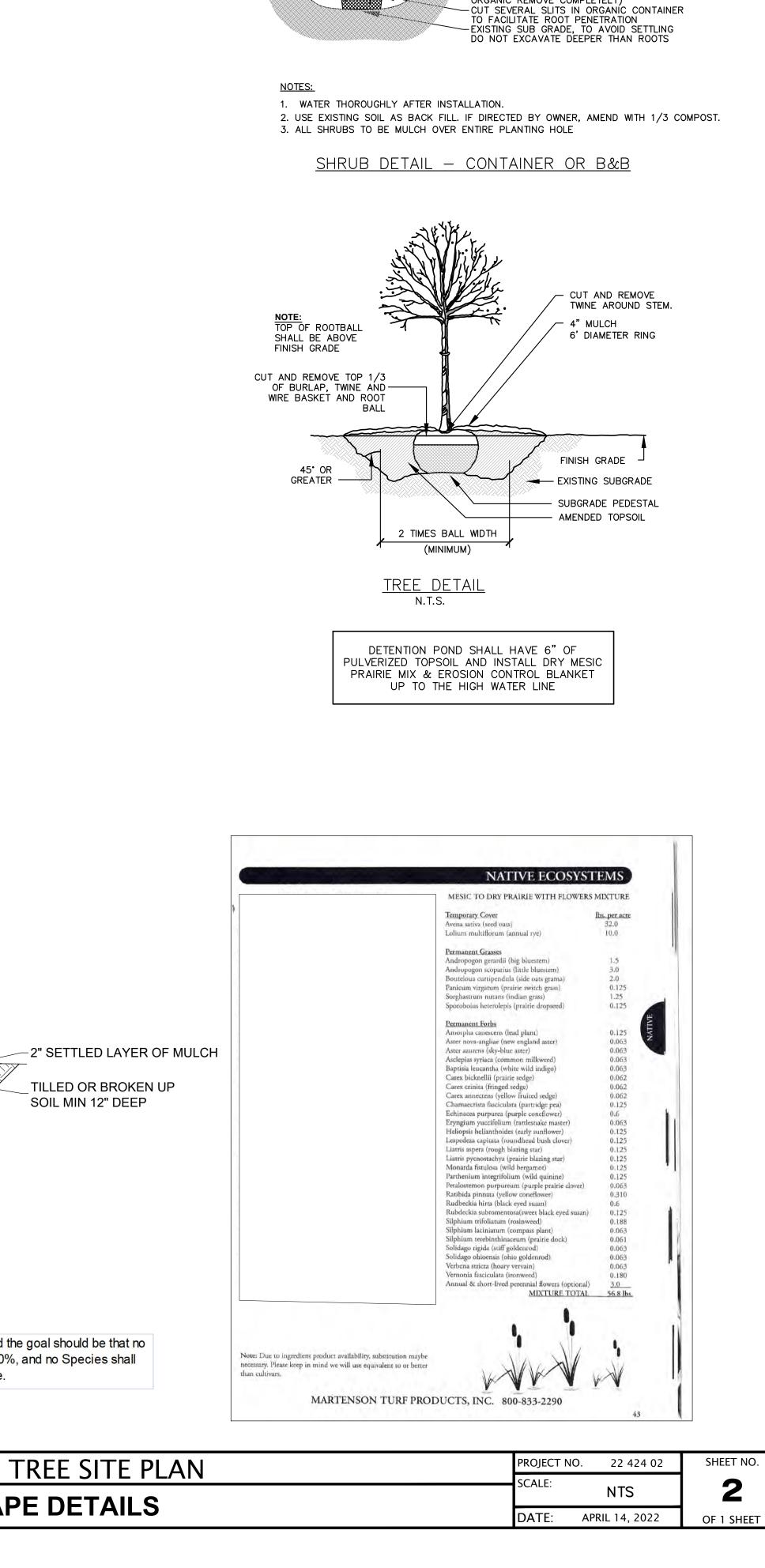
LASS 1 IDOT SEED MIX -ALL DISTURBED AREA THAT ARE NOT MULCHED OR FARMED SHALL BE SEEDED

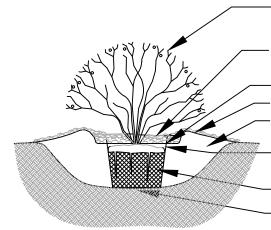




For Trees no more than three of the same species shall be clustered together. And the goal should be that no Family shall account for more than 30%, no Genus shall account for more than 20%, and no Species shall account for more than 10% of any Planting Material Type.

	BEST BUDGET
BEST BUDGET TREE SERVICE 22419 W RENWICK RD, PLAINFIELD, IL	LANDSCA





- CLEANLY PRUNE ONLY DAMAGED, DISEASED

- FINISHED GRADE AROUND PLANT TO BE THE SAME AS ORIGINAL GRADE OF PLANT IN POT — MULCH OVER ENTIRE PLANTING HOLE 4" THICK - CREATE SAUCER AROUND ROOT BALL - BACK FILL WITH NATIVE SOIL

-CAREFULLY REMOVE TOP 1/3 OF BURLAP OR CONTAINER (IF CONTAINER IS NON-ORGANIC REMOVE COMPLETELY)

AND/OR WEAK BRANCHES

STORMWATER MANAGEMENT PERMIT

7

PERMIT APPLICATION #_

Countywide St	with all Federal, State, and County Regronsmoster Management Ordinance and Ibmittal. See attached highlights of regro	ulations is required. Applicants are encouraged to the I consider a pre-application meeting with Department ulations.	
Property:	Name Best Budget Tree Service -		
Owner		ainfield, IL 60544	
•	Phone 815-685-2444		
Agent:		Engineering	
		Sandwich, IL 60548	
	Phone 815-786-0195		
Site:	Address or Location 2195 US Highw	vay 52, Minooka, IL 60447	
0.000			
	Zoning/Land Use/AcresA1/Agricultu	ral/48.59	
Proposed Deve			
Construct	a 10.700 s.f. building and a grave	l area for materials storage. Construct a	
gravel ent	ry drive and a wet bottom detention	on pond for stormwater.	
Attachments:	PlatX	Construction PlansX	
	Soils	Landscaping X	
	GradingX	Phasing	
	Other		
Fees	\$50 Processing Fee (\$50.00)	
\$ 1200 Engineering Review Deposit (\$1,200.00 or 2% of estimated cost of the			
proposed improvements, whichever is greater.) TOTAL \$ <u>1250</u> One check is acceptable made out to the Kendall County Treasurer			
Staff will contact Applicant regarding schedule and reviews.			
I hereby certif	y that the information on this application	on, on the documents attached, and on other submittals	
made during the review process is true and correct; that I am authorized to file this application; and that I agree to conform to all requirements set forth by the County and all conditions of the County Stormwater			
Management Ordinance. Lunderstand that by signing this form, that the property in question may be visited			
by County Staff and County Engineers throughout the permit and construction process. I also understand that I am responsible for all costs associated with this application.			
Data 4-19-77			
Owner's Signa	iture	ula lan	
Agent's Signat	ture	ate	
		Building, & Zoning Department	
		Street, Room 203 Illinois 60560	
		139, Fax (630) 553-4179	

www.co.kendall.il.us

		PR	OPERTY	BOUNDARY
	-600	EXI	STING C	CONTOUR LINE
STM	STM	EXI	STING S	STORM SEWER
SAN	I SAN	EXI	STING S	SANITARY SEWER LINE
w	— w — w —	EXI	STING V	VATERMAIN
UE	UE UE	EXI	STING L	JNDERGROUND ELECTRIC
OHE	OHE	EXI	STING C	OVERHEAD ELECTRIC
GAS	— GAS —— GAS ——	EXI	STING C	GAS SERVICE
т	T T	EXI	STING T	ELEPHONE
	-673	PR	OPOSED	CONTOUR LINE
— w —	ww	PR	OPOSED	WATERMAIN
STM	STM	PR	OPOSED	STORM SEWER
SAN	san	PR	OPOSED	SANITARY SEWER LINI
GREASE	GREASE	PR	OPOSED	GREASE SERVICE LINE
VENT		PR	OPOSED	VENT LINE
F	— F — F —	FXI	STING F	ENCELINE
SF	SF			SILT FENCE
				SPOT SHOT
	× 686.00 × 686.00) SPOT GRADE
	EXIST	PROP		
WATE				B-BOX
	Q	۰		HYDRANT
				VALVE
				VALVE VAULT
STOR	M:			INLET-CURB
	\bigcirc			INLET OR MANHOLE
				FLARED END SECTION
	∇			LARED END SECTION
SANITAR	Y: (0)	Ô	(CLEANOUT
	\bigcirc			MANHOLE
×	R.O.W. MONUM	ENT	\sim	UTILITY POLE
•PPIN	PROPERTY PIN P.K. NAIL			GUY WIRE LOC.
X	CHISELED MAR	К		UTIL CABINET
×	BENCHMARK			UTIL PEDESTAL
	HUB & TACK		Ċ-	LIGHT POLE
igodol	SOIL BORING		Q	TRAFFIC SIGNAL
\square	OVERLAND REI	JEF	Ē	ELECTRIC VAULT
	FLOW DIRECTIC	N	GAS	GAS VALVE

NS	NO.	DATE	NOTES
Z			
SIC			
Š			
RE			
œ			



Contractor and or sub-contractors shall verify locations of all underground utilities prior to digging. Contact J.U.L.I.E. (Joint Utility Locating for Excavators) at 1-800-892-0123 or dial 811.

UTILITY STATEMENT HE UTILITIES SHOWN HAVE BEEN LOCATED FROM VISIBLE FIELD VIDENCE AND EXISTING DRAWINGS, MAPS AND RECORDS SUPPLIED T SURVEYOR. THE SURVEYOR MAKES NO GUARANTEES THAT THE UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT

WARRANT THAT THE UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED, ALTHOUGH THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM AVAILABLE INFORMATION. THE SURVEYOR HAS PHYSICALLY LOCATED VISIBLE STRUCTURES; HOWEVER, HE HAS NOT PHYSICALLY LOCATED THE UNDERGROUND LINES.

TOPOGRAPHY STATEMENT

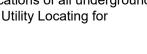
EXISTING TOPOGRAPHY SHOWN REPRESENTS SITE CONDITIONS AS PREPARED BY TEBRUGGE ENGINEERING. CONTRACTOR SHALL FIELD CHECK EXISTING HORIZONTAL AND VERTICAL SITE FEATURES AND CONDITIONS PRIOR TO CONSTRUCTION AND NOTIFY NGINEER OF ANY DISCREPANCIES PRIOR TO STARTING CONSTRUCTION

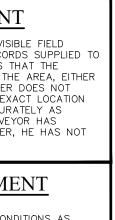
ENGINEERING PLANS FOR **BEST BUDGET TREE SITE PLAN**

SECTION 15, TOWNSHIP 35 NORTH, RANGE 8 EAST 2195 US HIGHWAY 52 **MINOOKA, IL 60447 KENDALL COUNTY APRIL**, 2022

INDEX TO SHEETS

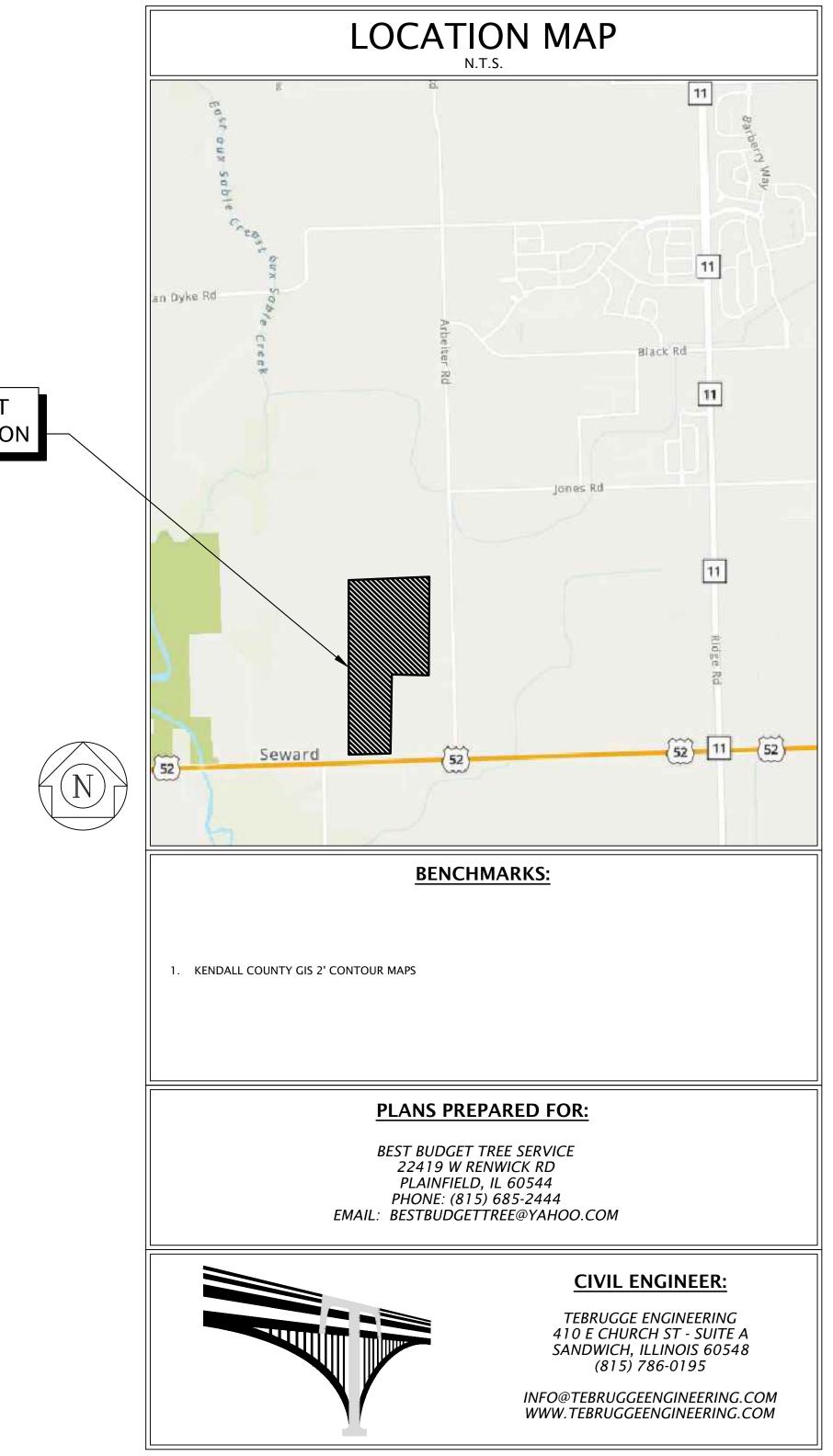
- 1. COVER SHEET
- EXISTING CONDITIONS & DEMOLITION PLAN
- 3. STORMWATER POLLUTION & PREVENTION PLAN 1
- 4. STORMWATER POLLUTION & PREVENTION PLAN 2
- 5. OVERALL CIVIL SITE PLANS
- 6. CIVIL SITE PLAN I
- 7. CIVIL SITE PLAN II
- 8. GENERAL NOTES & DETAILS

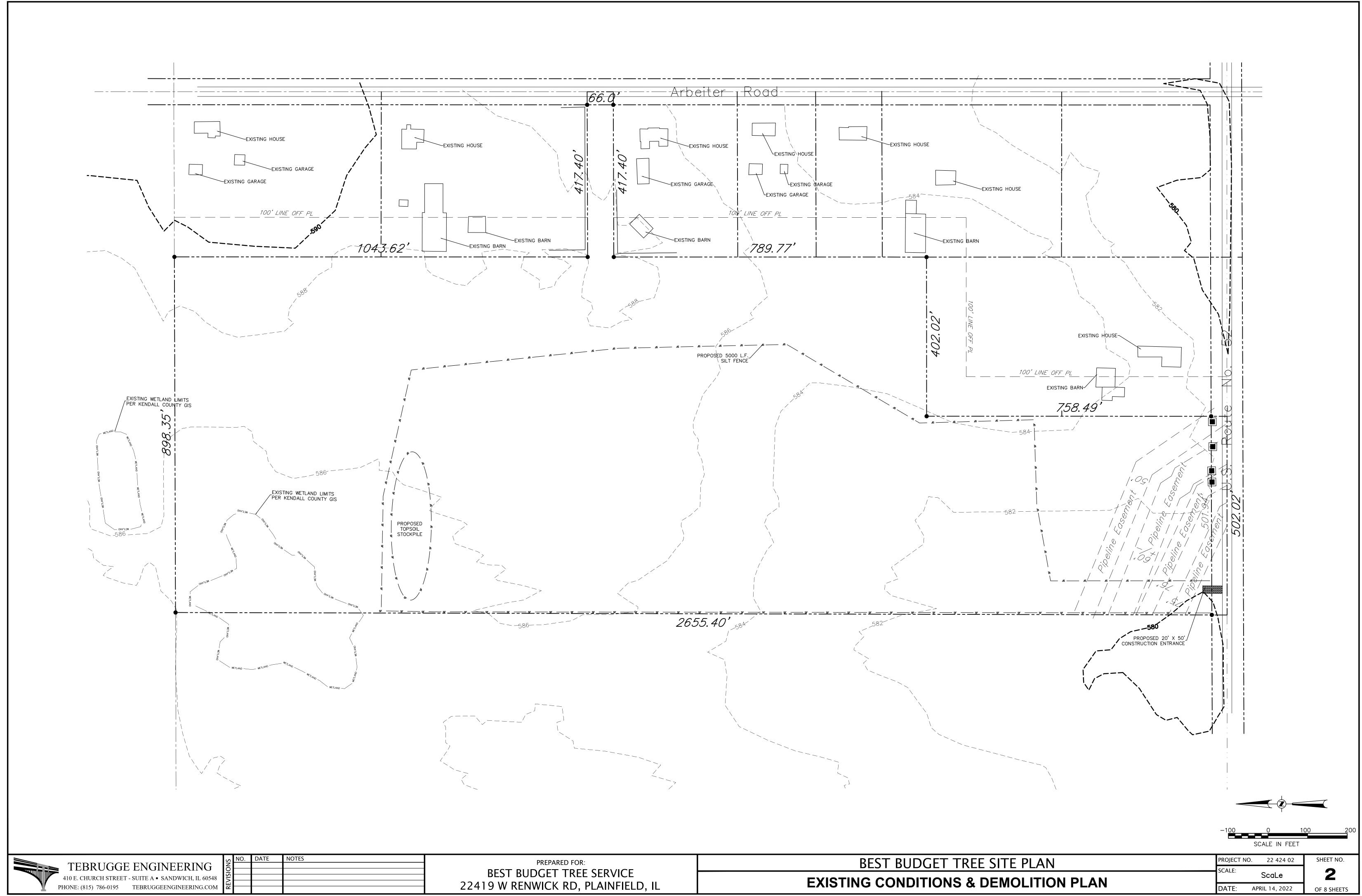




PRELIMINARY **NOT FOR CONSTRUCTION**

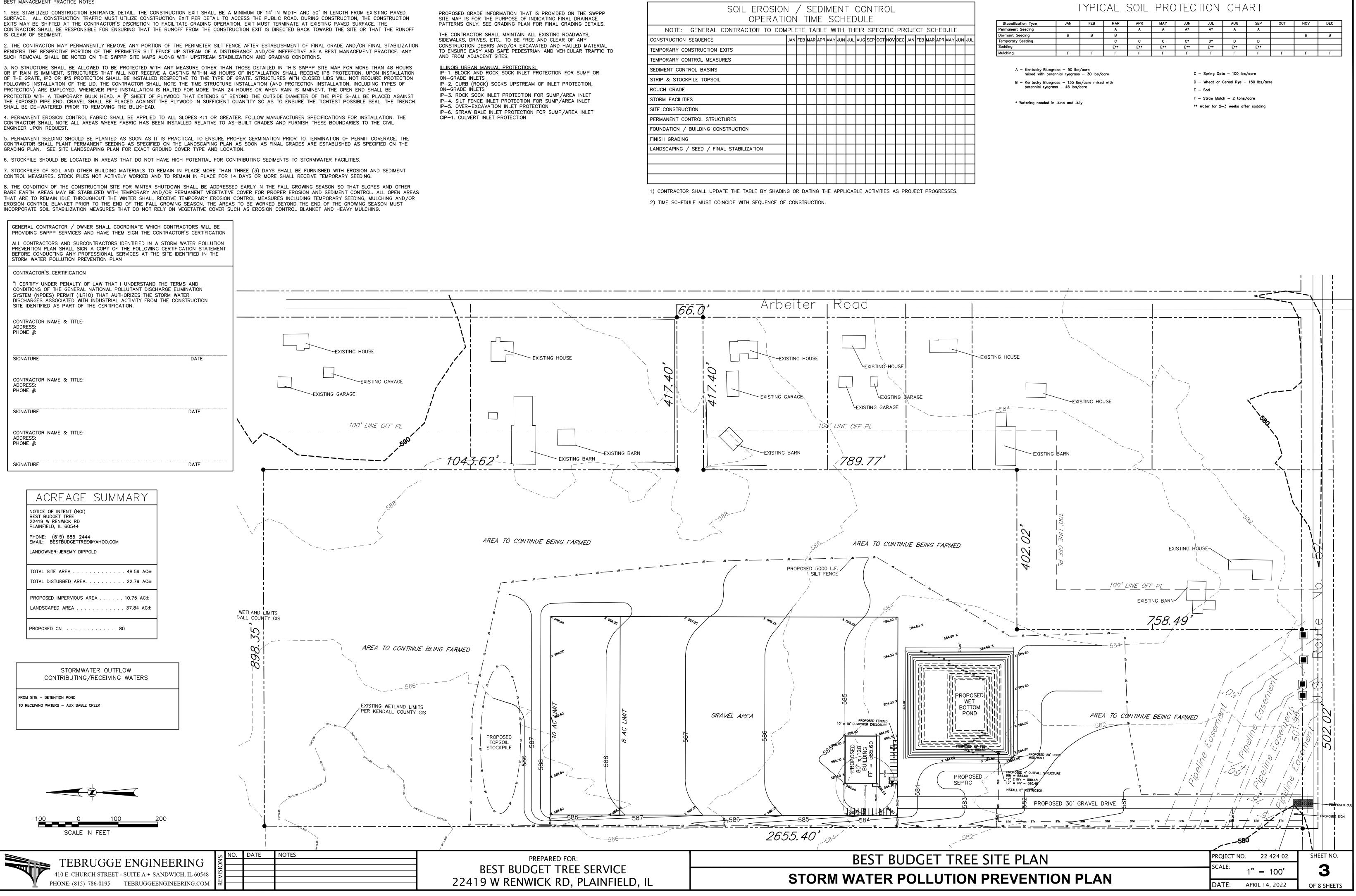




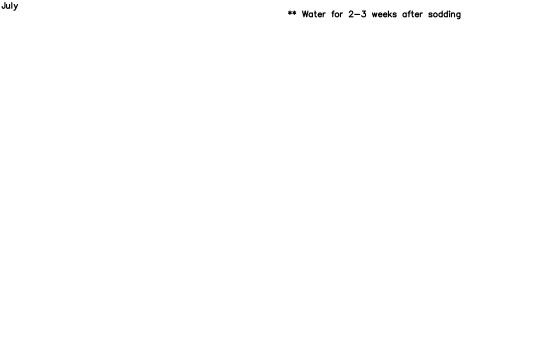


	BEST BUDGET T
BEST BUDGET TREE SERVICE	
22419 W RENWICK RD, PLAINFIELD, IL	EXISTING CONDITIONS

REST	MANAGEMENT	PRACTICE	NOTES
		TRACINCE	NULL



		,			=												
SOIL EROSION	N,	/	SE	DI	ME	EN.	Т	СС)N-	TR	OL						
OPERATION TIME SCHEDULE																	
NOTE: GENERAL CONTRACTOR TO COM	1PLE	ETE	TA	BLE	W	ITH	TH	EIR	SP	ECI	FIC	PR	OJE	СТ	SC	HED	UL
CONSTRUCTION SEQUENCE	JAN	FEB	MAR	APR	MAY	JUN	JUL	AUG	SEP	ост	NOV	DEC	JAN	FEB	MAR	APR	ΜΑ
TEMPORARY CONSTRUCTION EXITS																	
TEMPORARY CONTROL MEASURES																	
SEDIMENT CONTROL BASINS																	
STRIP & STOCKPILE TOPSOIL																	
ROUGH GRADE																	
STORM FACILITIES																	
SITE CONSTRUCTION																	
PERMANENT CONTROL STRUCTURES																	
FOUNDATION / BUILDING CONSTRUCTION																	
FINISH GRADING																	
LANDSCAPING / SEED / FINAL STABILIZATION																	



1. GENERAL NOTES & DESCRIPTIONS

The Storm Water Pollution Prevention Plan (SWPPP) includes, but is not limited to the Erosion and Demolition Plan included in the Engineering Plans with the Detail Sheet, the Notice of Intent, Permit Authorization, General Permit, Notice of Termination. All records of inspection and activities which are created during the course of the project, and other documents as may be included by reference to this SWPPP. Changes, modifications, revisions, additions, or deletions shall become part of this SWPPP as they occur.

• All Contractors and sub-contractors that are responsible for implementing and measure of the SWPPP must be identified and must certify this SWPPP by signing the SWPPP certification in accordance with Part VI.G (Signatory Requirements) of the ILR10 Permit.

All signed certifications must be kept with the SWPPP documents and be available for inspection.

The Contractor and all sub-contractors involved with construction activity that disturbs site soil or who implement pollutant control measure identified in the Storm Water Pollution Prevention Plan must comply with the following requirements of the National Pollutant Discharge Elimination System (NPDES) General Permit, the NPDES Permit No. ILR10 for the State of Illinois and any local governing agency having jurisdiction concerning erosion and sediment

A. GENERAL PERMIT INFORMATION

All construction sites that will result in the disturbance of one acre or more must be permitted under the Illinois General NPDES Permit. The Notice of Intent (NOI) has been submitted at the address below. The NOI is for the onsite and offsite improvements . The NPDES Permit will be issued 30 days after the postmark date of the submittal of the NOI and initial yearly fee.

Permit Information: The Owner has mailed the Owner-signed NOI form and the initial yearly fee of \$500 to the address listed below. The Contractor will be responsible for submitting each subsequent \$500 yearly fee, if applicable. A copy of the signed NOI form will be supplied to the Contractor.

Unless notified by the Illinois Environmental Protection Agency (IEPA) to the contrary, construction activities may begin in accordance with this SWPPP and the ILR10 in 30 days following the post mark date of the NOI.

Transfer Information: If a portion of the property is sold, that new Owner may obtain their own general permit by submitting a separate NOI. The original NOI may then be modified by re-submitting the NOI with update acreage and checking the box "change of information". Also include documentation explaining that a lot has been sold, the acreage difference and the date of sale. There is no fee involved with modifying the NOI.

There are no requirements for a pre-construction meeting from any of the reviewing agencies.

Agency Information: Illinois Environmental Protection Agency Division of Water Pollution Control 1021 North Grand Avenue East

Springfield, Illinois 62794-9276

Kendall County
Planning, Building & Zonir
111 West Fox Street
Yorkville, Illinois 60560
Phone: (630) 553-4141

Phone: (217) 782-0610 B. PUBLIC POSTING

3. Construction Site Notice.

The following documents will be supplied to the contractor and must be posted on the Entrance Sign in a prominent place for public viewing until termination of permit coverage has been obtained by filing the Notice of Termination (NOT).

1. Notice of Intent signed in accordance with ILR10. 2. Permit Authorization from the Illinois Environmental Agency (IEPA).

The location of the SWPPP must be clearly visible.

C. RETENTION OF RECORDS

D. CONTRACTOR/SUB-CONTRACTOR LIST

A complete copy of the SWPPP, including copies of all inspection reports, plan revisions, etc., must be retained at the project site at all times during the duration of the project (until NOT is filed) and kept in the permanent project records of the Contractor for at least three years following submittal of the Notice of Termination (NOT).

The Contractor must provide names and addresses of all sub-cntractors working on this project who will be involved with the major construction activities that disturb site soil. This information must be kept with the SWPPP. E. CONTRACTOR/SUB-CONTRACTOR CERTIFICATION FORM

The Contractor and all sub-contractors involved with ground disturbing or installation and maintenance of any Best Management Practice (BMP) on site must sign a copy of the Contractor Certification that will be supplied to the Contractor. This information must be kept with the SWPPP.

F. INSPECTIONS

At least once every seven calendar days and with 24 hours of a 0.5 in rainfall event, inspections by documented Contractor Compliance Officer must be made to determine the effectiveness of the SWPPP. If the State or Local agencies have a required inspection form, the both forms must be completed. The SWPPP, including the best management practices implemented on the jobsite, shall be modified as needed to reduce or prevent pollutants from discharging from the site.

An example BMP Inspection Form will be supplied to the Contractor.

A delegation of authority letter authorizing the Contractor Compliance Officer to sign the inspection forms will also be supplied to the Contractor

The Inspector must be a person familiar with the site, the nature of major construction activities, and qualified to evaluate both overall system performance and individual component performance. The inspector must either be someone empowered to implement modifications to this SWPPP and the pollutant control devices, if needed, in order to increase effectiveness to an acceptable level, or someone with the authority to cause such things to happen. Additionally, the inspector shall be properly authorized in accordance with the applicable General Permit to conduct the certified site storm water inspections

See Section VII on this sheet for further reporting requirements.

G. SWPPP UPDATES & AMENDMENTS This SWPPP must be updated each time there are significant modifications to the pollution prevention system or a change of Contractors working on the project that disturb site soils. The SWPPP must be amended as necessary during the course of construction in order to keep it current with the pollutant control measures utilized on the site. Amending the SWPPP does not mean that it has to be reprinted. It is acceptable to add addenda, sketches, new ections, and/or revised drawings. The site map showing the locations of all storm water controls must be posted on the site and updated to reflect the progress of construction and changes to the SWPPP. Any control measure that has a hydrologic design component must be updated or amended by the Engineer. Substitution of sediment control BMPs beyond those specified in the SWPPP is considered a hydrologic design component.

H. DISCHARGE OF PETROLEUM PRODUCTS OR HAZARDOUS SUBSTANCES

Discharge of Petroleum products or other hazardous substances into storm water or the storm water (storm sewer) system is subject to reporting and clean up requirements. See section V.B.8 of this SWPPP for State and local information on reporting spills. Refer to the General Permit for additional information.

Once the site reaches final stabilization as defined in the General Permit, with all permanent erosion and sedimentation controls installed and all temporary erosion and sedimentation controls removed, the Contractor and Owner's representative must complete a final inspection. Upon approval by the Owner's representative, the Owner and Contractor, as applicable, must complete and submit a NOT.

. CONTRACTORS RESPONSIBILITY This SWPPP intends to control water-bourne and liquid pollutant discharges by some combination of interception,

I. NOTICE OF TERMINATION

sedimentation. filtration. and containment. The Contractor and sub-contractors implementing this SWPPP must remain alert to the need to periodically refine and update the SWPPP in order to accomplish the intended goals. The Contractor is ultimately responsible for all site conditions and permit compliance. K. LOG OF CONSTRUCTION ACTIVITY

A record of dates when major ground-disturbing activities occur, when construction activities temporarily or permanently cease on a portion of the site, and when stabilization measures are initiated or completed must be maintained until the NOT is filed. A log for keeping such records is included. Controls must be in place down gradient of any ground-disturbing activities prior to the commencement of construction and noted on the Site Map and Record of Stabilization and Construction Activity Dates.

2. INTRODUCTION

This SWPPP includes the elements necessary to comply with the natural baseline general permit for construction activities administered by the US Environmental Protection Agency (EPA) under the National Pollutant Discharge Elimination System (NPDES) program, the NPDES Permit No. ILR10 for the State of Illinois, and all Local governing agency requirements. This SWPPP must be implemented at the start of construction.

Construction phase pollutant sources anticipated at the site are disturbed (bare) soil, vehicle fuels and lubricants, chemicals associated with building construction, and building materials. Without adequate control there is a potential for each type of pollutant to be transported by storm water. Project construction will consist primarily of site grading, utility service connections, and site paving to facilitate

A. PURPOSE

A major goal of pollution prevention efforts during project construction is to control soil and pollutants that originate on the site and prevent them from flowing to surface waters. The purpose of this SWPPP is to provide guidelines for achieving that goal. A successful pollution prevention program also relies upon careful inspection and adjustments during the construction process in order to enhance its effectiveness.

This SWPPP must be implemented before construction begins on the site. It primarily addresses the impact of storm rainfall and runoff on areas of the ground surface disturbed during the construction process. In addition, there are recommendations for controlling other sources of pollution that could accompany the major construction activities. The SWPPP will terminate when disturbed areas are stabilized, permanent erosion and sedimentation controls are installed, temporary erosion and sedimentation controls are removed, construction activities covered herein have ceased, and a completed Notice of Termination (NOT) is transmitted to the governing agency.

3. PROJECT DESCRIPTION

Described below are the major construction activities that are subject of this SWPPP. Also included in the sequence are BMP installation activities that must take place prior to construction activities. NOTE: Down slope protective measures must always be in place before soil is disturbed. Activities are presented in the order (sequence) they are

All activities and time frames (beginning and ending dates) shall be noted on the Site Map. The sequence of construction is as follows:

Upon implementation and installation of the following areas: trailers, parking, lay down, porta-poty, wheel wash, concrete washout, mason's area, fuel and material storage containers, solid waste containers, etc., Immediately denote them on the Site Maps and note any changes in location as they occur throughout the construction process. Typical Stage of Construction, items shall be added or deleted as needed for each individual project.

1. Install stabilized construction entrance and SWPPP Entrance Sign. 2. Install silt fence(s) on the site (clear only those areas necessary to install silt fence). 3. Prepare temporary parking and storage area. . Install and stabilize hydraulic control structures (dikes, swales, check dams, etc.).

- 5. Begin grading the site. 6. Start construction of building pad and structures.
- 7. Temporarily seed, throughout construction, denuded areas that will be inactive for 14 days or more. 8. Install utilities, underdrains, storm sewers, curbs and gutters. . Install inlet protection at all storm sewer structures as each inlet structure is installed. 0. Permanently stabilize areas to be vegetated as they are brought to final grade. 1. Prepare site for paving.
- 2. Pave site. 5. Install appropriate inlet protection devises for paved areas as work progresses Complete grading and installation or permanent stabilization over all areas including outlots. . Call Engineer after the site appears to be fully stabilized for inspection. 6. Remove all temporary erosion and sediment control devices after approval of the Engineer and stabilize any
- areas disturbed by the removal of the BMP. NOTE: The Contractor may complete construction-related activities concurrently only if all preceding BMPs have been completely installed.

The actual schedule for implementing pollutant control measures will be determined by project construction progress and recorded by the Contractor on the Soil Erosion/Sediment Control Operation Time Schedule on the Erosion and Sediment Control Plans. Down slope protective measures must always be in place before soil is disturbed.

4. SITE DESCRIPTION

- 1. Site description Site construction activities consist of general site clearing construction of gravel access drive, building construction, gravel storage area, and wet bottom detention pond.
- Total area of site = 48.59 acres Total disturbed area on site = 22.79 acres
- 3. Estimated site runoff coefficient after construction activities are complete: CN=80.
- 4. Site map included indicating existing & proposed slopes across site is included in SWPPP.
- 5. Site drainage is received by Aux Sable Creek located west of the development.

5. STORM WATER POLLUTION PREVENTION MEASURES AND CONTROLS

A variety of storm water pollutant controls are recommended for this project. Some controls are intended for function temporarily and will be used as needed for pollutant control during the construction period. These include temporary sediment barriers and permanent storm retention ponds (which can also function as temporary sediment basins). Permanent stabilization will be accomplished in all disturbed areas by covering the soil with pavement, building foundation, vegetation, or other forms of soil stabilization.

A. EROSION AND SEDIMENT CONTROLS

1. Soil Stabilization The purpose of soil stabilization is to prevent soil from eroding and leaving the site. In the natural condition

soil is stabilized by native vegetation. The primary technique to be used at this project for stabilizing site soils will information will be kept on site for any and all applicable materials. be to provide a protective cover of grass, pavement, or building structure. In the event of an accidental spill, immediate action will be undertaken by the Contractor to contain and remove a) Temporary Seeding or Stabilization - All denuded areas that will be inactive for 14 days or more, must be the spilled material. All hazardous materials will be disposed of by the Contractor in the manner specified by Federal, stabilized temporarily with the use of fast—germinating annual grass/grain varieties, straw/hay mulch, wood cellulose fibers, tackifiers, netting or blankets. of the United States will be properly reported. The Contractor will prepare a written record of any spill of petroleum

b) Permanent Seeding or Sodding - All areas at final grade must be seeded or sodded within 14 days after the occurrence of the spill. completion of work in any area. The entire site must have permanent vegetative cover established in all areas not covered by hardscape at the completion of all soil disturbing activities on site. Except for small level spots, seeded areas should generally be protected with mulch or a rolled erosion control product. All areas to be sealed will have topsoil and other soil amendments as specified on the Landscape Plan. be immediately reported to the EPA National Response Center (1-800-424-8802). In addition, 35 III. Adm. Code 750.410 requires notification of IEMA (1-800-782-7860). Reportable chemical spill quantities are those listed for 2. Structural Controls

a) Silt Fence – Silt fence is a synthetic permeable woven or non-woven geotextile fabric incorporating metal support stakes at intervals sufficient to support the fence (5-feet maximum distance between posts), water, and sediment retained by the fence. The fence is designed to retain sediment—laden storm water and allow settlement of suspended soils before the storm water flows through the fabric and discharges off—site. Silt fence shall be located on the contour to capture overland, low-velocity sheet flows. The Contractor may utilize triangular silt dike and/or non—wire backed silt fence as intermediate BMPs. Install silt fence at a fairly level grade along the contour with the ends curved uphill to provide sufficient upstream storage volume for the anticipated runoff. Drainage areas shall not exceed $\frac{1}{2}$ acre per 100 feet of silt fence for slopes less than 2 percent.

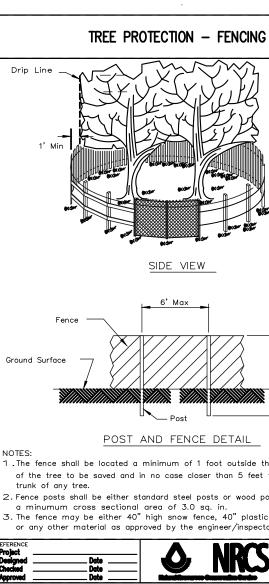
b) Construction Exit - All access points from the pubic street into the construction site shall include a storm water, the following steps will be implemented: he rough texture of the stone helps to remove clumps of soil adhering to the construction vehicles tires through a) All materials with hazardous properties (such as pesticides, petroleum products, fertilizers, detergents, the action of vibration and jarring over the rough surface and the friction of the stone matrix against soils attached onstruction chemicals, acids, paints, paint solvents, additives for soil stabilization, concrete, curing compounds and to vehicle tires.

In addition to the stone at the construction exit, it may be necessary to install devices such as pipes cattle guard) to increase the vibration and jarring. It may also be necessary to install a wheel wash system. If this is done, a sediment trap control must be installed to treat the wash water before it discharges from the site.

All site access must be confined to the Construction Exit(s). Barricade, sufficient to prevent use, any locations other than Construction Exit(s) where vehicles or equipment may access the site.

c) Storm Sewer Inlet Protection — Curb and grated inlets are protected from the intrusion of sediment hrough a variety of measures as shown on the details included in the Construction drawings. The primary mechanism is to place controls in the path of flow sufficient to slow the sediment—laden water to allow settlement of suspended soils before discharging into the storm sewer. It is possible that as construction progresses from storm sewer installation through paving that the inlet protection devices should change. All inlet protection devices create ponding of storm water. This should be taken into consideration when deciding on which device or devices should be used

d) Inspection and any necessary cleaning of the underground storm system shall be included as part of this swppp



		S	NO.	DATE	NOTES	
	TEBRUGGE ENGINEERING	Z				
		S				
	410 E. CHURCH STREET - SUITE A • SANDWICH, IL 60548	VIS				
N/	PHONE: (815) 786-0195 TEBRUGGEENGINEERING.COM	К				
	$\mathbf{FIIONE.} (015) / 00-0175 \qquad \mathbf{IEBKUUUUEENUINEEKIINU.UUW}$	L CE				

Final site stabilization is achieved when perennial vegetative cover provides permanent stabilization with a density greater than 70 percent over the entire area to be stabilized by vegetative cover. This is exclusive of areas paved,

This section includes the controls of pollutants other than sediment and additional requirements of the General Permit. 2. The Contractor shall designate areas on the Site Map for equipment cleaning, maintenance, and repair. The Construction traffic must enter and exit the site at the stabilized construction exit. Water trucks or other dust

control agents will be used as needed during construction to reduce dust generated on the site. Dust control must be provided by the Contractor to a degree that is in compliance with applicable Local and State dust control regulations. 2. Solid Waste Disposal

No solid materials, including building materials, are allowed to be discharged from the site with storm water. All solid waste, including disposable materials incidental to the major construction activities, must be collected and placed in such material must be collected, removed from the site, treated, and disposed of at an approved solid waste and containers. The containers will be emptied as necessary by a contract trash disposal service and hauled away from the site. Covers for the containers will be provided as necessary to meet State and Local requirements. The location of solid waste receptacles shall be shown on the Site Maps.

necessary in order to ensure that they do not discharge from the site. As an example, special care must be exercised during equipment fueling and servicing operations. If a spill occurs, it must be contained and disposed of so that it will not flow from the site or enter groundwater, even if this requires removal, treatment, and disposal of soil. In this regard, potentially polluting substances should be handled in a manner consistent with the impact they represent. 3. Sanitary Facilities

All personnel involved with construction activities must comply with State and Local sanitary or septic regulations. Temporary sanitary facilities will be provided at the site throughout the construction phase. They must be utilized by all boundaries construction personnel and will be serviced by a commercial operator. The location of sanitary facilities shall be shown has ended.

4. Non-Storm Water Discharge Non-storm water components of site discharges are not permitted under ILR10 except as follows: discharges from fire fighting activities; fire hydrant flushings; water used to wash vehicles where detergents are not used; waters used to control dust; potable water sources including uncontaminated waterline flushings; irrigation drainage; routine external building washdown which does not use detergents; pavement washdowns where spills or leaks of toxic or hazardous materials have not occurred (unless all spilled material has been removed) and where detergents are not used; air conditioning condensate; springs, uncontaminated ground water; and foundation or footing drains where flows are not

5. Concrete Waste from Concrete Ready-Mix Trucks

Discharge of excess or waste concrete and/or wash water from concrete trucks will be allowed on the construction site, but only in specifically designated diked areas prepared to prevent contact between the concrete and/or wash water and storm water that will be discharged from the site. Alternatively, waste concrete can be placed into forms to make rip rap or other useful concrete products. The cured residue from the concrete washout diked areas shall be disposed in accordance with applicable State and Federal regulations. The jobsite superintendent is responsible for assuring that these procedures are followed. The location of concrete washout areas shall be shown on the Site Maps.

Contractor shall identify mason's area on the site and indicate location on the Site Map. To the extent practical, within the area identified. Runoff control, such as berms or diversion ditches, silt fence, straw wattles, or other means mason's area. Receptacles for debris and trash disposal shall also be provided.

Temporary on—site fuel tanks for construction vehicles shall meet all State and Federal regulations. Tanks shall and associated hardware shall be maintained in proper working condition at all times. The location of fuel tanks shall be shown on the Site Maps

mplement a SPCC Plan in accordance with the Oil Pollution Prevention regulation at Title 40 of the Code of Federal Regulations, Part 112, (40 CFR 112).

he appropriate agencies. As required under the provisions of the Clean Water Act, any spill or discharge entering waters

additives, etc.) will be stored in a secure location, under cover, when not in use.

acid neutralizing agent, brooms, dust pans, mops, rags, gloves, goggles, plastic and metal trash containers, etc.) will be provided at the storage site.

riple rinsed, with water prior to disposal. The rinse water used in these containers will be disposed of in a manner in

Storm water pollutant control measures installed during construction, that will also provide storm water

C. CONSTRUCTION PHASE "BEST MANAGEMENT PRACTICES" (BMPs) During the construction phase, the Contractor shall implement the following measures:

adequate sedimentation controls. Materials removed to an off-site location shall be protected with appropriate controls and property permitted.

Contractor and sub-contractors shall utilize such designated areas. Cleaning, maintenance, and repair areas shall be protected by a temporary perimeter berm, shall not occur within 150 feet of any waterway, water body or wetland, and in areas located as far as practical from storm water inlets. 3. Use of detergents for large scale washing is prohibited (i.e. vehicles, buildings, pavement, surfaces, etc.).

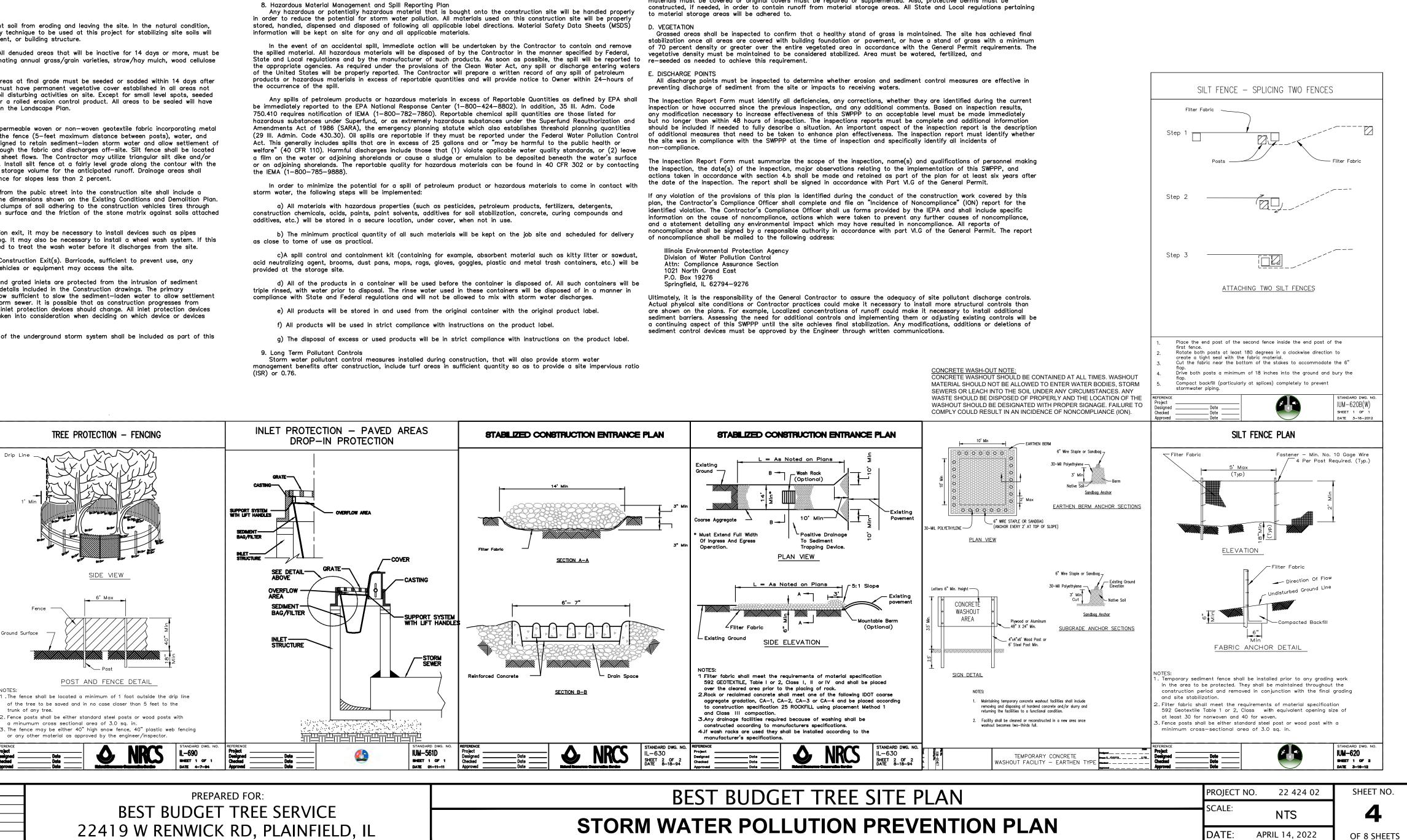
4. Chemicals, paints, solvents, fertilizers, and other toxic materials must be stored in waterproof containers. Except Whenever dirt, rock, or other materials are imported to the construction site or exported for placement in areas off

during application, the containers, the contents must be kept in trucks or within storage facilities. Runoff containing chemical disposal facility. importing to or exporting from have properly obtained all required permits, and will comply with all laws, regulations At a minimum, each off-site area that provides or receives material or is disturbed by project activities must is necessary to modify this SWPPP, add or relocate controls, or revise or implement additional Best Management as particular details of individual system components. Additional factors should be considered as appropriate to the Locations where vehicles enter and exit the site must be inspected for evidence of off-site sediment tracking. A Sediment barriers, traps and basins must be inspected and they must be cleaned out at such time as their original Inspections shall evaluate disturbed areas and areas used for storing materials that are exposed to rainfall for

D. OFF-SITE FACILITIES IN THE OPERATIONAL CONTROL OF THE CONTRACTOR Substances that have the potential for polluting surface and/or groundwater must be controlled by whatever means of the primary construction site, the Contractor is responsible for determining that all storm water permitting and pollution control requirements are met for each site which receives such materials or from which site materials are taken. Prior to the disturbance of any such site, Contractor will confirm that the operators of the site they are and permit conditions applicable to such sites. implement erosion and sediment control measures consisting of perimeter controls on all down slope and side slope boundaries and must also provide for both temporary stabilization and for permanent re-vegetation after all disturbances In addition to this SWPPP, construction activities associated with this project must comply with any guidelines set forth by Local regulatory agencies. The Contractor shall maintain documents evidencing such compliance in this SWPPP 5. INSPECTIONS AND SYSTEM MAINTENANCE Between the time this SWPPP is implemented and final Notice of Termination has been submitted, all disturbed areas and pollutant controls must be inspected weekly and within 24 hours of the end of a storm event 0.5 inches or equivalent snowfall. The purpose of site inspections is to assess performance of pollutant controls. The inspections will be conducted by the Contractor's Site Superintendent. Based on these inspections, the Contractor will decide whether it Practices in order to prevent pollutants from leaving the site via storm water runoff. The Contractor has the duty to cause pollutant control measures to be repaired, modified, supplemented, or take additional steps as necessary in order to achieve effective pollutant control. Examples of specific items to evaluate during site inspections are listed below. This list is not intended to be comprehensive. During each inspection, the inspector must evaluate overall pollutant control system performance as well circumstances. A. CONSTRUCTION EXIT AND TRACK OUT stabilized construction exit shall be constructed where vehicles enter and exit. Exits shall be maintained or supplemented with additional rock as necessary to prevent the release of sediment from vehicles leaving the site. Any sediment deposited on the roadway shall be swept as necessary throughout the day or at the end of everyday and disposed of in an appropriate manner. Sediment shall NOT be washed into storm sewer systems. B. SEDIMENT CONTROL DEVICES capacity has been reduced by 50 percent. All material excavated from behind sediment barriers or in traps and basins shall be incorporated into on—site soils or spread out on an upland portion of the site and stabilized. Additional sediment barriers must be constructed as needed C. MATERIAL STORAGE AREAS evidence of, or the potential for, pollutants entering the drainage system or discharging from the site. If necessary, the materials must be covered or original covers must be repaired or supplemented. Also, protective berms must be constructed, if needed, in order to contain runoff from material storage areas. All State and Local regulations pertaining

4. LOCAL PLANS

Grassed areas shall be inspected to confirm that a healthy stand of grass is maintained. The site has achieved final tabilization once all areas are covered with building foundation or pavement, or have a stand of grass with a minimum re—seeded as needed to achieve this requirement All discharge points must be inspected to determine whether erosion and sediment control measures are effective in Filter Fabric



contaminated with process materials such as solvents.

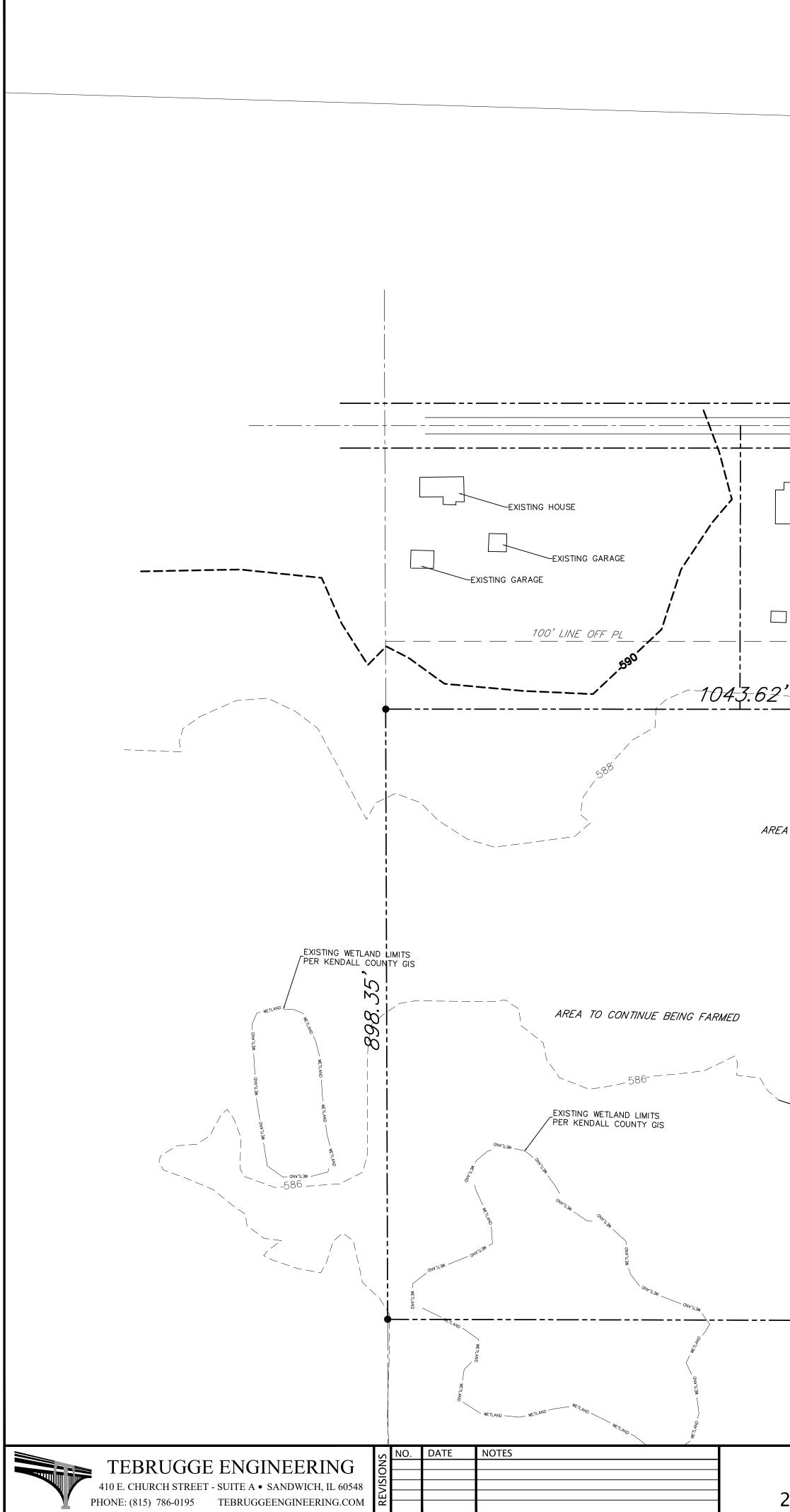
6. Mason's Area all masonry tools, material, including sand and sacked cement or mortar materials, and equipment shall be located of containment shall be provided to prevent the migration of storm water pollutants in runoff from the

7. Fuel Tanks have approved spill containment with the capacity required by the applicable regulations. The tanks shall be in sound condition free of rust or other damage which might compromise containment. Fuel storage areas will meet all EPA, OSHA and other regulatory requirements for signage, fire extinguisher, etc. Hoses, valves, fittings, caps, filler nozzles

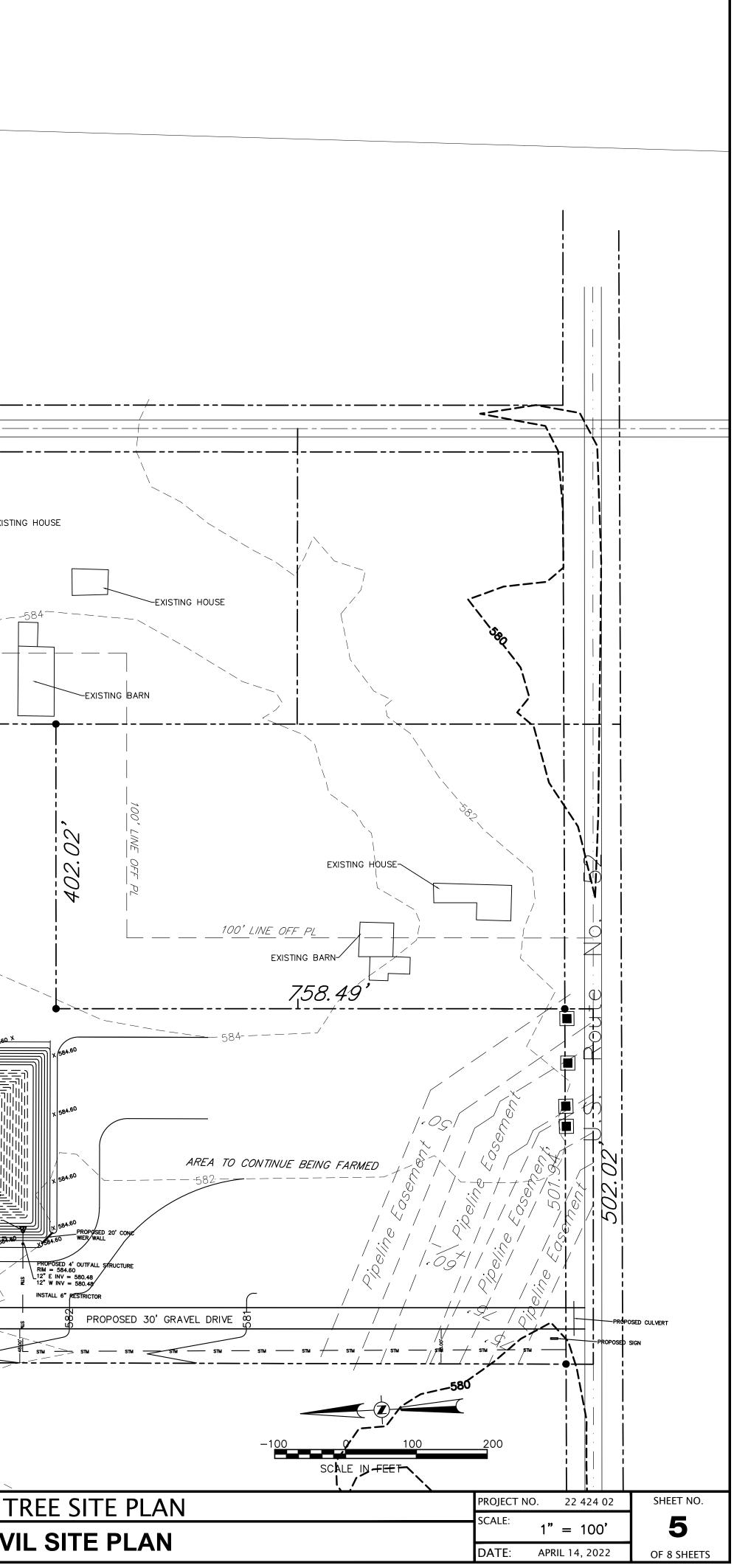
A Spill Prevention, Control and Countermeasure (SPCC) Plan must be developed if aboveground oil storage capacity at the construction site exceeds 1,320-gallons. Containers with storage capacity of 55-gallons or less are not included when calculating site storage capacity. The Contractor shall work with the Civil Engineering Consultant to develop and

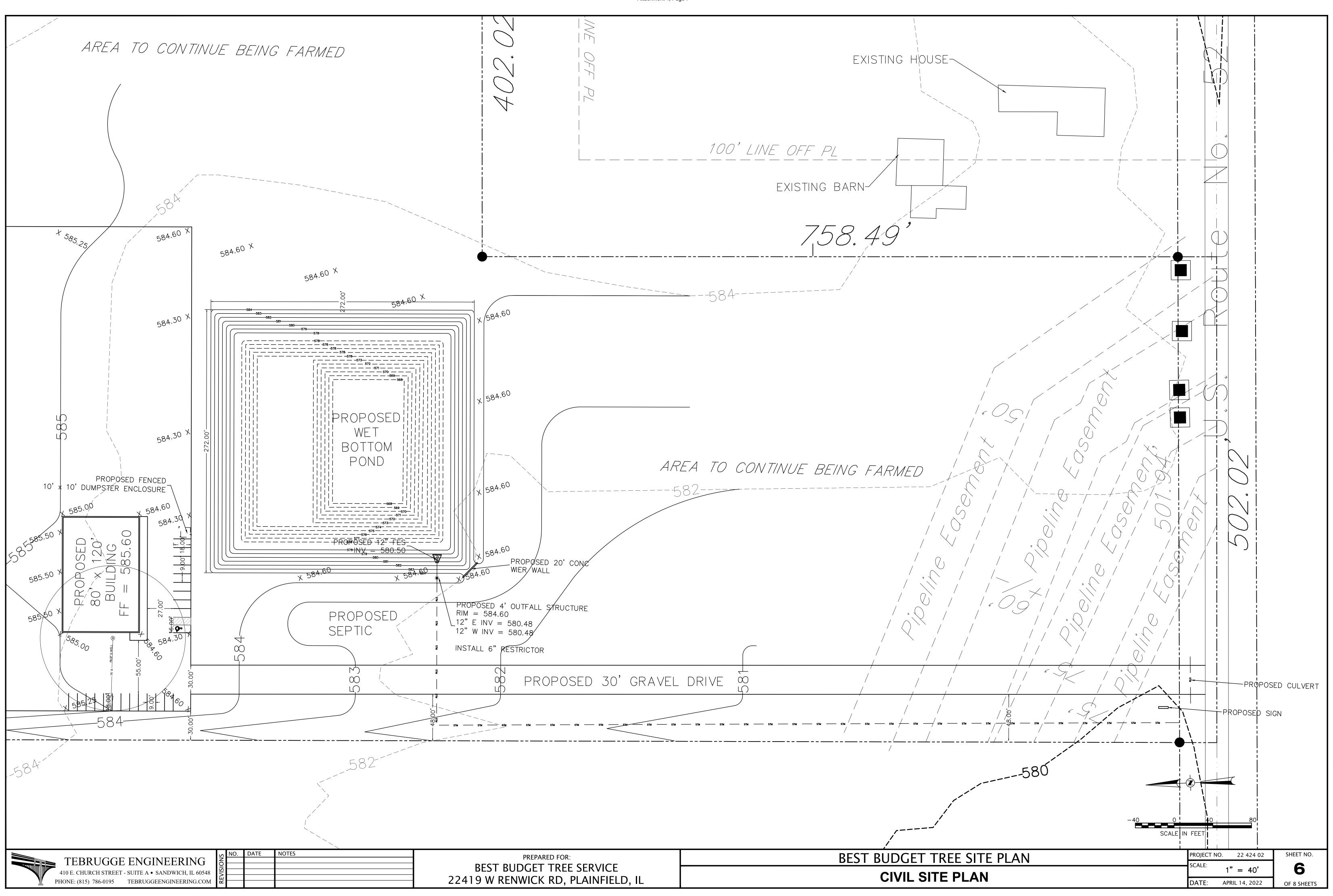
rocked, or having a building on them. B. OTHER POLLUTANT CONTROLS

1. Materials resulting from the clearing and grubbing or excavation operations shall be stockpiled up slope from

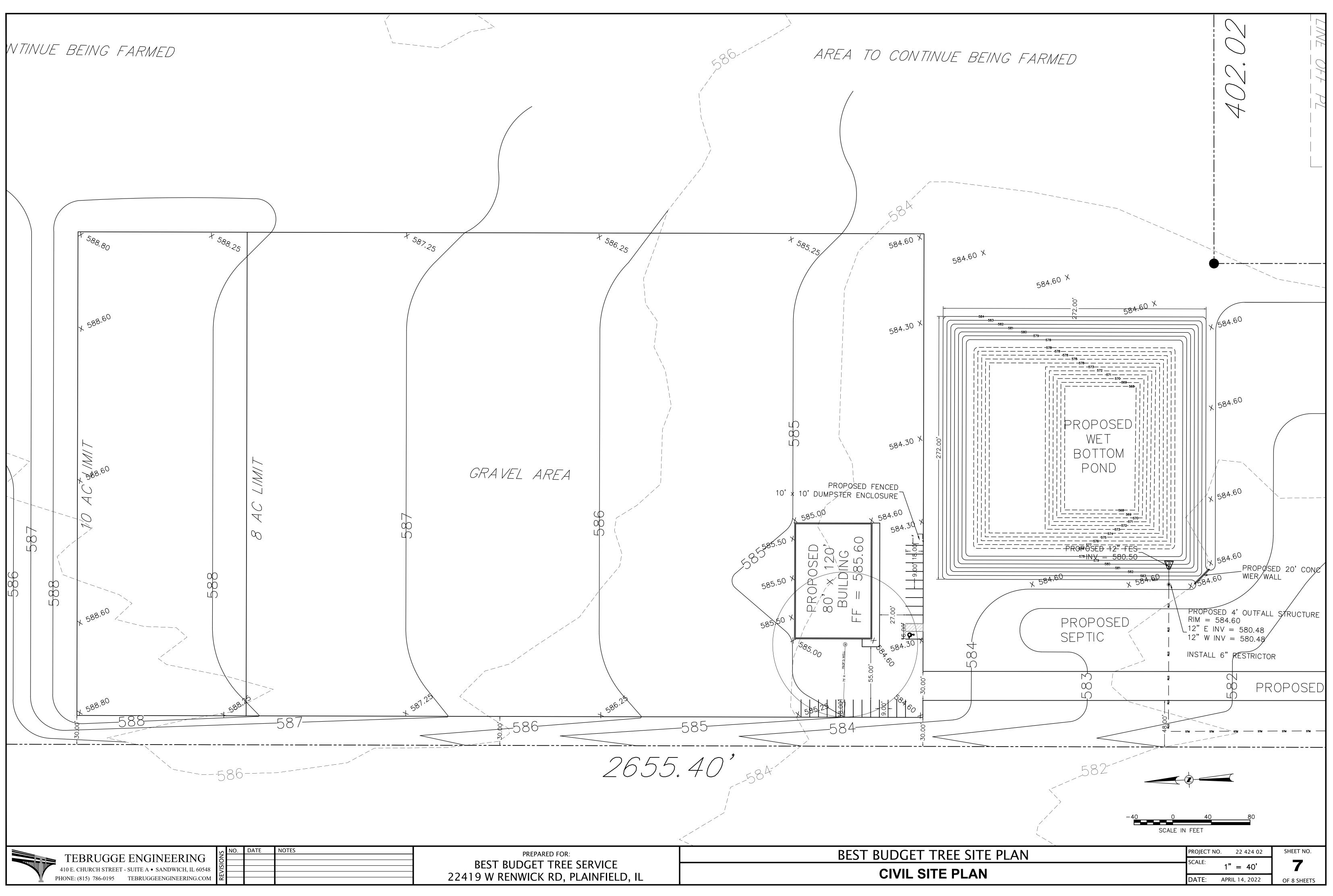


	66.Q'	Arbeiter	Road	<u></u>
	417.40	EXISTING HOUSE	EXISTING HOUSI EXISTING EXISTING GARAGE	
2'EXISTING BARN			<u>/////////////////////////////////////</u>	
	-588-			
EA TO CONTINUE BEING FARMED		~ ~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~	AREA TO CONTI	NUE BEING FARMED
B AC LIMIT	GRAVEZ	L AREA	584.50 X 584.50 X 585.50 X 584.50 X 585.50	584.60 X 584.60
588 ⁶⁰ 588 ⁶⁰ 588 588 587	× 567.22	586 585	585 00 X 585 00 X 585 00 584 584 584 584 584 584 584 584	PROPOSED SEPTIC SEPTIC
		2655.40'	584	582
PREPARED FOR: BEST BUDGET TREE SERVICE				EST BUDGET T
22419 W RENWICK RD, PLAINFIELD	, IL			OVERALL CIVI





	BEST BUDGET T
BEST BUDGET TREE SERVICE 22419 W RENWICK RD, PLAINFIELD, IL	CIVIL SIT



GENERAL CONDITIONS

. ALL EARTHWORK, ROADWAY WORK, DRAINAGE WORK OR STORM SEWER WORK SHALL BE PERFORMED UTILIZING MATERIALS AND METHODS IN STRICT ACCORDANCE WITH THE ILLINOIS DEPARTMENT OF TRANSPORTATION "STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION" LATEST EDITION. AS WELL AS THE STANDARD DETAIL SHEETS ATTACHED TO THESE PLANS. ALL MUNICIPAL, COUNTY, STATE AND FEDERAL REQUIREMENTS AND STANDARDS SHALL BE STRICTLY ADHERED TO IN WORK PERFORMED UNDER THIS CONTRACT.

2. ALL SANITARY SEWER AND WATER MAIN WORK SHALL BE PERFORMED USING METHODS AND MATERIALS IN STRICT ACCORDANCE WITH THE LATEST EDITION OF "STANDARD SPECIFICATIONS FOR WATER AND SEWER MAIN CONSTRUCTION IN ILLINOIS", LATEST EDITION, AS WELL AS THE STANDARD DETAIL SHEETS ATTACHED TO THESE PLANS. ALL MUNICIPAL, COUNTY, STATE AND FEDERAL REQUIREMENTS AND STANDARDS SHALL BE STRICTLY ADHERED TO IN WORK PERFORMED UNDER THIS CONTRACT.

3. ANY SPECIFICATIONS WHICH ARE SUPPLIED ALONG WITH THE PLANS SHALL TAKE PRECEDENCE IN THE CASE OF A CONFLICT WITH THE STANDARD SPECIFICATIONS NOTED IN ITEMS NO. 1 AND 2 ABOVE. THE ABOVE STANDARD SPECIFICATIONS & THE CONSTRUCTION PLANS ARE TO BE CONSIDERED AS PART OF THE CONTRACT DOCUMENTS. INCIDENTAL ITEMS OR ACCESSORIES NECESSARY TO COMPLETE THIS WORK MAY NOT BE SPECIFICALLY NOTED BUT ARE TO BE CONSIDERED A PART OF THE CONTRACT.

4. PRIOR TO COMMENCEMENT OF CONSTRUCTION, THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS AFFECTING THEIR WORK WITH THE ACTUAL CONDITIONS AT THE JOB SITE. IF THERE ARE ANY DISCREPANCIES FROM WHAT IS SHOWN ON THE CONSTRUCTION PLANS, HE MUST IMMEDIATELY REPORT SAME TO THE ENGINEER BEFORE DOING ANY WORK, OTHERWISE THE CONTRACTOR WILL BE CONSIDERED TO HAVE PROCEEDED AT HIS OWN RISK AND EXPENSE. IN THE EVENT OF ANY DOUBT OR QUESTION ARISING WITH RESPECT TO THE TRUE MEANING OF THE CONSTRUCTION PLANS OR SPECIFICATIONS, THE DECISION OF THE ENGINEER SHALL BE FINAL AND CONCLUSIVE.

5. ALL WORK PERFORMED UNDER THIS CONTRACT SHALL BE GUARANTEED AGAINST ALL DEFECTS IN MATERIALS AND WORKMANSHIP OF WHATEVER NATURE BY THE CONTRACTOR AND HIS SURETY FOR A PERIOD OF 12 MONTHS FROM THE DATE OF FINAL ACCEPTANCE OF THE WORK BY THE GOVERNING MUNICIPALITY, OTHER APPLICABLE GOVERNMENTAL AGENCIES, AND THE OWNER.

6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL REQUIRED PERMITS FOR CONSTRUCTION ALONG OR ACROSS EXISTING STREETS OR HIGHWAYS. HE SHALL MAKE ARRANGEMENTS FOR THE PROPER BRACING. SHORING AND OTHER REQUIRED PROTECTION OF ALL ROADWAYS BEFORE CONSTRUCTION BEGINS. ALONG WITH ADEQUATE TRAFFIC CONTROL MEASURES. HE SHALL BE RESPONSIBLE FOR ANY DAMAGE TO THE STREETS OR ROADWAYS AND ASSOCIATED STRUCTURES AND SHALL MAKE REPAIRS AS NECESSARY TO THE SATISFACTION OF THE ENGINEER, AT NO ADDITIONAL COST TO THE OWNER.

7. THE UTILITY LOCATIONS, AND THE DEPTHS SHOWN ON THESE PLANS ARE APPROXIMATE ONLY, AND SHALL BE VERIFIED BY THE CONTRACTOR WITH ALL AFFECTED UTILITY COMPANIES PRIOR TO INITIATING CONSTRUCTION OPERATIONS. THE ENGINEER AND OWNER ASSUME NO RESPONSIBILITY FOR THE ADEQUACY, SUFFICIENCY OR EXACTNESS OF THESE UTILITY REPRESENTATIONS.

8. PRIOR TO STARTING CONSTRUCTION THE CONTRACTOR SHALL CONTACT THE OFFICE OF J.U.L.I.E. AT 1-800-892-0123 FOR EXACT FIELD LOCATION OF ALL UNDERGROUND UTILITIES IN THE PROXIMITY OF, AND ON, THE PROJECT SITE; IF THERE ARE ANY UTILITIES WHICH ARE NOT MEMBERS OF THE J.U.L.I.E. SYSTEM, THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR DETERMINING THIS AND MAKE ARRANGEMENTS TO HAVE THESE UTILITIES FIELD LOCATED.

9. EASEMENTS FOR THE EXISTING UTILITIES, BOTH PUBLIC AND PRIVATE, AND UTILITIES WITHIN PUBLIC RIGHTS-OF-WAY ARE SHOWN ON THE PLANS ACCORDING TO AVAILABLE RECORDS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING THE EXACT LOCATION IN THE FIELD OF THESE UTILITY LINES AND THEIR PROTECTION FROM DAMAGE DUE TO CONSTRUCTION OPERATIONS. IF EXISTING UTILITY LINES OF ANY NATURE ARE ENCOUNTERED WHICH CONFLICT IN LOCATION WITH NEW CONSTRUCTION, THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR RELOCATING THESE FACILITIES AT HIS EXPENSE TO ACCOMMODATE THE NEW CONSTRUCTION.

10. ALL FIELD TILE ENCOUNTERED DURING CONSTRUCTION OPERATIONS SHALL BE CONNECTED TO THE PROPOSED STORM SEWER OR EXTENDED TO OUTLET INTO A PROPOSED DRAINAGE WAY. IF THIS CANNOT BE ACCOMPLISHED, THEN IT SHALL BE REPAIRED WITH NEW PIPE OF SIMILAR SIZE AND MATERIAL TO THE ORIGINA LINE AND PUT IN ACCEPTABLE OPERATIONAL CONDITION. A RECORD OF THE LOCATION OF ALL FIELD TILE FOR ONSITE DRAIN PIPE ENCOUNTERED SHALL BE KEPT BY THE CONTRACTOR AND TURNED OVER TO THE ENGINEER UPON COMPLETION OF THE PROJECT. THE COST OF THIS WORK SHALL BE CONSIDERED AS INCIDENTAL TO THE CONTRACT AND NO ADDITIONAL COMPENSATION WILL BE ALLOWED.

11. IT SHALL BE THE RESPONSIBILITY OF EACH RESPECTIVE CONTRACTOR TO REMOVE FROM THIS SITE ANY AND ALL MATERIALS AND DEBRIS WHICH RESULT FROM HIS CONSTRUCTION OPERATIONS AT NO ADDITIONAL EXPENSE TO THE OWNER.

12. THE ENGINEER AND OWNER ARE NOT RESPONSIBLE FOR THE CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES OR PROCEDURES, TIME OF PERFORMANCE, PROGRAMS OF FOR ANY SAFETY PRECAUTIONS USED BY THE CONTRACTOR. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR EXECUTION OF HIS WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS AND SPECIFICATIONS.

13. THE CONTRACTOR SHALL COMPLY WITH ALL STATE AND FEDERAL SAFETY REGULATIONS AS OUTLINED IN THE LATEST REVISIONS OF THE FEDERAL CONSTRUCTION SAFETY STANDARDS (SERIES 1926) AND WITH APPLICABLE PROVISIONS AND REGULATIONS OF THE OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA) STANDARDS OF THE WILLIAMS STELGER OCCUPATIONAL HEALTH STATE SAFETY ACT OF 1970(REVISED). THE CONTRACTOR, ENGINEERS, AND OWNER SHALL EACH BE RESPONSIBLE FOR HIS OWN RESPECTIVE AGENTS AND EMPLOYEES.

14. THE CONTRACTOR SHALL INDEMNIFY THE OWNER, THE ENGINEER, AND ALL GOVERNING AUTHORITIES, THEIR AGENTS SUCCESSORS AND ASSIGNS FROM ANY AND ALL LIABILITY WITH RESPECT TO THE CONSTRUCTION, INSTALLATION AND TESTING OF THE WORK REQUIRED ON THIS PROJECT. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO PERFORM THE WORK OF THIS CONTRACT IN A MANNER WHICH STRICTLY COMPLIES WITH ANY AND ALL PERTINENT LOCAL, STATE OR NATIONAL CONSTRUCTION AND SAFETY CODES; THE ENGINEER, OWNER, AND GOVERNING AUTHORITIES ARE NOT RESPONSIBLE FOR ENSURING COMPLIANCE BY THE CONTRACTOR WITH SAID CODES AND ASSUME NO LIABILITY FOR ACCIDENTS, INJURIES, OR DEATHS, OR CLAIMS RELATING THERETO WHICH MAY RESULT FROM LACK OF ADHERENCE TO SAID CODES.

UNDERGROUND UTILITIES

1. ALL UTILITY TRENCHES BENEATH PROPOSED OR EXISTING UTILITIES, PROPOSED OR EXISTING PAVEMENT DRIVEWAYS, SIDEWALKS AND FOR A DISTANCE OF TWO FEET ON EITHER SIDE OF SAME, AND/OR WHEREVER ELSE SHOWN ON THE CONSTRUCTION PLANS SHALL BE BACKFILLED WITH SELECT GRANULAR BACKFILL (CA-6 OR CA-7) AND THOROUGHLY COMPACTED IN ACCORDANCE WITH THE EARTHWORK SPECIFICATIONS.

2. UNLESS OTHERWISE INDICATED ON THE PLANS, STORM SEWER PIPE SHALL BE REINFORCED CONCRETE CULVERT PIPE OF THE CLASS AS INDICATED ON THE PLANS, AND CONFORMING TO ASTM C-76. JOINTS SHALL TYPICALLY BE A "TROWEL APPLIED" BITUMINOUS MASTIC COMPOUND IN ACCORDANCE WITH ASTM C-76 (OR C-14 AS MAY BE APPLICABLE OR RUBBER "O"-RING GASKET JOINTS CONFORMING TO ASTM C-443). LOCATIONS WHERE THE STORM SEWER CROSSES WATERMAINS AN "O"-RING JOINT IN ACCORDANCE WITH ASTM C-361 SHALL BE USED.

3. STORM SEWER MANHOLES SHALL BE PRECAST STRUCTURES, WITH THE DIAMETER DEPENDENT ON THE PIPE SIZE AND WITH APPROPRIATE FRAME AND LIDS (SEE CONSTRUCTION STANDARDS). LIDS SHALL BE IMPRINTED "STORM SEWER". ALL FLARED END SECTIONS SHALL HAVE A FRAME & GRATE INSTALLED.

4. THESE FRAME AND GRATES FOR STORM STRUCTURES SHALL BE USED UNLESS OTHERWISE INDICATED ON THE PLAN SET. USE NEENAH R-1712 OPEN LID (OR EQUAL) IN PAVEMENT AREAS, USE NEENAH R-1772-B OPEN OR CLOSED LID (OR EQUAL) IN GRASS AREAS, USE NEENAH R-3015 (OR EQUAL) FOR B6.12 CURB AREAS, AND NEENAH R-3509 (OR EQUAL) FOR DEPRESSED CURB AREAS.

5. STRUCTURES FOR SANITARY AND STORM SEWERS AND VALVE VAULTS FOR WATER SHALL BE IN ACCORDANCE WITH THESE IMPROVEMENT PLANS AND THE APPLICABLE STANDARD SPECIFICATIONS. WHERE GRANULAR TRENCH BACKFILL IS REQUIRED AROUND THESE STRUCTURES THE COST SHALL BE CONSIDERED AS INCIDENTAL AND SHALL BE INCLUDED IN THE CONTRACT UNIT PRICE FOR THE STRUCTURE.

6. ALL STORM SEWERS AND WATERMAINS SHALL HAVE COMPACTED CA-7 GRANULAR BEDDING, A MINIMUM OF 4" BELOW THE BOTTOM OF THE PIPE FOR THE FULL LENGTH. BEDDING SHALL EXTEND TO THE SPRING LINE OF THE PIPE. COST FOR THE BEDDING SHALL BE INCLUDED WITH THE UNIT PRICE BID FOR THE PIPE.

7. THE UNDERGROUND CONTRACTOR SHALL BE RESPONSIBLE FOR DEWATERING ANY EXCAVATION FOR THE INSTALLATION OF THE SEWER OR WATER SYSTEMS. ANY DEWATERING ENCOUNTERED SHALL BE INCIDENTAL TO THE RESPECTIVE UNDERGROUND UTILITY.

8. ALL STRUCTURES SHALL HAVE A MAXIMUM OF 8" OF ADJUSTING RINGS, UNLESS OTHERWISE NOTED.

9. ALL TOP FRAMES FOR STORM AND VALVE VAULT COVERS AND B-BOXES ARE TO BE ADJUSTED TO MEET FINAL FINISH GRADE UPON COMPLETION OF FINISHED GRADING AND FINAL INSPECTIONS. THIS ADJUSTMENT IS TO BE MADE BY THE UNDERGROUND CONTRACTOR AND THE COST IS TO BE INCIDENTAL. THE UNDERGROUND CONTRACTOR SHALL INSURE THAT ALL ROAD AND PAVEMENT INLETS OR STRUCTURES ARE AT FINISHED GRADE. ANY ADJUSTMENTS NECESSITATED BY THE CURB OR PAVING CONTRACTOR TO ACHIEVE FINAL RIM GRADE, RESULTING IN AN EXTRA FOR SAID ADJUSTMENTS, WILL BE CHARGED TO THE UNDERGROUND CONTRACTOR.

10. ALL FLOOR DRAINS AND FLOOR DRAIN SUMP PUMPS SHALL DISCHARGE INTO THE SANITARY SEWER. 11. ALL DOWNSPOUTS, FOOTING DRAINS AND SUBSURFACE STORM WATERS SHALL DISCHARGE INTO THE STORM SEWER OR ONTO THE GROUND AND BE DIRECTED TOWARDS A STORM SEWER STRUCTURE.

12. ANY ANTICIPATED COST OF SHEETING SHALL BE REFLECTED IN THE CONTRACT AMOUNTS. NO ADDITIONAL COST WILL BE ALLOWED FOR SHEETING OR BRACING.

13. THE CONTRACTOR SHALL INSTALL A 2"x4"x8' POST ADJACENT TO THE TERMINUS OF THE SANITARY SERVICE WATERMAIN SERVICE, SANITARY MANHOLES, STORM STRUCTURES, AND WATER VAULTS. THE POST SHALL EXTEND A MINIMUM OF 4 FT. ABOVE THE GROUND. SAID POST SHALL BE PAINTED AS FOLLOWS: SANITARY-GREEN, WATER-BLUE, AND STORM-RED.

14. IT SHALL BE THE RESPONSIBILITY OF THE UNDERGROUND CONTRACTOR TO REMOVE FROM THE SITE ANY AND ALL MATERIALS AND DEBRIS WHICH RESULT FROM HIS CONSTRUCTION OPERATIONS AT NO ADDITIONAL EXPENSE TO THE OWNER.

<u>EARTHWORK</u>

1. ALL EARTHWORK OPERATIONS SHALL BE IN ACCORDANCE WITH SECTION 200 OF THE I.D.O.T. SPECIFICATIONS. 2. THE CONTRACTOR SHALL PROTECT ALL PROPERTY PINS AND SURVEY MONUMENTS AND SHALL RESTORE ANY WHICH ARE DISTURBED BY HIS OPERATIONS AT NO ADDITIONAL COST TO THE CONTRACT.

3. IT IS THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE ALL MATERIAL QUANTITIES AND APPRISE HIMSELF OF ALL SITE CONDITIONS. THE CONTRACT PRICE SUBMITTED BY THE CONTRACTOR SHALL BE CONSIDERED AS LUMP SUM FOR THE COMPLETE PROJECT. NO CLAIMS FOR EXTRA WORK WILL BE RECOGNIZED UNLESS ORDERED IN WRITING BY THE OWNER.

4. PRIOR TO ONSET OF MASS GRADING OPERATIONS THE EARTHWORK CONTRACTOR SHALL FAMILIARIZE HIMSELF WITH THE SOIL EROSION CONTROL SPECIFICATIONS. THE INITIAL ESTABLISHMENT OF EROSION CONTROL PROCEDURES AND THE PLACEMENT OF SILT FENCING, ETC. TO PROTECT ADJACENT PROPERTY SHALL OCCUR BEFORE MASS GRADING BEGINS, AND IN ACCORDANCE WITH THE SOIL EROSION CONTROL CONSTRUCTION SCHEDULE

5. THE GRADING OPERATIONS ARE TO BE CLOSELY SUPERVISED AND INSPECTED, PARTICULARLY DURING THE REMOVAL OF UNSUITABLE MATERIAL AND THE CONSTRUCTION OF EMBANKMENTS OR BUILDING PADS, BY THE SOILS ENGINEER OR HIS REPRESENTATIVE. ALL TESTING, INSPECTION AND SUPERVISION OF SOIL QUALITY, UNSUITABLE REMOVAL AND ITS REPLACEMENT AND OTHER SOILS RELATED OPERATIONS SHALL BE ENTIRELY THE RESPONSIBILITY OF THE SOILS ENGINEER.

6. THE GRADING AND CONSTRUCTION OF THE SITE IMPROVEMENTS SHALL NOT CAUSE PONDING OF STORM WATER. ALL AREAS ADJACENT TO THESE IMPROVEMENTS SHALL BE GRADED TO ALLOW POSITIVE DRAINAGE.

7. THE PROPOSED GRADING ELEVATIONS SHOWN ON THE PLANS ARE FINISH GRADE. A MINIMUM OF SIX INCHES (6") OF TOPSOIL IS TO BE PLACED BEFORE FINISH GRADE ELEVATIONS ARE ACHIEVED.

8. THE SELECTED STRUCTURAL FILL MATERIAL SHALL BE PLACED IN LEVEL UNIFORM LAYERS SO THAT THE COMPACTED THICKNESS IS APPROXIMATELY SIX INCHES (6"); IF COMPACTION EQUIPMENT DEMONSTRATES THE ABILITY TO COMPACT A GREATER THICKNESS, THEN A GREATER THICKNESS MAY BE SPECIFIED. EACH LAYER SHALL BE THOROUGHLY MIXED DURING SPREADING TO INSURE UNIFORMITY.

9. EMBANKMENT MATERIAL WITHIN ROADWAY, PARKING LOT, AND OTHER STRUCTURAL CLAY FILL AREAS SHALL BE COMPACTED TO A MINIMUM OF NINETY-FIVE PERCENT (95%) OF MAXIMUM DENSITY IN ACCORDANCE WITH ASTM SPECIFICATION D-1557 (MODIFIED PROCTOR METHOD), OR TO SUCH OTHER DENSITY AS MAY BE DETERMINED APPROPRIATE BY THE SOILS ENGINEER. EMBANKMENT MATERIAL FOR BUILDING PADS SHALL BE COMPACTED TO A MINIMUM OF NINETY-FIVE (95%) OF MAXIMUM DENSITY IN ACCORDANCE WITH ASTM DESIGNATION D-1557 (MODIFIED PROCTOR METHOD) OR TO SUCH OTHER DENSITY AS MAY BE DETERMINED APPROPRIATE BY THE SOIL ENGINEER.

10. EMBANKMENT MATERIAL (RANDOM FILL) WITHIN NON-STRUCTURAL FILL AREAS SHALL BE COMPACTED TO A MINIMUM OF NINETY PERCENT (90%) OF MAXIMUM DENSITY IN ACCORDANCE WITH ASTM SPECIFICATION D-157 (MODIFIED PROCTOR METHOD).

11. THE SUB GRADE FOR PROPOSED STREET AND PAVEMENT AREAS SHALL BE PROOF-ROLLED BY THE CONTRACTOR AND ANY UNSTABLE AREAS ENCOUNTERED SHALL BE REMOVED AND REPLACED AS DIRECTED BY THE SOILS ENGINEER.

12. SOIL BORING REPORTS, IF AVAILABLE, ARE SOLELY FOR THE INFORMATION AND GUIDANCE OF THE CONTRACTORS. THE OWNER AND ENGINEER MAKE NO REPRESENTATION OR WARRANTY REGARDING THE INFORMATION CONTAINED IN THE BORING LOGS. THE CONTRACTOR SHALL MAKE HIS OWN INVESTIGATIONS AND SHALL PLAN HIS WORK ACCORDINGLY. ARRANGEMENTS TO ENTER THE PROPERTY DURING THE BIDDING PHASE MAY BE MADE UPON REQUEST OF THE OWNER. THERE WILL BE NO ADDITIONAL PAYMENT FOR EXPENSES INCURRED BY THE CONTRACTOR RESULTING FROM ADVERSE SOIL OR GROUND WATER CONDITIONS.

13. IT SHALL BE THE RESPONSIBILITY OF THE EXCAVATION CONTRACTOR TO REMOVE FROM THE SITE ANY AND ALL MATERIALS AND DEBRIS WHICH RESULT FROM HIS CONSTRUCTION OPERATIONS AT NO ADDITIONAL EXPENSE TO THE OWNER.

PAVING & WALKS

1. WORK UNDER THIS SECTION SHALL INCLUDE FINAL SUBGRADE SHAPING AND PREPARATION: FORMING JOINTING, PLACEMENT OF ROADWAY AND PAVEMENT BASE COURSE MATERIALS AND SUBSEQUENT BINDER AND/OR SURFACE COURSES; PLACEMENT, FINISHING AND CURING OF CONCRETE; FINAL CLEAN-UP; AND ALL RELATED WORK.

2. ALL PAVING AND SIDEWALK WORK SHALL BE DONE IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS (I.D.O.T.) AND PER LOCAL REGULATIONS.

3. SUBGRADE FOR PROPOSED PAVEMENT SHALL BE FINISHED BY THE EXCAVATION CONTRACTOR TO WITHIN 0.1 FOOT, PLUS OR MINUS, OF THE PLAN ELEVATION. THE PAVING CONTRACTOR SHALL SATISFY HIMSELF THAT THE SUBGRADE HAS BEEN PROPERLY PREPARED AND THAT THE FINISH TOP SUBGRADE ELEVATION HAS BEEN GRADED WITHIN TOLERANCES ALLOWED IN THESE SPECIFICATIONS. UNLESS THE PAVING CONTRACTOR ADVISES THE OWNER AND ENGINEER IN WRITING PRIOR TO FINE GRADING FOR BASE COURSE CONSTRUCTION, IT IS UNDERSTOOD THAT HE HAS APPROVED AND ACCEPTS THE RESPONSIBILITY FOR THE SUBGRADE. PRIOR TO PLACEMENT OF PAVEMENT BASE MATERIALS. THE PAVING CONTRACTOR SHALL FINE GRADE THE SUBGRADE SO AS TO INSURE THE PROPER THICKNESS OF PAVEMENT COURSES. NO CLAIMS FOR EXCESS BASE MATERIALS DUE TO IMPROPER SUBGRADE PREPARATION WILL BE HONORED.

4. THE PROPOSED PAVEMENT SHALL CONSIST OF THE SUB-BASE COURSE, BITUMINOUS AGGREGATE BASE COURSE. BITUMINOUS BINDER COURSE. AND BITUMINOUS SURFACE COURSE. OF THE THICKNESS AND MATERIALS AS SPECIFIED ON THE CONSTRUCTION PLANS, PRIME COAT SHALL BE APPLIED TO THE SUB-BASE COURSE AT A RATE OF 0.5 GALLONS PER SQUARE YARD. UNLESS SHOWN AS A BID ITEM, PRIME COAT SHALL BE CONSIDERED AS INCIDENTAL TO THE COST OF THE CONTRACT. ALL PAVEMENT SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE "I.D.O.T. STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION," CURRENT EDITION.

5. AFTER THE INSTALLATION OF THE BASE COURSE, ALL TRAFFIC SHALL BE KEPT OFF THE BASE UNTIL THE BINDER COURSE IS LAID. AFTER INSTALLATION OF THE BINDER COURSE AND UPON INSPECTION AND APPROVAL BY GOVERNING AUTHORITY, THE PAVEMENT SHALL BE CLEANED, PRIMED AND THE SURFACE COURSE LAID. ALL DAMAGED AREAS IN THE BINDER, BASE OR CURB AND GUTTER SHALL BE REPAIRED TO THE SATISFACTION OF THE OWNER PRIOR TO LAYING THE SURFACE COURSE. THE PAVING CONTRACTOR SHALL PROVIDE WHATEVER EQUIPMENT AND MANPOWER IS NECESSARY, INCLUDING THE USE OF POWER BROOMS TO PREPARE THE PAVEMENT FOR APPLICATION OF THE SURFACE COURSE. EQUIPMENT AND MANPOWER TO CLEAN PAVEMENT SHALL BE CONSIDERED INCIDENTAL TO THE COST OF THE CONTRACT. PRIME COAT ON THE BINDER COARSE SHALL BE CONSIDERED AS INCIDENTAL TO THE COST OF THE CONTRACT AND SHALL BE APPLIED TO THE BINDER AT A RATE OF 0.5 GALLONS PER SQUARE YARD.

STANDARD SPECIFICATIONS.

7. SIDEWALKS SHALL BE OF THE THICKNESS AND DIMENSIONS AS SHOWN IN THE CONSTRUCTION PLANS. ALL SIDEWALK CONCRETE SHALL DEVELOP A MINIMUM OF 3,500-PSI COMPRESSIVE STRENGTH AT 28 DAYS. CONTRACTION JOINTS SHALL BE SET AT 5' CENTERS, AND 3/4" PRE-MOLDED FIBER EXPANSION JOINTS SET AT 50' CENTERS AND WHERE THE SIDEWALK MEETS THE CURB, A BUILDING, OR ANOTHER SIDEWALK, OR AT THE END OF EACH POUR. ALL SIDEWALKS CONSTRUCTED OVER UTILITY TRENCHES SHALL BE REINFORCED WITH THREE NO. 5 REINFORCING BARS (10' MINIMUM LENGTH). ALL SIDEWALKS CROSSING DRIVEWAYS SHALL BE A MINIMUM OF 6" THICK AND REINFORCED WITH 6X6 #6 WELDED WIRE MESH. ALL SIDEWALKS SHALL BE BROOM FINISHED. IF A MANHOLE FRAME FALLS WITHIN THE LIMITS OF A SIDEWALK, A BOX-OUT SECTION SHALL BE PLACED AROUND THE MANHOLE FRAME WITH A 3/4" EXPANSION JOINT.

8. BACKFILLING ALONG PAVEMENT SHALL BE THE RESPONSIBILITY OF THE EARTHWORK CONTRACTOR. 9. IT SHALL BE THE RESPONSIBILITY OF THE PAVING CONTRACTOR TO REMOVE FROM THE SITE ANY AND ALL MATERIAL AND DEBRIS, WHICH RESULTS FROM HIS CONSTRUCTION OPERATIONS AT NO ADDITIONAL EXPENSE TO THE OWNER.

10. TESTING OF THE SUB-BASE, BASE COURSE, BINDER COURSE, SURFACE COURSE AND CONCRETE WORK SHALL BE REQUIRED IN ACCORDANCE WITH THE "I.D.O.T. STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION" CURRENT EDITION, AND IN ACCORDANCE WITH THE SPECIFIC REQUIREMENTS OF THE GOVERNING MUNICIPALITY. A QUALIFIED TESTING FIRM SHALL BE EMPLOYED BY THE OWNER TO PERFORM THE REQUIRED

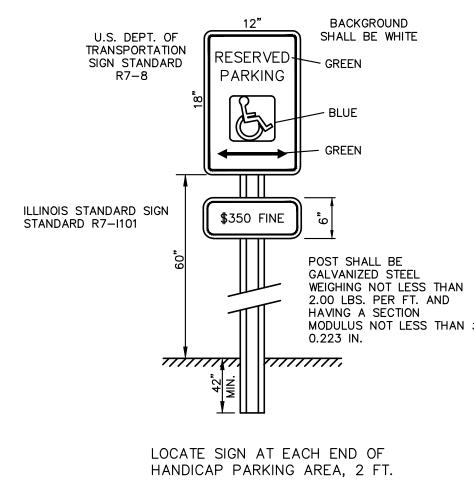
PLANS, SHALL BE INSTALLED IN ACCORDANCE WITH SECTION T-502 OF SAME SPECIFICATIONS.

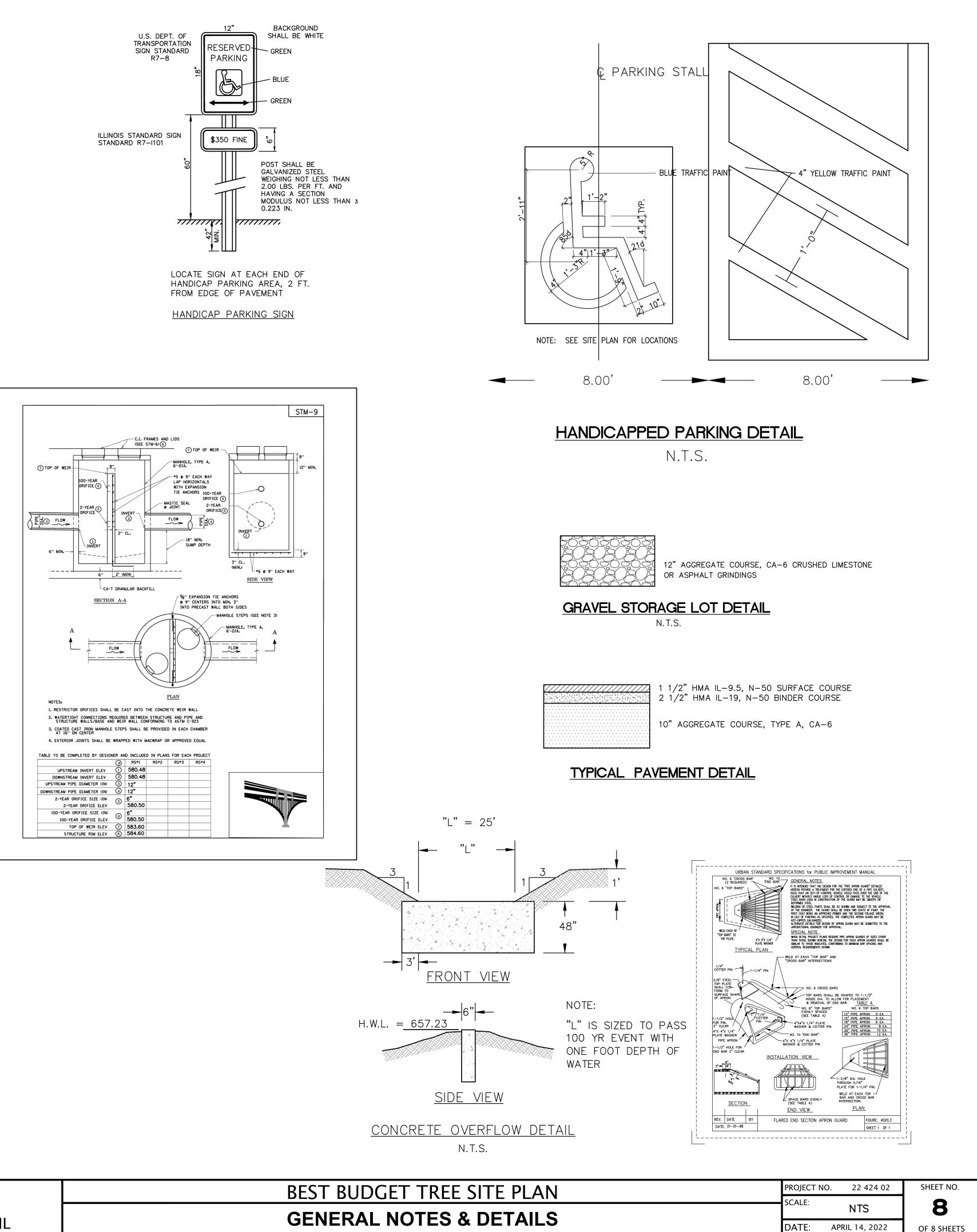
12. PAINTED PAVEMENT MARKINGS AND SYMBOLS SHALL BE INSTALLED ONLY WHEN THE AMBIENT AIR TEMPERATURE IS 40 DEGREES FAHRENHEIT AND THE FORECAST CALL FOR RISING TEMPERATURES. 13. ALL EXISTING CURB AND PAVEMENT SHALL BE PROTECT DURING CONSTRUCTION. ANY DAMAGE TO THE CURB OR PAVEMENT WILL BE REPAIRED OR REPLACED AT NO ADDITIONAL COST TO THE OWNER. 14. ANY SIDEWALK THAT IS DAMAGED OR NOT ADA COMPLIANT, INCLUDING SIDEWALK RAMPS, MUST BE REPLACED PRIOR TO FINAL INSPECTION APPROVAL.

TEBRUGGE ENGINEERING	
410 E. CHURCH STREET - SUITE A • SANDWICH, IL 60548	_
PHONE: (815) 786-0195 TEBRUGGEENGINEERING.COM	2

6. CURING AND PROTECTION OF ALL EXPOSED CONCRETE SURFACES SHALL BE IN ACCORDANCE WITH THE

11. PAINTED PAVEMENT MARKINGS AND SYMBOLS, OF THE TYPE AND COLOR AS NOTED ON THE CONSTRUCTION





	BEST BUDGET T
BEST BUDGET TREE SERVICE	
22419 W RENWICK RD, PLAINFIELD, IL	GENERAL NOT

Attachment 4, Page 10

STORMWATER MANAGEMENT DETENTION DESIGN COMPUTATIONS FOR BEST BUDGET TREE SERVICE LOCATED AT 2195 US HIGHWAY 52 IN MINOOKA, IL BY TEBRUGGE ENGINEERING 410 E. CHURCH ST. SUITE A



BEST BUDGET TREE SERVICE IS PROPOSING TO RELOCATE THEIR TREE SERVICE BUSINEES TO A 48 ACRE PARCEL ON US HIGHWAT 52 WEST OF ARBEITER ROAD IN MINOOKA, IL. THE TREE BUSINESS WILL OCCUPY THE CENTER PORTION OF THE SITE TAKING UP 10 ACRES OF THE SITE. THE REMAINING 38 ACRES WILL REMAIN FARM LAND. THE 10 ACRE PORTION OF THE SITE WILL BE COVERED IN GRAVEL AND REGRADED TO PROVIDE OVERLAND FLOW NORTH TO SOUTH. A STORM WATER WET DETENTION POND WILL BE CONSTRUCTED SOUTH OF THE PROPOSED BUILDING AND GRAVEL STORAGE AREA. OWNER WILL BE STORING CUT FIREWOOD AND MULCH FOR WHOLESALE DISTRIBUTION. NO RETAIL IS PROPOSED.

SANDWICH, IL

SUMMARY OF AREAS WITHIN THE TRIBUTARY AREA OF THE POND

TRIBUTARY AREA OF THE LOT TO THE DETENTION POND = 13.0 AC. PROPOSED GRAVEL AREA = 424,960 SF = 9.76 AC LANDSCAPE/WET DETENTION POND AREA = 3.0 AC BUILDING = 80X120 + 8X130 = 10,640 SF = 0.24 AC

CALCULATION OF PROPOSED SITE CURVE NUMBER (CN)

IMPERVIOUS	$96 \times 0.24 \text{ AC} = 23.04$
GRAVEL:	$80 \times 9.76 \text{ AC} = 780.80$
WET POND	$90 \times 1.7 \text{ AC} = 153.00$
LANDSCAPE	$65 \times 1.3 \text{ AC} = 84.5$

TOTAL:

13.0 AC = 1041.34

CN (WEIGHTED) = 1041.34/13.0 AC. = 80.1 USE CN = 80

RESTRICTOR SIZING: Q = CA (2GII) 1/2100 yr Q allow = 0.15 * 13.0 AC. = 1.95cfsSee detention pond computations for restrictor sizing:2 yr Q allow = $0.04 \times 13.3 ac = 0.52 cf$ USING 6" DIA RESTRICTOR @ EL 580.50

DETENTION POND STORAGE VOLUME REQUIRED = 5.22 AC-FT. @ ELEV. = 583.51 DETENTION POND STORAGE VOLUME PROVIDED = 5.37 AC-FT. W/ HWL @ 583.60 100 YEAR RELEASE RATE = 1.57 CFS @ HWL = 583.51 2 YEAR RELEASE RATE = 0.42 CFS @ HWL = 580.95

OVERFLOW WEIR LENGTH: $Q = CL(H^{1.5})$ C = 3.2H = 1.0Q = 54.83 cfsL = Q/C $H^{1.5}$ L = 54.83/3.2 $X \cdot 1.0 - 17.13$ FTUSE 20FEETACTUALH=0.90FT.

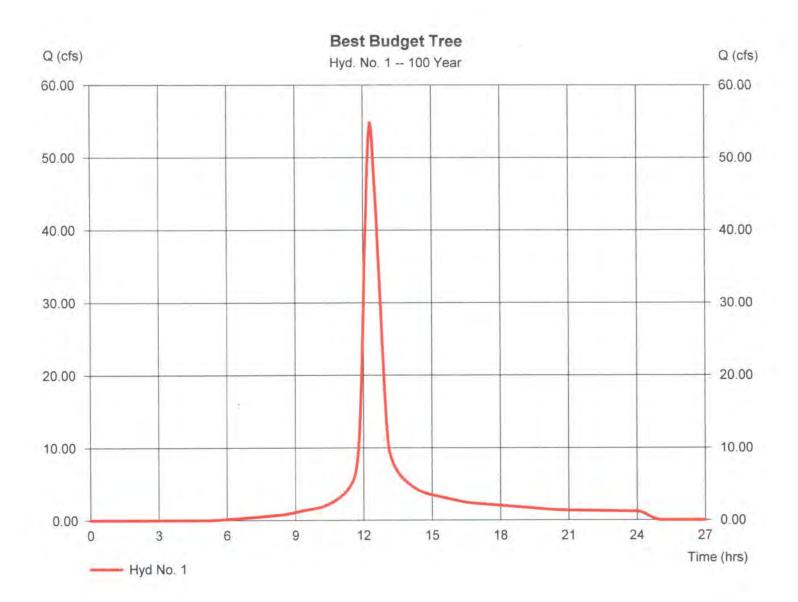
Hydraflow Hydrographs Extension for Autodesk® Civil 3D® by Autodesk, Inc. v2021

Tuesday, 04 / 12 / 2022

Hyd. No. 1

Best Budget Tree

Hydrograph type	= SCS Runoff	Peak discharge	= 54.83 cfs
Storm frequency	= 100 yrs	Time to peak	= 12.30 hrs
Time interval	= 3 min	Hyd. volume	= 290,751 cuft
Drainage area	= 13.000 ac	Curve number	= 80
Basin Slope	= 0.5 %	Hydraulic length	= 1000 ft
Tc method	= LAG	Time of conc. (Tc)	= 45.03 min
Total precip.	= 8.57 in	Distribution	= Type II
Storm duration	= 24 hrs	Shape factor	= 484



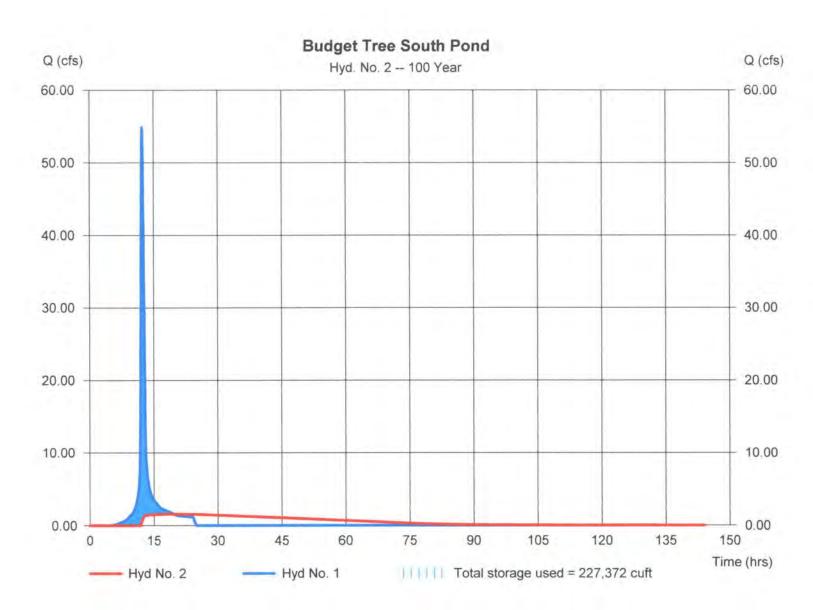
Hydraflow Hydrographs Extension for Autodesk® Civil 3D® by Autodesk, Inc. v2021

Hyd. No. 2

Budget Tree South Pond

Hydrograph type	Reservoir	Peak discharge	=	1.571 cfs	
Storm frequency	= 100 yrs	Time to peak	=	19.75 hrs	
Time interval	= 3 min	Hyd. volume	=	257,456 cuft	
Inflow hyd. No.	= 1 - Best Budget Tree	Max. Elevation	=	583.51 ft	
	South Pond	Max. Storage	-	227,372 cuft	

Storage Indication method used.



Tuesday, 04 / 12 / 2022

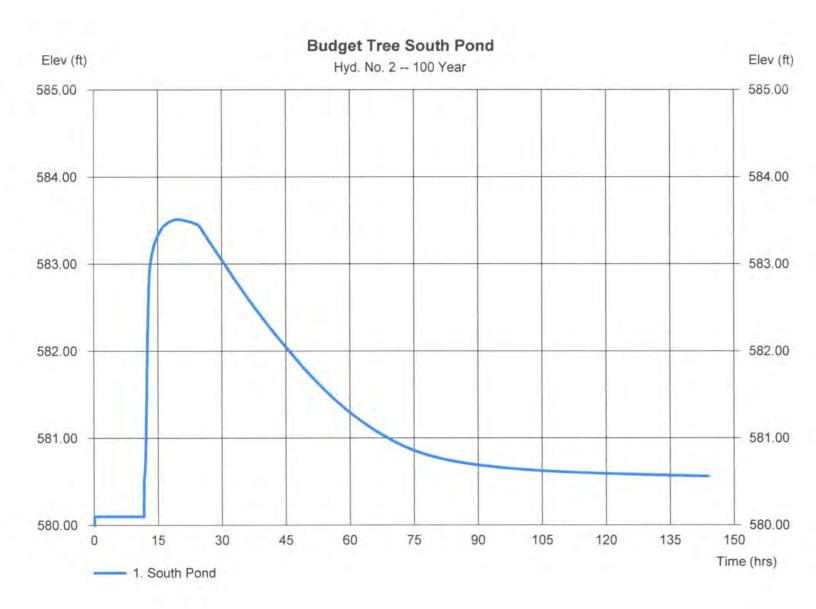
Hydraflow Hydrographs Extension for Autodesk® Civil 3D® by Autodesk, Inc. v2021

Hyd. No. 2

Budget Tree South Pond

Hydrograph type	= Reservoir	Peak discharge	= 1.571 cfs
Storm frequency	= 100 yrs	Time to peak	= 19.75 hrs
Time interval	= 3 min	Hyd. volume	= 257,456 cuft
Inflow hyd. No.	= 1 - Best Budget Tree	Max. Elevation	= 583.51 ft
Reservoir name	= South Pond	Max. Storage	= 227,372 cuft

Storage Indication method used.



Tuesday, 04 / 12 / 2022

Pond Report

Hydraflow Hydrographs Extension for Autodesk® Civil 3D® by Autodesk, Inc. v2021

Pond No. 1 - South Pond

Pond Data

Contours -User-defined contour areas. Conic method used for volume calculation. Begining Elevation = 580.00 ft

Stage / Storage Table

Elevation (ft)	Contour area (sqft)	Incr. Storage (cuft)	Total storage (cuft)
580.00	57,600	0	0
581.00	61,504	59,535	59,535
582.00	65,536	63,503	123,038
583.00	69,696	67,599	190,637
584.00	73,984	71,822	262,459
	580.00 581.00 582.00 583.00	580.00 57,600 581.00 61,504 582.00 65,536 583.00 69,696	580.00 57,600 0 581.00 61,504 59,535 582.00 65,536 63,503 583.00 69,696 67,599

Culvert / Orifice Structures

[PrfRsr] [C] [D] [C] [A] [B] [A] [B] = 6.00 0.00 0.00 0.00 Crest Len (ft) = 0.00 0.00 0.00 0.00 Rise (in) Span (in) = 6.00 0.00 0.00 0.00 Crest El. (ft) = 0.00 0.00 0.00 0.00 0 0 Weir Coeff. = 3.33 3.33 3.33 3.33 No. Barrels = 1 0 Invert El. (ft) = 580.50 0.00 0.00 0.00 Weir Type = ----------Length (ft) = 0.00 0.00 0.00 0.00 Multi-Stage = No No No No 0.00 = 0.00 0.00 n/a Slope (%) N-Value = .013 .013 .013 n/a 0.60 0.60 0.60 = 0.000 (by Contour) Orifice Coeff. = 0.60 Exfil.(in/hr) TW Elev. (ft) = 0.00 Multi-Stage No No No = n/a

Note: Culvert/Orifice outflows are analyzed under inlet (ic) and outlet (oc) control. Weir risers checked for orifice conditions (ic) and submergence (s).

Weir Structures

Stage /	Storage /	Discharge	Table		analyzoa ana								gonee (e).
Stage ft	Storage cuft	Elevation ft	Clv A cfs	Clv B cfs	Civ C cfs	PrfRsr cfs	Wr A cfs	Wr B cfs	Wr C cfs	Wr D cfs	Exfil cfs	User cfs	Total cfs
0.00	0	580.00	0.00										0.000
0.10	5,954	580.10	0.00										0.000
0.20	11,907	580.20	0.00										0.000
0.30	17,861	580.30	0.00										0.000
0.40	23,814	580.40	0.00										0.000
0.50	29,768	580.50	0.00										0.000
0.60	35,721	580.60	0.03 ic										0.030
0.70	41,675	580.70	0.11 ic										0.112
0.80	47,628	580.80	0.23 ic										0.229
0.90	53,582	580.90	0.36 ic										0.362
1.00	59,535	581.00	0.47 ic										0.473
1.10	65,886	581.10	0.56 ic										0.559
1.20	72,236	581.20	0.63 ic										0.634
1.30	78,586	581.30	0.70 ic										0.701
1.40	84,937	581.40	0.76 ic										0.762
1.50	91,287	581.50	0.82 ic										0.819
1.60	97,637	581.60	0.87 ic										0.871
1.70	103,987	581.70	0.92 ic										0.921
1.80	110,338	581.80	0.97 i c										0.969
1.90	116,688	581.90	1.01 i c										1.014
2.00	123,038	582.00	1.06 ic										1.057
2.10	129,798	582.10	1.10 ic										1.098
2.20	136,558	582.20	1.14 ic										1.138
2.30	143,318	582.30	1.18 ic										1.177
2.40	150,078	582.40	1.21 ic										1.214
2.50	156,838	582.50	1.25 i c										1.250
2.60	163,598	582.60	1.29 ic										1.286
2.70	170,357	582.70	1.32 ic										1.320
2.80	177,117	582.80	1.35 i c										1.353
2.90	183,877	582.90	1.39 ic										1.386
3.00	190,637	583.00	1.42 ic										1.418
3.10	197,819	583.10	1.45 ic										1.449
3.20	205,001	583.20	1. 48 ic										1.480
3.30	212,184	583.30	1.51 ic										1.510
3.40	219,366	583.40	1.54 i c										1.539
3.50	226,548	583.50	1.57 i c										1.568
3.60	233,730	583.60	1.60 ic		*								1.596
										(Continue	s on nex	t page

South Pond
Stage / Storage / Discharge Table

Stage ft	Storage cuft	Elevation ft	Clv A cfs	Clv B cfs	Clv C cfs	PrfRsr cfs	Wr A cfs	Wr B cfs	Wr C cfs	Wr D cfs	Exfil cfs	User cfs	Total cfs
3.70	240,912	583.70	1.62 ic										1.624
3.80	248,095	583.80	1.65 ic										1.651
3.90	255,277	583.90	1.68 ic										1.678
4.00	262,459	584.00	1.70 ic										1.704

...End

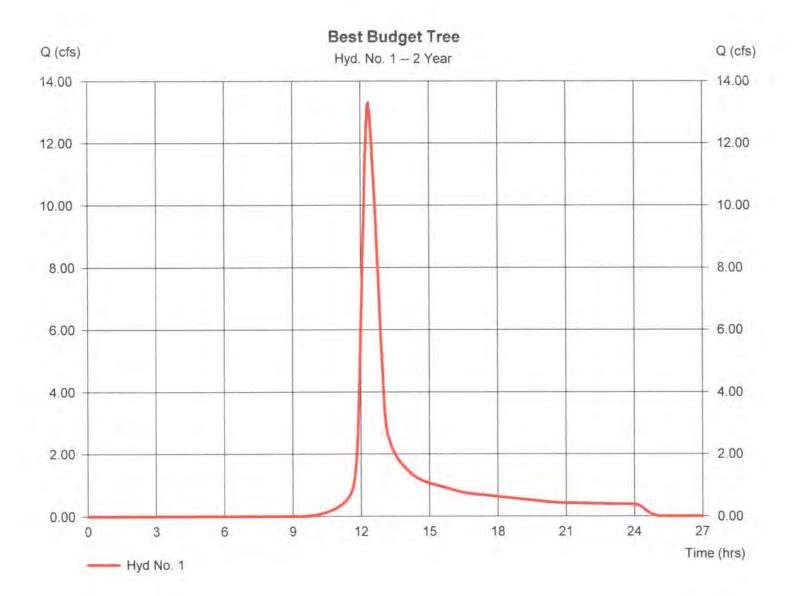
Hydraflow Hydrographs Extension for Autodesk® Civil 3D® by Autodesk, Inc. v2021

Tuesday, 04 / 12 / 2022

Hyd. No. 1

Best Budget Tree

Hydrograph type	= SCS Runoff	Peak discharge	= 13.31 cfs
Storm frequency	= 2 yrs	Time to peak	= 12.35 hrs
Time interval	= 3 min	Hyd. volume	= 71,276 cuft
Drainage area	= 13.000 ac	Curve number	= 80
Basin Slope	= 0.5 %	Hydraulic length	= 1000 ft
Tc method	= LAG	Time of conc. (Tc)	= 45.03 min
Total precip.	= 3.34 in	Distribution	= Type II
Storm duration	= 24 hrs	Shape factor	= 484



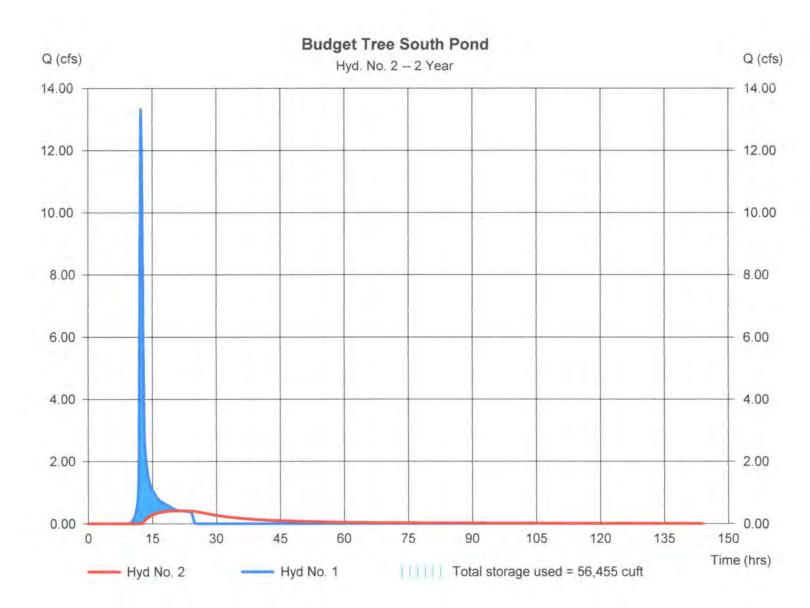
Hydraflow Hydrographs Extension for Autodesk® Civil 3D® by Autodesk, Inc. v2021

Hyd. No. 2

Budget Tree South Pond

Hydrograph type	= Reservoir	Peak discharge	= 0.416 cfs
Storm frequency	= 2 yrs	Time to peak	= 21.95 hrs
Time interval	= 3 min	Hyd. volume	= 39,988 cuft
Inflow hyd. No.	= 1 - Best Budget Tree	Max. Elevation	= 580.95 ft
Reservoir name	= South Pond	Max. Storage	= 56,455 cuft

Storage Indication method used.



Tuesday, 04 / 12 / 2022

Tuesday, 04 / 12 / 2022

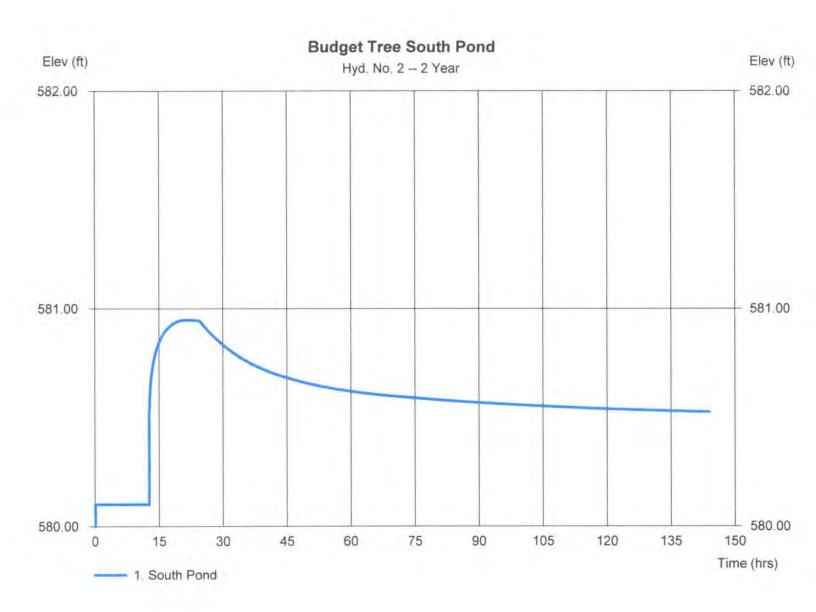
Hydraflow Hydrographs Extension for Autodesk® Civil 3D® by Autodesk, Inc. v2021

Hyd. No. 2

Budget Tree South Pond

Hydrograph type	= Reservoir	Peak discharge	= 0.416 cfs
Storm frequency	= 2 yrs	Time to peak	= 21.95 hrs
Time interval	= 3 min	Hyd. volume	= 39,988 cuft
Inflow hyd. No.	= 1 - Best Budget Tree	Max. Elevation	= 580.95 ft
Reservoir name	= South Pond	Max. Storage	= 56,455 cuft

Storage Indication method used



Attachment 5



Matt Asselmeier

From:	Torri, James N <jtorri@joliet.gov></jtorri@joliet.gov>
Sent:	Thursday, April 21, 2022 10:09 AM
То:	Matt Asselmeier
Subject:	[External]RE: 09-15-200-003 Question

CAUTION - This email originated from outside the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

Matt,

Joliet would not require this.

Thanks,

James N. Torri City of Joliet Planning Director 150 W. Jefferson Street Joliet, IL 60432 (815) 724-4049 Fax: (815) 724-4056 www.joliet.gov

From: Matt Asselmeier <masselmeier@co.kendall.il.us>
Sent: Wednesday, April 20, 2022 9:47 AM
To: Torri, James N <jtorri@joliet.gov>; Engel_Natalie (nengel@vil.shorewood.il.us) <nengel@vil.shorewood.il.us>
Cc: Scott Koeppel <skoeppel@co.kendall.il.us>; Scott Gengler <sgengler@co.kendall.il.us>; Fran Klaas
<FKlaas@co.kendall.il.us>
Subject: 09-15-200-003 Question

[EXTERNAL EMAIL] This message originated outside of the organization.

Jim and Natalie:

Kendall County received an application for a special use permit for a landscaping business at this property.

While this property is inside Shorewood's planning area, Joliet's plan calls for a bike path along Route 52 at this property. IDOT verbally told me that they do not want a ROW dedication.

Do either of your municipalities want a ROW dedication?

Thanks,

Matthew H. Asselmeier, AICP, CFM Senior Planner Kendall County Planning, Building & Zoning 111 West Fox Street Yorkville, IL 60560-1498