



DEPARTMENT OF PLANNING, BUILDING & ZONING

111 West Fox Street • Room 203

Yorkville, IL • 60560

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Petition 23-23

**Robert Velazquez on Behalf of Always Faithful Properties,
LLC**

**Minor Amendment to Existing Special Use Permit for
Landscaping Business**

INTRODUCTION

On October 19, 2021, the Kendall County Board approved Ordinance 2021-23, which granted a special use permit for a landscaping business with conditions at 10744 Route 47, Yorkville. Various conditions in Ordinance 2021-23 required the site to be developed substantially in accordance with an attached site plan, landscaping plan, and photometric plan. A copy of Ordinance 2021-23 is attached.

Since the adoption of Ordinance 2021-23, the Illinois Department of Transportation obtained additional property for the right-of-way of Route 47. This caused the controlling plans to be amended to reflect the land lost by widening of Route 47.

On May 8, 2023, the Planning, Building and Zoning Committee extended the deadline to install buildings and landscaping to June 1, 2024.

The subject property is zoned B-3 Highway Business District with a special use permit for a landscaping business.

PROPOSED CHANGES

The proposed changes are as follows:

1. General shifting of buildings, parking, landscaping storage, general landscaping, refuse, signage and lighting areas further east on the property.
2. Three (3) fuel tanks moved from southeast of Garage Building 1 to west of the storage areas.
3. Landscaping display area removed from site, but the Petitioner would like to install it at some point in the future.
4. Detention pond size adjusted slightly.
5. The landscaping plan shall be as follows:
 - a. Three (3) Red Sunset Maples (Unchanged)
 - b. Two (2) Skyline Honeylocusts (Unchanged)
 - c. Nine (9) Anabella Hydrangeas (Instead of Fifteen (15))
 - d. Ten (10) Alpine Currants (Unchanged)
 - e. Twenty-Nine (29) Double Knock Out Roses (Instead of Twenty (20))
 - f. Thirteen (13) Blue Muffin Viburnum (Instead of Eight (8))
 - g. Zero (0) Autumn Joy Sedums (Instead of One Hundred Forty (140))
 - h. Zero (0) Russian Stonecrops (Instead of Three Hundred Eighty (380))

- i. Zero (0) Dart's Blue Perwinkle (Instead of Two Hundred Ten (210))
 - j. Zero Techny Arborvitae (Instead of Eight (8)) around the refuse area.
6. The original lighting plan called for ten (10) RAR2-320L-165-4K7-4W(1) pole mounted lights located mostly around the perimeter of the developed area. Four (4) RAR2-320L-165-4K7-5QW(1) pole mounted lights will be located west and southwest of Existing Building 2. Three (3) RWL1-48L-25-4K7-4W lights will be located on Existing Storage Buildings 1 and 2. Two (2) RWL2-160L-80-4K7-WW lights will be located on the Garage Buildings 1 and 2. The pole mounted lights will be lowered to twenty feet (20') in height to comply with the Zoning Ordinance.

There were three (3) lights added to the south gravel storage area.

The anticipated foot-candles remained unchanged at the property lines and will be 0.8 which is less than the 5.0 foot-candle maximum allowed by the Zoning Ordinance for adjoining properties planned to be commercial.

Staff is of the opinion that the above changes constitute minor changes per the Kendall County Zoning Ordinance. The Petitioner submitted an application for a minor amendment which is attached.

SITE INFORMATION

PETITIONER: Robert Velazquez on Behalf of Always Faithful Properties, LLC

ADDRESS: 10744 Route 47, Yorkville

LOCATION: Approximately 0.10 Miles North of Caton Farm Road on the East Side of Route 47
(Picture from 2021)



TOWNSHIP: Kendall

PARCEL #: 05-28-400-002

LOT SIZE: 13.7 +/- Acres

EXISTING LAND USE: Agricultural

ZONING: B-3 with a Special Use Permit for a Landscaping Business

LRMP:	Future Land Use	Transportation Corridor/Commercial
	Roads	Route 47 is a State maintained Arterial Road.
	Trails	Yorkville has a trail planned along Route 47 in this area. IDOT has bicycle accommodations planned on the roadway.
	Floodplain/Wetlands	There are no floodplains or wetlands on the property.

REQUESTED ACTION: Special Use Permit for Landscaping Business

APPLICABLE REGULATIONS: Section 9:03.C.15 B-3 Special Uses
 Section 13:08.M and .N – Special Use Amendment Procedures

SURROUNDING LAND USE

Location	Adjacent Land Use	Adjacent Zoning	Land Resource Management Plan	Zoning within 1/2 Mile
North	Agricultural	A-1	Transportation Corridor	A-1
South	Agricultural/Commercial/Utility	A-1 SU	Commercial	A-1 SU
East	Agricultural	A-1	Transportation Corridor/Commercial	A-1
West	Agricultural	A-1	Transportation Corridor Commercial	A-1

The A-1 special use permit to the south is for agricultural implement sales and service. The parcel to the southeast is owned by the Federal Aviation Administration and is used for a communication tower.

The subject property is over two (2) miles from the United City of Yorkville and the Village of Plattville. Yorkville’s Comprehensive Plan calls for this area to be Estate/Conservation Residential. Plattville’s Comprehensive Plan calls for this area to be commercial.

PHYSICAL DATA

ENDANGERED SPECIES REPORT

EcoCAT Report submitted and consultation terminated as part of the 2021 application.

NATURAL RESOURCES INVENTORY

The LESA Score was 235 indicating a high level of protection as part of the 2021 application.

ACTION SUMMARY

KENDALL TOWNSHIP

Petition information was sent to Kendall Township on June 6, 2023.

Drainage had been a concern in 2021, but the Kendall Township Planning Commission and Kendall Township Board both recommended approval of the proposal in 2021.

BRISTOL-KENDALL FIRE PROTECTION DISTRICT

Petition information was sent to the Bristol-Kendall Fire Protection District on June 6, 2023.

BUSINESS OPERATIONS

According to the business plan submitted in 2021, the business has a maximum of fifty (50) employees during the busy summer season and as few as three (3) employees during the off-season. Of these, approximately four (4) employees would be onsite constantly. The normal anticipated hours of operation for employees would be Monday through Friday from 5:00 a.m. until 7:00 p.m. and from 7:00 a.m. until 1:00 p.m. on Saturdays. The Petitioner acknowledged that, during the winter, employees may arrive at the property anytime to clear snow from customers' properties. Hours of operation for members of the public would be Monday through Friday from 7:00 a.m. until 5:00 p.m. Hours of operation for deliveries would be Monday through Friday from 7:00 a.m. until 5:00 p.m. with limited Saturday hours.

No information was provided regarding the number of company trucks or other business related equipment that would be stored at the property.

The Petitioner did not submit any changes to the above information.

If the amendment is approved, the Petitioner plans to start construction immediately and start operations as quickly as possible.

BUILDINGS AND BUILDING CODES

According to both the original site plan from 2021 and the proposed amendment, the Petitioner plans to construct the following buildings:

1. One (1) approximately four thousand (4,000) square foot, two (2) story office.
2. Two (2) approximately three thousand one hundred seventy-four (3,174) square foot, three (3) bay garages.
3. One (1) approximately one thousand one hundred fifty (1,150) square foot drive thru maintenance bay.
4. One (1) approximately one thousand two hundred fifty (1,250) square foot storage bay.
5. Three (3) nursery/hoop houses. The hoop houses would be approximately one thousand two hundred (1,200) square feet, one thousand six hundred (1,600) square feet, and two thousand six hundred (2,600) square feet in size respectively.

In addition to the above new structures, the site plans also show the retention and repurpose of the following structures already located on the property:

1. Two (2) existing barns located near the northeast corner of the site. The barns are approximately nine thousand two hundred sixty-five (9,265) square feet and nine thousand two hundred fifty (9,250) square feet in size respectively. The barns will be used for storage.
2. One (1) existing barn located south of the development area. This barn is approximately one thousand four hundred sixty-five (1,465) square feet in size and will be used for bulk salt storage.

In addition to the proposed and existing buildings, the site plans show twenty-two (22) concrete block bulk storage bins. The storage bins would be approximately fifteen feet (15') wide, thirty (30') feet deep, and eight feet (8') tall. The materials stored in these bins shall be a maximum ten feet (10') tall.

Any structures related to the landscaping business would be required to obtain applicable building permits.

ENVIRONMENTAL HEALTH

Electricity is presently onsite. No information was provided regarding the well or septic system.

According to the site plan, an approximately five thousand (5,000) square foot septic field is planned north of Garage Building 2.

The site plan also shows three (3)-five hundred (500) gallon fuel tanks southeast of Garage Building 1.

One (1) trash dumpster surrounded by a six foot (6') wooden fence is also shown on the site plan southeast of Garage Building 1.

STORMWATER

The property drains to the southeast. One (1) stormwater detention pond is planned at the southeast corner of the property.

On June 2, 2023, WBK Engineering recommended approval of the proposed site plan for stormwater management permitting purposes.

ACCESS

The property fronts Route 47.

According to the site plan, the existing gravel driveway will be removed and a twenty-four foot (24') wide paved drive will be installed. The width of the proposed driveway is unchanged from the previously approved site plan.

PARKING AND INTERNAL TRAFFIC CIRCULATION

According to the site plan there are (2) two parking lots. The parking lot west of the Office Building has nineteen (19) parking spaces. The parking lot west of Existing Building 2 has sixteen (16) parking spaces. There is one (1) handicapped parking space in each parking lot. The site plan also shows outdoor parking spaces for company vehicles. The above numbers were unchanged from the original proposal.

SIGNAGE

According to the site plan, there will be one (1) monument sign located approximately sixteen feet (16'), instead of the originally proposed fifteen (15'), east of the right-of-way line. The sign will be approximately five feet (5') in height and ten feet (10') feet in width, including supports. The sign dimensions were unchanged from the original proposal.

During the review in 2021, the Kendall County Regional Planning Commission requested that sign be illuminated. The sign may be lit between the hours of 6:00 a.m. and 8:00 p.m.

SECURITY

According to the site plan, there will be one (1) six foot (6') wooden screen fence located along the northern property line north of the Existing Storage Buildings. The Petitioner also plans to install security cameras and an alarm system in all buildings. The Petitioner may install a gate at the main entrance if necessary. These items were unchanged from the original proposal.

RECOMMENDATION

Staff recommends approval of the minor amendment of an existing special use permit for a landscaping business subject to the following conditions and restrictions:

1. Condition 2.A of Ordinance 2021-23 is deleted in its entirety and is replaced with the following:

"The site shall be developed substantially in accordance with the site plan attached hereto as Exhibit B, including allowing for illuminated signage. The gravel parking lot noted on the site plan shall be composed of either limestone or asphalt screenings. The light poles shown on the site plan and mentioned in the photometric plan shall be a maximum twenty feet (20') feet in height. The owner of the business allowed by this special use permit may also install a security gate at the main driveway entrance. Landscaping display areas may be installed on the property without the need to amend the special use permit unless the landscaping display areas encroach into required setbacks. The description of types of lights contained in Ordinance 2021-23 shall remain effective."

2. Condition 2.B of Ordinance 2021-23 is deleted in its entirety and is replaced with the following:

"All of the structures shown on the site plan attached hereto as Exhibit B shall be constructed and occupied by June 1, 2024. This date may be extended upon approval by the Kendall County

Planning, Building and Zoning Committee. The business allowed by this special use permit may commence operations starting upon approval of the special use permit. However, customers shall not be invited onto the property until an occupancy permit has been issued for the office building.”

3. Condition 2.J of Ordinance 2021-23 is deleted in its entirety and is replaced with the following:

“The landscaping shown on the landscaping plan attached hereto as Exhibit B shall be installed no later than June 1, 2024. This date may be extended upon approval by the Kendall County Planning, Building and Zoning Committee. The Red Sunset Maples shall be a minimum of two point five inch (2.5”) caliber at the time of planting. The Skyline Honeylocusts shall be a minimum of two point five inch (2.5”) caliber at the time of planting. Damaged or dead plants that are part of the landscaping plan shall be replaced on a timeframe approved by the Kendall County Planning, Building and Zoning Department. Nursery stock shall be exempt from this provision.

4. All references to the site plan, landscaping plan, and photometric plan contained in Ordinance 2021-23 shall be amended to refer to Exhibit B attached to this minor amendment.
5. All of the other conditions and restrictions contained in Ordinance 2021-23 shall remain effective.
6. If one or more of the above conditions or the conditions contained in Ordinance 2021-23 are declared invalid by a court of competent jurisdiction, the remaining conditions shall remain valid.
7. This special use permit and minor amendment to an existing special use permit shall be treated as covenants running with the land and are binding on the successors, heirs, and assigns as to the same special use conducted on the property.

The draft amendment ordinance is attached.

ATTACHMENTS

1. Ordinance 2021-23
2. Application Materials
3. Draft Minor Amendment Ordinance

ORDINANCE NUMBER 2021- 23

GRANTING A SPECIAL USE PERMIT ON PROPERTY ZONED B-3 HIGHWAY BUSINESS DISTRICT FOR A LANDSCAPING BUSINESS AT 10744 ROUTE 47 (PIN: 05-28-400-002) IN KENDALL TOWNSHIP

WHEREAS, Section 13.08 of the Kendall County Zoning Ordinance permits the Kendall County Board to issue special use permits and place conditions on special use permits and provides the procedure through which special use permits are granted; and

WHEREAS, Section 9:03.D.15 of the Kendall County Zoning Ordinance permits the operation of landscaping businesses as a special use with certain restrictions in the B-3 Highway Business Zoning District; and

WHEREAS, the property which is the subject of this Ordinance has been, at all relevant times, and remains currently located within the A-1 Agricultural Zoning District and consists of approximately 13.7 more or less acres located at 10744 Route 47 and identified by Parcel Identification Number 05-28-400-002, in Kendall Township. The legal description for the subject property is set forth in Exhibit A attached hereto and incorporated by reference, and this property shall hereinafter be referred to as “the subject property”; and

WHEREAS, on October 12, 1982, the Kendall County Board approved Ordinance 1982-10 which granted a special use permit for the storage of recreational vehicles, boats, and antique cars with conditions at the subject property; and

WHEREAS, the subject property is currently owned by Always Faithful Properties, LLC as represented by Robert Velazquez shall be referred to as “Petitioner”; and

WHEREAS, on or about July 26, 2021, Petitioner’s representative filed a petition for a Map Amendment rezoning the subject property from A-1 Agricultural District to B-3 Highway Business District; and

WHEREAS, on or about August 24, 2021, the Petitioner’s representative filed a petition for a special use permit for a landscaping business at the subject property; and

WHEREAS, following due and proper notice by publication in the Kendall County Record on September 2, 2021, the Kendall County Zoning Board of Appeals conducted a public hearing on September 27, 2021, at 7:00 p.m., in the County Office Building at 111 W. Fox Street in Yorkville, at which the Petitioner and their representative presented evidence, testimony, and exhibits in support of the requested special use permit and zero members of the public testified in favor or in opposition or expressed concerns regarding the requested special use permit; and

WHEREAS, based on the evidence, testimony, and exhibits, the Kendall County Zoning Board of Appeals has made their Findings of Fact and recommended approval with conditions of the special use permit for a landscaping business as set forth in the Findings of Fact and Recommendation of the Kendall County Zoning Board of Appeals, dated September 27, 2021, a true and correct copy of which is attached hereto as Exhibit B; and

WHEREAS, the Kendall County Planning, Building and Zoning Committee of the Kendall County Board has reviewed the testimony presented at the aforementioned public hearing and has considered the Findings of Fact and Recommendation of the Kendall County Zoning Board of Appeals, and has forwarded to the Kendall County Board a recommendation of approval of the requested special use permit; and

WHEREAS, the Kendall County Board has considered the recommendation of the Planning, Building and Zoning Committee and the Findings of Fact and Recommendation of the Kendall County Zoning Board of Appeals, and has determined that said petition is in conformance with the provisions and intent of the Kendall County Zoning Ordinance; and

WHEREAS, this special use permit shall be treated as a covenant running with the land and is binding on the successors, heirs, and assigns as to the same special use conducted on the property; and

NOW, THEREFORE, BE IT ORDAINED, BY THE COUNTY BOARD OF KENDALL COUNTY, ILLINOIS, as follows:

1. The Findings of Fact and Recommendation of the Kendall County Zoning Board of Appeals attached hereto as Exhibit B is hereby accepted and the Findings of Fact set forth therein are hereby adopted as the Findings of Fact and Conclusions of this Kendall County Board.
2. The Kendall County Board hereby grants approval of Petitioner's petition for a special use permit allowing the operation of a landscaping business on the subject property subject to the following conditions:
 - A. The site shall be developed substantially in accordance with the site plan attached hereto as Exhibit C, landscaping plan attached hereto as Exhibit D, and photometric plan attached hereto as Exhibit E including allowing for illuminated signage. The gravel parking lot noted on the site plan shall be composed of either limestone or asphalt screenings. The fourteen (14) light poles shown on the site plan and mentioned in the photometric plan shall be a maximum twenty feet (20') feet in height. The owner of the business allowed by this special use permit may also install a security gate at the main driveway entrance.
 - B. All of the structures shown on the site plan attached hereto as Exhibit C shall be constructed and occupied by December 31, 2022. This date may be extended upon approval by the Kendall County Planning, Building and Zoning Committee. The business allowed by this special use permit may commence operations starting upon approval of the special use permit. However, customers shall not be invited onto the property until an occupancy permit has been issued for the office building.
 - C. The owners of the business allowed by this special use permit shall diligently monitor the property for leaks from equipment and vehicles parked and stored on the subject property and shall promptly clean up the site if leaks occur.
 - D. Any new structures and signs constructed or installed on the property shall not be considered for agricultural purposes and must secure applicable building permits.
 - E. Equipment and vehicles related to the business allowed by the special use permit may be stored outdoors.
 - F. None of the vehicles or equipment parked or stored on the subject property related to the business allowed by the special use permit shall be considered agricultural vehicles or agricultural equipment.
 - G. All of the vehicles and equipment stored on the subject property related to the business allowed by the special use permit shall be maintained in good condition with no deflated tires and shall be licensed if required by law.

- H. Except for the purposes of loading and unloading, all landscape related materials shall be stored indoors or in the designated storage areas shown on the site plan attached hereto as Exhibit C. The maximum height of the piles of landscaping related material shall be ten feet (10'), provided a Stormwater Management Permit is issued.
- I. One (1) two (2)-sided business related sign may be installed in substantially the location shown on the site plan attached hereto as Exhibit C. The sign shall be a maximum of ten (10') wide and five feet (5') tall, including supports. The sign may be illuminated between the hours of 6:00 a.m. and 8:00 p.m.
- J. The landscaping shown on the landscaping plan attached hereto as Exhibit D shall be installed no later than June 1, 2022. This date may be extended upon approval by the Kendall County Planning, Building and Zoning Committee. The Red Sunset Maples shall be a minimum of two point five inch (2.5") caliber at the time of planting. The Skyline Honeylocusts shall be a minimum of two point five inch (2.5") caliber at the time of planting. The Techny Arborvitae shall be a minimum six feet (6') tall at the time of planting. Damaged or dead plants that are part of the landscaping plan shall be replaced on a timeframe approved by the Kendall County Planning, Building and Zoning Department. Nursery stock shall be exempt from this provision.
- K. No landscape waste generated off the property can be burned on the subject property.
- L. A maximum of fifty (50) employees of the business allowed by this special use permit, including the owners of the business allowed by this special use permit, may report to this site for work.
- M. The hours of operation of the business allowed by this special use permit for the members of the public shall be Monday through Friday from 7:00 a.m. until 5:00 p.m. The owners of the business allowed by this special use permit may reduce these hours of operation.
- N. The hours of operation of the business allowed by this special use permit for employees of the business shall be Monday through Friday from 5:00 a.m. until 7:00 p.m. and Saturday from 7:00 a.m. until 1:00 p.m. The owner of the business allowed by this special use permit may expand these hours of operation for employees to address the needs of customers impacted by snowfall. Business related deliveries may occur during these hours of operation. The owners of the business allowed by this special use permit may reduce these hours of operation.
- O. The noise regulations are as follows:
 - Day Hours: No person shall cause or allow the emission of sound during daytime hours (7:00 A.M. to 10:00 P.M.) from any noise source to any receiving residential land which exceeds sixty-five (65) dBA when measured at any point within such receiving residential land, provided; however, that point of measurement shall be on the property line of the complainant.
 - Night Hours: No person shall cause or allow the emission of sound during nighttime hours (10:00 P.M. to 7:00 A.M.) from any noise source to any receiving residential land which exceeds fifty-five (55) dBA when measured at any point within such receiving residential land provided; however, that point of measurement shall be on the property line of the complainant.


EXEMPTION: Powered Equipment: Powered equipment, such as lawn mowers, small lawn and garden tools, riding tractors, and snow removal equipment which is necessary for the maintenance of property is exempted from the noise regulations between the hours of seven

o'clock (7:00) A.M. and ten o'clock (10:00) P.M.

- P. The owners of the business allowed by this special use permit acknowledge and agree to follow Kendall County's Right to Farm Clause.
 - Q. The property owner and operator of the business allowed by this special use permit shall follow all applicable Federal, State, and Local laws related to the operation of this type of business.
 - R. Failure to comply with one or more of the above conditions or restrictions could result in the amendment or revocation of the special use permit.
 - S. If one or more of the above conditions is declared invalid by a court of competent jurisdiction, the remaining conditions shall remain valid.
3. This special use permit shall be treated as a covenant running with the land and is binding on the successors, heirs, and assigns as to the same special use conducted on the property.
 4. The Zoning Administrator and other appropriate County Officials are hereby authorized and directed to amend the Official Zoning Map of Kendall County to reflect this special use permit.

IN WITNESS OF, this ordinance has been enacted by a majority vote of the Kendall County Board and is effective this 19th day of October, 2021.

Attest:


Kendall County Clerk
Debbie Gillette



Kendall County Board Chairman
Scott R. Gryder



Exhibit A

That part of the Southeast Quarter of Section 28, Township 36 North, Range 7 East of the Third Principal Meridian, described as follows: Commencing at the Southwest corner of said Southeast Quarter; thence North along the West line of said Quarter, 642.65 feet for the point of beginning; thence Easterly at right angles to said West line 647.36 feet; thence Northerly along a line forming an angle of 89 degrees 35 minutes 05 seconds, measured clockwise from the last described course, 1012.69 feet; thence Westerly along a line forming an angle of 89 degrees 56 minutes 12 seconds, measured clockwise from the last described course, 640.04 feet to the West line of said Southeast Quarter thence Southerly along said West line 1007.32 feet to the point of beginning (except that part thereof lying within the right of way of Illinois State Route No. 47 and being described in a Judgment recorded November 13, 1991 as Document No. 917979) in the Township of Kendall, Kendall County, Illinois.

Exhibit B

The Kendall County Zoning Board of Appeals approved the following Findings of Fact and Recommendation at their meeting on September 27, 2021, by a vote of five (5) in favor and zero (0) in opposition. Members Clementi and Whitfield were absent.

FINDINGS OF FACT

*That the establishment, maintenance, or operation of the special use will not be detrimental to or endanger the public health, safety, morals, comfort, or general welfare. **Provided the site is developed in accordance with the submitted site plan, the operation of the special use will not be detrimental to the public health, safety, morals, comfort, or general welfare.***

*That the special use will not be substantially injurious to the use and enjoyment of other property in the immediate vicinity for the purposes already permitted, nor substantially diminish and impair property values within the neighborhood. The Zoning classification of property within the general area of the property in question shall be considered in determining consistency with this standard. The proposed use shall make adequate provisions for appropriate buffers, landscaping, fencing, lighting, building materials, open space and other improvements necessary to insure that the proposed use does not adversely impact adjacent uses and is compatible with the surrounding area and/or the County as a whole. **Appropriate restrictions may be placed in the special use permit to regulate the number of employees, hours of operation, site landscaping, and noise. Therefore, the neighboring property owners should not suffer loss in property values and the use will not negatively impact the adjacent land uses.***

*That adequate utilities, access roads and points of ingress and egress, drainage, and/or other necessary facilities have been or are being provided. **Adequate utilities are planned for the site. The property has direct access to Route 47 and the Illinois Department of Transportation expressed no concerns regarding the proposed use. A stormwater management permit is required and that permit will address drainage.***

*That the special use shall in all other respects conform to the applicable regulations of the district in which it is located, except as such regulations may in each instance be modified by the County Board pursuant to the recommendation of the Zoning Board of Appeals. **The Petitioner is not requesting any variances to the applicable regulations of the district.***

*That the special use is consistent with the purpose and objectives of the Land Resource Management Plan and other adopted County or municipal plans and policies. **True, the proposed use is consistent with a goal found on Page 7-26 of the Kendall County Land Resource Management Plan which calls for "a strong base of agricultural, commercial and industrial uses that provide a broad range of job opportunities, a healthy tax base, and improved quality of services to County residents." An objective under this goal further states, "Explore economic development opportunities along Route 47 Corridor to enhance the tax base and to encourage local employment and shopping opportunities."***

RECOMMENDATION

Approval subject to the following conditions and restrictions:

1. The site shall be developed substantially in accordance with the submitted site plan, landscaping plan, and photometric plan, including allowing for illuminated signage. The gravel parking lot noted on the site plan shall be composed of either limestone or asphalt screenings. The fourteen (14) light poles shown on the site plan and mentioned in the photometric plan shall be a maximum twenty feet (20') feet in height. The owner of the business allowed by this special use permit may also install a security gate at the main driveway entrance.

2. All of the structures shown on the submitted site plan shall be constructed and occupied by December 31, 2022. This date may be extended upon approval by the Kendall County Planning, Building and Zoning Committee. The business allowed by this special use permit may commence operations starting upon approval of the special use permit. However, customers shall not be invited onto the property until an occupancy permit has been issued for the office building.
3. The owners of the business allowed by this special use permit shall diligently monitor the property for leaks from equipment and vehicles parked and stored on the subject property and shall promptly clean up the site if leaks occur.
4. Any new structures and signs constructed or installed on the property shall not be considered for agricultural purposes and must secure applicable building permits.
5. Equipment and vehicles related to the business allowed by the special use permit may be stored outdoors.
6. None of the vehicles or equipment parked or stored on the subject property related to the business allowed by the special use permit shall be considered agricultural vehicles or agricultural equipment.
7. All of the vehicles and equipment stored on the subject property related to the business allowed by the special use permit shall be maintained in good condition with no deflated tires and shall be licensed if required by law.
8. Except for the purposes of loading and unloading, all landscape related materials shall be stored indoors or in the designated storage areas shown on the submitted site plan. The maximum height of the piles of landscaping related material shall be ten feet (10'), provided a Stormwater Management Permit is issued.
9. One (1) two (2)-sided business related sign may be installed in substantially the location shown on the submitted site plan. The sign shall be a maximum of ten (10') wide and five feet (5') tall, including supports. The sign may be illuminated between the hours of 6:00 a.m. and 8:00 p.m.
10. The landscaping shown on the submitted landscaping plan shall be installed no later than June 1, 2022. This date may be extended upon approval by the Kendall County Planning, Building and Zoning Committee. The Red Sunset Maples shall be a minimum of two point five inch (2.5") caliber at the time of planting. The Skyline Honeylocusts shall be a minimum of two point five inch (2.5") caliber at the time of planting. The Techny Arborvitaes shall be a minimum six feet (6') tall at the time of planting. Damaged or dead plants that are part of the landscaping plan shall be replaced on a timeframe approved by the Kendall County Planning, Building and Zoning Department. Nursery stock shall be exempt from this provision.
11. No landscape waste generated off the property can be burned on the subject property.
12. A maximum of fifty (50) employees of the business allowed by this special use permit, including the owners of the business allowed by this special use permit, may report to this site for work.
13. The hours of operation of the business allowed by this special use permit for the members of the public shall be Monday through Friday from 7:00 a.m. until 5:00 p.m. The owners of the business allowed by this special use permit may reduce these hours of operation.
14. The hours of operation of the business allowed by this special use permit for employees of the business shall be Monday through Friday from 5:00 a.m. until 7:00 p.m. and Saturday from 7:00 a.m. until 1:00 p.m. The owner of the business allowed by this special use permit may expand these hours of operation for employees to address the needs of customers impacted by snowfall. Business related deliveries may occur during these hours of operation. The owners of the business

allowed by this special use permit may reduce these hours of operation.

15. The noise regulations are as follows:

Day Hours: No person shall cause or allow the emission of sound during daytime hours (7:00 A.M. to 10:00 P.M.) from any noise source to any receiving residential land which exceeds sixty-five (65) dBA when measured at any point within such receiving residential land, provided; however, that point of measurement shall be on the property line of the complainant.

Night Hours: No person shall cause or allow the emission of sound during nighttime hours (10:00 P.M. to 7:00 A.M.) from any noise source to any receiving residential land which exceeds fifty-five (55) dBA when measured at any point within such receiving residential land provided; however, that point of measurement shall be on the property line of the complainant.

EXEMPTION: Powered Equipment: Powered equipment, such as lawn mowers, small lawn and garden tools, riding tractors, and snow removal equipment which is necessary for the maintenance of property is exempted from the noise regulations between the hours of seven o'clock (7:00) A.M. and ten o'clock (10:00) P.M.

16. The owners of the business allowed by this special use permit acknowledge and agree to follow Kendall County's Right to Farm Clause.
17. The property owner and operator of the business allowed by this special use permit shall follow all applicable Federal, State, and Local laws related to the operation of this type of business.
18. Failure to comply with one or more of the above conditions or restrictions could result in the amendment or revocation of the special use permit.
19. If one or more of the above conditions is declared invalid by a court of competent jurisdiction, the remaining conditions shall remain valid.
20. This special use permit shall be treated as a covenant running with the land and is binding on the successors, heirs, and assigns as to the same special use conducted on the property.

ENGINEERING PLANS FOR SEMPER FI LAND SITE PLAN

SECTION 28, TOWNSHIP 36 NORTH, RANGE 7 EAST 10744 US ROUTE 47 YORKVILLE, IL 60560 KENDALL COUNTY OCTOBER, 2021

LEGEND	
---	PROPERTY BOUNDARY
---	EXISTING CONTOUR LINE
---	EXISTING STORM SEWER
---	EXISTING SANITARY SEWER LINE
---	EXISTING WATERMAIN
---	EXISTING UNDERGROUND ELECTRIC
---	EXISTING OVERHEAD ELECTRIC
---	EXISTING GAS SERVICE
---	EXISTING TELEPHONE
---	PROPOSED CONTOUR LINE
---	PROPOSED WATERMAIN
---	PROPOSED STORM SEWER
---	PROPOSED SANITARY SEWER LINE
---	PROPOSED GREASE SERVICE LINE
---	PROPOSED VENT LINE
---	EXISTING FENCELINE
---	PROPOSED SALT FENCE
○	EXISTING SPOT ELEVATION
○	PROPOSED SPOT ELEVATION
□	PROP
○	WATER
○	HYDRANT
○	VALVE
○	VALVE VAULT
○	INLET-CURB
○	INLET OR MANHOLE
○	FLARED DIO SECTION
○	CLEANOUT
○	MANHOLE
○	R.O.W. MONUMENT
○	UTILITY POLE
○	GUY WIRE LOC.
○	UTL. CANNET
○	UTL. PEDESTAL
○	LIGHT POLE
○	TRAFFIC SIGNAL
○	ELECTRIC VALVE
○	GAS VALVE
○	SOIL BORING
○	CHURNING RELIEF
○	FLOW DIRECTION

PROJECT LOCATION

INDEX TO SHEETS

1. COVER SHEET
2. EXISTING CONDITIONS & DEMOLITION PLAN
3. STORMWATER POLLUTION & PREVENTION PLAN 1
4. STORMWATER POLLUTION & PREVENTION PLAN 2
5. CIVIL SITE PLANS
6. GENERAL NOTES & DETAILS



**Know what's below.
Call before you dig.**

Contractor need to submit applications which verify location of all underground utilities prior to digging. Contact 811 (i.e. Joint Utility) Location for information at 1-800-480-6373 or call 911.

UTILITY STATEMENT
THE UNDERSIGNED HAS BEEN ADVISED THAT THE LOCATION OF ALL UTILITIES HAS BEEN DETERMINED BY THE CONTRACTOR AND THE LOCATION OF ALL UTILITIES HAS BEEN DETERMINED BY THE CONTRACTOR. THE CONTRACTOR HAS BEEN ADVISED THAT THE LOCATION OF ALL UTILITIES HAS BEEN DETERMINED BY THE CONTRACTOR. THE CONTRACTOR HAS BEEN ADVISED THAT THE LOCATION OF ALL UTILITIES HAS BEEN DETERMINED BY THE CONTRACTOR. THE CONTRACTOR HAS BEEN ADVISED THAT THE LOCATION OF ALL UTILITIES HAS BEEN DETERMINED BY THE CONTRACTOR.

PROFESSIONAL ENGINEERS CERTIFICATION
STATE OF ILLINOIS, COURT OF RECORD
I, THE UNDERSIGNED, A LICENSED PROFESSIONAL ENGINEER, HAVE PREPARED THESE PLANS AND SPECIFICATIONS IN ACCORDANCE WITH THE PROFESSIONAL ENGINEERING ACT AND THE REGULATIONS THEREUNDER, AND I AM NOT PROVIDING THESE PLANS AND SPECIFICATIONS FOR THE EXCLUSIVE USE OF THE CLIENT NOTED HEREON.
GIVEN UNDER MY HAND AND SEAL THIS 8TH DAY OF OCTOBER, 2021.

John J. Schuyt
LICENSED REGISTERED PROFESSIONAL ENGINEER
NO. 0065-041828 EXPIRES NOV. 30, 2021



CONTRACT # 2019-0178 BY TERRACUCE ENGINEERING, LLC. CONTRACTOR HAS BEEN ADVISED THAT THE LOCATION OF ALL UTILITIES HAS BEEN DETERMINED BY THE CONTRACTOR. THE CONTRACTOR HAS BEEN ADVISED THAT THE LOCATION OF ALL UTILITIES HAS BEEN DETERMINED BY THE CONTRACTOR. THE CONTRACTOR HAS BEEN ADVISED THAT THE LOCATION OF ALL UTILITIES HAS BEEN DETERMINED BY THE CONTRACTOR. THE CONTRACTOR HAS BEEN ADVISED THAT THE LOCATION OF ALL UTILITIES HAS BEEN DETERMINED BY THE CONTRACTOR.



BENCHMARKS:

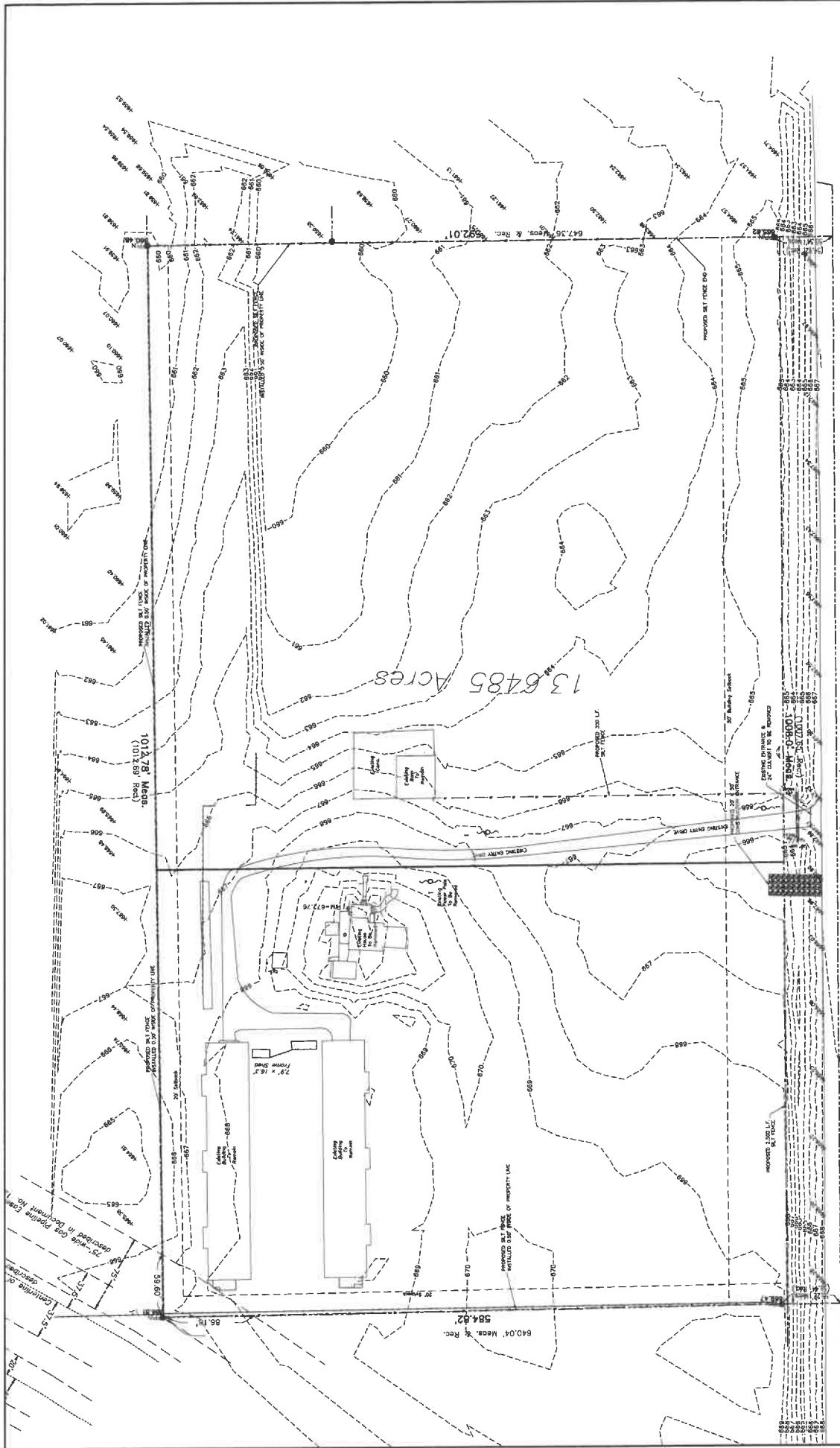
1. UNITED CITY OF YORKVILLE - SKIDWAY CONTROL MONUMENT # 6
ELEVATION = 438.64 - (MAY BE DATUM 1)
2. UNITED CITY OF YORKVILLE - SKIDWAY CONTROL MONUMENT # 7
ELEVATION = 432.28 - (MAY BE DATUM 1)

PLANS PREPARED FOR:
ALWAYS FAITHFUL PROPERTIES, LLC
YORKVILLE, IL 60560
PHONE: (630) 318-0484




CIVIL ENGINEER:
TERRACUCE ENGINEERING
3400 N. WILSON AVENUE
YORKVILLE, ILLINOIS 60560
(815) 786-0195
WWW.TERRACUCEENGINEERING.COM

NO.	DATE	NOTES
1	10/21/21	ISSUE FOR PERMITTING



ILLINOIS STATE ROUTE 47

 TEBRUGGE ENGINEERING <small>4100 NORTH LEMAY - SUITE 4 - BLOOMINGTON, IL 61710 PHONE: (312) 764-1105 EMAIL: TEBRUGGE@TEBRUGGE.COM</small>	PREPARED FOR: ALWAYS FAITHFUL PROPERTIES, LLC 1215 DEER ST., YORKVILLE, IL 60560	SEMPER FI LAND SITE PLAN - 10744 US ROUTE 47 - YORKVILLE EXISTING CONDITIONS & DEMOLITION PLAN	SHEET NO. 2 OF 2 SHEETS
PROJECT NO.: 21493.01 SCALE: 1" = 40' DATE: JUNE 30, 2021			

ACREAGE SUMMARY

PROPOSED AREA	13.68 AC
EXISTING AREA	7.38 AC
TOTAL DISTURBED AREA	21.06 AC
PROPOSED IMPROVED AREA	1.08 AC
UNIMPROVED AREA	19.98 AC
PROPOSED DISTURBANCE	21.06 AC

SOIL EROSION / SEDIMENT CONTROL OPERATION TIME SCHEDULE

NOTE: GENERAL CONTRACTOR TO COMPLETE TABLE WITH THEIR SPECIFIC PROJECT SCHEDULE

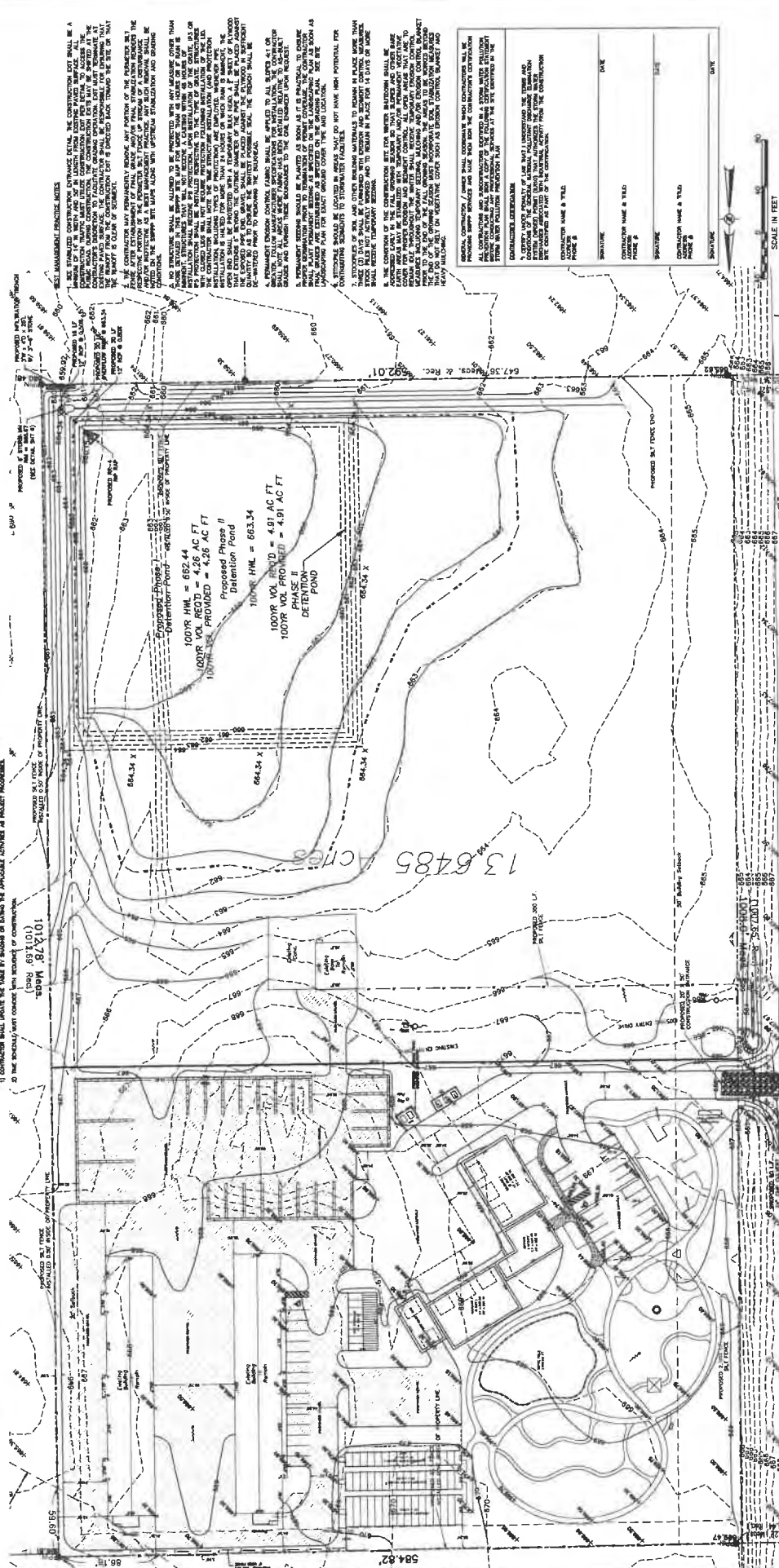
CONSTRUCTION ACTIVITY	START DATE	END DATE
STORMWATER CONTROL MEASURES		
TEMPORARY CONTROL MEASURES		
PERMANENT CONTROL MEASURES		
FINAL STABILIZATION		

STORMWATER OUTFLOW CONTRIBUTING/RECEIVING WATERS

FROM AREA - SOURCE NAME	TO RECEIVING WATER - NAME AND DRAINAGE

TYPICAL SOIL PROTECTION CHART

NO.	DATE	BY	REVISION
1	08/15/2011	JK	ISSUED FOR PERMIT
2	08/15/2011	JK	ISSUED FOR PERMIT
3	08/15/2011	JK	ISSUED FOR PERMIT
4	08/15/2011	JK	ISSUED FOR PERMIT
5	08/15/2011	JK	ISSUED FOR PERMIT
6	08/15/2011	JK	ISSUED FOR PERMIT
7	08/15/2011	JK	ISSUED FOR PERMIT
8	08/15/2011	JK	ISSUED FOR PERMIT
9	08/15/2011	JK	ISSUED FOR PERMIT
10	08/15/2011	JK	ISSUED FOR PERMIT



SEMPER FI LAND SITE PLAN - 10744 US ROUTE 47 - YORKVILLE

STORM WATER POLLUTION PREVENTION PLAN

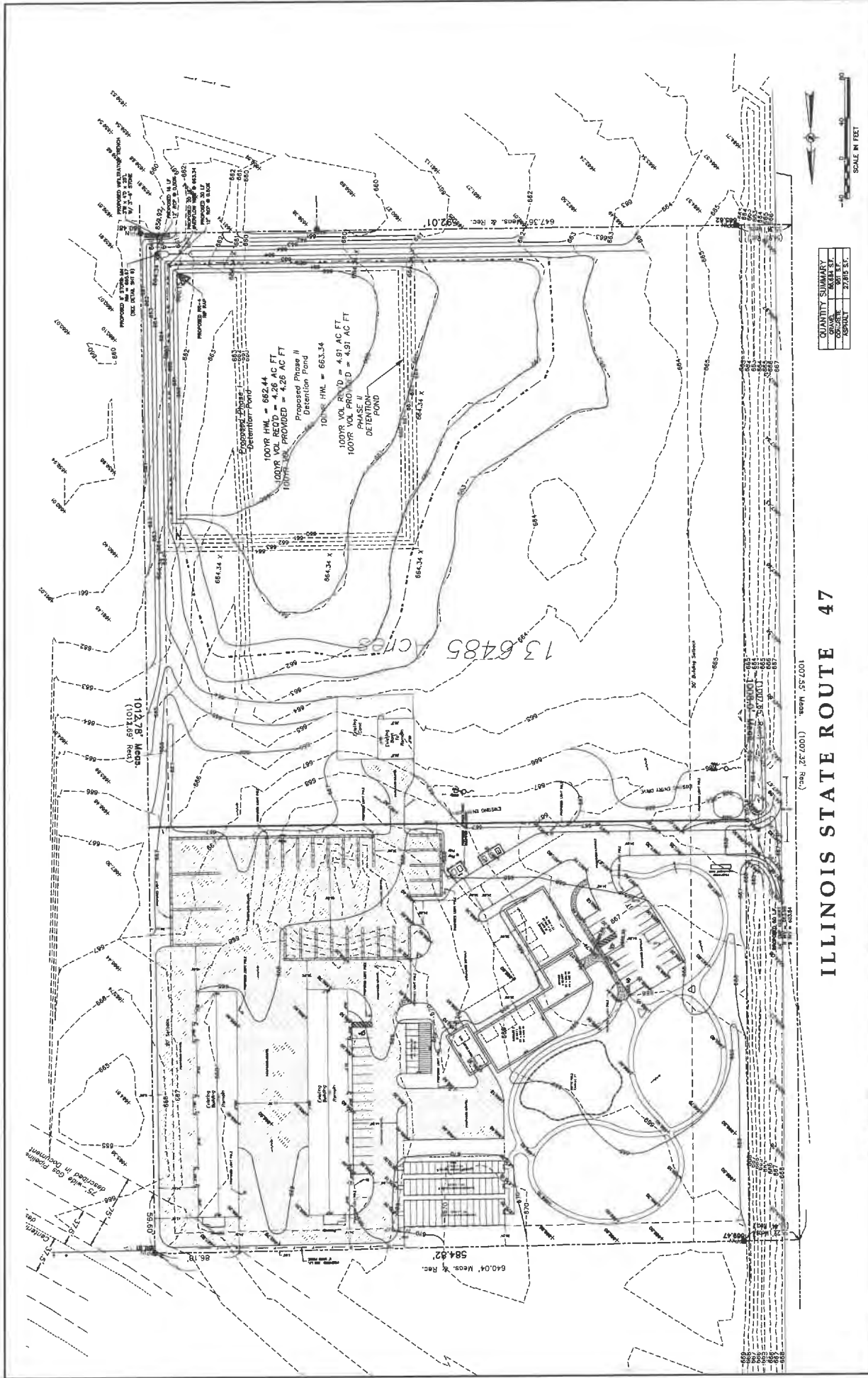
PREPARED FOR: ALWAYS FAITHFUL PROPERTIES, LLC
1215 DEER ST., YORKVILLE, IL 60550

TEBRUGGE ENGINEERING
418 E. CHURCH STREET - SUITE A - SANDSPRING, IL 60588
PHONE 815-784-0105 - TEBRUGGEENGINEERING.COM

REVISIONS

NO.	DATE	DESCRIPTION
1	08/15/2011	ISSUED FOR PERMIT

DATE: 08/15/2011
SCALE: 1" = 40'
SHEET NO.: 3
OF 6 SHEETS
DATE: JUNE 30, 2021



QUANTITY SUMMARY

GRAVEL	2,718 3.5'
TOPSOIL	2,718 3.5'



ILLINOIS STATE ROUTE 47

SEMPER FI LAND SITE PLAN - 10744 US ROUTE 47 - YORKVILLE

CIVIL SITE PLAN

PREPARED FOR:
ALWAYS FAITHFUL PROPERTIES, LLC
 1215 DEER ST., YORKVILLE, IL 60560

TEBRUGGE ENGINEERING
 410 E. CROWN STREET - SUITE A - BARDONVILLE, IL 60015
 PHONE 618-242-0100 TEBRUGGEENGINEERING.COM

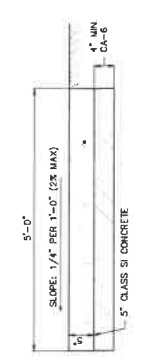
DATE: 5/17/17
 NOTES: SEE DRAWING(S) FOR DETAILS

REVISIONS:

NO.	DATE	DESCRIPTION
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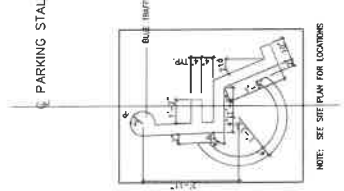
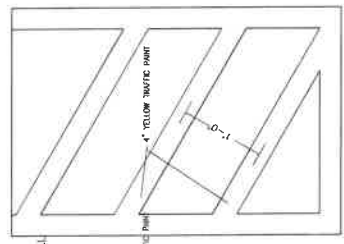
PROJECT NO. 21493.01
 SCALE 1" = 40'
 DATE: JUNE 30, 2021

SHEET NO. **5**
 OF 8 SHEETS

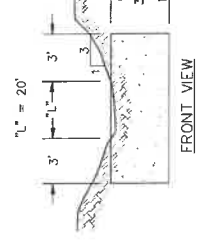


NOTES:
 1. ALL TOOL JOINTS EVERY 5' CONCRETE TO BE 6" THICK AT DRIVEWAYS.
 2. ANY SIDEWALK IS DAMAGED OR NOT ADA COMPLIANT SHALL BE REPAIRED AND REPLACED PRIOR TO FINAL INSPECTION APPROVAL.

SIDEWALK
 N.T.S.



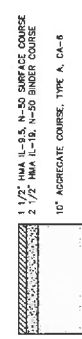
HANDICAPPED PARKING DETAIL
 N.T.S.



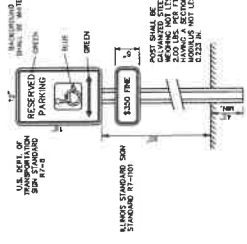
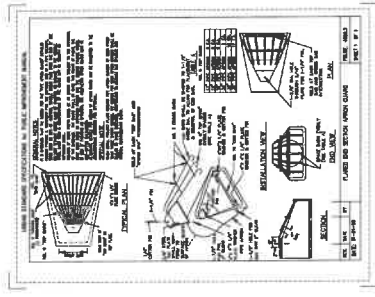
NOTE:
 "L" IS SIZED TO PASS 100 PPS EVENT WITH WATER



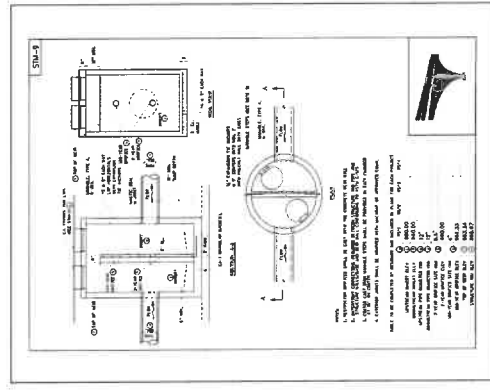
CONCRETE OVERFLOW DETAIL
 N.T.S.



TYPICAL PAVEMENT DETAIL



LOCATE SIGN AT EACH END OF HANDICAPPED PARKING STALL FROM EDGE OF PAVEMENT



- LETTERS:**
1. ALL CONSTRUCTION OPERATIONS SHALL BE IN ACCORDANCE WITH SECTION 106 OF THE LOCAL SPECIFICATIONS WHICH ARE INCORPORATED BY REFERENCE INTO THIS CONTRACT.
 2. THE CONTRACTOR SHALL PROTECT ALL PROPERTY AND SERVICES TO REMAIN AND SHALL RESTORE ANY DAMAGE TO ORIGINAL CONDITION.
 3. ALL UTILITIES SHALL BE PROTECTED AND SHALL BE REPAIRED OR REPLACED TO ORIGINAL CONDITION AT THE CONTRACTOR'S EXPENSE.
 4. PRIOR TO COMMENCEMENT OF WORK, THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS FROM THE CITY OF YORKVILLE, ILLINOIS.
 5. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL ADJACENT PROPERTIES AT ALL TIMES.
 6. ALL EXPOSED CONCRETE SURFACES SHALL BE PROTECTED FROM DAMAGE BY TRAFFIC AND WEATHER.
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TEBRUGGE ENGINEERING
 4100 E. 17TH STREET - SUITE 4 - SANDSPRING, IL 60548
 PHONE: 4151-1600 FAX: 4151-1601
 WWW.TEBRUGGEENGINEERING.COM

NOTES: (SEE PREVIOUS SHEETS)

DATE: _____

PROJECT NO.: 21-493.01

SCALE: NTS

DATE: JUNE 30, 2021

SHEET NO.: 6

OF 6 SHEETS

SEMPER FI LAND SITE PLAN - 10744 US ROUTE 47 - YORKVILLE

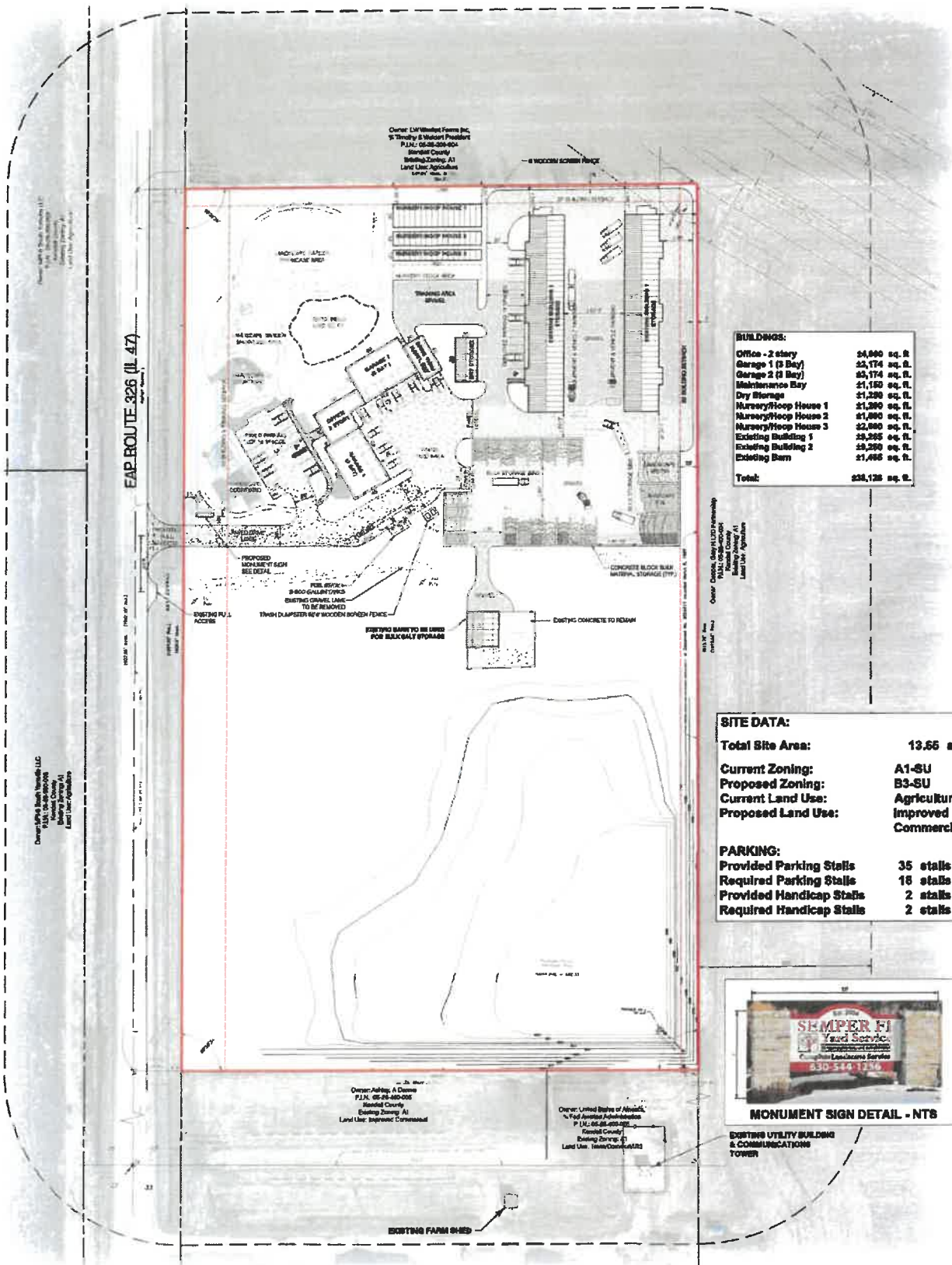
GENERAL NOTES & DETAILS

PREPARED FOR:
 ALWAYS FAITHFUL PROPERTIES, LLC
 1215 DEER ST., YORKVILLE, IL 60550

ALL DISTURBED AREAS SHALL BE SEEDED WITH 100# CLASS 1A SEED MIX

SEMPER FI ROUTE 47 PROPERTY

Exhibit C, Page 7
Kendall County, Illinois



BUILDINGS:

Office - 2 story	54,000 sq. ft.
Garage 1 (2 Bay)	23,174 sq. ft.
Garage 2 (2 Bay)	23,174 sq. ft.
Maintenance Bay	21,150 sq. ft.
Dry Storage	21,200 sq. ft.
Nursery/Hoop House 1	21,200 sq. ft.
Nursery/Hoop House 2	21,000 sq. ft.
Nursery/Hoop House 3	22,000 sq. ft.
Existing Building 1	23,200 sq. ft.
Existing Building 2	23,200 sq. ft.
Existing Barn	21,000 sq. ft.
Total:	228,126 sq. ft.

Owner: Dan, Wendy & Tim
12345 Main Street
Kendall County, Illinois
Land Use: Agriculture

SITE DATA:

Total Site Area:	13.66 ac.
Current Zoning:	A1-SU
Proposed Zoning:	B3-SU
Current Land Use:	Agriculture
Proposed Land Use:	Improved Commercial

PARKING:

Provided Parking Stalls	35 stalls
Required Parking Stalls	16 stalls
Provided Handicap Stalls	2 stalls
Required Handicap Stalls	2 stalls



MONUMENT SIGN DETAIL - NTS

EXISTING UTILITY BUILDING & COMMUNICATIONS TOWER

Owner: Dan, Wendy & Tim
12345 Main Street
Kendall County, Illinois
Land Use: Agriculture

Owner: Ashley A. Green
P.O. Box 400
Kendall County, Illinois
Land Use: Improved Commercial

Owner: United States of America
12345 Main Street
Kendall County, Illinois
Land Use: Telecommunications

SITE PLAN



Prepared For: ALWAYS FAITHFUL PROPERTIES, LLC
1234 Cornwell Trail
Kendall, IL 60132

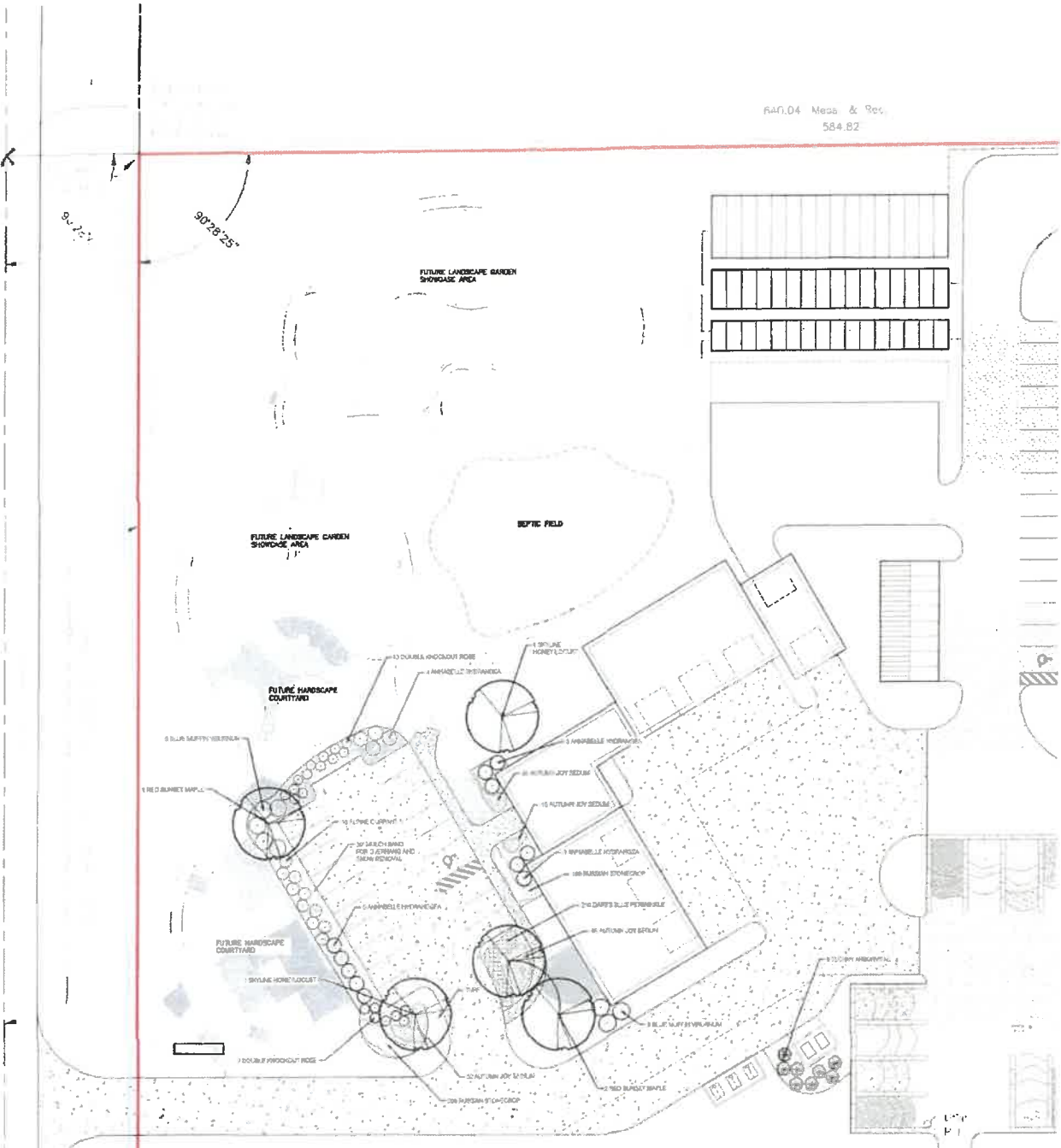
Date: December 29, 2020
Revised: August 18, 2021



124 S. Main Street
Coraopolis, PA 15063
P: 630.531.3235
F: 630.531.3639
schaefferdesign.com

Exhibit D SEMPER FI ROUTE 47 PROPERTY Kendall County, Illinois

RA01.04 Mesa & Rev.
584.82

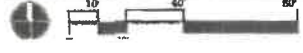


1:1007.65' Plan
1:1008.0' Mesa

MATERIALS LIST

Item Name	Quantity	Unit	Price
100' x 100' x 100' Concrete Slab	1	sq ft	1.50
100' x 100' x 100' Concrete Slab	1	sq ft	1.50
100' x 100' x 100' Concrete Slab	1	sq ft	1.50
100' x 100' x 100' Concrete Slab	1	sq ft	1.50
100' x 100' x 100' Concrete Slab	1	sq ft	1.50
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100' x 100' x 100' Concrete Slab	1	sq ft	1.50
100' x 100' x 100' Concrete Slab	1	sq ft	1.50

LANDSCAPE PLAN

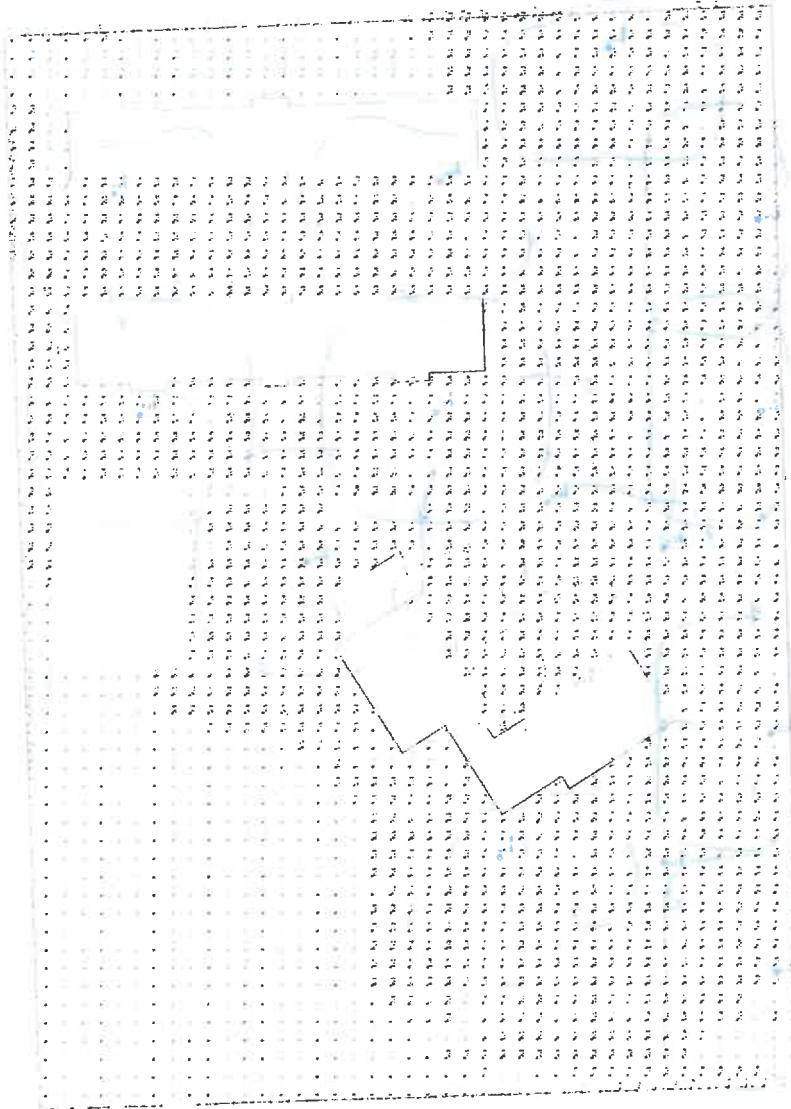


Prepared By: **ALWAYS FAITHFUL PROPERTIES, LLC**
1994 Concordia Trail
Bellaire, IL 60212

Date: **AUGUST 18, 2021**

Prepared By: **sda**
Schaepp Design Associates, Inc.
LAND PLANNING & ENVIRONMENTAL ARCHITECTURE

124 S. Main Street
Cape Girardeau, IL 62603
PH: 636.831.0035
F: 636.831.8639
SCHAEPPDESIGN.COM



Luminaire Schedule - Part numbers are provided by the manufacturer and are only intended to be used as a reference to output and optics used.

Symbol	Qty	Tag	Arrangement	Lum. Weights	Avg. Weights	Lum. Lumens	Arr. Lum. Lumens	UF	Manufacturer	Description
S1	10	S1	SINGLE	153.6	153.6	21310	21310	0.900	HUBBELL	HUBBELL OUTDOOR
S2	4	S2	SINGLE	153.6	153.6	21854	21854	0.900	HUBBELL	HUBBELL OUTDOOR
W1	3	W1	SINGLE	28	28	3679	3679	0.900	HUBBELL	HUBBELL OUTDOOR
W2	2	W2	SINGLE	80.8	80.8	11157	11157	0.900	HUBBELL	HUBBELL OUTDOOR

Calculation Summary

Label	Category	Units	Avg	Max	Min	Avg/Min	Max/Min	Description
PROPERTY LINE	ILLUMINANCE	Fc	0.10	0.8	0.0	N.A.	N.A.	READINGS @ GRADE
STREET	ILLUMINANCE	Fc	1.17	5.2	0.0	N.A.	N.A.	READINGS @ GRADE
TRUCK FRONT-REAR PARKING	ILLUMINANCE	Fc	1.53	4.2	0.5	3.06	8.40	READINGS @ GRADE
EMPLOYEE PARKING-TRAINING AREAS	ILLUMINANCE	Fc	1.53	4.1	0.2	3.30	20.50	READINGS @ GRADE
TRUCK PARKING-STORAGE AREAS	ILLUMINANCE	Fc	1.66	4.1	0.2	3.30	20.50	READINGS @ GRADE

Limiting Schedule - Part numbers are provided by the manufacturer and are only intended to be used as a reference to output and optics used.

Symbol	Qty	Tag	Arrangement	Lum. Weights	Avg. Weights	Lum. Lumens	Arr. Lum. Lumens	UF	Manufacturer	Description
S1	10	S1	SINGLE	153.6	153.6	21310	21310	0.900	HUBBELL	HUBBELL OUTDOOR
S2	4	S2	SINGLE	153.6	153.6	21854	21854	0.900	HUBBELL	HUBBELL OUTDOOR
W1	3	W1	SINGLE	28	28	3679	3679	0.900	HUBBELL	HUBBELL OUTDOOR
W2	2	W2	SINGLE	80.8	80.8	11157	11157	0.900	HUBBELL	HUBBELL OUTDOOR

Table with 4 columns: Title, Description, Value, Units.

Title	Description	Value	Units
Minimum Horizontal Illuminance	Personnel on parking surface without any obscuring items on object	2.00	fc
Maximum Horizontal Illuminance	Personnel on parking surface without any obscuring items on object	20.50	fc
Minimum Vertical Illuminance	Personnel on parking surface without any obscuring items on object	0.00	fc
Maximum Vertical Illuminance	Personnel on parking surface without any obscuring items on object	0.00	fc

PG-Enlighten is neither licensed nor insured to determine code compliance. Code compliance review by others.



Revisions

#	Date	Comments

Drawn By: Joel Collins
 Date: 8/12/2021
 Scale: 1" = 30'

Project Name: SEMPER II
 Location: 10744 US ROUTE 47, YORKVILLE, IL

RATIO Series

AREA/SITE LIGHTER

FEATURES

- Low profile LED area/site luminaire with a variety of IES distributions for lighting applications such as retail, commercial and campus parking lots
- Featuring Micro Strike Optics which maximizes target zone illumination with minimal losses at the house-side, reducing light trespass issues
- Visual comfort standard
- Compact and lightweight design with low EPA
- 3G rated for high vibration applications including bridges and overpasses
- Control options including photo control, occupancy sensing, NX Distributed Intelligence™ and 7-Pin with networked controls
- Best in class surge protection available


IP66


See Certification Specifications



RELATED PRODUCTS

[Alro](#)
[Cimarron LED](#)
[Ratio Family](#)

CONTROL TECHNOLOGY


NX DISTRIBUTED INTELLIGENCE™
wiSCAPE®

SPECIFICATIONS

CONSTRUCTION

- Rectilinear form mimics the traditional shoebox form factor keeping a similar but updated style and appearance, ideal for retrofit applications
- Die-cast housing with hidden vertical heat fins that are optimal for heat dissipation while keeping a clean smooth outer surface
- Corrosion resistant, die-cast aluminum housing with powder coat paint finish

OPTICS

- Entire optical aperture illuminates to create a larger luminous surface area resulting in a low glare appearance without sacrificing optical performance
- 80, 160, 320 or 480 midpower LEDs
- 3000K, 4000K or 5000K (70 CRI) CCT
- Zero uplight at 0 degrees of tilt
- Field rotatable optics

INSTALLATION

- Standard square arm mount, compatible with B3 drill pattern
- Optional universal mounting block for ease of installation during retrofit applications. Available as an option or accessory for square and round poles.
- Knuckle arm fitter option available for 2-3/8" OD tenon. Max tilt of 60 degrees with 4 degree adjustable increments. (Restrictions apply for 7-pin options)

ELECTRICAL

- Universal 120-277 VAC or 347-480 VAC input voltage, 50/60 Hz

ELECTRICAL (CONTINUED)

- Ambient operating temperature -40°C to 40°C
- Drivers have greater than 90% power factor and less than 20% THD
- LED drivers have output power over-voltage, over-current protection and short circuit protection with auto recovery
- Field replaceable surge protection device provides 20kA protection meeting ANSI/IEEE C62.41.2 Category C High and Surge Location Category C3; Automatically takes fixture off-line for protection when device is compromised

CONTROLS

- Photo control, occupancy sensor and wireless available for complete on/off and dimming control
- 7-pin ANSI C136.41-2013 photocontrol receptacle option available for twist lock photocontrols or wireless control modules (control accessories sold separately)
- 0-10V dimming leads available for use with control devices (provided by others, must specify lead length)
- SiteSync™ wireless control system is available via 7-pin See ordering information and details at: www.hubbellighting.com/sitesync
- NX Distributed Intelligence™ available with in fixture wireless control module, features dimming and occupancy sensor
- wiSCAPE® available with in fixture wireless control module, features dimming and occupancy sensor via 7-pin

CERTIFICATIONS

- DLC® (DesignLights Consortium Qualified), with some Premium Qualified configurations. Please refer to the DLC website for specific product qualifications at www.designlights.org
- Listed to UL1598 and CSA C22.2#250.0-24 for wet locations and 40°C ambient temperatures
- 3G rated for ANSI C136.31 high vibration applications
- Fixture is IP66 rated
- Meets IDA recommendations using 3K CCT configuration at 0 degrees of tilt
- This product qualifies as a "designated country construction material" per FAR 52.225-11 Buy American-Construction Materials under Trade Agreements effective 04/23/2020. See [Buy American Solutions](#)

WARRANTY

- 5 year limited warranty
- See [HLI Standard Warranty](#) for additional information

KEY DATA	
Lumen Range	3,000–48,000
Wattage Range	25–340
Efficacy Range (LPW)	118–155
Fixture Projected Life (Hours)	L70>60K
Weights lbs. (kg)	13.5–24 (6.1–10.9)

RATIO SERIES

AREA/SITE LIGHTER

ORDERING GUIDE

Example: RAR1-80L-25-3K7-2-UNV-ASQ-BL-NXWE-BC

 CATALOG #

ORDERING INFORMATION

Series	# LEDs - Wattage	CCT/CRI	Distribution	Optics Rotation	Voltage
RAR1 Ratio Area Size 1	80L-25 25W - 3,000 Lumens	3K7 3000K, 70 CRI	2 IES TYPE II	Blank for no rotation	UNV Universal 120-277V
	80L-39 39W - 5,200 Lumens	4K7 4000K, 70 CRI	3 IES TYPE III	L Optic rotation left	120 120V
	80L-50 50W - 6,000 Lumens	5K7 5000K, 70 CRI	4W IES TYPE IV	R Optic rotation right	208 208V
	160L-70 70W - 9,000 Lumens		5QW IES TYPE V		240 240V
	160L-100 100W - 12,000 Lumens				277 277V
	160L-115 115W - 15,000 Lumens				347 347V
RAR2 Ratio Area Size 2	160L-135 135W - 18,000 Lumens				480 480V
	320L-110 110W - 15,000 Lumens				
	320L-140 140W - 18,000 Lumens				
	320L-165 165W - 21,000 Lumens				
	480L-185 185W - 24,000 Lumens				
	480L-210 210W - 27,000 Lumens				
	480L-240 240W - 30,000 Lumens				
	480L-255 255W - 36,000 Lumens				
480L-295 295W - 42,000 Lumens					
480L-340 340W - 48,000 Lumens					

Mounting	Color	Control Options Network	Options
ASQ Arm mount for square pole/flat surface	BLT Black Matte Textured	NXWE NX Wireless Enabled (module + radio)	BC Backlight control
ASQU Universal arm mount for square pole/flat surface	BLS Black Gloss Smooth	NXSPW_F NX Wireless, PIR Occ. Sensor, Daylight Harvesting ²	CD Continuous dimming
Mounting Round Poles	DBT Dark Bronze Matte Textured	NXSP_F NX, PIR Occ. Sensor, Daylight Harvesting ²	F Fusing (must specify voltage)
A_ Arm mount for round pole ¹	DBS Dark Bronze Gloss Smooth	Control Options Other	TB Terminal block
A_U Universal arm mount for round pole ¹	GTT Graphite Matte Textured	SCP-40F Programmable occupancy sensor ⁴	2PF 2 power feed with 2 drivers ³
Mounting Other	LGS Light Grey Gloss Smooth	7PR 7-Pin twist lock receptacle	
WB Well bracket	PSS Platinum Silver Smooth	7PR-SC 7-Pin receptacle with shorting cap	
MAF Mast arm fitter for 2-3/8" OD horizontal arm	WHT White Matte Textured	7PR-MD40F Low voltage sensor for 7PR	
K Knuckle	WHS White Gloss Smooth	7PR-TL 7-Pin PCR with photocontrol	
	VGT Verde Green Textured		
	Color Option		
	CC Custom Color		

Notes:

- 1 Replace "_" with "3" for 3.5"-4.13" OD pole, "4" for 4.18"-5.25" OD pole, "5" for 5.5"-6.5" OD pole
- 2 Replace "_" with "14" for up to 14' mounting height, "30F" for 15-30' mounting height
- 3 Not available with 25, 50, 255, 295 & 340W configurations
- 4 At least one SCPREMOTE required to program SCP motion sensor

STOCK ORDERING INFORMATION

Catalog Number	Lumens	Wattage	LED Count	CCT/CRI	Voltage	Distribution	Mounting	Finish
RAR1-100-4K-3	12,000	100W	160L	4000K/70CRI	120-277V	Type 3	Square Arm	Bronze
RAR1-100-4K-4W	12,000	100W	160L	4000K/70CRI	120-277V	Type 4W	Square Arm	Bronze
RAR1-135-4K-3	18,000	135W	160L	4000K/70CRI	120-277V	Type 3	Square Arm	Bronze
RAR1-135-4K-4W	18,000	135W	160L	4000K/70CRI	120-277V	Type 4W	Square Arm	Bronze
RAR2-165-4K-3	21,000	165W	320L	4000K/70CRI	120-277V	Type 3	Square Arm	Bronze
RAR2-165-4K-4W	21,000	165W	320L	4000K/70CRI	120-277V	Type 4W	Square Arm	Bronze

DATE: _____ LOCATION: _____

TYPE: _____ PROJECT: _____

CATALOG #: _____

RATIO SERIES

AREA/SITE LIGHTER

OPTIONS AND ACCESSORIES - STOCK (ORDERED SEPARATELY)

Catalog Number	Description
<input type="checkbox"/> RARRPA3DB	Round pole adapter 3.5" to 4.13" for ASQ arm, 3.5" to 4.13" OD pole, dark bronze finish
<input type="checkbox"/> RARA3UDB	Universal mount for square pole or round pole 3.5" to 4.13", dark bronze finish
<input type="checkbox"/> RARBC80L	Ratio blacklight control 80L
<input type="checkbox"/> RARBC160L	Ratio blacklight control 160L
<input type="checkbox"/> RARBC320L	Ratio blacklight control 320L
<input type="checkbox"/> RARBC480L	Ratio blacklight control 480L

ACCESSORIES AND REPLACEMENT PARTS - MADE TO ORDER

Catalog Number	Description
<input type="checkbox"/> RAR-ASQU-XX	Universal arm mount for square pole/flat surface ²
<input type="checkbox"/> RAR-A_U-XX	Universal arm mount for round poles ^{1,2}
<input type="checkbox"/> RAR-RPA_-XX	Round pole adapter ^{1,2}
<input type="checkbox"/> SETAVP-XX	4" square pole top tenon adapter, 2 3/8" OD slipfitter ²
<input type="checkbox"/> RETAVP-XX	4" round pole top tenon adapter; 2 3/8" OD slipfitter for max. Four fixtures (90°); order 4" round pole adapters separately ²
<input type="checkbox"/> BIRD-SPIKE-3	Ratio size 1 bird deterrent/spikes
<input type="checkbox"/> BIRD-SPIKE-4	Ratio size 2 bird deterrent/spikes
<input type="checkbox"/> RARWB-XX	Wall bracket - use with Mast Arm Fitter or Knuckle ²

- 1 Replace "_" with "3" for 3.5"-4.13" OD pole, "4" for 4.18"-5.25" OD pole, "5" for 5.5"-6.5" OD pole
 2 Replace "XX" with desired color/paint finish

CONTROLS

Control Options

Standalone

SW7PR	SiteSync™ on fixture module via 7PR
SWUSB	SiteSync™ Software on USB
SWTAB	SiteSync™ Windows Tablet
SWBRG	SiteSync™ Wireless Bridge Node
SWFC	SiteSync™ Field Commission Serve
SCPREMOTE	Order at least one per project location to program and control

Networked – Wireless

WIR-RME-L	wISCAPE External Fixture Module ^{1,2}
NX Networked – Wireless	
NXOFM-IRID-UNV	NX Wireless, Daylight Harvesting, BLE, 7 pin twisted lock

Notes:

- 1 Works with external networked photosensor
 2 wISCAPE Gateway required for system programming

RATIO SERIES

AREA/SITE LIGHTER

PERFORMANCE DATA

Description	Nominal Wattage	System Watts	Dist. Type	5K (5000K NOMINAL 70 CRI)					4K (4000K NOMINAL 70 CRI)					3K (3000K NOMINAL 80 CRI)				
				Lumens	LPW	B	U	G	Lumens	LPW	B	U	G	Lumens	LPW	B	U	G
RAR1	25	25.4	2	3438	135	1	0	1	3445	136	1	0	1	3240	128	1	0	1
			3	3460	136	1	0	1	3467	136	1	0	1	3260	128	1	0	1
			4W	3406	134	1	0	1	3412	134	1	0	1	3209	126	1	0	1
			5QW	3483	137	2	0	1	3490	137	2	0	1	3282	129	2	0	1
	39	39	2	5263	139	1	0	2	5273	139	1	0	2	4960	131	1	0	2
			3	5297	139	1	0	2	5308	140	1	0	2	4991	131	1	0	2
			4W	5200	137	1	0	2	5210	137	1	0	2	4900	129	1	0	2
			5QW	5333	140	3	0	1	5344	141	3	0	1	5025	132	3	0	1
	50	49.8	2	6310	127	1	0	2	6323	127	1	0	2	5946	120	1	0	2
			3	6349	128	1	0	2	6362	128	1	0	2	5983	120	1	0	2
			4W	6233	125	1	0	2	6245	126	1	0	2	5873	118	1	0	2
			5QW	6392	129	3	0	1	6405	129	3	0	1	6023	121	3	0	1
	70	68.4	2	9486	139	1	0	2	9505	139	1	0	2	8938	131	1	0	2
			3	9544	140	1	0	2	9563	140	1	0	2	8993	131	1	0	2
			4W	9395	137	1	0	2	9414	138	1	0	2	8853	129	1	0	2
			5QW	9608	140	4	0	2	9628	141	4	0	2	9054	132	4	0	2
	100	90.0	2	11976	133	2	0	2	12000	133	2	0	2	11285	125	2	0	2
			3	12050	134	2	0	2	12074	134	2	0	2	11354	126	2	0	2
			4W	11861	132	2	0	2	11885	132	2	0	2	11177	124	2	0	2
			5QW	12131	135	4	0	2	12155	135	4	0	2	11431	127	4	0	2
	115	109.7	2	15572	142	2	0	2	15494	141	2	0	2	14871	136	2	0	2
			3	15833	144	2	0	2	15754	144	2	0	2	15121	138	2	0	2
			4W	15281	139	2	0	3	15205	139	2	0	3	14623	133	2	0	3
			5QW	15732	143	4	0	2	15653	143	4	0	2	15024	137	4	0	2
135	133.3	2	17971	135	3	0	3	17881	134	3	0	3	17163	129	3	0	3	
		3	18272	137	2	0	2	18181	136	2	0	2	17450	131	2	0	2	
		4W	17635	132	2	0	3	17547	132	2	0	3	16876	127	2	0	3	
		5QW	18156	136	4	0	2	18065	136	4	0	2	17339	130	4	0	2	

RAR2 Performance Data on next page

* Lumen values are from photometric test performed in accordance with IESNA LM-79-08. Data is considered to be representative of the configurations shown. Actual performance may differ as a result of end-user environment and application.

DATE: _____

LOCATION: _____

TYPE: _____

PROJECT: _____

CATALOG #: _____

RATIO SERIES

AREA/SITE LIGHTER

PERFORMANCE DATA

Description	Nominal Wattage	System Watts	Dist. Type	5K (5000K NOMINAL 70 CRI)					4K (4000K NOMINAL 70 CRI)					3K (3000K NOMINAL 80 CRI)				
				Lumens	LPW	B	U	G	Lumens	LPW	B	U	G	Lumens	LPW	B	U	G
RAR2	110	100.3	2	15326	153	2	0	3	15357	153	2	0	3	14442	144	2	0	3
			3	15421	154	2	0	3	15452	154	2	0	3	14531	145	2	0	3
			4W	15180	151	2	0	2	15210	152	2	0	2	14304	143	2	0	2
			5QW	15525	155	4	0	2	15556	155	4	0	2	14629	146	4	0	2
	140	133.2	2	19395	146	2	0	3	19434	146	2	0	3	18276	137	2	0	3
			3	19515	147	2	0	3	19554	147	2	0	3	18389	138	2	0	3
			4W	19210	144	2	0	3	19248	145	2	0	3	18101	136	2	0	3
			5QW	19647	148	5	0	3	19686	148	5	0	3	18513	139	5	0	3
	165	153.6	2	21651	141	3	0	3	21695	141	3	0	3	20402	133	3	0	3
			3	21785	142	3	0	3	21828	142	3	0	3	20527	134	3	0	3
			4W	21444	140	3	0	3	21487	140	3	0	3	20206	132	3	0	3
			5QW	21932	143	5	0	3	21976	143	5	0	3	20666	135	5	0	3
	185	174.5	2	26046	149	3	0	3	26098	150	3	0	3	24543	141	3	0	3
			3	26207	150	3	0	3	26259	150	3	0	3	24694	142	3	0	3
			4W	25797	148	3	0	4	25849	148	3	0	4	24308	139	3	0	4
			5QW	26384	151	5	0	3	26437	152	5	0	3	24861	143	5	0	3
	210	198.2	2	28848	145	3	0	4	28906	146	3	0	4	27184	137	3	0	4
			3	29027	146	3	0	4	29085	147	3	0	4	27351	138	3	0	4
			4W	28572	144	3	0	4	28630	144	3	0	4	26924	136	3	0	4
			5QW	29222	147	5	0	4	29281	148	5	0	4	27536	139	5	0	4
	240	226.9	2	32087	141	3	0	4	32151	142	3	0	4	30235	133	3	0	4
			3	32285	142	3	0	4	32350	143	3	0	4	30422	134	3	0	4
			4W	31780	140	3	0	4	31844	140	3	0	4	29946	132	3	0	4
			5QW	32503	143	5	0	4	32568	144	5	0	4	30627	135	5	0	4
	255	257.0	2	37040	144	3	0	4	36854	143	3	0	4	35373	138	3	0	4
			3	37660	147	3	0	4	37472	146	3	0	4	35966	140	3	0	4
			4W	36347	141	3	0	5	36166	140	3	0	5	34782	135	3	0	5
			5QW	37420	146	5	0	4	37233	145	5	0	4	35736	139	5	0	4
	295	294.0	2	41733	142	3	0	4	41524	141	3	0	4	39855	136	3	0	4
			3	42432	144	3	0	4	42220	144	3	0	4	40523	138	3	0	4
			4W	40953	139	3	0	5	40748	139	3	0	5	39190	133	3	0	5
			5QW	42162	143	5	0	4	41951	143	5	0	4	40264	137	5	0	4
	340	347.1	2	48392	139	4	0	5	48150	139	4	0	5	46215	133	4	0	5
			3	49203	142	3	0	4	48957	141	3	0	4	46989	135	3	0	4
			4W	47488	137	4	0	5	47261	136	4	0	5	45443	131	4	0	5
			5QW	48889	141	5	0	5	48645	140	5	0	5	46689	135	5	0	5

* Lumen values are from photometric test performed in accordance with IESNA LM-79-08. Data is considered to be representative of the configurations shown. Actual performance may differ as a result of end-user environment and application.

RATIO SERIES

AREA/SITE LIGHTER

ELECTRICAL DATA

# OF LEDS	Nominal Wattage	Input Voltage	Oper. Current (Amps)	System Power (Watts)
RAR1	25	120	0.21	25.4
		208	0.12	
		240	0.11	
		277	0.09	
	39	120	0.32	38.0
		208	0.18	
		240	0.16	
		277	0.14	
		347	0.11	
		480	0.08	
	50	120	0.42	49.8
		208	0.24	
		240	0.21	
		277	0.18	
	70	120	0.57	68.4
		208	0.33	
		240	0.29	
		277	0.25	
	100	120	0.75	90.0
		208	0.43	
		240	0.38	
		277	0.32	
	115	120	0.91	109.7
		208	0.53	
240		0.46		
277		0.40		
347		0.32		
480		0.23		
135	120	1.11	133.3	
	208	0.64		
	240	0.56		
	277	0.48		
	347	0.38		
	480	0.28		

# OF LEDS	Nominal Wattage	Input Voltage	Oper. Current (Amps)	System Power (Watts)
RAR2	110	120	0.84	100.3
		208	0.48	
		240	0.42	
		277	0.36	
	140	120	1.11	133.2
		208	0.64	
		240	0.56	
		277	0.48	
	165	120	1.28	153.6
		208	0.74	
		240	0.64	
		277	0.55	
185	120	1.45	174.5	
	208	0.84		
	240	0.73		
	277	0.63		
210	120	1.65	198.3	
	208	0.95		
	240	0.83		
	277	0.72		
240	120	1.89	226.9	
	208	1.09		
	240	0.95		
	277	0.82		
255	120	2.14	257.0	
	208	1.24		
	240	1.07		
	277	0.93		
295	120	2.45	294.0	
	208	1.41		
	240	1.23		
	277	1.06		
	347	0.85		
	480	0.61		
340	120	2.89	347.1	
	208	1.67		
	240	1.45		
	277	1.25		
	347	1.00		
	480	0.72		

LUMINAIRE AMBIENT TEMPERATURE FACTOR (LATF)

Ambient Temperature		Lumen Multiplier
0° C	32° F	1.03
10° C	50° F	1.01
20° C	68° F	1.00
25° C	77° F	1.00
30° C	86° F	0.99
40° C	104° F	0.98
50° C	122° F	0.97

Use these factors to determine relative lumen output for average ambient temperatures from 0-40°C (32-104°F)

PROJECTED LUMEN MAINTENANCE

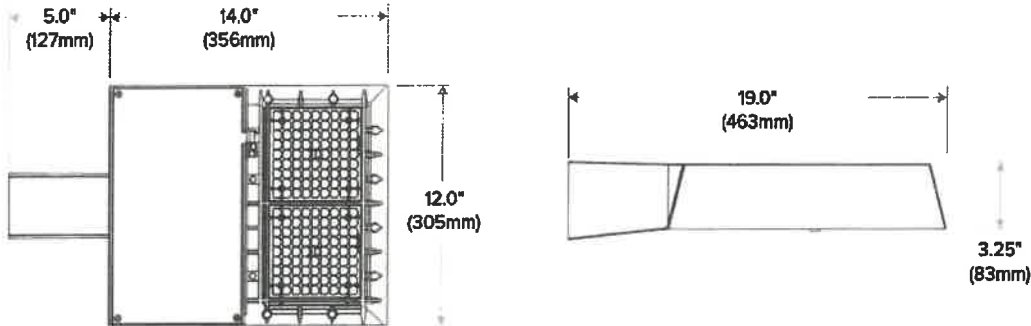
Ambient Temperature	OPERATING HOURS					
	0	25,000	TM-21-11 L90 36,000	50,000	100,000	L70 (Hours)
25°C / 77°F	1.00	0.97	0.95	0.93	0.86	238,000
40°C / 104°F	0.99	0.96	0.95	0.93	0.85	225,000

RATIO SERIES

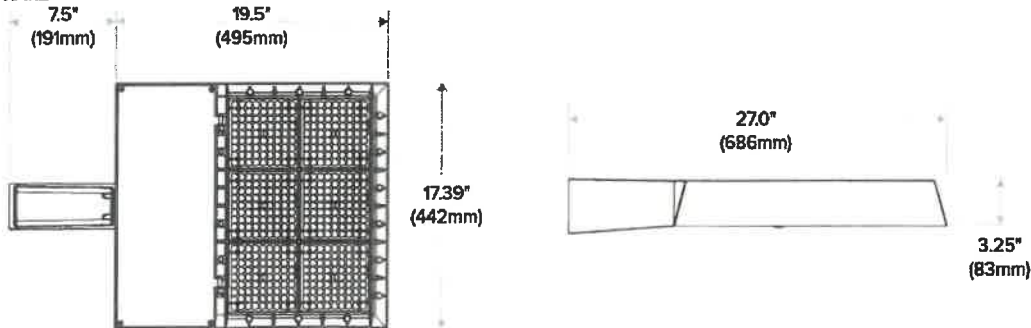
AREA/SITE LIGHTER

DIMENSIONS

RAR1



RAR2



ADDITIONAL INFORMATION

MOUNTING



Arm Mount – Fixture ships with integral arm for ease of installation. Compatible with Hubbell Outdoor B3 drill pattern.



Knuckle – Knuckle mount 15° aiming angle increments for precise aiming and control, fits 2-3/8" tenons or pipes.



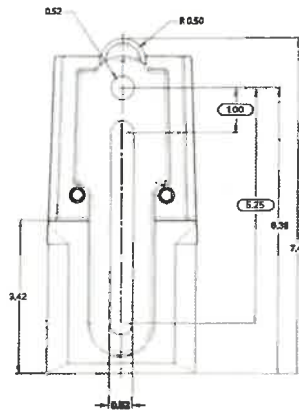
Universal Mounting – Universal mounting block for ease of installation. Compatible with drill patterns from 2.5" to 4.5"



MAF – Fits 2-3/8" OD arms Roadway applications.



Wall Mount – Wall mount bracket designed for building mount applications.



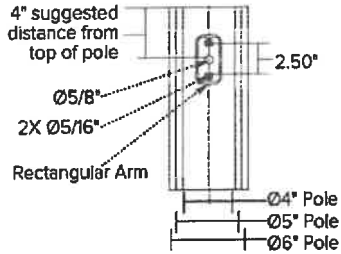
RATIO SERIES

AREA/SITE LIGHTER

ADDITIONAL INFORMATION (CONT'D)

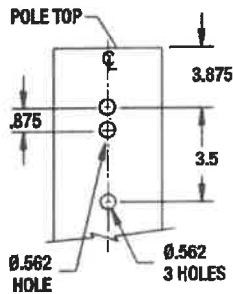
ARM MOUNT (ASQ)

Compatible with Pole drill pattern B3



UNIVERSAL MOUNTING (ASQU)

Compatible with pole drill pattern S2



SITESYNC 7-PIN MODULE



SW7PR



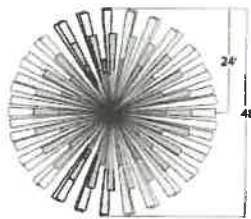
- SiteSync features in a new form
- Available as an accessory for new construction or retrofit applications (with existing 7-Pin receptacle)

RATIO SERIES

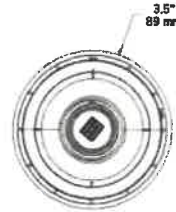
AREA/SITE LIGHTER

ADDITIONAL INFORMATION (CONT'D)

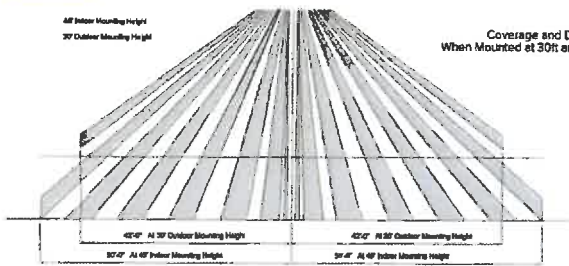
NXSP-14F



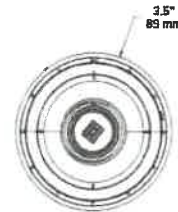
Sensor Lens Coverage and Detection Patterns When Mounted at 8ft with Low Mount Lens



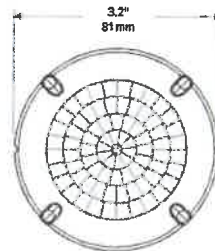
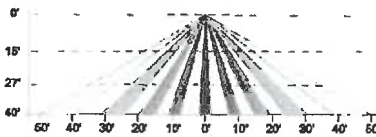
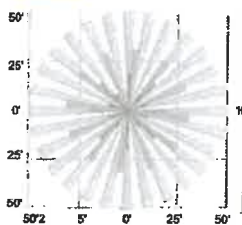
NXSP-30F



Coverage and Detection Patterns When Mounted at 30ft and 45ft with Standard Lens



SCP-40F



RAR1 EPA

RAR-1	
EPA at 0°	EPA at 30°
.45ft. ² .13m ²	.56ft. ² .17m ²

RAR2 EPA

RAR-2	
EPA at 0°	EPA at 30°
.55ft. ² .17m ²	1.48ft. ² .45m ²

SHIPPING

Catalog Number	G.W(kg)/CTN	Carton Dimensions		
		Length Inch (cm)	Width Inch (cm)	Height Inch (cm)
RAR1	15 (6.8)	20.75 (52.7)	15.125 (38.4)	6.9375 (17.6)
RAR2	19 (8.6)	25 (63.5)	15.125 (38.4)	6.9375 (17.6)

USE OF TRADEMARKS AND TRADE NAMES

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SSS-H SERIES POLES

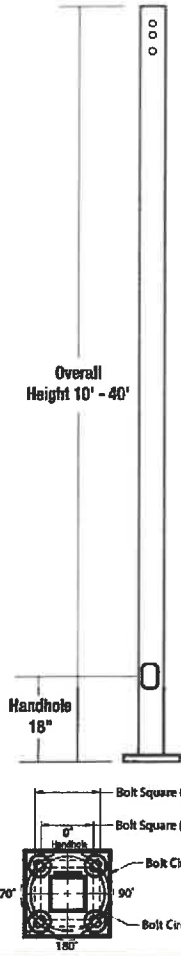
SQUARE STRAIGHT STEEL

Cat.#	
Job	Type



HUBBELL
Outdoor Lighting

Approvals



APPLICATIONS

- Lighting installations for side and top mounting of luminaires with effective projected area (EPA) not exceeding maximum allowable loading of the specified pole in its installed geographic location

CONSTRUCTION

- **SHAFT:** One-piece straight steel with square cross section, flat sides and minimum 0.23" radius on all corners; Minimum yield of 46,000 psi (ASTM-A500, Grade B); Longitudinal weld seam to appear flush with shaft side wall; Steel base plate with axial bolt circle slots welded to pole shaft having minimum yield of 36,000 psi (ASTM A36)
- **BASE COVER:** Two-piece square aluminum base cover included standard
- **POLE CAP:** Pole shaft supplied with removable cover when applicable; Tenon and post-top configurations also available
- **HAND HOLE:** Rectangular 3x5 steel hand hole frame (2.38" x 4.38" opening); Mounting provisions for grounding lug located behind gasketed cover
- **ANCHOR BOLTS:** Four galvanized anchor bolts provided per pole with minimum yield of 55,000 psi (ASTM F1554). Galvanized hardware with two washers and two nuts per bolt for leveling

Anchor bolt part numbers: 3/4 x 30 x 3 — TAB-30-M38
1 x 36 x 4 — TAB-36-M38

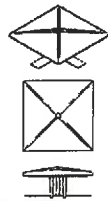
FINISH

- Durable thermoset polyester powder coat paint finish with nominal 3.0 mil thickness
- Powder paint prime applied over "white metal" steel substrate cleaned via mechanical shot blast method
- Decorative finish coat available in multiple standard colors; Custom colors available; RAL number preferable

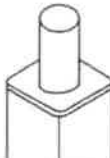
WAREHOUSE 'STOCKED' POLES:

- SSSH20-40A-4-HV-DB-RDC, SSSH25-40A-4-HV-DB-RDC and SSSH30-50B-4-HV-DB-RDC
- The HV designation in the above catalog numbers is a combination of the S2 pattern and the B3 pattern

POLE CAP



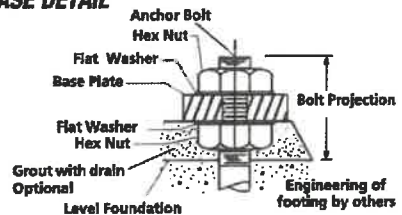
TENON



BASE COVER



BASE DETAIL



ORDERING INFORMATION

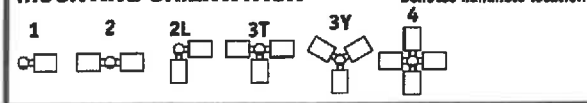
Reference page 2 for available configurations

ORDERING EXAMPLE:

SSS - H - 25 - 40 - A/B/C - 2L - S2 - DBT - UL

SERIES	HEIGHT	SHAFT	THICKNESS	MOUNTING	FINISH	OPTIONS
SSS-H Square Straight Steel Pole Hubbell Outdoor	Reference page 2 Ordering matrix	Reference page 2 Ordering matrix	Reference page 2 Ordering matrix	1 Single arm mount 2 Two fixtures at 180° 2L Two fixtures at 90° 3T Three fixtures at 90° 4 Four fixtures at 90° TA Tenon (2.38" OD x 4" Tall) TB Tenon (2.88" OD x 4" Tall) TC Tenon (3.5" OD x 6" Tall) TR Removable Tenon (2.38" x 4") OT Open Top (includes pole cap)	BLT Black Matte Textured BLS Black Gloss Smooth DBT Dark Bronze Matte Textured DBS Dark Bronze Gloss Smooth GTT Graphite Matte Textured LGS Light Gray Gloss Smooth PSS Platinum Silver Smooth WHT White Matte Textured WHS White Gloss Smooth VGT Verde Green Textured Color Option CC Custom Color	GFP 20 Amp GFCI Receptacle and Cover EHH Extra Handhole C05 .5" Coupling C07 .75" Coupling C20 2" Coupling MPB Mid-pole Luminaire Bracket VM2 2nd mode vibration damper LAB Less Anchor Bolts UL UL Certified

MOUNTING ORIENTATION



- 1 Removable tenon used in conjunction with side arm mounting. First specify desired arm configuration followed by the "TR" notation. Example: SSS-H-25-40-A-1-2L-TR-DB
- 2 Specify option location using logic found on page 2 (Option Orientations)
- 3 VM1 recommended on poles 20' and taller with EPA of less than 1.

ACCESSORIES- Order Separately

Catalog Number	Description
VM1	1st mode vibration damper
VM2SXX	2nd mode vibration damper

DRILL PATTERN

- B3** 2 bolt (2-1/2" spacing), Ratio
- S2** 2 bolt (3-1/2" spacing)



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ORDERING INFORMATION (Continued)

Catalog Number	Height		Nominal Shal. Dimensions	Wall Thickness	Bolt Circle (suggested)	Bolt Circle (range)	Bolt Square (range)	Base Plate Square	Anchor bolt size	Bolt Projection	Pole weight
	Feet	Meters									
SSS-H-10-40-A-XX-XX	10	3.0	4" square	0.125"	9"	8" - 10"	5.66" - 7.07"	9"	3/4" x 30" x 3"	3.5	77
SSS-H-12-40-A-XX-XX	12	3.7	4" square	0.125"	9"	8" - 10"	5.66" - 7.07"	9"	3/4" x 30" x 3"	3.5	80
SSS-H-14-40-A-XX-XX	14	4.3	4" square	0.125"	9"	8" - 10"	5.66" - 7.07"	9"	3/4" x 30" x 3"	3.5	103
SSS-H-16-40-A-XX-XX	16	4.9	4" square	0.125"	9"	8" - 10"	5.66" - 7.07"	9"	3/4" x 30" x 3"	3.5	116
SSS-H-18-40-A-XX-XX	18	5.5	4" square	0.125"	9"	8" - 10"	5.66" - 7.07"	9"	3/4" x 30" x 3"	3.5	129
SSS-H-20-40-A-XX-XX	20	6.1	4" square	0.125"	9"	8" - 10"	5.66" - 7.07"	9"	3/4" x 30" x 3"	3.5	142
SSS-H-25-40-A-XX-XX	25	7.6	4" square	0.125"	9"	8" - 10"	5.66" - 7.07"	9"	3/4" x 30" x 3"	3.5	175
SSS-H-14-40-B-XX-XX	14	4.3	4" square	.188"	11"	10" - 12"	7.07" - 8.48"	10.50"	3/4" x 30" x 3"	3.5	152
SSS-H-16-40-B-XX-XX	16	4.9	4" square	.188"	11"	10" - 12"	7.07" - 8.48"	10.50"	3/4" x 30" x 3"	3.5	171
SSS-H-18-40-B-XX-XX	18	5.5	4" square	.188"	11"	10" - 12"	7.07" - 8.48"	10.50"	3/4" x 30" x 3"	3.5	190
SSS-H-20-40-B-XX-XX	20	6.1	4" square	.188"	11"	10" - 12"	7.07" - 8.48"	10.50"	3/4" x 30" x 3"	3.5	209
SSS-H-25-40-B-XX-XX	25	7.6	4" square	.188"	11"	10" - 12"	7.07" - 8.48"	10.50"	3/4" x 30" x 3"	3.5	257
SSS-H-30-40-B-XX-XX	30	9.1	4" square	.188"	11"	10" - 12"	7.07" - 8.48"	10.50"	3/4" x 30" x 3"	3.5	304
SSS-H-16-50-B-XX-XX	16	4.9	5" square	.188"	11"	10.25" - 13.25"	7.25" - 9.37"	11.50"	1" x 36" x 4"	4.5	219
SSS-H-18-50-B-XX-XX	18	5.5	5" square	.188"	11"	10.25" - 13.25"	7.25" - 9.37"	11.50"	1" x 36" x 4"	4.5	243
SSS-H-20-50-B-XX-XX	20	6.1	5" square	.188"	11"	10.25" - 13.25"	7.25" - 9.37"	11.50"	1" x 36" x 4"	4.5	267
SSS-H-25-50-B-XX-XX	25	7.6	5" square	.188"	11"	10.25" - 13.25"	7.25" - 9.37"	11.50"	1" x 36" x 4"	4.5	327
SSS-H-30-50-B-XX-XX	30	9.1	5" square	.188"	11"	10.25" - 13.25"	7.25" - 9.37"	11.50"	1" x 36" x 4"	4.5	387
SSS-H-25-50-C-XX-XX	25	7.6	5" square	.25"	11"	10.25" - 13.25"	7.25" - 9.37"	11.50"	1" x 36" x 4"	4.5	427
SSS-H-30-50-C-XX-XX	30	9.1	5" square	.25"	11"	10.25" - 13.25"	7.25" - 9.37"	11.50"	1" x 36" x 4"	4.5	507
SSS-H-20-60-B-XX-XX	20	6.1	6" square	.188"	12"	11.00" - 13.25"	7.81" - 9.37"	12.25"	1" x 36" x 4"	5.0	329
SSS-H-25-60-B-XX-XX	25	7.6	6" square	.188"	12"	11.00" - 13.25"	7.81" - 9.37"	12.25"	1" x 36" x 4"	5.0	404
SSS-H-30-60-B-XX-XX	30	9.1	6" square	.188"	12"	11.00" - 13.25"	7.81" - 9.37"	12.25"	1" x 36" x 4"	5.0	479
SSS-H-35-60-B-XX-XX	35	10.7	6" square	.188"	12"	11.00" - 13.25"	7.81" - 9.37"	12.25"	1" x 36" x 4"	5.0	554
SSS-H-40-60-B-XX-XX	40	12.2	6" square	.188"	12"	11.00" - 13.25"	7.81" - 9.37"	12.25"	1" x 36" x 4"	5.0	629

NOTE: Factory supplied template must be used when setting anchor bolts. Hubbell Lighting will deny any claim for incorrect anchorage placement resulting from failure to use factory supplied template and anchor bolts.

EHH - EXTRA HANDHOLE

Provision for Grounding

C05 - C07 - C20 - COUPLING

2" - 11.5 NPS Threads
3/4" - 14 NPS Threads
1/2" - 14 NPS Threads

VM1 - VIBRATION DAMPER 1ST MODE

Field installed Pole Top damper designed to reduce pole top deflection or sway. VM1 is recommended for pole systems 25' and taller with a total EPA of 1.0 or less.

VM2 - VIBRATION DAMPER 2ND MODE

Factory installed, internal damper designed to alter pole resonance to reduce movement and material fatigue caused by 2nd mode vibration.

VM2SXX - VIBRATION DAMPER 2ND MODE

VM2S08 - 8'
VM2S12 - 12'
VM2S16 - 16'
VM2S20 - 20'
VM2S24 - 24'

Field installed, internal damper designed to alter pole resonance to reduce movement and material fatigue caused by 2nd mode vibration.

GFI - 20 AMP GFCI RECEPTACLE & COVER

Square Steel Pole
Standard hand hole frame
Adapter plate
Gasket
20 AMP GFCI
Wet Locations In-use Cover

MPB - MID POLE BRACKET

Square Steel Pole
Attachment stub 5" long welded to pole
2" pipe tenon 4.25" tall
Arm, 3" Sq. x 18.5" long ships separately

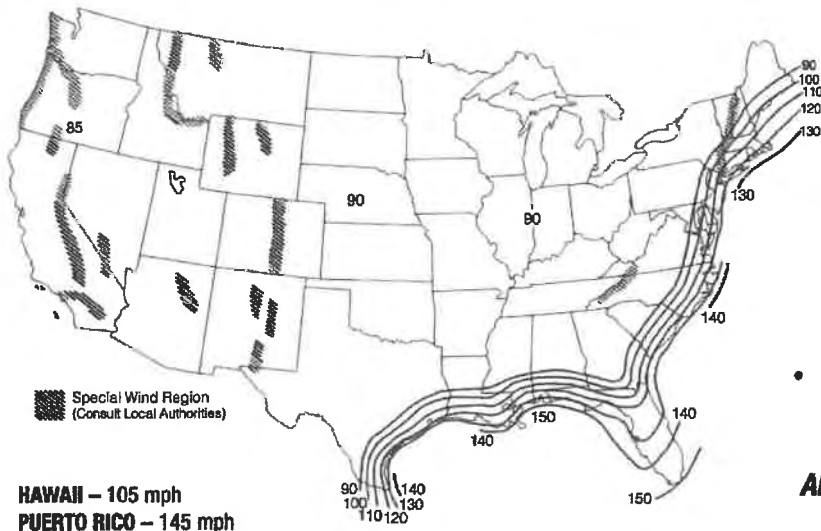
OPTION ORIENTATION

Follow the logic below when ordering location specific options. For each option, include its orientation (in degrees) and its height (in feet). Example: Option C07 should be ordered as: SSS-H-20-40-A-7A-D07-C07-0-15 (15' coupling on the handhole/arm side of pole, 15 feet up from the pole base) 1' spacing required between option. Consult factory for other configurations.

Height of option in feet
Bolt Square (Outer)
Bolt Square (Inner)
Bolt Circle (Outer)
Bolt Circle (Inner)

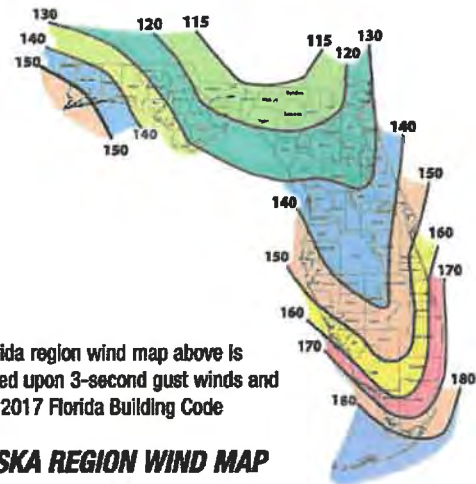
For more information about pole vibration and vibration dampers, please consult https://hubbell.com/outdoor/lighting/resources/literature/files/Pole_Wind_Induced_Flutter_HL00022.pdf. Due to our continued efforts to improve our products, product specifications are subject to change without notice.

ASCE7-05 WIND MAP



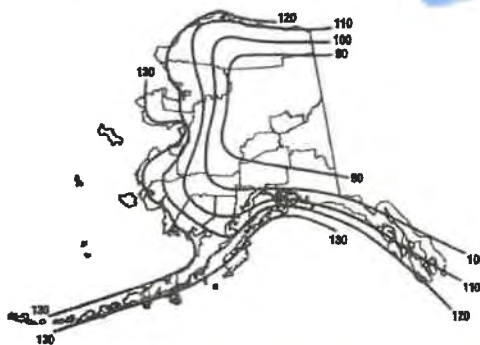
HAWAII – 105 mph
PUERTO RICO – 145 mph

FLORIDA REGION WIND MAP



- Florida region wind map above is based upon 3-second gust winds and the 2017 Florida Building Code

ALASKA REGION WIND MAP



ASCE 7-05 wind map EPA Load Rating - 3 second gust wind speeds
(Use for all locations except Florida)

Catalog Number	85	90	100	105	110	120	130	140	145	150
SSS-H-10-40-A	25.0	25.0	25.0	22.8	20.6	17.0	14.2	11.9	11.0	10.1
SSS-H-12-40-A	25.0	25.0	20.0	18.0	16.1	13.2	10.8	8.9	8.1	7.4
SSS-H-14-40-A	23.1	20.4	16.1	14.3	12.8	10.2	8.2	6.6	5.9	5.3
SSS-H-16-40-A	19.0	16.7	13.0	11.5	10.1	7.9	6.2	4.7	4.1	3.6
SSS-H-18-40-A	15.6	13.6	10.0	9.0	7.8	5.9	4.4	3.1	2.6	2.1
SSS-H-20-40-A	12.7	10.9	7.9	6.9	5.9	4.2	2.8	1.7	1.3	0.9
SSS-H-25-40-A	7.3	5.9	3.8	2.9	2.1	0.8	NR	NR	NR	NR
SSS-H-14-40-B	25.0	25.0	23.3	20.8	18.6	15.1	12.3	10.2	9.2	8.4
SSS-H-16-40-B	25.0	24.9	19.4	17.3	15.4	12.3	9.9	8.0	7.2	6.4
SSS-H-18-40-B	24.0	20.8	16.1	14.2	12.5	9.8	7.7	6.1	5.3	4.7
SSS-H-20-40-B	20.2	17.5	13.2	11.6	10.1	7.7	5.9	4.4	3.8	3.2
SSS-H-25-40-B	12.8	11.0	7.9	6.7	5.5	3.7	2.3	1.2	0.7	NR
SSS-H-30-40-B	8.0	6.6	4.1	3.1	2.2	0.8	NR	NR	NR	NR
SSS-H-16-50-B	25.0	25.0	25.0	24.8	20.1	16.5	13.6	12.3	11.2	11.2
SSS-H-18-50-B	25.0	25.0	25.0	22.9	20.4	16.4	13.2	10.7	9.6	8.6
SSS-H-20-50-B	25.0	25.0	21.3	18.9	16.7	13.2	10.4	8.1	7.2	6.3
SSS-H-25-50-B	20.7	17.8	13.3	11.5	9.8	7.2	5.0	3.3	2.6	1.9
SSS-H-30-50-B	13.5	11.3	7.7	6.2	4.9	2.8	1.1	NR	NR	NR
SSS-H-25-50-C	25.0	25.0	19.4	17.1	15.1	11.7	9.0	6.8	6.0	5.1
SSS-H-30-50-C	20.1	17.3	12.7	10.9	9.3	6.6	4.6	2.8	2.1	1.4
SSS-H-20-60-B	25.0	25.0	25.0	25.0	20.2	16.1	12.9	11.5	10.3	10.3
SSS-H-25-60-B	25.0	25.0	20.6	18.0	15.6	11.8	8.7	6.2	5.2	4.2
SSS-H-30-60-B	21.4	18.1	12.9	10.7	8.8	5.7	3.3	1.3	NR	NR
SSS-H-35-60-B	14.0	11.3	6.9	5.2	3.6	1.0	NR	NR	NR	NR
SSS-H-40-60-B	8.1	5.8	2.2	nr	NR	NR	NR	NR	NR	NR

Florida Building Code: 2017 EPA Load Rating - 3 second gust wind speeds
(Use for Florida only)

Catalog Number	115	120	130	140	150	160	170	180
SSS-H-10-40-A	25.0	25.0	25.0	25.0	21.4	18.4	15.8	13.9
SSS-H-12-40-A	25.0	25.0	23.6	19.8	16.7	14.2	12.1	10.4
SSS-H-14-40-A	25.0	23.1	19.0	15.7	13.1	10.9	9.1	7.6
SSS-H-16-40-A	20.8	18.7	15.2	12.3	10.1	8.2	6.7	5.4
SSS-H-18-40-A	16.8	15.0	11.9	9.4	7.5	5.9	4.5	3.4
SSS-H-20-40-A	13.6	11.9	9.2	7.1	5.3	3.9	2.7	1.7
SSS-H-25-40-A	7.4	6.2	4.1	2.5	1.1	NR	NR	NR
SSS-H-14-40-B	25.0	23.6	19.4	16.1	13.4	11.2	9.4	7.8
SSS-H-16-40-B	21.4	19.2	15.8	12.7	10.4	8.5	6.9	5.6
SSS-H-18-40-B	17.2	15.4	12.2	9.7	7.7	6.1	4.7	3.8
SSS-H-20-40-B	13.9	12.3	9.5	7.3	5.5	4.1	2.9	1.9
SSS-H-25-40-B	7.7	6.4	4.3	2.6	1.3	NR	NR	NR
SSS-H-30-40-B	3.2	2.1	NR	NR	NR	NR	NR	NR
SSS-H-16-50-B	25.0	25.0	25.0	25.0	21.4	18.2	15.5	13.9
SSS-H-18-50-B	25.0	25.0	25.0	24.4	20.4	17.0	14.2	11.9
SSS-H-20-50-B	25.0	25.0	24.4	19.9	16.3	13.4	11.0	8.9
SSS-H-25-50-B	21.8	19.3	15.0	11.5	8.8	6.6	4.7	3.1
SSS-H-30-50-B	13.7	11.7	8.2	5.5	3.3	1.5	NR	NR
SSS-H-35-50-C	21.8	19.3	15.0	11.5	8.8	6.6	4.7	3.1
SSS-H-30-50-C	13.7	11.7	8.2	5.5	3.3	1.5	NR	NR
SSS-H-20-60-B	25.0	25.0	25.0	21.9	17.8	14.5	11.7	9.4
SSS-H-25-60-B	23.8	20.9	16.1	12.3	8.2	6.6	4.5	2.8
SSS-H-30-60-B	14.8	12.3	8.4	5.3	2.8	0.8	NR	NR
SSS-H-35-60-B	7.5	5.6	2.4	NR	NR	NR	NR	NR
SSS-H-40-60-B	1.8	NR	NR	NR	NR	NR	NR	NR



HUBBELL
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Due to our continued efforts to improve our products, product specifications are subject to change without notice.



HUBBELL
Lighting

NOTES

- Allowable EPA, to determine max pole loading weight, multiply allowable EPA by 30 lbs.
- The tables for allowable pole EPA are based on the ASCE 7-05 Wind Map or the Florida Region Wind Map for the 2010 Florida Building Code. The Wind Maps are intended only as a general guide and cannot be used in conjunction with other maps. Always consult local authorities to determine maximum wind velocities, gusting and unique wind conditions for each specific application
- Allowable pole EPA for jobsite wind conditions must be equal to or greater than the total EPA for fixtures, arms, and accessories to be assembled to the pole. Responsibility lies with the specifier for correct pole selection. Installation of poles without luminaires or attachment of any unauthorized accessories to poles is discouraged and shall void the manufacturer's warranty
- Wind speeds and listed EPAs are for ground mounted installations. Poles mounted on structures (such as bridges and buildings) must consider vibration and coefficient of height factors beyond this general guide; Consult local and federal standards
- Wind Induced Vibration brought on by steady, unidirectional winds and other unpredictable aerodynamic forces are not included in wind velocity ratings. Consult Hubbell Lighting's Pole Vibration Application Guide for environmental risk factors and design considerations. https://hubbellcdn.com/shwssats/HLO/Outdoor/resources/literature/files/Pole_Wind_Induced_Flyer_HL00022.pdf
- Extreme Wind Events like, Hurricanes, Typhoons, Cyclones, or Tornadoes may expose poles to flying debris, wind shear or other detrimental effects not included in wind velocity ratings

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HUBBELL
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DEPARTMENT OF PLANNING, BUILDING & ZONING

111 West Fox Street • Yorkville, IL • 60560

(630) 553-4141

Fax (630) 553-4179

APPLICATION

PROJECT NAME Semper Fi Site Development **FILE #:** _____

NAME OF APPLICANT (Including First, Middle Initial, and Last Name) Robert Velazquez		
CURRENT LANDOWNER/NAME(s) Always Fiathful Properties LLC		
SITE INFORMATION ACRES 11.68	SITE ADDRESS OR LOCATION 10744 Route 47	ASSESSOR'S ID NUMBER (PIN) 05-28-400-002
EXISTING LAND USE	CURRENT ZONING B-3	LAND CLASSIFICATION ON LRMP
REQUESTED ACTION (Check All That Apply):		
<input type="checkbox"/> SPECIAL USE	<input type="checkbox"/> MAP AMENDMENT (Rezone to _____)	<input type="checkbox"/> VARIANCE
<input type="checkbox"/> ADMINISTRATIVE VARIANCE	<input type="checkbox"/> A-1 CONDITIONAL USE for: _____	<input type="checkbox"/> SITE PLAN REVIEW
<input type="checkbox"/> TEXT AMENDMENT <input type="checkbox"/> PRELIMINARY PLAT	<input type="checkbox"/> RPD (<input type="checkbox"/> Concept; <input type="checkbox"/> Preliminary; <input type="checkbox"/> Final) <input type="checkbox"/> FINAL PLAT	<input type="checkbox"/> ADMINISTRATIVE APPEAL <input type="checkbox"/> OTHER PLAT (Vacation, Dedication, etc.)
<input checked="" type="checkbox"/> AMENDMENT TO A SPECIAL USE (<input type="checkbox"/> Major; <input checked="" type="checkbox"/> Minor)		
PRIMARY CONTACT Robert Velazquez	PRIMARY CONTACT MAILING ADDRESS [REDACTED]	PRIMARY CONTACT EMAIL [REDACTED]
PRIMARY CONTACT PHONE # [REDACTED]	PRIMARY CONTACT FAX # [REDACTED]	PRIMARY CONTACT OTHER #(Cell, etc.) [REDACTED]
ENGINEER CONTACT John Tebrugge	ENGINEER MAILING ADDRESS [REDACTED]	ENGINEER EMAIL [REDACTED]
ENGINEER PHONE # [REDACTED]	ENGINEER FAX # [REDACTED]	ENGINEER OTHER # (Cell, etc.) [REDACTED]
I UNDERSTAND THAT BY SIGNING THIS FORM, THAT THE PROPERTY IN QUESTION MAY BE VISITED BY COUNTY STAFF & BOARD/ COMMISSION MEMBERS THROUGHOUT THE PETITION PROCESS AND THAT THE PRIMARY CONTACT LISTED ABOVE WILL BE SUBJECT TO ALL CORRESPONDANCE ISSUED BY THE COUNTY.		
I CERTIFY THAT THE INFORMATION AND EXHIBITS SUBMITTED ARE TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND THAT I AM TO FILE THIS APPLICATION AND ACT ON BEHALF OF THE ABOVE SIGNATURES. THE APPLICANT ATTESTS THAT THEY ARE FREE OF DEBT OR CURRENT ON ALL DEBTS OWED TO KENDALL COUNTY AS OF THE APPLICATION DATE.		
SIGNATURE OF APPLICANT [REDACTED]		DATE 6-5-23

FEE PAID:\$ _____
CHECK #: _____

¹Primary Contact will receive all correspondence from County

²Engineering Contact will receive all correspondence from the County's Engineering Consultants

§13:08.N of the Zoning Ordinance states that a Minor Amendments are those that do not alter the intent or uses of the property for which a Special Use has been approved. Minor Amendments shall be limited to the following:

1. Proposed additions, enlargements or changes in any existing or proposed building or buildings, shown on any controlling site plans attached to or referenced in the ordinance which granted the special use (if applicable), and the addition of accessory structures not shown on such plans may be permitted provided that all of the following conditions are met:
 - a) The proposed addition, enlargement or change will, in the opinion of the Zoning Administrator, result in a better utilization of the property or a more efficient and desirable use of the land.
 - b) The change shall not constitute more than a ten (10) percent increase in the lot coverage of all approved buildings on the property or a ten (10) percent increase of the total floor area of all approved buildings on the property.
 - c) The proposed addition, enlargement or change will not infringe upon or extend into any required building setback, off street parking or loading space or required building separation or exceed the height or bulk regulations of the underlying zoning district.
 - d) The additional off-street parking or loading spaces required for such proposed addition, enlargement or change, can be supplied as required by the applicable zoning ordinance provisions.
 - e) The proposed addition, enlargement or change will not result in an enlargement or increase of any previously approved variation.

2. Minor Modifications of Conditions provided that all of the following are met:
 - a) The proposed modification will, in the opinion of the Zoning Administrator, result in equal or better performance than the original condition imposed.
 - b) The proposed modification or change shall not result in a change of more than ten (10) percent of any previously imposed condition.
 - c) The result of the proposed modification shall be that the property will still be in substantial compliance with the previously approved ordinance.

Please verify your modification fits the above criteria and briefly describe the minor amendment below:

MINOR AMENDMENT TO EXISTING SPECIAL USE

**REPLACING THE SITE PLAN, LANDSCAPING PLAN, AND PHOTOMETRIC PLAN
CONTAINED IN ORDINANCE 2021-23 WHICH GRANTED A SPECIAL USE PERMIT FOR A
LANDSCAPING BUSINESS AT 10744 ROUTE 47 (PIN: 05-28-400-002) IN
KENDALL TOWNSHIP**

WHEREAS, Section 13:08 of the Kendall County Zoning Ordinance permits the Kendall County Planning, Building and Zoning Committee of the Kendall County Board to approve minor amendments to existing special use permits and provides the procedure through which minor amendments to existing special use permits are granted; and

WHEREAS, the property which is the subject of this Ordinance has been, at all relevant times, and remains currently located within the B-3 Highway Business District and consists of approximately 13 acres located at 10744 Route 47 (PIN: 05-28-400-002), in Kendall Township. The legal description for the subject property is set forth in Exhibit A attached hereto and incorporated by reference, and this property shall hereinafter be referred to as “the subject property.”; and

WHEREAS, on October 19, 2021, the Kendall County Board approved Ordinance 2021-23 which granted a special use permit for a landscaping business at the subject property; and

WHEREAS, several conditions in Ordinance 2021-23 reference a controlling site plan, landscaping plan, and photometric plan; and

WHEREAS, the Illinois Department of Transportation required additional land for the right-of-way expansion of Route 47 at the subject property; and

WHEREAS, the subject property is currently owned by Always Faithful Properties LLC as represented by Robert Velazquez and hereinafter shall be referred to as “Petitioner”; and

WHEREAS, on or about June 5, 2023, Petitioner’s representative filed a petition for a minor amendment to several conditions contained in Ordinance 2021-23 by changing the site plan, landscaping plan, and photometric plan associated with the special use permit; and

NOW, THEREFORE, BE IT ORDAINED, BY THE PLANNING, BUILDING AND ZONING COMMITTEE OF THE COUNTY BOARD OF KENDALL COUNTY, ILLINOIS, as follows:

1. The Planning, Building and Zoning Committee of the Kendall County Board finds that the requested minor amendment will result in equal or better performance than the original condition imposed and the property will still be in substantial compliance with the previously approved Ordinance 2021-23.
2. The Planning, Building and Zoning Committee of the Kendall County Board hereby grants approval of Petitioner’s petition for a minor amendment to Ordinance 2021-23 subject to the following conditions and restrictions
 - A. Condition 2.A of Ordinance 2021-23 is deleted in its entirety and is replaced with the following:

“The site shall be developed substantially in accordance with the site plan attached hereto as Exhibit B, including allowing for illuminated signage. The gravel parking lot noted on the site plan shall be composed of either limestone or asphalt screenings. The light poles shown on the site plan and mentioned in the photometric plan shall be a maximum twenty feet (20’) feet in height. The owner of the business allowed by this special use permit may also install a security gate at the main driveway

”

- entrance. Landscaping display areas may be installed on the property without the need to amend the special use permit unless the landscaping display areas encroach into required setbacks. The description of types of lights contained in Ordinance 2021-23 shall remain effective.”
- B. Condition 2.B of Ordinance 2021-23 is deleted in its entirety and is replaced with the following:
“All of the structures shown on the site plan attached hereto as Exhibit B shall be constructed and occupied by June 1, 2024. This date may be extended upon approval by the Kendall County Planning, Building and Zoning Committee. The business allowed by this special use permit may commence operations starting upon approval of the special use permit. However, customers shall not be invited onto the property until an occupancy permit has been issued for the office building.”
- C. Condition 2.J of Ordinance 2021-23 is deleted in its entirety and is replaced with the following:
“The landscaping shown on the landscaping plan attached hereto as Exhibit B shall be installed no later than June 1, 2024. This date may be extended upon approval by the Kendall County Planning, Building and Zoning Committee. The Red Sunset Maples shall be a minimum of two point five inch (2.5”) caliber at the time of planting. The Skyline Honeylocusts shall be a minimum of two point five inch (2.5”) caliber at the time of planting. Damaged or dead plants that are part of the landscaping plan shall be replaced on a timeframe approved by the Kendall County Planning, Building and Zoning Department. Nursery stock shall be exempt from this provision.
- D. All references to the site plan, landscaping plan, and photometric plan contained in Ordinance 2021-23 shall be amended to refer to Exhibit B attached to this minor amendment.
- E. All of the other conditions and restrictions contained in Ordinance 2021-23 shall remain effective.
- F. If one or more of the above conditions or the conditions contained in Ordinance 2021-23 are declared invalid by a court of competent jurisdiction, the remaining conditions shall remain valid.
3. This special use permit and minor to an existing special use permit shall be treated as covenants running with the land and are binding on the successors, heirs, and assigns as to the same special use conducted on the property.

IN WITNESS OF, this minor amendment to an existing special use permit has been enacted by a majority vote of the Planning, Building and Zoning Committee of the Kendall County Board and is effective this 12th day of June, 2023.

Attest:

Kendall County Zoning Administrator
Matthew H. Asselmeier

Kendall County PBZ Committee Chairman
Seth Wormley

Exhibit A

That part of the Southeast Quarter of Section 28, Township 36 North, Range 7 East of the Third Principal Meridian, described as follows: Commencing at the Southwest corner of said Southeast Quarter; thence North along the West line of said Quarter, 642.65 feet for the point of beginning; thence Easterly at right angles to said West line 647.36 feet; thence Northerly along a line forming an angle of 89 degrees 35 minutes 05 seconds, measured clockwise from the last described course, 1012.69 feet; thence Westerly along a line forming an angle of 89 degrees 56 minutes 12 seconds, measured clockwise from the last described course, 640.04 feet to the West line of said Southeast Quarter thence Southerly along said West line 1007.32 feet to the point of beginning (except that part thereof lying within the right of way of Illinois State Route No. 47 and being described in a Judgment recorded November 13, 1991 as Document No. 917979) in the Township of Kendall, Kendall County, Illinois.

ENGINEERING PLANS FOR SEMPER FI LAND SITE PLAN

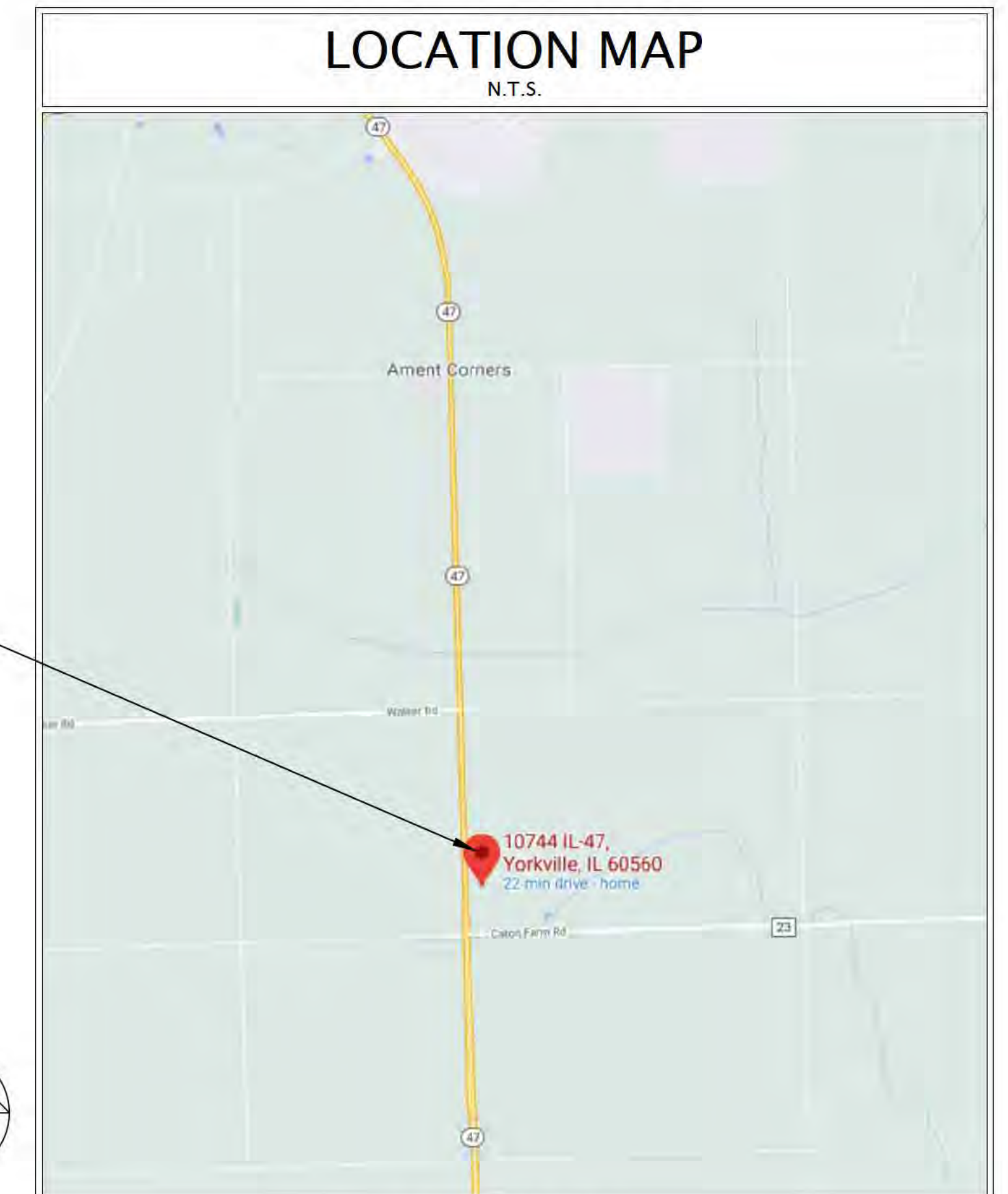
SECTION 28, TOWNSHIP 36 NORTH , RANGE 7 EAST

10744 US ROUTE 47
YORKVILLE, IL 60560
KENDALL COUNTY
MAY, 2023

LEGEND	
---	PROPERTY BOUNDARY
---600---	EXISTING CONTOUR LINE
---	EXISTING STORM SEWER
---	EXISTING SANITARY SEWER LINE
---	EXISTING WATERMAIN
---	EXISTING UNDERGROUND ELECTRIC
---	EXISTING OVERHEAD ELECTRIC
---	EXISTING GAS SERVICE
---	EXISTING TELEPHONE
---	PROPOSED CONTOUR LINE
---	PROPOSED WATERMAIN
---	PROPOSED STORM SEWER
---	PROPOSED SANITARY SEWER LINE
---	PROPOSED GREASE SERVICE LINE
---	PROPOSED VENT LINE
---	EXISTING FENCELINE
---	PROPOSED SILT FENCE
x 686.00	EXISTING SPOT SHOT
x 686.00	PROPOSED SPOT GRADE
EXIST	PROP
WATER: ○	B-BOX
○	HYDRANT
○	VALVE
○	VALVE VAULT
STORM: □	INLET-CURB
○	INLET OR MANHOLE
▽	FLARED END SECTION
SANITARY: ○	CLEANOUT
○	MANHOLE
⊗	R.O.W. MONUMENT
▲	PROPERTY PIN
▲	P.K. NAIL
■	CHISELED MARK
■	BENCHMARK
⊗	HUB & TACK
○	SOIL BORING
→	OVERLAND RELIEF
→	FLOW DIRECTION
○	UTILITY POLE
○	GUY WIRE LOC.
□	UTIL. CABINET
□	UTIL. PEDESTAL
○	LIGHT POLE
○	TRAFFIC SIGNAL
○	ELECTRIC VAULT
○	GAS VALVE

INDEX TO SHEETS

1. COVER SHEET
2. EXISTING CONDITIONS & DEMOLITION PLAN
3. STORMWATER POLLUTION & PREVENTION PLAN 1
4. STORMWATER POLLUTION & PREVENTION PLAN 2
5. CIVIL SITE PLANS
6. GENERAL NOTES & DETAILS
7. IDOT DETAILS



BENCHMARKS:

1. UNITED CITY OF YORKVILLE - SURVEY CONTROL MONUMENTS # 6
LOCATED AT THE NORTH-WEST CORNER OF SYCAMORE ROAD AND JOHN STREET
ELEVATION = 638.64 - (NAVD 88 DATUM)
2. UNITED CITY OF YORKVILLE - SURVEY CONTROL MONUMENTS # 7
LOCATED IN FRONT OF YORKVILLE CITY HALL
ELEVATION = 635.08 - (NAVD 88 DATUM)

PLANS PREPARED FOR:

ALWAYS FAITHFUL PROPERTIES, LLC

CIVIL ENGINEER:

TEBRUGGE ENGINEERING
410 E CHURCH ST - SUITE A
SANDWICH, ILLINOIS 60548
(815) 786-0195
INFO@TEBRUGGEENGINEERING.COM
WWW.TEBRUGGEENGINEERING.COM



Know what's below.
Call before you dig.

Contractor and or sub-contractors shall verify locations of all underground utilities prior to digging. Contact J.U.L.I.E. (Joint Utility Locating for Excavators) at 1-800-892-0123 or dial 811.

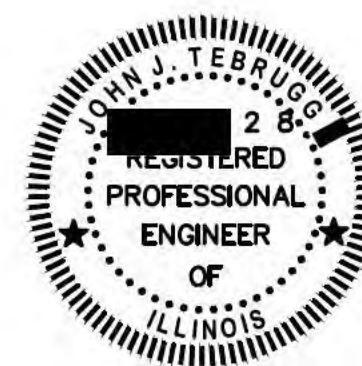
UTILITY STATEMENT

THE UTILITIES SHOWN HAVE BEEN LOCATED FROM VISIBLE FIELD EVIDENCE AND EXISTING DRAWINGS, MAPS AND RECORDS SUPPLIED TO SURVEYOR. THE SURVEYOR MAKES NO GUARANTEES THAT THE UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED, ALTHOUGH THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM AVAILABLE INFORMATION. THE SURVEYOR HAS PHYSICALLY LOCATED VISIBLE STRUCTURES; HOWEVER, HE HAS NOT PHYSICALLY LOCATED THE UNDERGROUND LINES.

PROFESSIONAL ENGINEER'S CERTIFICATION
STATE OF ILLINOIS, COUNTY OF KENDALL

I JOHN J. TEBRUGGE, A LICENSED PROFESSIONAL ENGINEER OF ILLINOIS, HEREBY CERTIFY THAT THESE PLANS HAVE BEEN PREPARED UNDER MY PERSONAL DIRECTION BASED ON AVAILABLE DOCUMENTS AND FIELD MEASUREMENTS FOR THE EXCLUSIVE USE OF THE CLIENT NOTED HEREON.

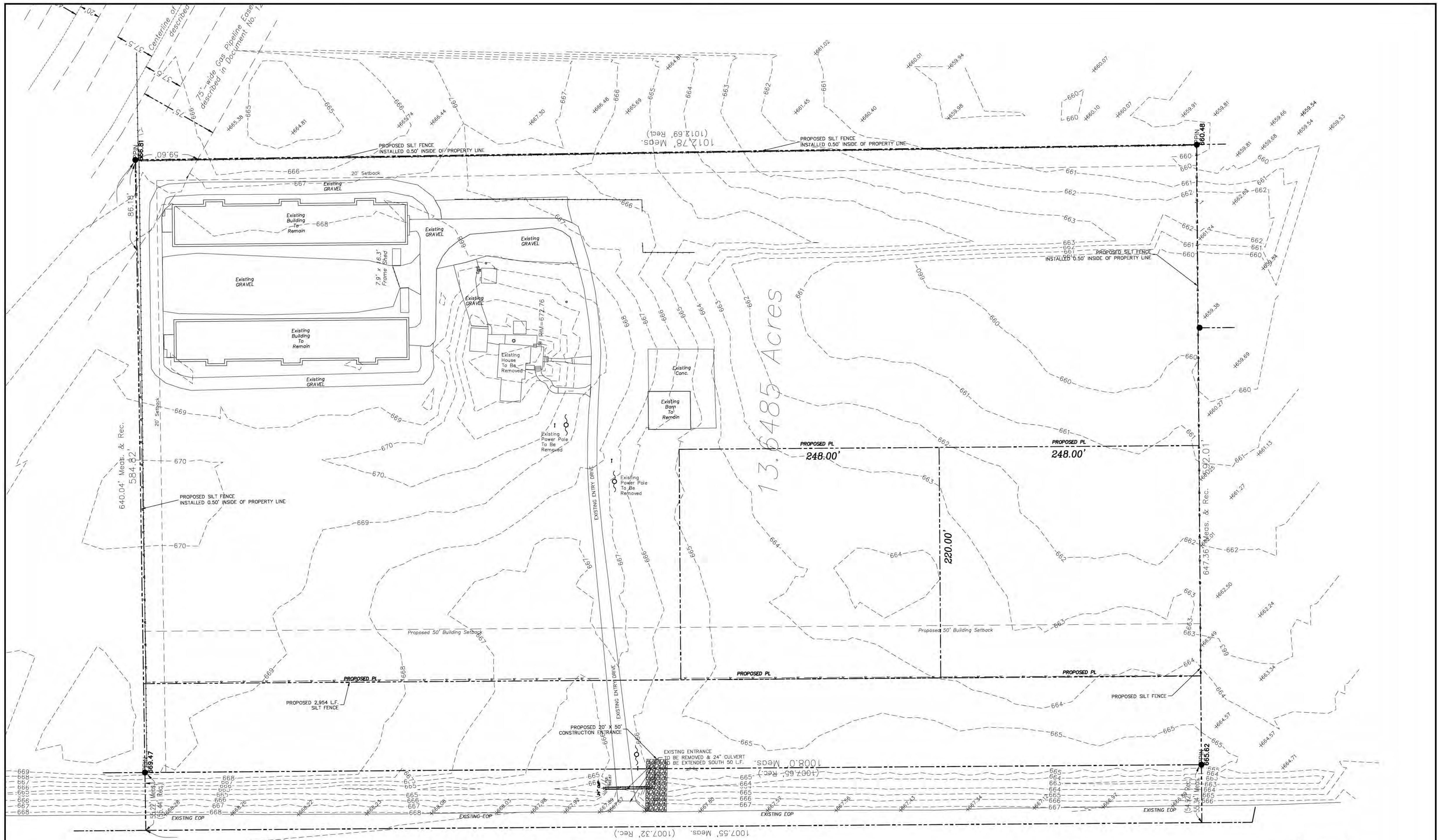
GIVEN UNDER MY HAND & SEAL THIS 31ST DAY OF MAY, 2023.



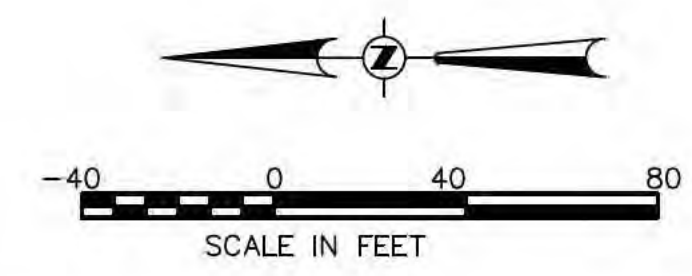
████████████████████
ILLINOIS REGISTERED PROFESSIONAL ENGINEER
NO. 028288 EXPIRES NOV. 30, 2023

COPYRIGHT © 2019 BY TEBRUGGE ENGINEERING
ALL RIGHTS RESERVED. NO PART OF THESE CIVIL ENGINEERING PLANS MAY BE REPRODUCED, DISTRIBUTED, OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, INCLUDING PHOTOCOPYING, RECORDING, OR OTHER ELECTRONIC OR MECHANICAL METHODS, WITHOUT THE PRIOR WRITTEN PERMISSION OF TEBRUGGE ENGINEERING.

NO.	DATE	NOTES
1	10.8.21	WBK REVIEW LETTER 9.8.21
2	4.14.23	IDOT RIGHT-OF-WAY TAKE JULY 2022 LETTER
3	5.19.23	WBK REVIEW LETTER 5.16.23
4	5.31.23	IDOT REVIEW LETTER 5.23.23



ILLINOIS STATE ROUTE 47



NO.	DATE	NOTES
1	10.8.21	WBK REVIEW LETTER 9.8.21
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TEBRUGGE ENGINEERING
 410 E. CHURCH STREET - SUITE A • SANDWICH, IL 60548
 PHONE: (815) 786-0195 TEBRUGGEENGINEERING.COM

PREPARED FOR:
ALWAYS FAITHFUL PROPERTIES, LLC

SEMPER FI LAND SITE PLAN - 10744 US ROUTE 47 - YORKVILLE
EXISTING CONDITIONS & DEMOLITION PLAN

PROJECT NO.	21 493 01	SHEET NO.	2
SCALE:	1" = 40'		
DATE:	JUNE 30, 2021		

ACREAGE SUMMARY

NOTICE OF INTENT (NOI)
ALWAYS FAITHFUL PROPERTIES, LLC
1215 DEER ST
YORKVILLE, IL 60560
PHONE: 630.518.8484
EMAIL: ROBERT@SEMFERFLAND
LANDOWNER: ALWAYS FAITHFUL PROPERTIES, LLC.

TOTAL SITE AREA 11.56 AC±
TOTAL DISTURBED AREA 9.0 AC±
PROPOSED IMPERVIOUS AREA 1.30 AC±
LANDSCAPED AREA 6.0 AC±
PROPOSED CN 75

PROPOSED GRADE INFORMATION THAT IS PROVIDED ON THE SWPPP SITE MAP IS FOR THE PURPOSE OF INDICATING FINAL DRAINAGE PATTERNS ONLY. SEE GRADING PLAN FOR FINAL GRADING DETAILS.

THE CONTRACTOR SHALL MAINTAIN ALL EXISTING ROADWAYS, SIDEWALKS, DRIVES, ETC., TO BE FREE AND CLEAR OF ANY CONSTRUCTION DEBRIS AND/OR EXCAVATED AND HAULED MATERIAL TO ENSURE EASY AND SAFE PEDESTRIAN AND VEHICULAR TRAFFIC TO AND FROM ADJACENT SITES.

ILLINOIS URBAN MANUAL PROTECTIONS:
IP-1. BLOCK AND ROCK SOCK INLET PROTECTION FOR SUMP OR ON-GRADE INLETS
IP-2. CURB (ROCK) SOCKS UPSTREAM OF INLET PROTECTION, ON-GRADE INLETS
IP-3. ROCK SOCK INLET PROTECTION FOR SUMP/AREA INLET
IP-4. SILT FENCE INLET PROTECTION FOR SUMP/AREA INLET
IP-5. OVER-EXCAVATION INLET PROTECTION
IP-6. STRAW BALE INLET PROTECTION FOR SUMP/AREA INLET
CIP-1. CULVERT INLET PROTECTION

SOIL EROSION / SEDIMENT CONTROL OPERATION TIME SCHEDULE

NOTE: GENERAL CONTRACTOR TO COMPLETE TABLE WITH THEIR SPECIFIC PROJECT SCHEDULE

CONSTRUCTION SEQUENCE	JAN	FEB	MAR	APR	MAY	JUN	JUL	AUG	SEP	OCT	NOV	DEC
TEMPORARY CONSTRUCTION EXITS												
TEMPORARY CONTROL MEASURES												
SEDIMENT CONTROL BASINS												
STRIP & STOCKPILE TOPSOIL												
ROUGH GRADE												
STORM FACILITIES												
SITE CONSTRUCTION												
PERMANENT CONTROL STRUCTURES												
FOUNDATION / BUILDING CONSTRUCTION												
FINISH GRADING												
LANDSCAPING / SEED / FINAL STABILIZATION												

1) CONTRACTOR SHALL UPDATE THE TABLE BY SHADING OR DATING THE APPLICABLE ACTIVITIES AS PROJECT PROGRESSES.
2) TIME SCHEDULE MUST COINCIDE WITH SEQUENCE OF CONSTRUCTION.

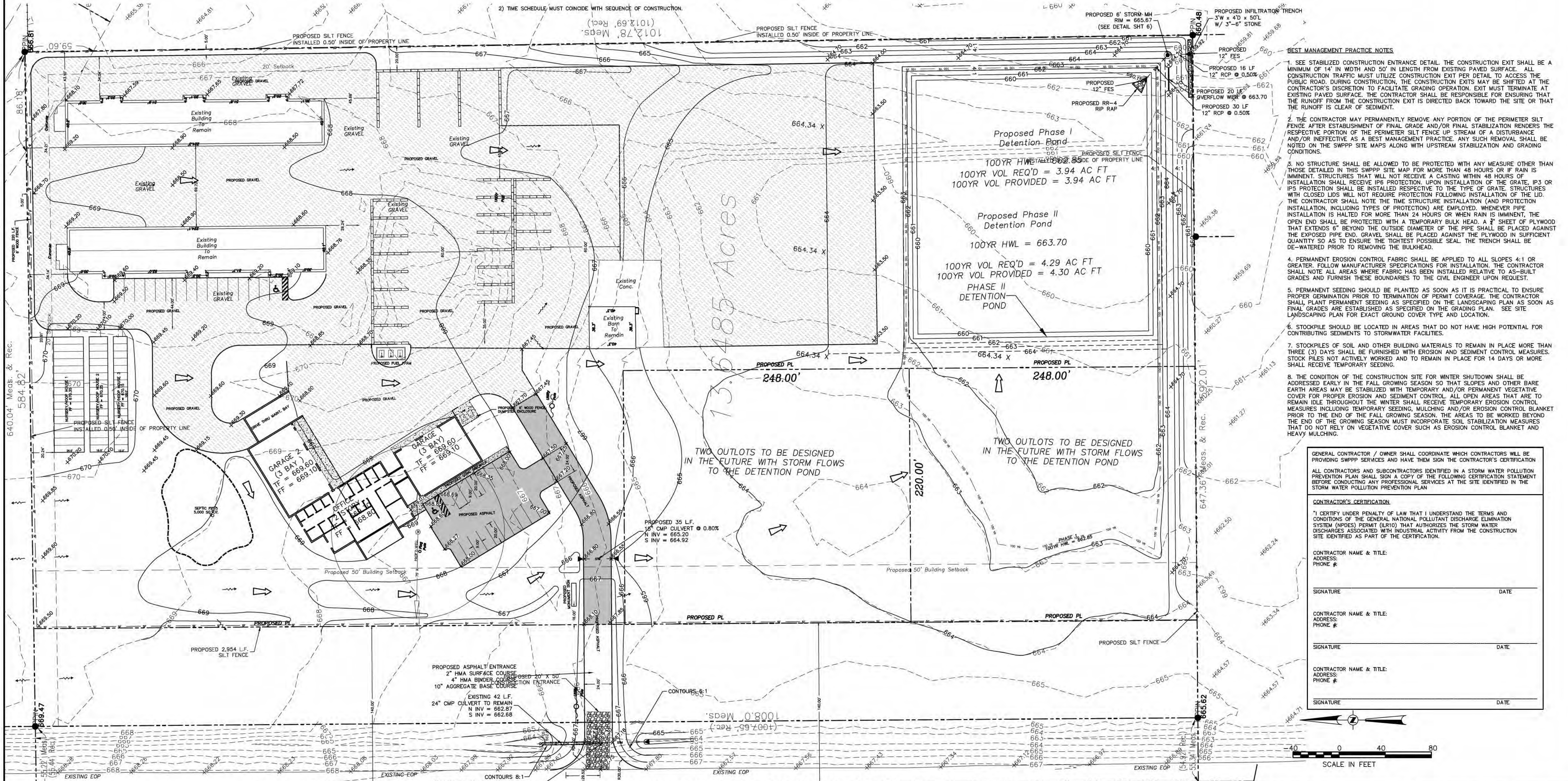
STORMWATER OUTFLOW CONTRIBUTING/RECEIVING WATERS

FROM SITE - DETENTION POND
TO RECEIVING WATERS - MIDDLE AUX SABLE CREEK

TYPICAL SOIL PROTECTION CHART

Stabilization Type	JAN	FEB	MAR	APR	MAY	JUN	JUL	AUG	SEP	OCT	NOV	DEC
Permanent Seeding	B	B	B	A	A	A*	A*	A	A		B	B
Temporary Seeding				C	C	C	D*	D	D			
Sodding			E**	E**	E**	E**	E**	E**	E**			
Mulching	F	F	F	F	F	F	F	F	F	F	F	F

A - Kentucky Bluegrass - 90 lbs/acre mixed with perennial ryegrass - 30 lbs/acre
B - Kentucky Bluegrass - 150 lbs/acre mixed with perennial ryegrass - 45 lbs/acre
C - Spring Data - 100 lbs/acre
D - Wheat or Cereal Rye - 150 lbs/acre
E - Sod
F - Straw Mulch - 2 tons/acre
* Watering needed in June and July
** Water for 2-3 weeks after sodding



- BEST MANAGEMENT PRACTICE NOTES**
- SEE STABILIZED CONSTRUCTION ENTRANCE DETAIL. THE CONSTRUCTION EXIT SHALL BE A MINIMUM OF 14' IN WIDTH AND 50' IN LENGTH FROM EXISTING PAVED SURFACE. ALL CONSTRUCTION TRAFFIC MUST UTILIZE CONSTRUCTION EXIT PER DETAIL TO ACCESS THE PUBLIC ROAD. DURING CONSTRUCTION, THE CONSTRUCTION EXITS MAY BE SHIFTED AT THE CONTRACTOR'S DISCRETION TO FACILITATE GRADING OPERATION. EXIT MUST TERMINATE AT EXISTING PAVED SURFACE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING THAT THE RUNOFF FROM THE CONSTRUCTION EXIT IS DIRECTED BACK TOWARD THE SITE OR THAT THE RUNOFF IS CLEAR OF SEDIMENT.
 - THE CONTRACTOR MAY PERMANENTLY REMOVE ANY PORTION OF THE PERIMETER SILT FENCE AFTER ESTABLISHMENT OF FINAL GRADE AND/OR FINAL STABILIZATION. THE RESPECTIVE PORTION OF THE PERIMETER SILT FENCE UPSTREAM OF A DISTURBANCE AND/OR INEFFECTIVE AS A BEST MANAGEMENT PRACTICE. ANY SUCH REMOVAL SHALL BE NOTED ON THE SWPPP SITE MAPS ALONG WITH UPSTREAM STABILIZATION AND GRADING CONDITIONS.
 - NO STRUCTURE SHALL BE ALLOWED TO BE PROTECTED WITH ANY MEASURE OTHER THAN THOSE DETAILED IN THIS SWPPP SITE MAP FOR MORE THAN 48 HOURS OR IF RAIN IS IMMINENT. STRUCTURES THAT WILL NOT RECEIVE A CASTING WITHIN 48 HOURS OF INSTALLATION SHALL RECEIVE IP6 PROTECTION. UPON INSTALLATION OF THE GRATE, IP3 OR IP5 PROTECTION SHALL BE INSTALLED RESPECTIVE TO THE TYPE OF GRATE. STRUCTURES WITH POSED LIDS WILL NOT REQUIRE PROTECTION FOLLOWING INSTALLATION OF THE LID. THE CONTRACTOR SHALL NOTE THE TIME STRUCTURE INSTALLATION (AND PROTECTION INSTALLATION, INCLUDING TYPES OF PROTECTION) ARE EMPLOYED. WHENEVER PIPE INSTALLATION IS HALTED FOR MORE THAN 24 HOURS OR WHEN RAIN IS IMMINENT, THE OPEN END SHALL BE PROTECTED WITH A TEMPORARY BULK HEAD. A 3" SHEET OF PLYWOOD THAT EXTENDS 6" BEYOND THE OUTSIDE DIAMETER OF THE PIPE SHALL BE PLACED AGAINST THE EXPOSED PIPE END. GRAVEL SHALL BE PLACED AGAINST THE PLYWOOD IN SUFFICIENT QUANTITY SO AS TO ENSURE THE TIGHTEST POSSIBLE SEAL. THE TRENCH SHALL BE DE-WATERED PRIOR TO REMOVING THE BULKHEAD.
 - PERMANENT EROSION CONTROL FABRIC SHALL BE APPLIED TO ALL SLOPES 4:1 OR GREATER. FOLLOW MANUFACTURER SPECIFICATIONS FOR INSTALLATION. THE CONTRACTOR SHALL NOTE ALL AREAS WHERE FABRIC HAS BEEN INSTALLED RELATIVE TO AS-BUILT GRADES AND FURNISH THESE BOUNDARIES TO THE CIVIL ENGINEER UPON REQUEST.
 - PERMANENT SEEDING SHOULD BE PLANTED AS SOON AS IT IS PRACTICAL TO ENSURE PROPER GERMINATION PRIOR TO TERMINATION OF PERMIT COVERAGE. THE CONTRACTOR SHALL PLANT PERMANENT SEEDING AS SPECIFIED ON THE LANDSCAPING PLAN AS SOON AS FINAL GRADES ARE ESTABLISHED AS SPECIFIED ON THE GRADING PLAN. SEE SITE LANDSCAPING PLAN FOR EXACT GROUND COVER TYPE AND LOCATION.
 - STOCKPILES SHOULD BE LOCATED IN AREAS THAT DO NOT HAVE HIGH POTENTIAL FOR CONTRIBUTING SEDIMENTS TO STORMWATER FACILITIES.
 - STOCKPILES OF SOIL AND OTHER BUILDING MATERIALS TO REMAIN IN PLACE MORE THAN THREE (3) DAYS SHALL BE FURNISHED WITH EROSION AND SEDIMENT CONTROL MEASURES. STOCK PILES NOT ACTIVELY WORKED AND TO REMAIN IN PLACE FOR 14 DAYS OR MORE SHALL RECEIVE TEMPORARY SEEDING.
 - THE CONDITION OF THE CONSTRUCTION SITE FOR WINTER SHUTDOWN SHALL BE ADDRESSED EARLY IN THE FALL GROWING SEASON SO THAT SLOPES AND OTHER BARE EARTH AREAS MAY BE STABILIZED WITH TEMPORARY AND/OR PERMANENT VEGETATIVE COVER FOR PROPER EROSION AND SEDIMENT CONTROL. ALL OPEN AREAS THAT ARE TO REMAIN BARE THROUGHOUT THE WINTER SHALL RECEIVE TEMPORARY EROSION CONTROL MEASURES INCLUDING TEMPORARY SEEDING, MULCHING AND/OR EROSION CONTROL BLANKET PRIOR TO THE END OF THE FALL GROWING SEASON. THE AREAS TO BE WORKED BEYOND THE END OF THE GROWING SEASON MUST INCORPORATE SOIL STABILIZATION MEASURES THAT DO NOT RELY ON VEGETATIVE COVER SUCH AS EROSION CONTROL BLANKET AND HEAVY MULCHING.

GENERAL CONTRACTOR / OWNER SHALL COORDINATE WHICH CONTRACTORS WILL BE PROVIDING SWPPP SERVICES AND HAVE THEM SIGN THE CONTRACTOR'S CERTIFICATION

ALL CONTRACTORS AND SUBCONTRACTORS IDENTIFIED IN A STORM WATER POLLUTION PREVENTION PLAN SHALL SIGN A COPY OF THE FOLLOWING CERTIFICATION STATEMENT BEFORE CONDUCTING ANY PROFESSIONAL SERVICES AT THE SITE IDENTIFIED IN THE STORM WATER POLLUTION PREVENTION PLAN

CONTRACTOR'S CERTIFICATION

I CERTIFY UNDER PENALTY OF LAW THAT I UNDERSTAND THE TERMS AND CONDITIONS OF THE GENERAL NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) PERMIT (LR10) THAT AUTHORIZES THE STORM WATER DISCHARGES ASSOCIATED WITH INDUSTRIAL ACTIVITY FROM THE CONSTRUCTION SITE IDENTIFIED AS PART OF THE CERTIFICATION.

CONTRACTOR NAME & TITLE: _____
ADDRESS: _____
PHONE #: _____

SIGNATURE _____ DATE _____

CONTRACTOR NAME & TITLE: _____
ADDRESS: _____
PHONE #: _____

SIGNATURE _____ DATE _____

CONTRACTOR NAME & TITLE: _____
ADDRESS: _____
PHONE #: _____

SIGNATURE _____ DATE _____

NO.	DATE	NOTES
1	10.8.21	WIK REVIEW LETTER 9.8.21
2	4.14.23	IDOT RIGHT-OF-WAY TAKE JULY 2022 LETTER
3	5.19.23	WIK REVIEW LETTER 5.16.23
4	5.31.23	IDOT REVIEW LETTER 5.23.23

1. GENERAL NOTES & DESCRIPTIONS

The Storm Water Pollution Prevention Plan (SWPPP) includes, but is not limited to the Erosion and Sediment Plan included in the Engineering Plans with the Detail Sheet, the Notice of Intent, Permit Application, General Permit, Notice of Termination, All records of inspection and activities which are created during the course of the project, and other documents as may be indicated by reference to this SWPPP. Changes, modifications, revisions, additions, or deletions shall become part of this SWPPP as they occur.

All Contractors and sub-contractors that are responsible for implementing and measure of the SWPPP must be identified and must certify this SWPPP by signing the SWPPP certification in accordance with Part VI.G (Signatory Requirements) of the ILRIO Permit.

All signed certifications must be kept with the SWPPP documents and be available for inspection.

The Contractor and all sub-contractors involved with construction activity that disturbs site soil or who implement a pollutant control measure identified in the Storm Water Pollution Prevention Plan must comply with the following requirements of the National Pollutant Discharge Elimination System (NPDES) General Permit, the NPDES Permit No. ILRIO for the State of Illinois and any local governing agency having jurisdiction concerning erosion and sediment control.

A. GENERAL PERMIT INFORMATION
All construction sites that will result in the disturbance of one acre or more must be permitted under the Illinois General NPDES Permit. The Notice of Intent (NOI) has been submitted at the address below. The NOI is for the onsite and offsite improvements. The NPDES Permit will be issued 30 days after the postmark date of the submittal of the NOI and initial verify fee.

Permit Information: The Owner has mailed the Owner-signed NOI form and the initial verify fee of \$500 to the address listed below. The Contractor will be responsible for submitting each subsequent \$500 verify fee, if applicable. A copy of the signed NOI form will be supplied to the Contractor.

Unless notified by the Illinois Environmental Protection Agency (IEPA) to the contrary, construction activities may begin in accordance with this SWPPP and the ILRIO in 30 days following the post mark date of the NOI.

Transfer Information: If a portion of the permit is sold, that new owner may obtain their own general permit by submitting a separate NOI. The original NOI may then be modified by re-submitting the NOI with updated acreage and checking the box "change of information". Also include documentation explaining that a lot has been sold, the acreage difference and the date of sale. There is no fee involved with modifying the NOI.

There are no requirements for a pre-construction meeting from any of the reviewing agencies.

Agency Information: Illinois Environmental Protection Agency, Division of Water Pollution Control, Springfield, Illinois 62794-9276. Phone: (330) 782-0610.

B. PUBLIC POSTING
The following documents will be supplied to the contractor and must be posted on the Entrance Sign in a prominent place for public viewing until termination of permit coverage has been obtained by filing the Notice of Termination (NOT).

- 1. Notice of Intent signed in accordance with ILRIO.
2. Permit Authorization from the Illinois Environmental Agency (IEPA).
3. Construction Site Notice.

The location of the SWPPP must be clearly visible.

C. RETENTION OF RECORDS
A complete copy of the SWPPP, including copies of all inspection reports, plan revisions, etc., must be retained at the project site at all times during the duration of the project (until NOT is filed) and kept in the permanent project records of the Contractor for at least three years following submittal of the Notice of Termination (NOT).

D. CONTRACTOR/SUB-CONTRACTOR LIST
The Contractor must provide names and addresses of all sub-contractors working on this project who will be involved with the major construction activities that disturb site soil. This information must be kept with the SWPPP.

E. CONTRACTOR/SUB-CONTRACTOR CERTIFICATION FORM
The Contractor and all sub-contractors involved with ground disturbing or installation and maintenance of any Best Management Practice (BMP) on site must sign a copy of the Contractor Certification that will be supplied to the Contractor. This information must be kept with the SWPPP.

F. INSPECTIONS
At least once every seven calendar days and with 24 hours of a 0.5 in rainfall event, inspections by documented Contractor Compliance Officers must be made to determine the effectiveness of the SWPPP. If the State or Local agencies have a required inspection form, the both forms must be completed. The SWPPP, including the best management practices implemented on the jobsite, shall be modified as needed to reduce or prevent pollutants from discharging from the site.

An example BMP Inspection Form will be supplied to the Contractor.

A delegation of authority letter authorizing the Contractor Compliance Officer to sign the inspection forms will also be supplied to the Contractor.

The Inspector must be a person familiar with the site, the nature of major construction activities, and qualified to evaluate both overall system performance and individual component performance. The Inspector must either be someone empowered to implement modifications to this SWPPP and the pollutant control devices, if needed, in order to increase effectiveness, or someone with the authority to cause such changes to happen. Additionally, the inspector shall be properly authorized in accordance with the applicable General Permit to conduct the certified site storm water inspections.

See Section VII on this sheet for further reporting requirements.

G. SWPPP UPDATES & AMENDMENTS
This SWPPP must be updated each time there are significant modifications to the pollution prevention system or a change of Contractor working on the project that disturb site soil. The SWPPP must be amended as necessary during the course of construction in order to keep it current with the pollutant control measures utilized on the site. Amending the SWPPP does not mean that it has to be reprinted. It is acceptable to add addenda, sketches, new sections, and/or revised drawings. The site map showing the locations of all storm water controls must be posted on the site and updated to reflect the progress of construction and changes to the SWPPP. Any control measure that has a hydrologic design component must be updated or amended by the Engineer. Substitution of sediment control BMPs beyond those specified in the SWPPP is considered a hydrologic design component.

H. DISCHARGE OF PETROLEUM PRODUCTS OR HAZARDOUS SUBSTANCES
Discharge of Petroleum products or other hazardous substances into storm water or the storm water (storm sewer) system is subject to reporting and clean up requirements. See section V.B. of this SWPPP for State and local information on reporting spills. Refer to the General Permit for additional information.

I. NOTICE OF TERMINATION
Once the site reaches final stabilization as defined in the General Permit, with all permanent erosion and sedimentation controls installed and all temporary erosion and sedimentation controls removed, the Contractor and Owner's representative must complete a final inspection. Upon approval by the Owner's representative, the Owner and Contractor, as applicable, must complete and submit a NOT.

J. CONTRACTORS RESPONSIBILITY
This SWPPP intends to control water-borne and liquid pollutant discharges by some combination of interception, sedimentation, filtration, and containment. The Contractor and sub-contractors implementing this SWPPP must remain alert to the need to periodically refine and update the SWPPP in order to accomplish the intended goals. The Contractor is ultimately responsible for all site conditions and permit compliance.

K. LOG OF CONSTRUCTION ACTIVITY
A record of dates when major ground-disturbing activities occur, when construction activities temporarily or permanently cease on a portion of the site, and when stabilization measures are initiated or completed must be maintained until the NOT is filed. A log for keeping such records is included. Controls must be in place down gradient of any ground-disturbing activities prior to the commencement of construction and noted on the Site Map and Record of Stabilization and Construction Activity Dates.

2. INTRODUCTION

This SWPPP includes the elements necessary to comply with the natural baseline general permit for construction activities administered by the US Environmental Protection Agency (EPA) under the National Pollutant Discharge Elimination System (NPDES) program, the NPDES Permit No. ILRIO for the State of Illinois, and all Local governing agency requirements. This SWPPP must be implemented at the start of construction.

Construction phase pollutant sources anticipated at the site are disturbed (bare) soil, vehicle fuels and lubricants, chemicals associated with construction, and building materials. Without adequate control, there is a potential for each type of pollutant to be transported by storm water. Project construction will consist primarily of site grading, utility service connections, and site paving to facilitate construction.

A. PURPOSE
A major goal of pollution prevention efforts during project construction is to control soil and pollutants that originate on the site and prevent them from flowing to surface waters. The purpose of this SWPPP is to provide guidelines for achieving that goal. A successful pollution prevention program relies upon careful inspection and adjustments during the construction process in order to enhance its effectiveness.

B. SCOPE
This SWPPP must be implemented before construction begins on the site. It primarily addresses the impact of storm rainfall and runoff on areas of the ground surface disturbed during the construction process. In addition, there are recommendations for controlling other sources of pollution that could accompany the major construction activities. The SWPPP will terminate when disturbed areas are stabilized, permanent erosion and sedimentation controls are installed, temporary erosion and sedimentation controls are removed, construction activities covered herein have ceased, and a completed Notice of Termination (NOT) is transmitted to the governing agency.

3. PROJECT DESCRIPTION

Described below are the major construction activities that are subject of this SWPPP. Also included in the schedule are BMP installation activities that must take place prior to construction activities. NOTE: Down slope protective measures must always be in place before soil is disturbed. Activities are presented in the order (sequence) they are expected to be completed.

All activities and time frames (beginning and ending dates) shall be noted on the Site Map. The sequence of construction is as follows:

Upon implementation and installation of the following areas: trailers, parking, lay down, porta-potty, wheel wash, concrete washout, mason's area, fuel and material storage containers, solid waste containers, etc., immediately denote them on the Site Maps and note any changes in location as they occur throughout the construction process. Typical Stage of Construction, items shall be added or deleted as needed for each individual project.

Phase I

- 1. Install stabilized construction entrance and SWPPP Entrance Sign.
2. Install silt fence(s) on the site (clear only those areas necessary to install silt fence).
3. Prepare temporary parking and storage areas.
4. Install and stabilize hydraulic control structures (dikes, weirs, check dams, etc.).
5. Begin grading the site.
6. Start construction of building pad and structures.

Phase II

- 7. Temporarily seed, throughout construction, denuded areas that will be inactive for 14 days or more.
8. Install utilities, underdrains, storm sewers, curbs and gutters.
9. Install inlet protection at all storm sewer structures as each inlet structure is installed.
10. Permanently stabilize areas to be vegetated as they are brought to final grade.
11. Prepare site for paving.
12. Pave site.
13. Install appropriate inlet protection devices for paved areas as work progresses.
14. Complete grading and installation or permanent stabilization of all areas including outlets.
15. Call Engineer after the site appears to be fully stabilized for inspection.
16. Remove all temporary erosion and sediment control devices after approval of the Engineer and stabilize any areas disturbed by the removal of the devices.

NOTE: The Contractor may complete construction-related activities concurrently only if all preceding BMPs have been completely installed.

The actual schedule for implementing pollutant control measures will be determined by project construction progress and recorded by the Contractor on the Soil Erosion/Sediment Control Operation Time Schedule on the Erosion and Sediment Control Plans. Down slope protective measures must always be in place before soil is disturbed.

4. SITE DESCRIPTION

- 1. Site description
Site construction activities consist of removal of existing house, installation of new buildings, detention pond, and hard landscape display areas.
2. Total area of site = 11.56 acres
Total disturbed area on site = 9.0 acres
3. Estimated site runoff coefficient after construction activities are complete: CN=75.
4. Site map included indicating existing & proposed slopes across site is included in SWPPP.
5. Site drainage is received by Aux Sable Creek located east of the development.

5. STORM WATER POLLUTION PREVENTION MEASURES AND CONTROLS

A variety of storm water pollution prevention controls are recommended for this project. Some controls are intended for function temporary and will be used as needed for pollutant control during the construction period. These include temporary sediment barriers and permanent storm retention ponds (which can also function as temporary sediment basins). Permanent stabilization will be accomplished in all disturbed areas by covering the soil with pavement, building foundation, vegetation, or other forms of soil stabilization.

A. EROSION AND SEDIMENT CONTROLS

1. Soil Stabilization
The purpose of soil stabilization is to prevent soil from eroding and leaving the site. In the natural condition, soil is stabilized by native vegetation and the primary technique to use at this project for stabilizing site soils will be to provide a protective cover of grass, pavement, or building structure.

a) Temporary Seeding or Stabilization - All denuded areas that will be inactive for 14 days or more, must be stabilized temporarily with the use of fast-germinating annual grass/grain varieties, straw/hay mulch, wood cellulose fibers, tackifiers, netting or blankets.

b) Permanent Seeding or Sodding - All areas at final grade must be seeded or sodded within 14 days after completion of work in any area. The entire site must have permanent vegetative cover established in all areas not covered by hardscape at the completion of all soil disturbing activities on site. Except for small level spots, seeded areas should generally be protected with mulch or a rolled erosion control product. All areas to be seeded will have topsoil and other soil amendments as specified on the Landscape Plan.

2. Structural Controls

a) Silt Fence - Silt fence is a synthetic permeable woven or non-woven geotextile fabric incorporating metal support stakes at intervals sufficient to support the fence (5-foot maximum distance between posts), water, and sediment retained by the fence. The fence is designed to retain sediment-laden storm water and allow settlement of suspended solids before the storm water flows through the fabric and discharges off-site. Silt fence shall be located on the contour to capture overland, low-velocity sheet flows. The Contractor may utilize triangular silt dikes and/or non-wire backed silt fence as intermediate BMPs. Install silt fence at a fairly level grade along the contour with the ends curved upward to provide sufficient upstream storage volume for the anticipated runoff. Drainage areas shall not exceed 2 acre per 100 feet of silt fence for slopes less than 2 percent.

b) Construction Exit - All access points from the public street into the construction site shall include a construction exit composed of coarse stone to the dimensions shown on the Existing Conditions and Demolition Plan. The rough texture of the stone helps to remove clumps of soil adhering to the construction vehicles tires through the action of vibration and jarring over the rough surface and the friction of the stone matrix against soils attached to vehicle tires.

In addition to the stone at the construction exit, it may be necessary to install devices such as pipes (cattle guard) to increase the vibration and jarring. It may also be necessary to install a wheel wash system. If this is done, a sediment trap control must be installed to treat the wash water before it discharges from the site.

All site access must be confined to the Construction Exit(s). Barricade, sufficient to prevent use, any locations other than Construction Exit(s) where vehicles or equipment may access the site.

c) Storm Sewer Inlet Protection - Curb and grated inlets are protected from the intrusion of sediment through a variety of measures as shown on the details included in the Construction drawings. The primary mechanism is to place controls in the path of flow sufficient to slow the sediment-laden water to allow settlement of suspended solids before discharging into the storm sewer. It is possible that as construction progresses from storm sewer installation through paving that the inlet protection devices should change. All inlet protection devices create ponding of storm water. This should be taken into consideration when deciding on which device or devices should be used.

d) Inspection and any necessary cleaning of the underground storm system shall be included as part of this swppp.

Final site stabilization is achieved when perennial vegetative cover provides permanent stabilization with a density greater than 70 percent over the entire area to be stabilized by vegetative cover. This is exclusive of areas paved, seeded, or having a building on them.

B. OTHER POLLUTANT CONTROLS

This section includes the controls of pollutants other than sediment and additional requirements of the General Permit.

1. Dust Control
Construction traffic must enter and exit the site at the stabilized construction exit. Water trucks or other dust control agents will be used as needed during construction to reduce dust generated on the site. Dust control must be provided by the Contractor to a degree that is in compliance with applicable Local and State dust control regulations.

2. Solid Waste Disposal
No solid materials, including building materials, are allowed to be discharged from the site with storm water. All solid waste, including disposable materials incidental to the major construction activities, must be collected and placed in containers. The containers will be emptied as necessary by a contract trash disposal service and hauled away from the site. Covers for the containers will be provided as necessary to meet State and Local requirements. The location of solid waste receptacles shall be shown on the Site Maps.

Substances that have the potential for polluting surface and/or groundwater must be controlled by whatever means necessary in order to ensure that they do not discharge from the site. An example of such a substance would be fuel used during equipment fueling and servicing operations. If a spill occurs, it must be contained and disposed of so that it will not flow from the site or enter groundwater, even if the spill requires removal, treatment, and disposal of soil. In this regard, potentially polluting substances should be handled in a manner consistent with the impact they represent.

3. Sanitary Facilities
All personnel involved with construction activities must comply with State and Local sanitary or septic regulations. Temporary sanitary facilities will be provided at the site throughout the construction phase. They must be utilized by all construction personnel and will be serviced by a commercial operator. The location of sanitary facilities shall be shown on the Site Map.

4. Non-Storm Water Discharge
Non-storm water components of site discharges are not permitted under ILRIO except as follows: discharges from fire fighting activities; fire hydrant flushings; water used to wash vehicles where detergents are not used; waters used to control dust; potable water sources including uncontaminated waterline flushings, irrigation drainage; routine exterior building washdowns which does not use detergents; pavement washdowns where spills or leaks of toxic or hazardous materials have not occurred (unless all spilled material has been removed) and where detergents are not used; air conditioning condensate; springs, uncontaminated ground water; and foundation or footing drains where flows are not contaminated with process materials such as solvents.

5. Concrete Waste from Concrete Ready-Mix Trucks
Discharge of excess or waste concrete and/or wash water from concrete trucks will be allowed on the construction site, but only in specifically designated diked areas prepared to prevent contact between the concrete and/or wash water and storm water that will be discharged from the site. Alternatively, waste concrete can be placed into forms to make rip rap or other useful concrete products. The cured residue from the concrete washout diked areas shall be disposed in accordance with applicable State and Federal regulations. The jobsite superintendent is responsible for ensuring these procedures are followed. The location of concrete washout areas shall be shown on the Site Maps.

6. Mason's Area
Contractor shall identify mason's area on the site and indicate location on the Site Map. To the extent practical, all masonry tools, material, including sand and sacked cement or mortar materials, and equipment shall be located within the area identified. Runoff control, such as berms or diversion ditches, silt fence, straw wattles, or other means of containment shall be provided to prevent the migration of storm water pollutants in runoff from the mason's area. Reciprocates for debris and trash disposal shall also be provided.

7. Fuel Tanks
Temporary on-site fuel tanks for construction vehicles shall meet all State and Federal regulations. Tanks shall have approved spill containment with the capacity required by the applicable regulations. The tanks shall be in sound condition free of rust or other damage which might compromise containment. Fuel storage areas will meet all EPA, OSHA and other regulatory requirements for storage, fire extinguishers, etc. Hoses, valves, fittings, caps, filler nozzles, and associated hardware shall be maintained in proper working condition at all times. The location of fuel tanks shall be shown on the Site Maps.

8. Spill Prevention, Control and Countermeasure (SPCC) Plan must be developed if aboveground oil storage capacity at the construction site exceeds 1,320-gallons. Containers with storage capacity of 55-gallons or less are not included when calculating site storage capacity. The Contractor shall work with the Civil Engineering Consultant to develop and implement a SPCC Plan in accordance with the Oil Pollution Prevention regulation at Title 40 of the Code of Federal Regulations, Part 111.400 (CFR 112).

9. Hazardous Material Management and Spill Reporting Plan
Any hazardous or potentially hazardous material that is brought onto the construction site will be handled properly in order to reduce the potential for storm water pollution. All materials used on this construction site will be properly stored, handled, dispersed and disposed of following all applicable label directions. Material Safety Data Sheets (MSDS) information will be kept on site for any and all applicable materials.

In the event of an accidental spill, immediate action will be undertaken by the Contractor to contain and remove the spilled material. All hazardous materials will be disposed of by the Contractor in the manner specified by Federal, State and Local regulations and by the manufacturer of such products. As soon as possible, the spill will be reported to the appropriate agencies. As required under the provisions of the Clean Water Act, any spill or discharge entering waters of the United States will be properly reported. The Contractor will prepare a written record of any spill of petroleum products or hazardous materials in excess of reportable quantities and will provide notice to Owner within 24-hours of the occurrence of the spill.

Any spills of petroleum products or hazardous materials in excess of Reportable Quantities as defined by EPA shall be immediately reported to the EPA National Response Center (1-800-424-9802). In addition, 35 ILCS Admin. Code 750.410 requires notification of IEMA (1-800-782-7860). Reportable chemical spill quantities are those listed for hazardous substances under Superfund, or as extremely hazardous substances under the Superfund Reauthorization and Amendments Act of 1985 (SARA), the emergency planning statute which also establishes threshold planning quantities (22 ILCS Admin. Code 430.30). Oil spills are reportable if they must be reported under the Federal Water Pollution Control Act. This generally includes spills that are in excess of 25 gallons and/or may be harmful to the public health or welfare (40 CFR 110). Harmful discharges include those that (1) violate applicable water quality standards, or (2) have the potential to cause or contribute to the discharge of oil, sludge, or emulsion to be deposited beneath the water's surface or on adjoining shorelands. The reportable quality for hazardous materials can be found in 40 CFR 302, or by contacting the IEMA (1-800-782-7868).

In order to minimize the potential for a spill of petroleum product or hazardous materials to come in contact with storm water, the following steps will be implemented:

- a) All materials with hazardous properties (such as pesticides, petroleum products, fertilizers, detergents, construction chemicals, acids, paints, joint solvents, additives for soil stabilization, concrete, curing compounds and additives, etc.) will be stored in a secure location, under cover, when not in use.
b) The minimum practical quantity of all such materials will be kept on the job site and scheduled for delivery as close to time of use as practical.
c) A spill control and containment kit (containing for example, absorbent material such as kitty litter or sawdust, acid neutralizing agent, brooms, dust pans, mops, rags, gloves, goggles, plastic and metal trash containers, etc.) will be provided at the storage site.
d) All of the products in a container will be used before the container is disposed of. All such containers will be triple rinsed, with water prior to disposal. The rinse water used in these containers will be disposed of in a manner in compliance with State and Federal regulations and will not be allowed to mix with storm water discharges.
e) All products will be stored in and used from the original container with the original product label.
f) All products will be used in strict compliance with instructions on the product label.
g) The disposal of excess or used products will be in strict compliance with instructions on the product label.

9. Long Term Pollutant Controls
Storm water pollutant controls measures installed during construction, that will also provide storm water management benefits after construction, include turf grass in sufficient quantity so as to provide a site impervious ratio (ISR) of 0.76.

C. CONSTRUCTION PHASE "BEST MANAGEMENT PRACTICES" (BMP)

During the construction phase, the Contractor shall implement the following measures:

- 1. Materials resulting from the clearing and grubbing or excavation operations shall be stockpiled up slope from the cleared or having a building on them. Materials removed to an off-site location shall be protected with appropriate controls and properly permitted.
2. The Contractor shall designate areas on the Site Map for equipment cleaning, maintenance, and repair. The Contractor and sub-contractors shall utilize such designated areas. Cleaning, maintenance, and repair areas shall be protected with temporary perimeter berms. Berms shall not be less than 150 feet of any waterway, wetland, or in areas located as far as practical from storm water inlets.

3. Use of detergents for large scale washing is prohibited (i.e. vehicles, buildings, pavement, surfaces, etc.).
4. Chemicals, paints, solvents, fertilizers, and other toxic materials must be stored in waterproof containers. Except during application, the containers, the contents must be kept in trucks or with storage facilities. Runoff containing such material must be collected, removed from the site, treated, and disposed of at an approved solid waste and permit conditions applicable to such sites.

D. OFF-SITE FACILITIES IN THE OPERATIONAL CONTROL OF THE CONTRACTOR
Whenever dirt, rock, or other materials are imported to the construction site or exported for placement in areas off of the primary construction site, the Contractor is responsible for determining that all storm water permitting and pollution control requirements are met for each site which receives such materials or from which site materials are taken. Prior to the disturbance of any such site, Contractor will confirm that the operators of the site they are importing to or exporting from have properly obtained all required permits, and will comply with all laws, regulations and permit conditions applicable to such sites.

At a minimum, each off-site area that provides or receives material or is disturbed by project activities must implement erosion and sediment control measures consisting of perimeter controls on all down slope and side slope boundaries and must also provide for both temporary stabilization and for permanent re-vegetation after all disturbances have ended.

4. LOCAL PLANS

In addition to this SWPPP, construction activities associated with this project must comply with any guidelines set forth by Local regulatory agencies. The Contractor shall maintain documents evidencing such compliance in this SWPPP.

5. INSPECTIONS AND SYSTEM MAINTENANCE

Between the time this SWPPP is implemented and final Notice of Termination has been submitted, all disturbed areas and pollutant controls must be inspected weekly and within 24 hours of the start of a storm event 0.5 inches or equivalent snowfall. The purpose of site inspections is to assess performance of pollutant controls. The inspections will be conducted by the Contractor's Site Superintendent. Based on these inspections, the Contractor will decide whether it is necessary to modify this SWPPP, add or relocate controls, or revise or implement additional Best Management Practices in order to prevent pollutants from leaving the site via storm water runoff. The Contractor has the duty to cause pollutant control measures to be repaired, modified, supplemented, or take additional steps as necessary in order to achieve effective pollutant control.

Examples of specific items to evaluate during site inspections are listed below. This list is not intended to be comprehensive. During each inspection, the Inspector must evaluate overall pollutant control system performance as well as particular details of individual system components. Additional factors should be considered as appropriate to the circumstances.

A. CONSTRUCTION EXIT AND TRACK OUT
Locations where vehicles enter and exit the site must be inspected for evidence of off-site sediment tracking. A stabilized construction exit shall be constructed where vehicles enter and exit. Exits shall be maintained or supplemented with additional controls as necessary to prevent the release of sediment from vehicles leaving the site. Any sediment deposited on the roadway shall be swept as necessary throughout the day or at the end of every day and disposed of in an appropriate manner. Sediment shall NOT be washed into storm sewer systems.

B. SEDIMENT CONTROL DEVICES
Sediment barriers, traps and basins must be inspected and they must be cleaned out at such time as their original capacity has been reduced by 50 percent. All material excavated from behind sediment barriers or in traps and basins shall be incorporated into on-site soils or spread out on an upland portion of the site and stabilized. Additional sediment barriers must be constructed as needed.

C. MATERIAL STORAGE AREAS
Inspections shall evaluate disturbed areas and areas used for storing materials that are exposed to rainfall for evidence of, or the potential for, pollutants entering the drainage system or discharging from the site. If necessary, the materials must be covered or original covers must be repaired or supplemented. Also, protective berms must be constructed, if needed, in order to contain runoff from material storage areas. All State and Local regulations pertaining to material storage areas will be adhered to.

D. VEGETATION
Grassed areas shall be inspected to confirm that a healthy stand of grass is maintained. The site has achieved final stabilization once all areas are covered with building foundation or pavement, or have a stand of grass with a minimum density of 70 percent density or greater over the entire vegetated area in accordance with the General Permit requirements. The vegetative density must be maintained to be considered stabilized. Area must be watered, fertilized, and re-seeded as needed to achieve this requirement.

E. DISCHARGE POINTS
All discharge points must be inspected to determine whether erosion and sediment control measures are effective in preventing discharge of sediment from the site or impacts to receiving waters.

The Inspection Report Form must identify all deficiencies, any corrections, whether they are identified during the current inspection or have occurred since the previous inspection, and any additional comments. Based on inspection results, any modification necessary to increase effectiveness of this SWPPP to an acceptable level must be made immediately but no longer than within 48 hours of inspection. The inspections reports must be complete and additional information should be included to fully support the findings. At the discretion of the Inspector, additional measures that are necessary in order to enhance plan effectiveness. The Inspector report shall identify whether the site is in compliance with the SWPPP at the time of inspection and specifically identify all incidents of non-compliance.

The Inspection Report Form must summarize the scope of the inspection, name(s) and qualifications of personnel making the inspection, the date(s) of the inspection, major observations relating to the implementation of this SWPPP, and actions taken in accordance with section 4.b shall be made and retained as part of the plan for at least six years after the date of the inspection. The report shall be signed in accordance with Part VI.G of the General Permit.

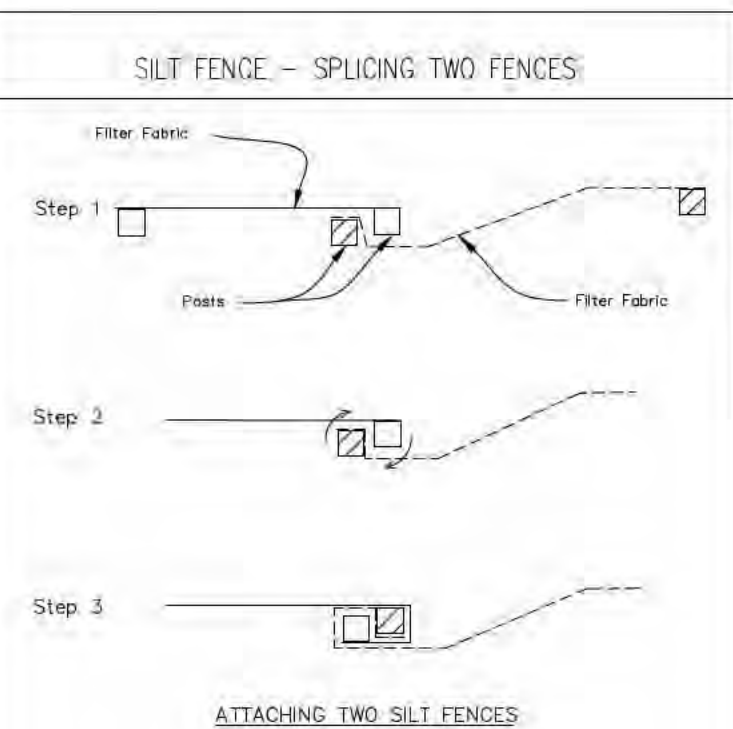
If any violation of the provisions of this plan is identified during the conduct of the construction work covered by this plan, the Contractor's Compliance Officer shall complete and file an "Incidence of Noncompliance" (ION) report for the identified violation. The Contractor's Compliance Officer shall use forms provided by the IEPA and shall include specific information on the cause of noncompliance, actions which were taken to prevent any further causes of noncompliance, and a statement detailing any environmental impact which may have resulted in noncompliance. All reports of noncompliance shall be signed by a responsible authority in accordance with part VI.G of the General Permit. The report of noncompliance shall be mailed to the following address:

Illinois Environmental Protection Agency
Division of Water Pollution Control
Attn: Compliance Assurance Section
1021 North Grand East
P.O. Box 19276
Springfield, IL 62794-9276

Ultimately, it is the responsibility of the General Contractor to assure the adequacy of site pollutant discharge controls. Actual physical site conditions or Contractor practices could make it necessary to install more structural controls than are shown on the plans. For example, localized concentrations of runoff could make it necessary to install additional sediment barriers. Assessing the need for additional controls and implementing them or adjusting existing controls will be a continuing concern of this SWPPP until the site achieves effective stabilization. Any modifications, additions or deletions of sediment control devices must be approved by the Engineer through written communications.

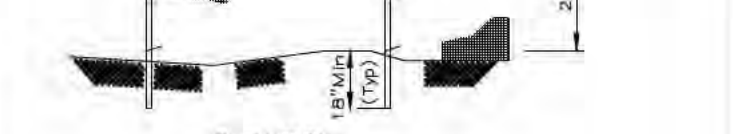
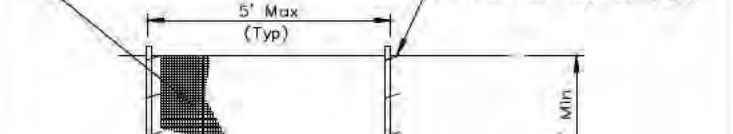
CONCRETE WASHOUT NOTE

CONCRETE WASHOUT SHOULD BE CONTAINED AT ALL TIMES. WASHOUT MATERIAL SHOULD NOT BE ALLOWED TO ENTER WATER BODIES, STORM SEWERS OR LEACH INTO THE SOIL UNDER ANY CIRCUMSTANCES. ANY WASTE SHOULD BE DISPOSED OF PROPERLY AND THE LOCATION OF THE WASHOUT POINT BE DESIGNATED WITH PROPER SIGNAGE. FAILURE TO COMPLY COULD RESULT IN AN INCIDENT OF NONCOMPLIANCE (ION).



- 1. Place the end post of the second fence inside the end post of the first fence.
2. Rotate both posts at least 180 degrees in a clockwise direction in the same direction.
3. Cut the fabric near the bottom of the stakes to disconnect the 6" fabric.
4. Drive both posts a minimum of 18 inches into the ground and bury the ends.
5. Compact berms (partially at option) completely to prevent stormwater piping.

Approval table with columns for Project, Date, and Approved, and a signature line.



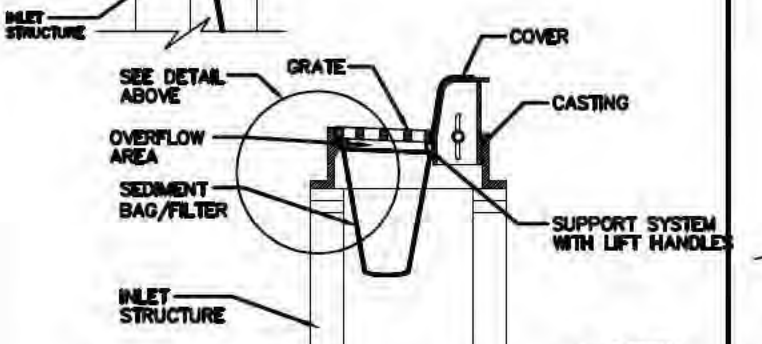
- NOTES:
1. Temporary sediment fence shall be installed prior to any grading work in the area to be protected. They shall be maintained throughout the construction period and removed in conjunction with the final grading and site stabilization.
2. Filter fabric shall meet the requirements of material specification 592 (GEOFILTEX Table 1 or 2, Class 1, II or IV) and shall be placed over the cleared area prior to the starting of work.
3. 392 (GEOFILTEX Table 1 or 2, Class 1, II or IV) with required opening size of at least 30 for nonwoven and 40 for woven.
4. Fabric posts shall be either standard steel posts or wood posts with a minimum cross-sectional area of 3.0 sq. in.

Approval table with columns for Project, Date, and Approved, and a signature line.

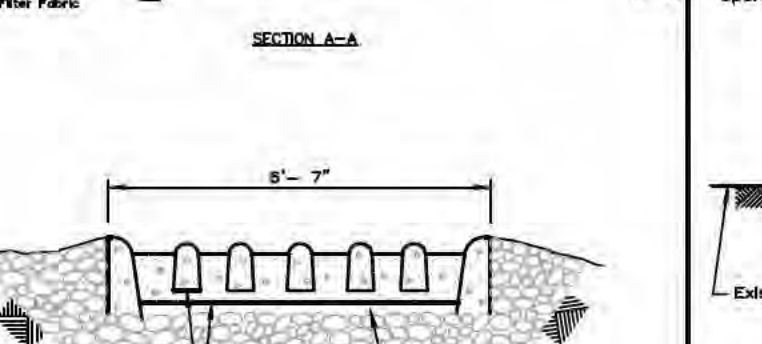
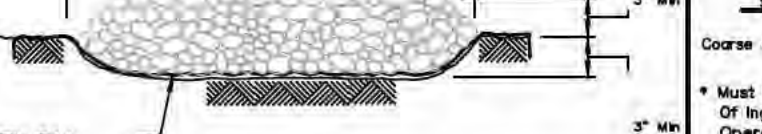
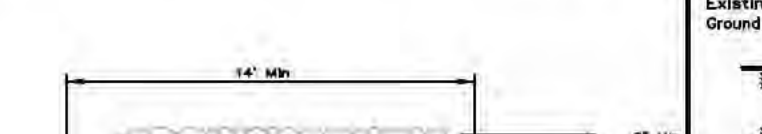


- NOTES:
1. The fence shall be located a minimum of 1 foot outside the drip line of the tree to be saved and in no case closer than 5 feet to the trunk.
2. Fence posts shall be either standard steel posts or wood posts with a minimum cross-sectional area of 3.0 sq. in.
3. The fence may be either 40' high snow fence, 40' plastic web filtering or any other material as approved by the engineer/inspector.

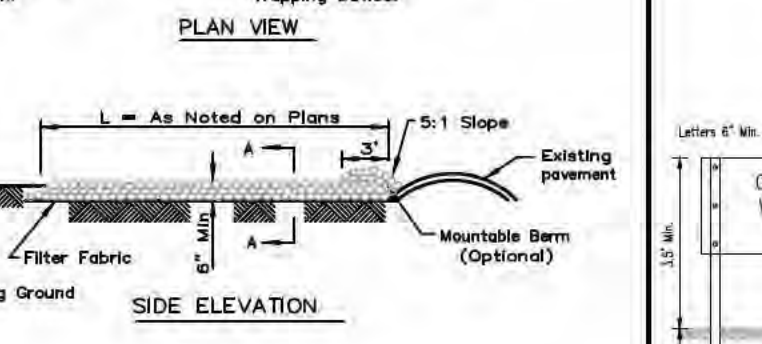
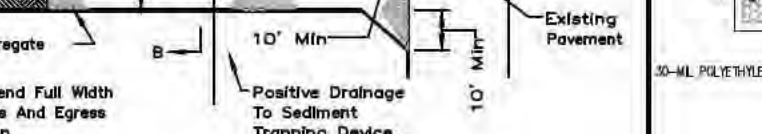
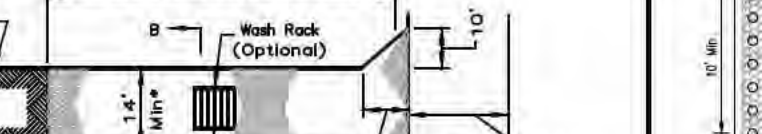
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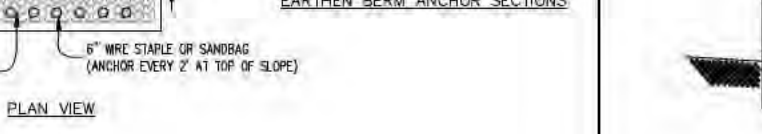
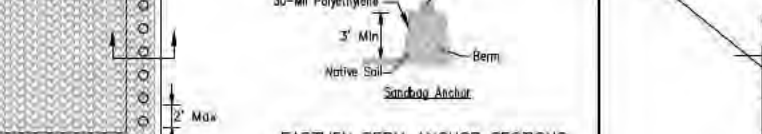
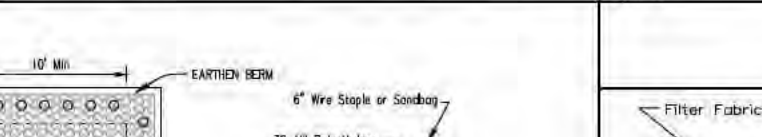
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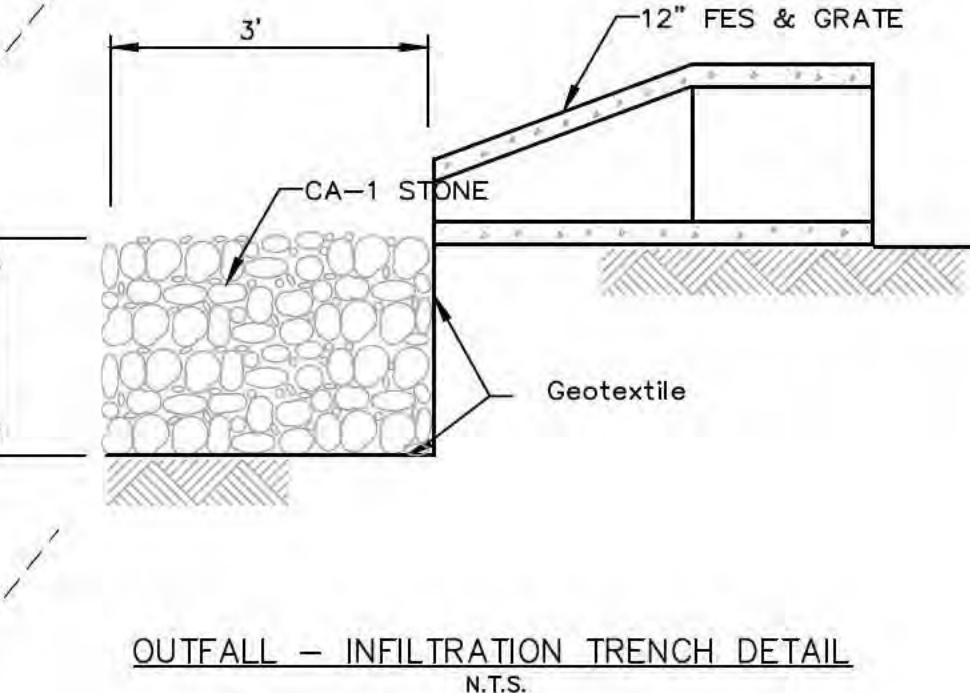
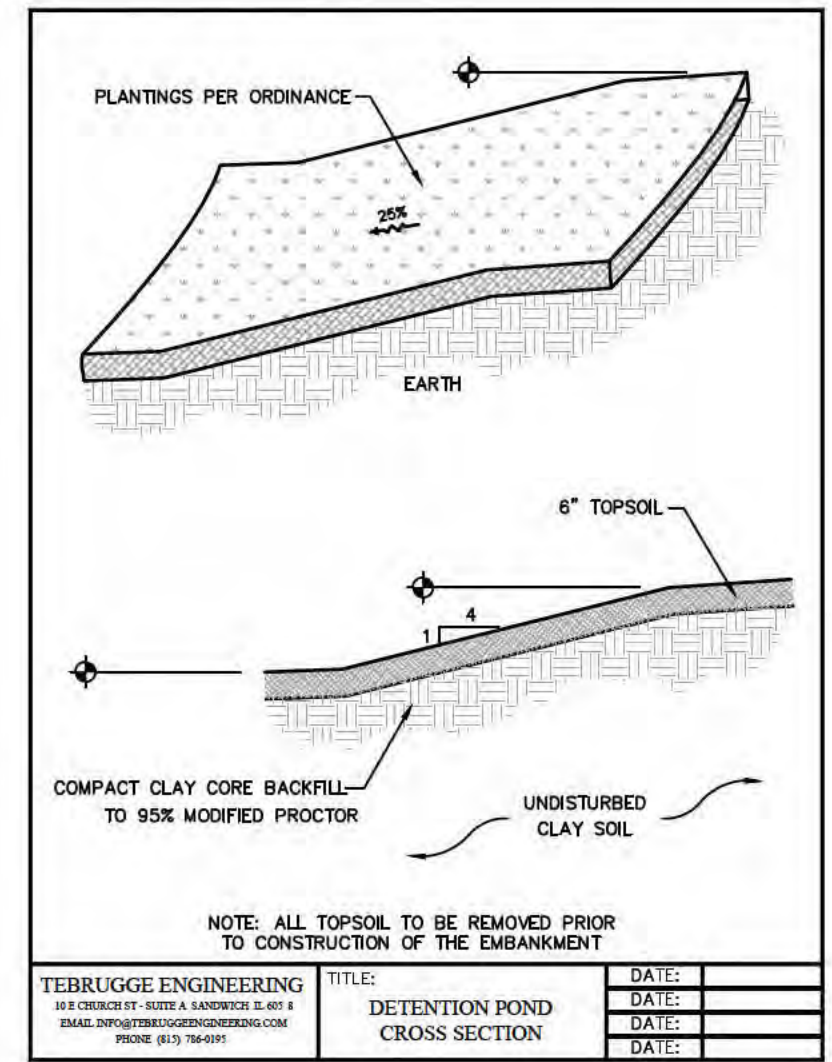
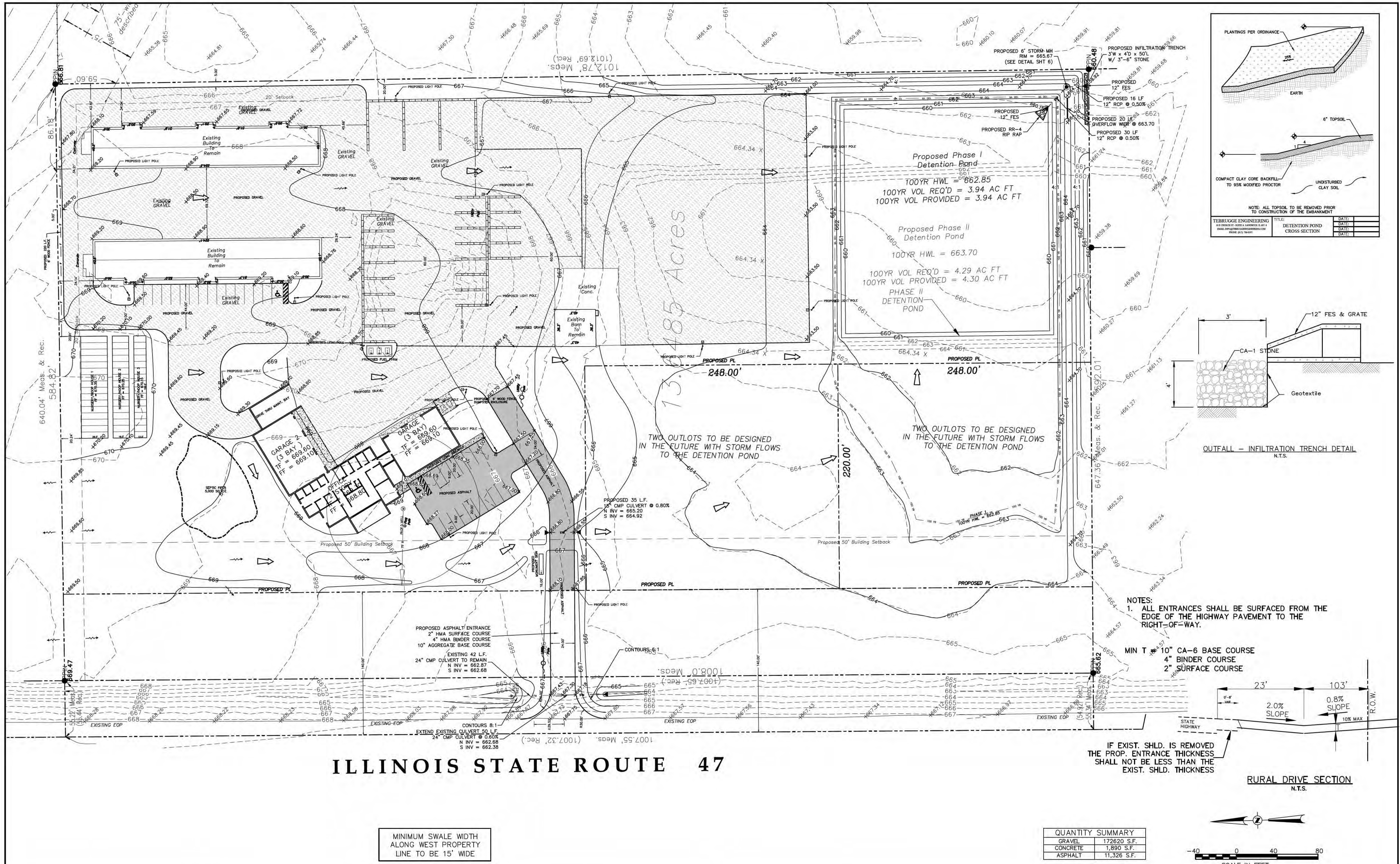


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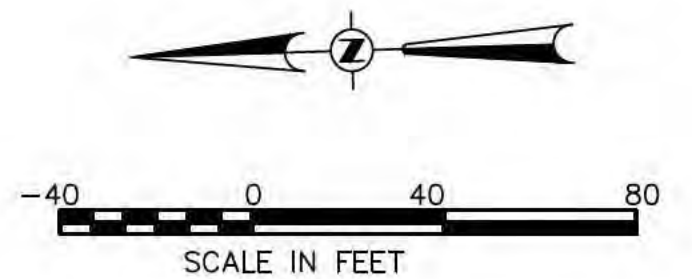


NOTES:
1. ALL ENTRANCES SHALL BE SURFACED FROM THE EDGE OF THE HIGHWAY PAVEMENT TO THE RIGHT-OF-WAY.

MIN T = 10" CA-6 BASE COURSE
4" BINDER COURSE
2" SURFACE COURSE

IF EXIST. SHLD. IS REMOVED THE PROP. ENTRANCE THICKNESS SHALL NOT BE LESS THAN THE EXIST. SHLD. THICKNESS

QUANTITY SUMMARY	
GRAVEL	172620 S.F.
CONCRETE	1,890 S.F.
ASPHALT	11,326 S.F.



ILLINOIS STATE ROUTE 47

MINIMUM SWALE WIDTH ALONG WEST PROPERTY LINE TO BE 15' WIDE

TEBRUGGE ENGINEERING
410 E. CHURCH STREET - SUITE A • SANDWICH, IL 60548
PHONE: (815) 786-0195 • TEBRUGGEENGINEERING.COM

NO.	DATE	NOTES
1	10.8.21	WSK REVIEW LETTER 9.8.21
2	4.14.23	IDOT RIGHT-OF-WAY TAKE JULY 2022 LETTER
3	5.19.23	WSK REVIEW LETTER 5.16.23
4	5.31.23	IDOT REVIEW LETTER 5.23.23

PREPARED FOR:
ALWAYS FAITHFUL PROPERTIES, LLC

SEMPER FI LAND SITE PLAN - 10744 US ROUTE 47 - YORKVILLE CIVIL SITE PLAN

PROJECT NO.	21 493 01	SHEET NO.	5
SCALE:	1" = 40'		
DATE:	JUNE 30, 2021		OF 7 SHEETS

GENERAL CONDITIONS

1. ALL EARTHWORK, ROADWAY WORK, DRAINAGE WORK OR STORM SEWER WORK SHALL BE PERFORMED UTILIZING MATERIALS AND METHODS IN STRICT ACCORDANCE WITH THE ILLINOIS DEPARTMENT OF TRANSPORTATION "STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION" LATEST EDITION, AS WELL AS THE STANDARD DETAIL SHEETS ATTACHED TO THESE PLANS. ALL MUNICIPAL, COUNTY, STATE AND FEDERAL REQUIREMENTS AND STANDARDS SHALL BE STRICTLY ADHERED TO IN WORK PERFORMED UNDER THIS CONTRACT.
2. ALL SANITARY SEWER AND WATER MAIN WORK SHALL BE PERFORMED USING METHODS AND MATERIALS IN STRICT ACCORDANCE WITH THE LATEST EDITION OF "STANDARD SPECIFICATIONS FOR WATER AND SEWER MAIN CONSTRUCTION IN ILLINOIS" LATEST EDITION, AS WELL AS THE STANDARD DETAIL SHEETS ATTACHED TO THESE PLANS. ALL MUNICIPAL, COUNTY, STATE AND FEDERAL REQUIREMENTS AND STANDARDS SHALL BE STRICTLY ADHERED TO IN WORK PERFORMED UNDER THIS CONTRACT.
3. ANY SPECIFICATIONS WHICH ARE SUPPLIED ALONG WITH THE PLANS SHALL TAKE PRECEDENCE IN THE CASE OF A CONFLICT WITH THE STANDARD SPECIFICATIONS NOTED IN ITEMS NO. 1 AND 2 ABOVE. THE ABOVE STANDARD SPECIFICATIONS & THE CONSTRUCTION PLANS ARE TO BE CONSIDERED AS PART OF THE CONTRACT DOCUMENTS. INCIDENTAL ITEMS OR ACCESSORIES NECESSARY TO COMPLETE THIS WORK MAY NOT BE SPECIFICALLY NOTED BUT ARE TO BE CONSIDERED A PART OF THE CONTRACT.
4. PRIOR TO COMMENCEMENT OF CONSTRUCTION, THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS AFFECTING THEIR WORK WITH THE ACTUAL CONDITIONS AT THE JOB SITE. IF THERE ARE ANY DISCREPANCIES FROM WHAT IS SHOWN ON THE CONSTRUCTION PLANS, HE MUST IMMEDIATELY REPORT SAME TO THE ENGINEER BEFORE DOING ANY WORK, OTHERWISE THE CONTRACTOR WILL BE CONSIDERED TO HAVE PROCEEDED AT HIS OWN RISK AND EXPENSE. IN THE EVENT OF ANY DOUBT OR QUESTION ARISING WITH RESPECT TO THE TRUE MEANING OF THE CONSTRUCTION PLANS OR SPECIFICATIONS, THE DECISION OF THE ENGINEER SHALL BE FINAL AND CONCLUSIVE.
5. ALL WORK PERFORMED UNDER THIS CONTRACT SHALL BE GUARANTEED AGAINST ALL DEFECTS IN MATERIALS AND WORKMANSHIP OF WHATEVER NATURE BY THE CONTRACTOR AND HIS SURETY FOR A PERIOD OF 12 MONTHS FROM THE DATE OF FINAL ACCEPTANCE OF THE WORK BY THE GOVERNING MUNICIPALITY, OTHER APPLICABLE GOVERNMENTAL AGENCIES, AND THE OWNER.
6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL REQUIRED PERMITS FOR CONSTRUCTION ALONG OR ACROSS EXISTING STREETS OR HIGHWAYS. HE SHALL MAKE ARRANGEMENTS FOR THE PROTECTION OF BRIDGES, SHORING AND OTHER REQUIRED PROTECTION OF ALL ROADWAYS BEFORE CONSTRUCTION BEGINS, ALONG WITH ADEQUATE TRAFFIC CONTROL MEASURES. HE SHALL BE RESPONSIBLE FOR ANY DAMAGE TO THE STREETS OR ROADWAYS AND ASSOCIATED STRUCTURES AND SHALL MAKE REPAIRS AS NECESSARY TO THE SATISFACTION OF THE ENGINEER, AT NO ADDITIONAL COST TO THE OWNER.
7. THE UTILITY LOCATIONS, AND THE DEPTHS SHOWN ON THESE PLANS ARE APPROXIMATE ONLY, AND SHALL BE VERIFIED BY THE CONTRACTOR WITH ALL AFFECTED UTILITY COMPANIES PRIOR TO INITIATING CONSTRUCTION OPERATIONS. THE ENGINEER AND OWNER ASSUME NO RESPONSIBILITY FOR THE ADEQUACY, SUFFICIENCY OR EXACTNESS OF THESE UTILITY REPRESENTATIONS.
8. PRIOR TO STARTING CONSTRUCTION THE CONTRACTOR SHALL CONTACT THE OFFICE OF J.U.L.I.E. AT 1-800-892-0123 FOR EXACT FIELD LOCATION OF ALL UNDERGROUND UTILITIES IN THE PROXIMITY OF, AND ON, THE PROJECT SITE. IF THERE ARE ANY UTILITIES WHICH ARE NOT MEMBERS OF THE J.U.L.I.E. SYSTEM, THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR DETERMINING THIS AND MAKE ARRANGEMENTS TO HAVE THESE UTILITIES FIELD LOCATED.
9. EASEMENTS FOR THE EXISTING UTILITIES, BOTH PUBLIC AND PRIVATE, AND UTILITIES WITHIN PUBLIC RIGHTS-OF-WAY ARE SHOWN ON THE PLANS ACCORDING TO AVAILABLE RECORDS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING THE EXACT LOCATION IN THE FIELD OF THESE UTILITY LINES AND THEIR PROTECTION FROM DAMAGE DUE TO CONSTRUCTION OPERATIONS. IF EXISTING UTILITY LINES OF ANY NATURE ARE ENCOUNTERED WHICH CONFLICT IN LOCATION WITH NEW CONSTRUCTION, THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR RELOCATING THESE FACILITIES AT HIS EXPENSE TO ACCOMMODATE THE NEW CONSTRUCTION.
10. ALL FIELD TILE ENCOUNTERED DURING CONSTRUCTION OPERATIONS SHALL BE CONNECTED TO THE PROPOSED STORM SEWER OR EXTENDED TO OUTLET INTO A PROPOSED DRAINAGE WAY. IF THIS CANNOT BE ACCOMPLISHED, THEN IT SHALL BE REPAIRED WITH NEW PIPE OF SIMILAR SIZE AND MATERIAL TO THE ORIGINAL LINE AND PUT IN ACCEPTABLE OPERATIONAL CONDITION. A RECORD OF THE LOCATION OF ALL FIELD TILE FOR ON-SITE DRAIN PIPE ENCOUNTERED SHALL BE KEPT BY THE CONTRACTOR AND TURNED OVER TO THE ENGINEER UPON COMPLETION OF THE PROJECT. THE COST OF THIS WORK SHALL BE CONSIDERED AS INCIDENTAL TO THE CONTRACT AND NO ADDITIONAL COMPENSATION WILL BE ALLOWED.
11. IT SHALL BE THE RESPONSIBILITY OF EACH RESPECTIVE CONTRACTOR TO REMOVE FROM THIS SITE ANY AND ALL MATERIALS AND DEBRIS WHICH RESULT FROM HIS CONSTRUCTION OPERATIONS AT NO ADDITIONAL EXPENSE TO THE OWNER.
12. THE ENGINEER AND OWNER ARE NOT RESPONSIBLE FOR THE CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES OR PROCEDURES, TIME OF PERFORMANCE, PROGRAMS OF FOR ANY SAFETY PRECAUTIONS USED BY THE CONTRACTOR. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR EXECUTION OF HIS WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS AND SPECIFICATIONS.
13. THE CONTRACTOR SHALL COMPLY WITH ALL STATE AND FEDERAL SAFETY REGULATIONS AS OUTLINED IN THE LATEST REVISIONS OF THE FEDERAL CONSTRUCTION SAFETY STANDARDS (SERIES 1928) AND WITH APPLICABLE PROVISIONS AND REGULATIONS OF THE OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA) STANDARDS OF THE WILLIAMS STEGLER OCCUPATIONAL HEALTH STATE SAFETY ACT OF 1970(REVISED). THE CONTRACTOR, ENGINEERS, AND OWNER SHALL EACH BE RESPONSIBLE FOR HIS OWN RESPECTIVE AGENTS AND EMPLOYEES.
14. THE CONTRACTOR SHALL INDEMNIFY THE OWNER, THE ENGINEER, AND ALL GOVERNING AUTHORITIES, THEIR AGENTS SUCCESSORS AND ASSIGNS FROM ANY AND ALL LIABILITY WITH RESPECT TO THE CONSTRUCTION, INSTALLATION AND TESTING OF THE WORK REQUIRED ON THIS PROJECT. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO PERFORM THE WORK OF THIS CONTRACT IN A MANNER WHICH STRICTLY COMPLIES WITH ANY AND ALL PERTINENT LOCAL, STATE OR NATIONAL CONSTRUCTION AND SAFETY CODES; THE ENGINEER, OWNER, AND GOVERNING AUTHORITIES ARE NOT RESPONSIBLE FOR ENSURING COMPLIANCE BY THE CONTRACTOR WITH SAID CODES AND ASSUME NO LIABILITY FOR ACCIDENTS, INJURIES, OR DEATHS, OR CLAIMS RELATING THERETO WHICH MAY RESULT FROM LACK OF ADHERENCE TO SAID CODES.

UNDERGROUND UTILITIES

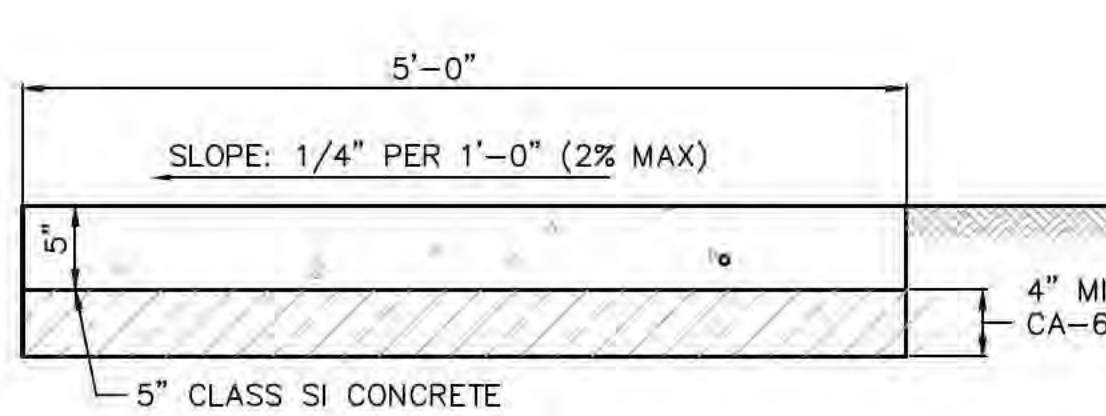
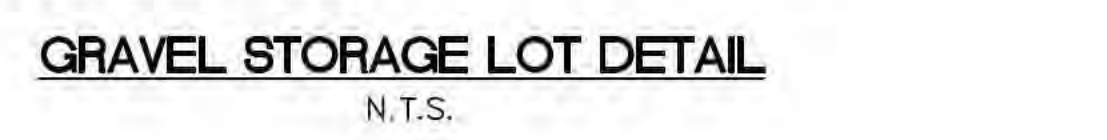
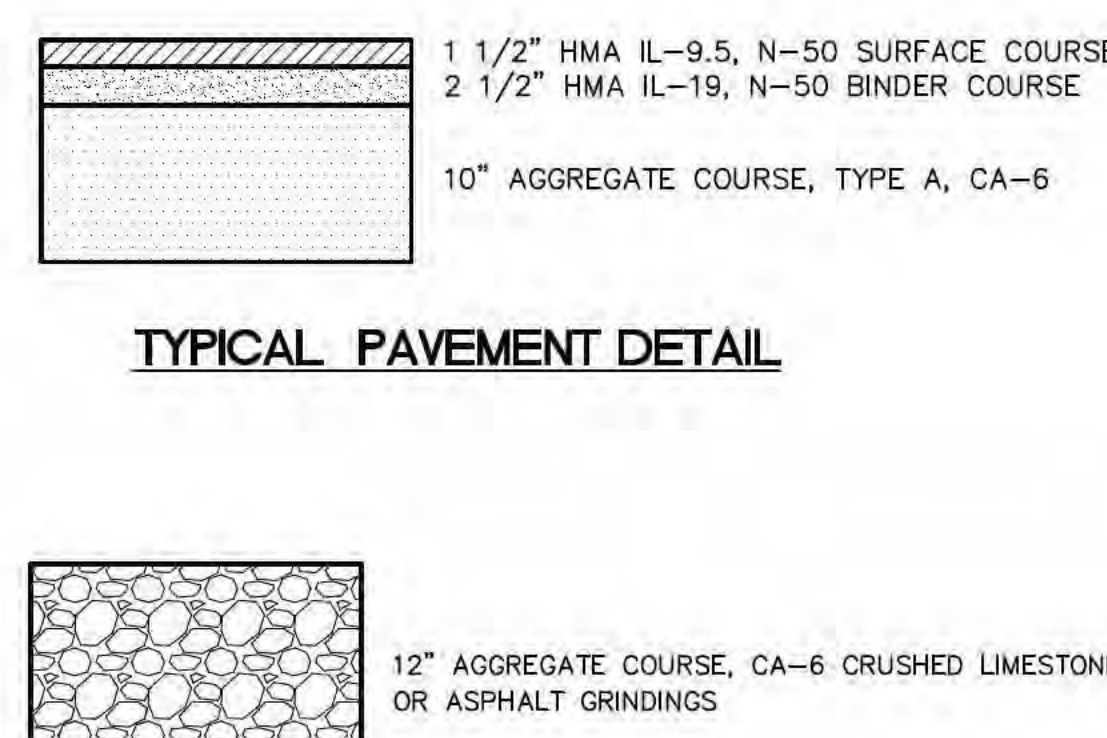
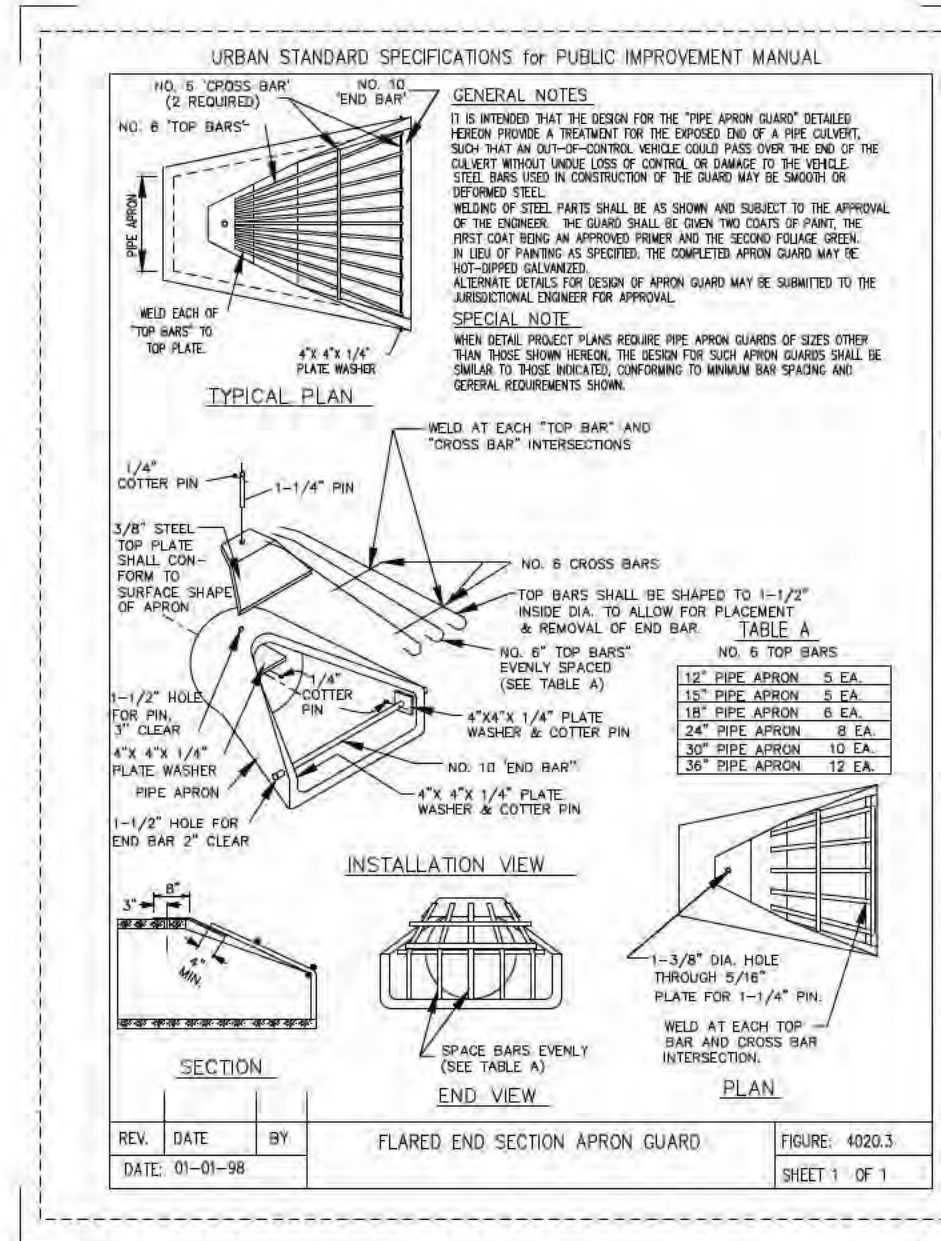
1. ALL UTILITY TRENCHES BENEATH PROPOSED OR EXISTING UTILITIES, PROPOSED OR EXISTING PAVEMENT, DRIVEWAYS, SIDEWALKS AND FOR A DISTANCE OF TWO FEET ON EITHER SIDE OF SAME, AND/OR WHEREVER ELSE SHOWN ON THE CONSTRUCTION PLANS SHALL BE BACKFILLED WITH SELECT GRANULAR BACKFILL (CA-6 OR CA-7) AND THOROUGHLY COMPACTED IN ACCORDANCE WITH THE EARTHWORK SPECIFICATIONS.
2. UNLESS OTHERWISE INDICATED ON THE PLANS, STORM SEWER PIPE SHALL BE REINFORCED CONCRETE CULVERT PIPE OF THE CLASS AS INDICATED ON THE PLANS, AND CONFORMING TO ASTM C-76. JOINTS SHALL TYPICALLY BE A "TROWEL APPLIED" BITUMINOUS JOINT IN ACCORDANCE WITH ASTM C-76 (OR C-14 AS MAY BE APPLICABLE) OR RUBBER "O"-RING GASKET JOINTS CONFORMING TO ASTM C-443. LOCATIONS WHERE THE STORM SEWER CROSSES WATERMAINS AN "O"-RING JOINT IN ACCORDANCE WITH ASTM C-361 SHALL BE USED.
3. STORM SEWER MANHOLES SHALL BE PRECAST STRUCTURES, WITH THE DIAMETER DEPENDENT ON THE PIPE SIZE AND WITH APPROPRIATE FRAME AND LIDS (SEE CONSTRUCTION STANDARDS). LIDS SHALL BE IMPRINTED "STORM SEWER". ALL FLARED END SECTIONS SHALL HAVE A FRAME & GRATE INSTALLED.
4. THESE FRAME AND GRATES FOR STORM STRUCTURES SHALL BE USED UNLESS OTHERWISE INDICATED ON THE PLAN SET. USE NEENAH R-1712 OPEN LID (OR EQUAL) IN PAVEMENT AREAS, USE NEENAH R-1772-B OPEN OR CLOSED LID (OR EQUAL) IN GRASS AREAS, USE NEENAH R-3015 (OR EQUAL) FOR B6.12 CURB AREAS, AND NEENAH R-3509 (OR EQUAL) FOR DEPRESSED CURB AREAS.
5. STRUCTURES FOR SANITARY AND STORM SEWERS AND VALVE VAULTS FOR WATER SHALL BE IN ACCORDANCE WITH THESE IMPROVEMENT PLANS AND THE APPLICABLE STANDARD SPECIFICATIONS. WHERE GRANULAR TRENCH BACKFILL IS REQUIRED AROUND THESE STRUCTURES THE COST SHALL BE CONSIDERED AS INCIDENTAL AND SHALL BE INCLUDED IN THE CONTRACT UNIT PRICE FOR THE STRUCTURE.
6. ALL STORM SEWERS AND WATERMAINS SHALL HAVE COMPACTED CA-7 GRANULAR BEDDING, A MINIMUM OF 4" BELOW THE BOTTOM OF THE PIPE FOR THE FULL LENGTH. BEDDING SHALL EXTEND TO THE SPRING LINE OF THE PIPE. COST FOR THE BEDDING SHALL BE INCLUDED WITH THE UNIT PRICE BID FOR THE PIPE.
7. THE UNDERGROUND CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING ANY EXCAVATION FOR THE INSTALLATION OF THE SEWER OR WATER SYSTEMS. ANY Dewatering encountered shall be incidental to the RESPECTIVE UNDERGROUND UTILITY.
8. ALL STRUCTURES SHALL HAVE A MAXIMUM OF 8" OF ADJUSTING RINGS, UNLESS OTHERWISE NOTED.
9. ALL TOP FRAMES FOR STORM AND VALVE VAULT COVERS AND B-BOXES ARE TO BE ADJUSTED TO MEET FINAL FINISH GRADE UPON COMPLETION OF FINISHED GRADING AND FINAL INSPECTIONS. THIS ADJUSTMENT IS TO BE MADE BY THE UNDERGROUND CONTRACTOR AT HIS OWN RISK AND EXPENSE. THE UNDERGROUND CONTRACTOR SHALL INSURE THAT ALL ROAD AND PAVEMENT INLETS OR STRUCTURES ARE AT FINISHED GRADE. ANY ADJUSTMENTS NECESSITATED BY THE CURB OR PAVING CONTRACTOR TO ACHIEVE FINAL RIM GRADE, RESULTING IN AN EXTRA FOR SAID ADJUSTMENTS, WILL BE CHARGED TO THE UNDERGROUND CONTRACTOR.
10. ALL FLOOR DRAINS AND FLOOR DRAIN SUMP PUMPS SHALL DISCHARGE INTO THE SANITARY SEWER.
11. ALL DOWNSPOUTS, FOOTING DRAINS AND SUBSURFACE STORM WATERERS SHALL DISCHARGE INTO THE STORM SEWER OR ONTO THE GROUND AND BE DIRECTED TOWARDS A STORM SEWER STRUCTURE.
12. ANY ANTICIPATED COST OF SHEETING SHALL BE REFLECTED IN THE CONTRACT AMOUNTS. NO ADDITIONAL COST WILL BE ALLOWED FOR SHEETING OR BRACING.
13. THE CONTRACTOR SHALL INSTALL A 2"x4"x8" POST ADJACENT TO THE TERMINUS OF THE SANITARY SERVICE, WATERMAIN SERVICE, SANITARY MANHOLES, STORM STRUCTURES, AND WATER VAULTS. THE POST SHALL EXTEND A MINIMUM OF 4 FT. ABOVE THE GROUND. SAID POST SHALL BE PAINTED AS FOLLOWS: SANITARY-GREEN, WATER-BLUE, AND STORM-RED.
14. IT SHALL BE THE RESPONSIBILITY OF THE UNDERGROUND CONTRACTOR TO REMOVE FROM THE SITE ANY AND ALL MATERIALS AND DEBRIS WHICH RESULT FROM HIS CONSTRUCTION OPERATIONS AT NO ADDITIONAL EXPENSE TO THE OWNER.

EARTHWORK

1. ALL EARTHWORK OPERATIONS SHALL BE IN ACCORDANCE WITH SECTION 200 OF THE I.D.O.T. SPECIFICATIONS.
2. THE CONTRACTOR SHALL PROTECT ALL PROPERTY PINS AND SURVEY MONUMENTS AND SHALL RESTORE ANY WHICH ARE DISTURBED BY HIS OPERATIONS AT NO ADDITIONAL COST TO THE CONTRACT.
3. IT IS THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE ALL MATERIAL QUANTITIES AND APPRISE HIMSELF OF ALL SITE CONDITIONS. THE CONTRACT PRICE SUBMITTED BY THE CONTRACTOR SHALL BE CONSIDERED AS LUMP SUM FOR THE COMPLETE PROJECT. NO CLAIMS FOR EXTRA WORK WILL BE RECOGNIZED UNLESS ORDERED IN WRITING BY THE OWNER.
4. PRIOR TO ONSET OF MASS GRADING OPERATIONS THE EARTHWORK CONTRACTOR SHALL FAMILIARIZE HIMSELF WITH THE SOIL EROSION CONTROL SPECIFICATIONS AND WITH THE ESTABLISHMENT OF EROSION CONTROL PROCEDURES AND THE PLACEMENT OF SILT FENCING, ETC. TO PROTECT ADJACENT PROPERTY SHALL OCCUR BEFORE MASS GRADING BEGINS, AND IN ACCORDANCE WITH THE SOIL EROSION CONTROL CONSTRUCTION SCHEDULE.
5. THE GRADING OPERATIONS ARE TO BE CLOSELY SUPERVISED AND INSPECTED, PARTICULARLY DURING THE REMOVAL OF UNSUITABLE MATERIAL AND THE CONSTRUCTION OF EMBANKMENTS OR BUILDING PADS, BY THE SOILS ENGINEER OR HIS REPRESENTATIVE. ALL TESTING, INSPECTION AND SUPERVISION OF SOIL QUALITY, UNSUITABLE REMOVAL AND ITS REPLACEMENT AND OTHER SOILS RELATED OPERATIONS SHALL BE ENTIRELY THE RESPONSIBILITY OF THE SOILS ENGINEER.
6. THE GRADING AND CONSTRUCTION OF THE SITE IMPROVEMENTS SHALL NOT CAUSE PONDING OF STORM WATER. ALL AREAS ADJACENT TO THESE IMPROVEMENTS SHALL BE GRADDED TO ALLOW POSITIVE DRAINAGE.
7. THE PROPOSED GRADING ELEVATIONS SHOWN ON THE PLANS ARE FINISH GRADE. A MINIMUM OF SIX INCHES (6") OF TOPSOIL IS TO BE PLACED BEFORE FINISH GRADE ELEVATIONS ARE ACHIEVED.
8. THE SELECTED STRUCTURAL FILL MATERIAL SHALL BE PLACED IN LEVEL UNIFORM LAYERS SO THAT THE COMPACTED THICKNESS IS APPROXIMATELY SIX INCHES (6"). IF COMPACTION EQUIPMENT DEMONSTRATES THE ABILITY TO COMPACT A GREATER THICKNESS, THEN A GREATER THICKNESS MAY BE SPECIFIED. EACH LAYER SHALL BE THOROUGHLY MIXED DURING SPREADING TO INSURE UNIFORMITY.
9. EMBANKMENT MATERIAL WITHIN ROADWAY, PARKING LOT, AND OTHER STRUCTURAL CLAY FILL AREAS SHALL BE COMPACTED TO A MINIMUM OF NINETY-FIVE PERCENT (95%) OF MAXIMUM DENSITY IN ACCORDANCE WITH ASTM SPECIFICATION D-1557 (MODIFIED PROCTOR METHOD), OR TO SUCH OTHER DENSITY AS MAY BE DETERMINED APPROPRIATE BY THE SOILS ENGINEER. EMBANKMENT MATERIAL FOR BUILDING PADS SHALL BE COMPACTED TO A MINIMUM OF NINETY-FIVE (95%) OF MAXIMUM DENSITY IN ACCORDANCE WITH ASTM DESIGNATION D-1557 (MODIFIED PROCTOR METHOD) OR TO SUCH OTHER DENSITY AS MAY BE DETERMINED APPROPRIATE BY THE SOIL ENGINEER.
10. EMBANKMENT MATERIAL (RANDOM FILL) WITHIN NON-STRUCTURAL FILL AREAS SHALL BE COMPACTED TO A MINIMUM OF NINETY PERCENT (90%) OF MAXIMUM DENSITY IN ACCORDANCE WITH ASTM SPECIFICATION D-157 (MODIFIED PROCTOR METHOD).
11. THE SUB GRADE FOR PROPOSED STREET AND PAVEMENT AREAS SHALL BE PROOF-ROLLED BY THE CONTRACTOR AND ANY UNUSABLE AREAS ENCOUNTERED SHALL BE REMOVED AND REPLACED AS DIRECTED BY THE SOILS ENGINEER.
12. SOIL BORING REPORTS, IF AVAILABLE, ARE SOLELY FOR THE INFORMATION AND GUIDANCE OF THE CONTRACTORS. THE OWNER AND ENGINEER MAKE NO REPRESENTATION OR WARRANTY REGARDING THE INFORMATION CONTAINED IN THE BORING LOGS. THE CONTRACTOR SHALL MAKE HIS OWN INVESTIGATIONS AND SHALL PLAN HIS WORK ACCORDINGLY. ARRANGEMENTS TO ENTER THE PROPERTY DURING THE BIDDING PHASE MAY BE MADE UPON REQUEST OF THE OWNER. THERE WILL BE NO ADDITIONAL PAYMENT FOR EXPENSES INCURRED BY THE CONTRACTOR RESULTING FROM ADVERSE SOIL OR GROUND WATER CONDITIONS.
13. IT SHALL BE THE RESPONSIBILITY OF THE EXCAVATION CONTRACTOR TO REMOVE FROM THE SITE ANY AND ALL MATERIALS AND DEBRIS WHICH RESULT FROM HIS CONSTRUCTION OPERATIONS AT NO ADDITIONAL EXPENSE TO THE OWNER.

PAVING & WALKS

1. WORK UNDER THIS SECTION SHALL INCLUDE FINAL SUBGRADE SHAPING AND PREPARATION; FORMING, JOINTING, PLACEMENT OF ROADWAY AND PAVEMENT BASE COURSE MATERIALS AND SUBSEQUENT BINDER AND/OR SURFACE COURSES; PLACEMENT, FINISHING AND CURING OF CONCRETE; FINAL CLEAN-UP; AND ALL RELATED WORK.
2. ALL PAVING AND SIDEWALK WORK SHALL BE DONE IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS (I.D.O.T.) AND PER LOCAL REGULATIONS.
3. SUBGRADE FOR PROPOSED PAVEMENT SHALL BE FINISHED BY THE EXCAVATION CONTRACTOR TO WITHIN 0.1 FOOT, PLUS OR MINUS, OF THE PLAN ELEVATION. THE PAVING CONTRACTOR SHALL SATISFY HIMSELF THAT THE SUBGRADE HAS BEEN PROPERLY PREPARED AND THAT THE FINISH TOP SUBGRADE ELEVATION HAS BEEN GRADED WITHIN TOLERANCES ALLOWED IN THESE SPECIFICATIONS. UNLESS THE PAVING CONTRACTOR ADVISES THE OWNER AND ENGINEER IN WRITING PRIOR TO FINE GRADING FOR BASE COURSE CONSTRUCTION, IT IS UNDERSTOOD THAT HE HAS APPROVED AND ACCEPTS THE RESPONSIBILITY FOR THE SUBGRADE. PRIOR TO PLACEMENT OF PAVEMENT BASE MATERIALS, THE PAVING CONTRACTOR SHALL FINE GRADE THE SUBGRADE SO AS TO INSURE THE PROPER THICKNESS OF PAVEMENT COURSES. NO CLAIMS FOR EXCESS BASE MATERIALS DUE TO IMPROPER SUBGRADE PREPARATION WILL BE HONORED.
4. THE PROPOSED PAVEMENT SHALL CONSIST OF THE SUB-BASE COURSE, BITUMINOUS AGGREGATE BASE COURSE, BITUMINOUS BINDER COURSE, AND BITUMINOUS SURFACE COURSE. OF THE THICKNESS AND MATERIALS AS SPECIFIED ON THE CONSTRUCTION PLANS, PRIME COAT SHALL BE APPLIED TO THE SUB-BASE COURSE AT A RATE OF 0.5 GALLONS PER SQUARE YARD. UNLESS SHOWN AS A BID ITEM, PRIME COAT SHALL BE CONSIDERED AS INCIDENTAL TO THE COST OF THE CONTRACT. ALL PAVEMENT SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE "I.D.O.T." STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, CURRENT EDITION.
5. AFTER THE INSTALLATION OF THE BASE COURSE, ALL TRAFFIC SHALL BE KEPT OFF THE BASE UNTIL THE BINDER COURSE IS LAID. AFTER INSTALLATION OF THE BINDER COURSE AND UPON INSPECTION AND APPROVAL BY GOVERNING AUTHORITY, THE PAVEMENT SHALL BE CLEANED, PRIMED AND THE SURFACE COURSE LAID. ALL DAMAGED AREAS IN THE BINDER, BASE OR CURB AND GUTTER SHALL BE REPAIRED TO THE SATISFACTION OF THE OWNER PRIOR TO LAYING THE SURFACE COURSE. THE PAVING CONTRACTOR SHALL PROVIDE WHATEVER EQUIPMENT AND MANPOWER IS NECESSARY, INCLUDING THE USE OF POWER BROOMS TO PREPARE THE PAVEMENT FOR APPLICATION OF THE SURFACE COURSE. EQUIPMENT AND MANPOWER TO CLEAN PAVEMENT SHALL BE CONSIDERED INCIDENTAL TO THE COST OF THE CONTRACT. PRIME COAT ON THE BINDER COURSE SHALL BE CONSIDERED AS INCIDENTAL TO THE COST OF THE CONTRACT AND SHALL BE APPLIED TO THE BINDER AT A RATE OF 0.5 GALLONS PER SQUARE YARD.
6. CURING AND PROTECTION OF ALL EXPOSED CONCRETE SURFACES SHALL BE IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS.
7. SIDEWALKS SHALL BE OF THE THICKNESS AND DIMENSIONS AS SHOWN IN THE CONSTRUCTION PLANS. ALL SIDEWALK CONCRETE SHALL DEVELOP A MINIMUM OF 3,500-PSI COMPRESSIVE STRENGTH AT 28 DAYS. CONTRACTION JOINTS SHALL BE SET AT 5' CENTERS, AND 3/4" PRE-MOLDED FIBER EXPANSION JOINTS SET AT 50' CENTERS AND WHERE THE SIDEWALK MEETS THE CURB, A BUILDING, OR ANOTHER SIDEWALK, OR AT THE END OF EACH FOUR. ALL SIDEWALKS CONSTRUCTED OVER UTILITY TRENCHES SHALL BE REINFORCED WITH THREE NO. 5 REINFORCING BARS (10' MINIMUM LENGTH). ALL SIDEWALKS CROSSING DRIVEWAYS SHALL BE A MINIMUM OF 6" THICK AND REINFORCED WITH 6X6 #6 WELDED WIRE MESH. ALL SIDEWALKS SHALL BE BROOM FINISHED. IF A MANHOLE FRAME FALLS WITHIN THE LIMITS OF A SIDEWALK, A BOX-OUT SECTION SHALL BE PLACED AROUND THE MANHOLE FRAME WITH A 3/4" EXPANSION JOINT.
8. BACKFILLING ALONG PAVEMENT SHALL BE THE RESPONSIBILITY OF THE EARTHWORK CONTRACTOR.
9. IT SHALL BE THE RESPONSIBILITY OF THE PAVING CONTRACTOR TO REMOVE FROM THE SITE ANY AND ALL MATERIAL AND DEBRIS, WHICH RESULTS FROM HIS CONSTRUCTION OPERATIONS AT NO ADDITIONAL EXPENSE TO THE OWNER.
10. TESTING OF THE SUB-BASE, BASE COURSE, BINDER COURSE, SURFACE COURSE AND CONCRETE WORK SHALL BE REQUIRED IN ACCORDANCE WITH THE "I.D.O.T." STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION" CURRENT EDITION, AND IN ACCORDANCE WITH THE SPECIFIC REQUIREMENTS OF THE GOVERNING MUNICIPALITY. A QUALIFIED TESTING FIRM SHALL BE EMPLOYED BY THE OWNER TO PERFORM THE REQUIRED TESTS.
11. PAINTED PAVEMENT MARKINGS AND SYMBOLS, OF THE TYPE AND COLOR AS NOTED ON THE CONSTRUCTION PLANS, SHALL BE INSTALLED IN ACCORDANCE WITH SECTION 17-502 OF SAME SPECIFICATIONS.
12. PAINTED PAVEMENT MARKINGS AND SYMBOLS SHALL BE INSTALLED ONLY WHEN THE AMBIENT AIR TEMPERATURE IS 40 DEGREES FAHRENHEIT AND THE FORECAST CALL FOR RISING TEMPERATURES.
13. ALL EXISTING CURB AND PAVEMENT SHALL BE PROTECT DURING CONSTRUCTION, ANY DAMAGE TO THE CURB OR PAVEMENT WILL BE REPAIRED OR REPLACED AT NO ADDITIONAL COST TO THE OWNER.
14. ANY SIDEWALK THAT IS DAMAGED OR NOT ADA COMPLIANT, INCLUDING SIDEWALK RAMPS, MUST BE REPLACED PRIOR TO FINAL INSPECTION APPROVAL.

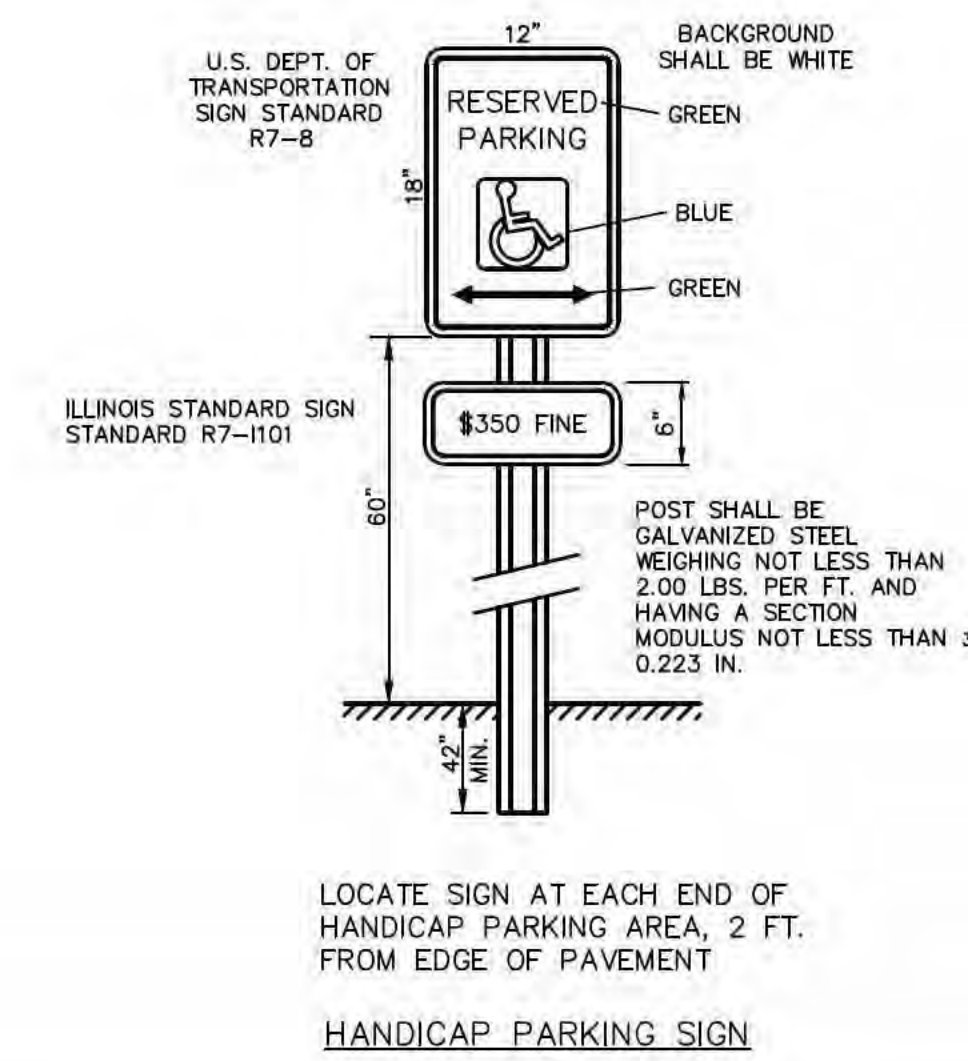


- NOTES:
1. INSTALL TOOL JOINTS EVERY 5' CONCRETE TO BE 6" THICK AT DRIVEWAYS.
 2. ANY SIDEWALK THAT IS DAMAGED OR NOT ADA COMPLIANT, INCLUDING SIDEWALK RAMPS, MUST BE REPLACED PRIOR TO FINAL INSPECTION APPROVAL.

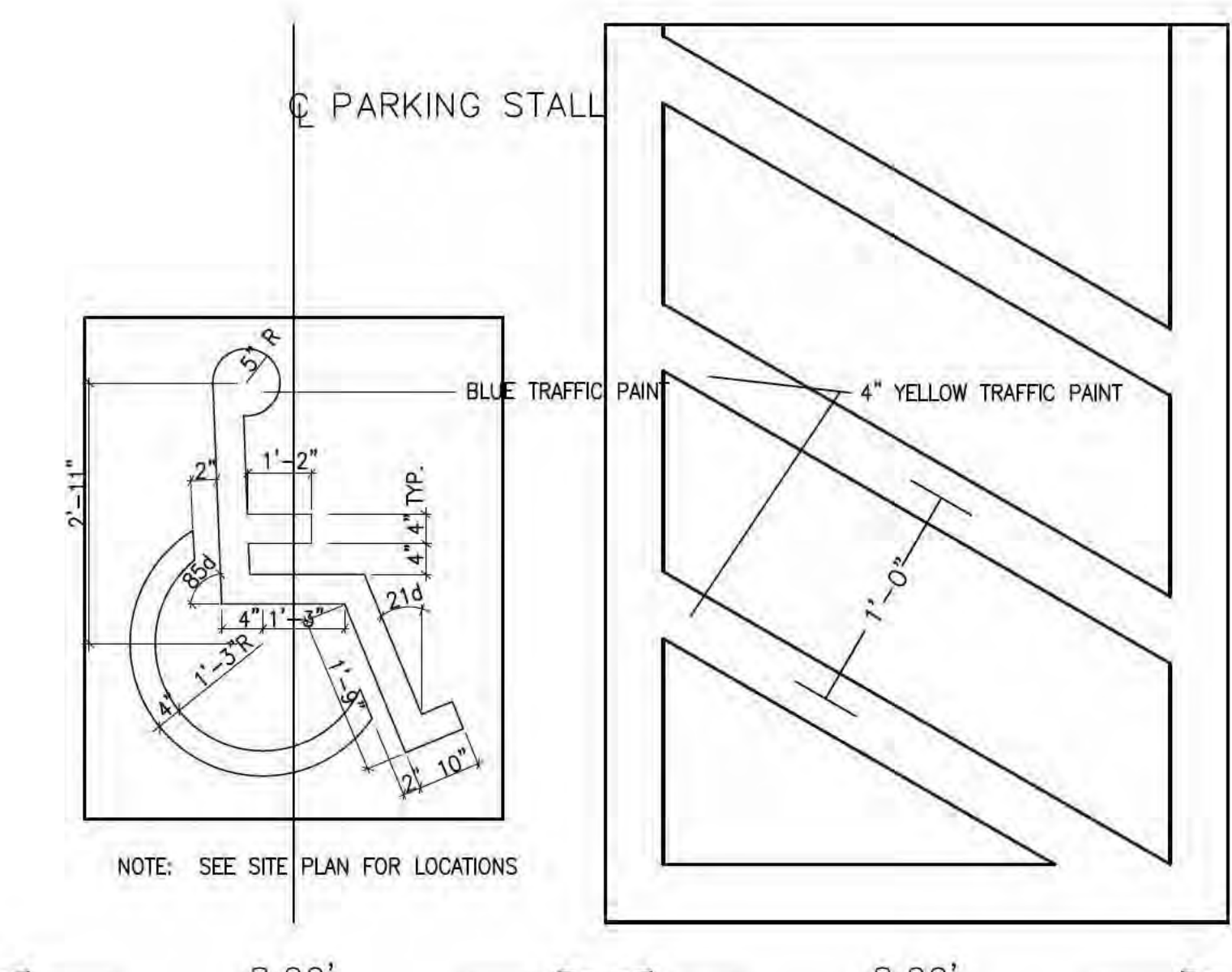
TYPICAL PAVEMENT DETAIL

GRAVEL STORAGE LOT DETAIL

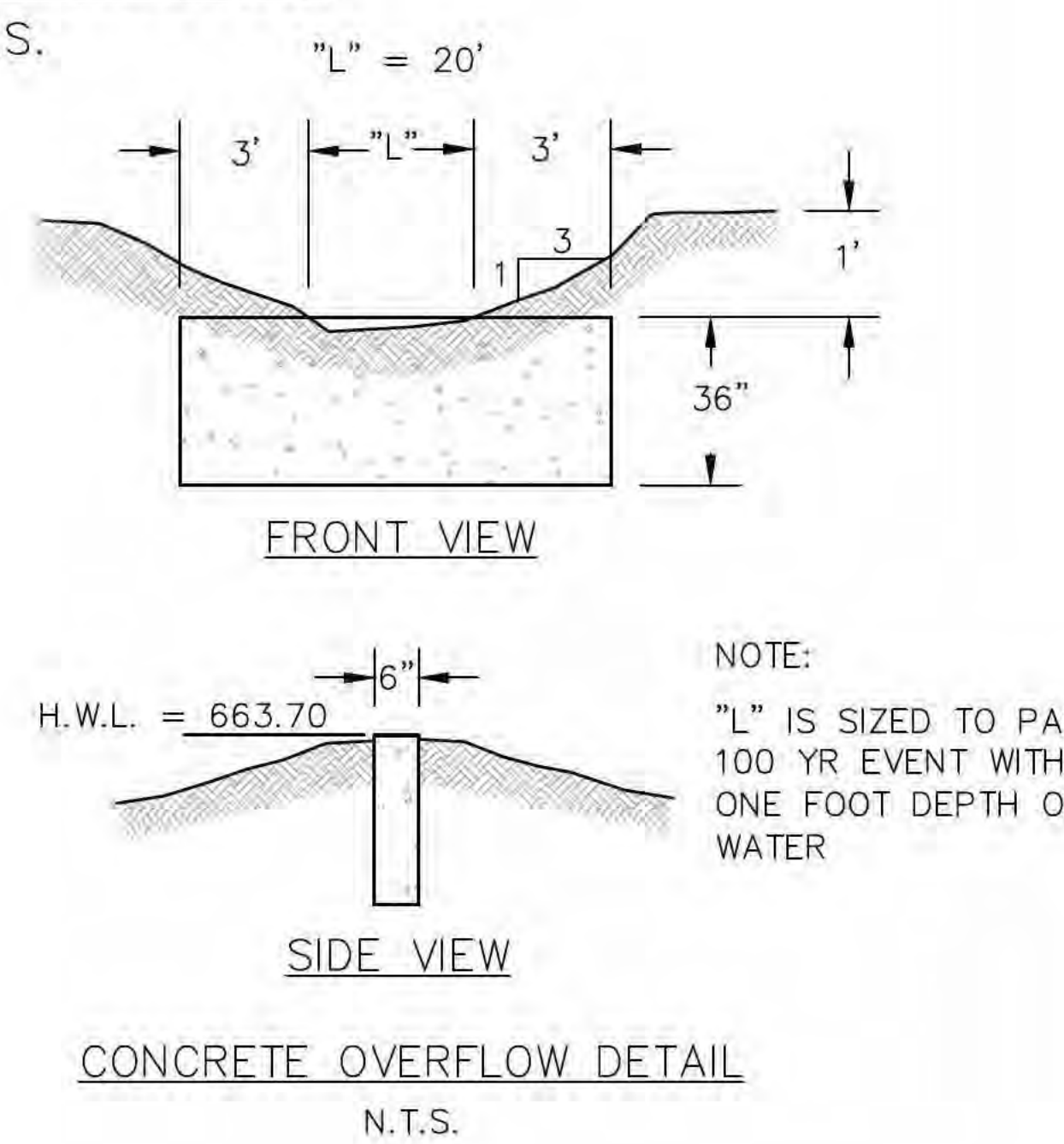
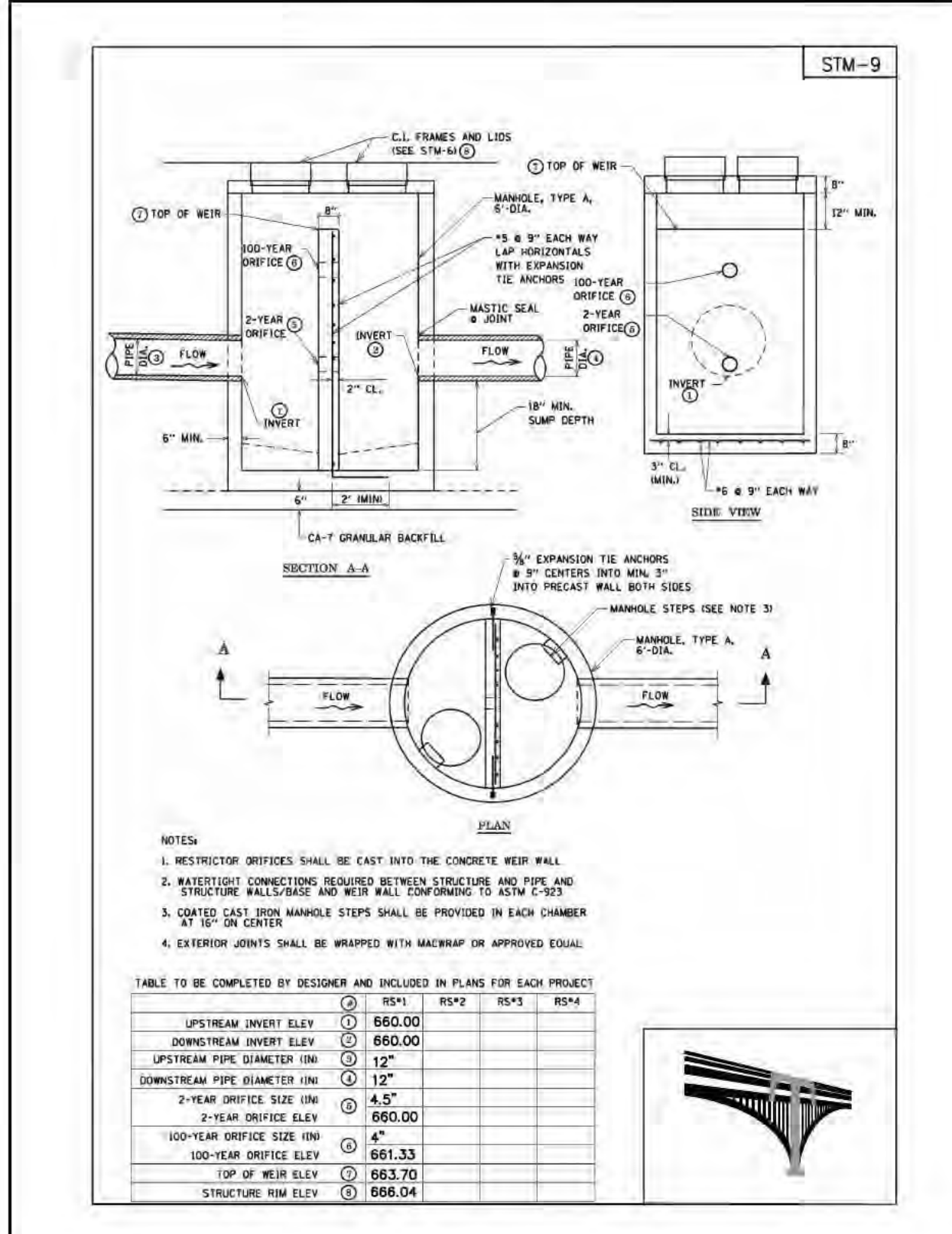
SIDEWALK



HANDICAP PARKING SIGN



HANDICAPPED PARKING DETAIL



CONCRETE OVERFLOW DETAIL

ALL DISTURBED AREAS SHALL BE SEEDED WITH IDOT CLASS 1A SEEDMIX

TEBRUGGE ENGINEERING
410 E. CHURCH STREET - SUITE A • SANDWICH, IL 60548
PHONE: (815) 786-0195 TEBRUGGEENGINEERING.COM

NO.	DATE	NOTES
1	10.8.21	WIK REVIEW LETTER 9.8.21
2	4.14.23	IDOT RIGHT-OF-WAY TAKE JULY 2022 LETTER
3	5.19.23	WIK REVIEW LETTER 5.16.23
4	5.31.23	IDOT REVIEW LETTER 5.23.23

PREPARED FOR:
ALWAYS FAITHFUL PROPERTIES, LLC

SEMPER FI LAND SITE PLAN - 10744 US ROUTE 47 - YORKVILLE

GENERAL NOTES & DETAILS

PROJECT NO.	21 493 01	SHEET NO.	6
SCALE:	NTS		
DATE:	JUNE 30, 2021		OF 7 SHEETS

GENERAL NOTES
 This Standard is used where any vehicles, equipment, workers or their activities will encroach in the area 15' (4.5 m) to 24' (600 mm) from the edge of pavement.
 Calculate L as follows:
 SPEED LIMIT FORMULAS
 English (Metric)
 40 mph (70 km/h) or less: $L = \frac{WS^2}{60}$ $L = \frac{WS^2}{150}$
 45 mph (80 km/h) or greater: $L = (W)(S)$ $L = 0.65(W)(S)$
 W = Width of offset in feet (meters).
 S = Normal posted speed mph (km/h).
 All dimensions are in inches (millimeters) unless otherwise shown.

TYPICAL APPLICATIONS
 Utility operations
 Culvert extensions
 Side slope changes
 Guardrail installation and maintenance
 Delineator installation
 Landscaping operations
 Shoulder repair
 Sign installation and maintenance

SYMBOLS
 Work area
 Sign
 Cone, drum or barricade

DATE	REVISIONS
4-1-16	Corrected typo in title.
1-1-14	Revised workers sign number to agree with current MUTCD.

OFF-ROAD OPERATIONS, MULTILANE, 15' (4.5 m) TO 24' (600 mm) FROM PAVEMENT EDGE
STANDARD 701101-05

GENERAL NOTES
 All heights shown shall be measured above the pavement surface.
 All dimensions are in inches (millimeters) unless otherwise shown.

DATE	REVISIONS
1-1-18	Revised END WORK ZONE SPEED LIMIT sign from orange to white background.
1-1-17	Changed FLEXIBLE DELINEATOR to TUBULAR MARKER.

TRAFFIC CONTROL DEVICES
STANDARD 701901-07
 (Sheet 1 of 3)

WORK LIMIT SIGNING
 This signing is required for all projects 2 miles (3200 m) or more in length.
 ROAD CONSTRUCTION NEXT X MILES sign shall be placed 500' (150 m) in advance of project limits.
 END CONSTRUCTION sign shall be erected at the end of the job unless another job is within 2 miles (3200 m).
 Dual sign displays shall be utilized on multi-lane highways.

TRAFFIC CONTROL DEVICES
 This sign shall be used when the above sign assembly is used.

FLAGGER TRAFFIC CONTROL SIGN
STANDARD 701901-07
 (Sheet 2 of 3)

SECTION A-A
 IF EXIST, SHD. IS REMOVED THE PROP. ENTRANCE THICKNESS SHALL NOT BE LESS THAN THE EXIST. SHD. THICKNESS

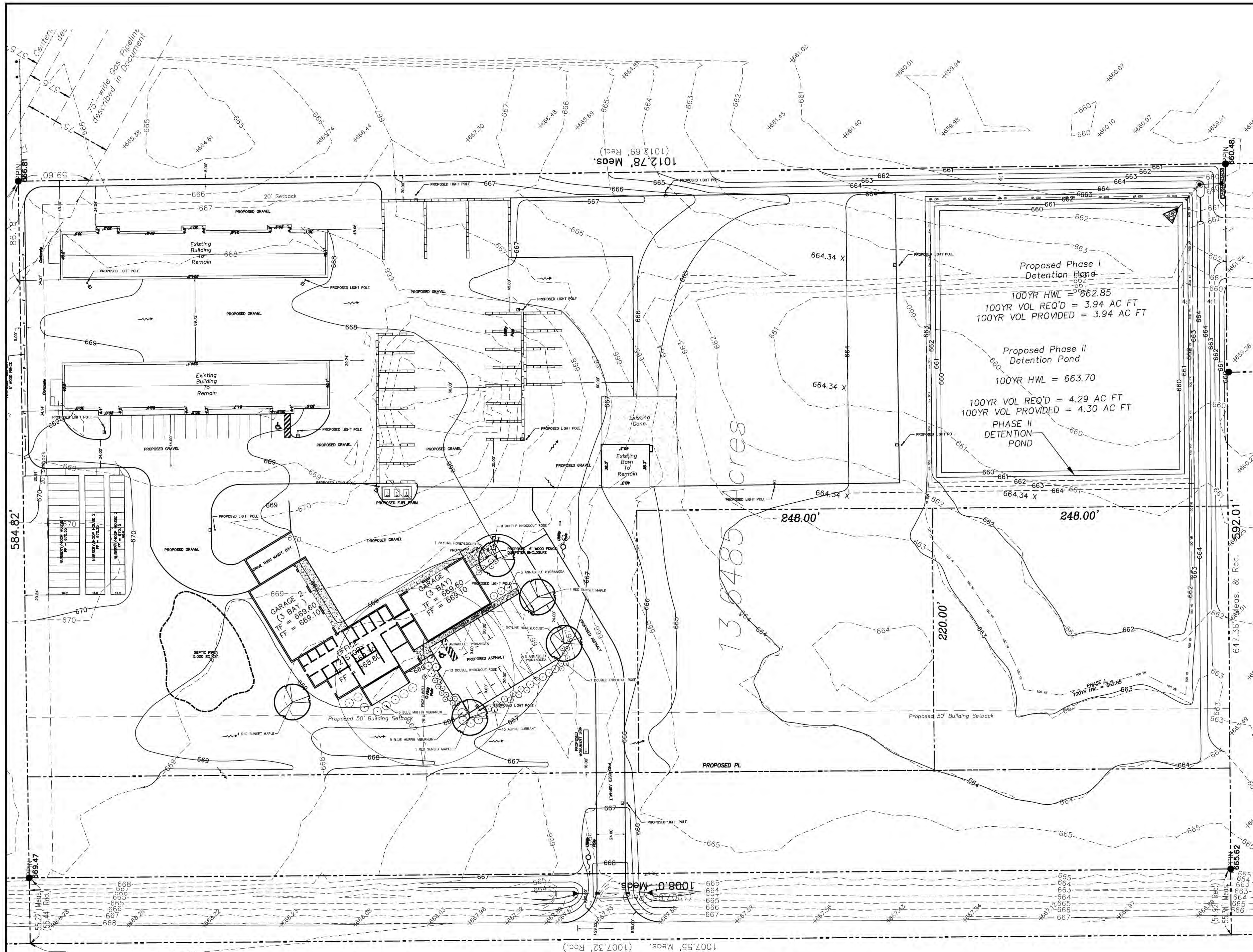
SECTION B-B

TYPICAL COMMERCIAL - RURAL

NOTES:
 1.1 MINIMUM ENTRANCE CULVERT SIZE IS 15" AND END SECTIONS ARE REQUIRED.
 2.1 SIZE ALL CULVERTS APPROPRIATELY FOR THE DRAINAGE AREA IN ACCORDANCE WITH IDOT DRAINAGE MANUAL.
 3.1 SUBMIT DRAINAGE DESIGN CALCULATIONS FOR ALL PROPOSED STORM SEWER, INLETS, ETC. LOCATED ON STATE ROW.
 4.1 SUBMIT DRAINAGE CALCULATIONS IF CONNECTING TO ANY DEPARTMENT STORM SEWER, DITCH, ETC.

STATE OF ILLINOIS DEPARTMENT OF TRANSPORTATION
DISTRICT 3 ACCESS POLICY COMMERCIAL RURAL

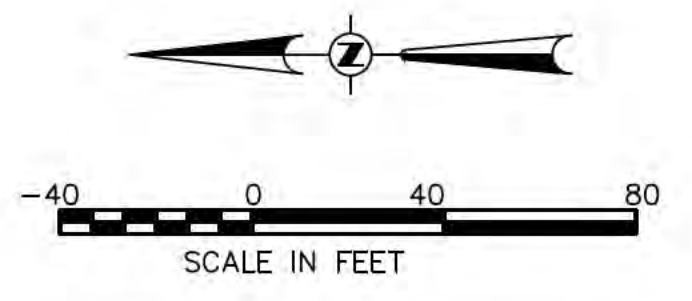
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PROPOSED LANDSCAPING MATERIAL

DESCRIPTION:	UNIT OF MEASURE	QTY
DECIDUOUS TREES		
RED SUNSET MAPLE	ACER REBRUM	2 1/2" 3
SKYLINE HONEYLOCUST	GLEDITSIA TRIACANTHOS	2 1/2" 2
DECIDUOUS SHRUBS		
ANNABELLE HYDRANGEA	HYDRANGEA ARBORESCENS	24" 9
DOUBLE KNOCKOUT ROSE	ROSA RADTKO	24" 29
BLUE MUFFIN VIBURNUM	VBURNUM DE DENTATUM	24" 13
ALPINE CURRANT	RIBES ALPINUM	24" 10
POND SEEDING		
DRY MESIC PRAIRIE MIX	2.0 AC +/-	

ILLINOIS STATE ROUTE 47



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NO.	DATE	NOTES
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PREPARED FOR:
ALWAYS FAITHFUL PROPERTIES, LLC

SEMPER FI LAND SITE PLAN - 10744 US ROUTE 47 - YORKVILLE
LANDSCAPE PLAN

PROJECT NO. 21 493 01
 SCALE: 1" = 40'
 DATE: JUNE 30, 2021
 SHEET NO. 1
 OF 2 SHEETS

LANDSCAPE NOTES

PART 1 - GENERAL

1.01 DESCRIPTION

- A. PROVIDE TURF, TREES, SHRUBS, AND GROUND COVER AS SHOWN AND SPECIFIED. THE WORK INCLUDES:
1. SOIL PREPARATION
 2. FERTILIZATION
 3. SEEDING
 4. TREES, SHRUBS, AND GROUNDCOVERS
 5. MULCH AND PLANT ACCESSORIES
 6. MAINTENANCE AND GUARANTEE
 7. CLEANING UP WORK AREAS

1.02 QUALITY ASSURANCE

- A. COMPLY WITH APPLICABLE LOCAL REGULATIONS.
 B. SOD: COMPLY WITH AMERICAN SOD PRODUCERS ASSOCIATION (ASPA) CLASSES OF SOD MATERIAL.
 C. PLANT NAMES INDICATED COMPLY WITH "STANDARD PLANT NAMES" AS ADOPTED BY THE LATEST EDITION OF THE AMERICAN JOINT COMMITTEE OF HORTICULTURAL NOMENCLATURE, NAMES OF VARIETIES NOT LISTED CONFORM GENERALLY WITH NAMES ACCEPTED BY THE NURSERY TRADE. PROVIDE STOCK TRUE TO BOTANICAL NAME AND LEGALLY TAGGED.
 D. COMPLY WITH SIZING AND GRADING STANDARDS OF THE LATEST EDITION OF "AMERICAN STANDARD FOR NURSERY STOCK". A PLANT SHALL BE DIMENSIONED AS IT STANDS IN ITS NATURAL POSITION.
 E. ALL PLANTS SHALL BE NURSERY GROWN UNDER CLIMATIC CONDITIONS SIMILAR TO THOSE IN THE LOCALITY OF THE PROJECT FOR A MINIMUM OF 2 YEARS.

1.03 SUBMITTALS

- A. SEED: SUBMIT SEED VENDOR'S CERTIFICATION FOR REQUIRED GRASS SEED MIXTURE, INDICATING PERCENTAGE BY WEIGHT, AND PERCENTAGES OF PURITY, GERMINATION, AND WEED SEED FOR EACH GRASS SPECIES.
 B. SOD: SUBMIT SOD GROWER'S CERTIFICATION OF GRASS SPECIES. IDENTIFY SOURCE.
 C. MULCH
 D. STRAW BLANKET

1.04 DELIVERY, STORAGE, AND HANDLING

- A. SEED: DELIVER SEED AND FERTILIZER MATERIALS IN ORIGINAL UNOPENED CONTAINERS, SHOWING WEIGHT, ANALYSIS, AND NAME OF MANUFACTURER. STORE IN MANNER TO PREVENT WETTING AND DETERIORATION.
 B. SOD: DELIVER AND INSTALL SOD CUT WITHIN 48-HOUR PERIOD.
 C. DELIVER FERTILIZER MATERIALS IN ORIGINAL, UNOPENED, AND UNDAMAGED CONTAINERS SHOWING WEIGHT, ANALYSIS, AND NAME OF MANUFACTURER. STORE IN MANNER TO PREVENT WETTING AND DETERIORATION.
 D. TAKE ALL PRECAUTIONS CUSTOMARY IN GOOD TRADE PRACTICE IN PREPARING PLANTS FOR MOVING. WORKMANSHIP THAT FALLS TO MEET THE HIGHEST STANDARDS WILL BE REJECTED. DIG, PACK, TRANSPORT, AND HANDLE PLANTS WITH CARE TO ENSURE PROTECTION AGAINST INJURY. INSPECTION CERTIFICATES REQUIRED BY LAW SHALL ACCOMPANY EACH SHIPMENT INVOICE OR ORDER TO STOCK AND ON ARRIVAL: THE CERTIFICATE SHALL BE FILLED WITH THE LANDSCAPE ARCHITECT. PROTECT ALL PLANTS FROM DYING OUT. IF PLANTS CANNOT BE PLANTED IMMEDIATELY UPON DELIVERY, PROPERLY PROTECT THEM WITH SOIL, OR MULCH. WATER HEEL-ED-IN PLANTINGS REGULARLY.
 E. COVER PLANTS TRANSPORTED ON OPEN VEHICLES WITH A PROTECTIVE COVERING TO PREVENT WINDBURN, WHEN IN LEAF.

1.05 PROJECT CONDITIONS

- A. CONFIRM THAT THE QUALITY AND DEPTH OF TOPSOIL IS SATISFACTORY PRIOR TO BEGINNING FINE GRADING.
 B. FINE GRADING MUST BE APPROVED BY OWNER PRIOR TO START OF SEEDING OR SODDING.
 C. PERFORM GRASSING WORK ONLY AFTER PLANTING AND OTHER WORK AFFECTING GROUND SURFACE HAS BEEN COMPLETED.
 D. INSTALL SEED UNDER FAVORABLE WEATHER CONDITIONS UNLESS APPROVED BY THE OWNER'S REPRESENTATIVE. THE GENERALLY ACCEPTED TIMES FOR SEEDING ARE:

SPRING - APRIL 1ST TO MAY 31ST
 FALL - AUGUST 15TH TO SEPTEMBER 30TH

1.06 GUARANTEE

- A. GUARANTEE ALL WORK FOR ONE YEAR FOLLOWING THE DATE OF INSTALLATION.
 B. AT THE END OF THE GUARANTEE PERIOD, RESEED AND RESED AREAS WITH SPECIFIED MATERIALS, WHICH FAIL TO PROVIDE A UNIFORM STAND OF GRASS.
 C. REPLACE, IN ACCORDANCE WITH THE DRAWINGS AND SPECIFICATIONS, ALL PLANTS THAT ARE DEAD OR, AS DETERMINED BY THE LANDSCAPE ARCHITECT, ARE IN AN UNHEALTHY OR UNSIGHTLY CONDITION.
 D. GUARANTEE SHALL NOT INCLUDE DAMAGE OR LOSS OF TREES, PLANTS, GROUNDCOVERS, OR TURF CAUSED BY FIRES, FLOODS, FREEZING RAINS, LIGHTNING STORMS, OR WINDS OVER 75 MILES PER HOUR, WINTER KILL CAUSED BY EXTREME COLD AND SEVERE WINTER CONDITIONS NOT TYPICAL OF PLANTING AREA; OR ACT OF VANDALISM.

PART 2 - PRODUCTS

2.01 MATERIALS

- A. SEED/SOD FERTILIZER:
 1. GRANULAR, 10-10-10. ALL PURPOSE AT A RATE OF 1LBS N-P-K PER 1,000 S.F.
 B. PLANT FERTILIZER:
 1. PROVIDE A GRANULAR COMMERCIAL FERTILIZER WITH AN ANALYSIS OF 10-10-10.
 C. SEED:
 1. LAWN SEED: FRESH, CLEAN SEED FROM MOST RECENTLY HARVESTED CROP WHICH COMPLIES WITH ALL LOCAL, STATE, AND FEDERAL SEED AND WEED LAWS IS FREE FROM POA ANNUAL, BENT GRASS AND NOXIOUS WEEDS.
 2. BLEND: PERCENT BY WEIGHT:
 FIELD OF DREAMS RESEEDER MIX, (AS AVAILABLE FROM NATURAL SEED, DOWNERS GROVE, IL)
 2 - NAMED KENTUCKY BLUE GRASSES 50%
 2 - NAMED TURF TYPE PERENNIAL GRASSES 50%
 3. BOTTOM OF STORM WATER MANAGEMENT BASINS TO BE OVER SEEDED WITH RED TOP SEED AT A RATE OF 50 LBS PER ACRE.
 D. PLANTS: PROVIDE PLANTS TYPICAL OF THEIR SPECIES OR VARIETY WITH NORMAL, DENSELY DEVELOPED BRANCHES AND VIGOROUS, FIBROUS ROOT SYSTEMS; PROVIDE ONLY SOUND, HEALTHY PLANTS FREE FROM DEFECTS, SUN SCALD INJURIES, FROST CRACKS, ABRASIONS OF THE BARK, PLANT DISEASE, INSECT EGGS, BORERS, AND ALL FORMS OF INFESTATION. ALL PLANTS SHALL HAVE A FULL DEVELOPMENT FORM.
 1. DIG BALLED AND BURLAPPED PLANTS WITH FIRM, NATURAL BALLS OR EARTH. PROVIDE BALL SIZES COMPLYING WITH THE LATEST EDITION OF THE "AMERICAN STANDARD FOR NURSERY STOCK".
 2. PROVIDE SHADE AND EVERGREEN TREE SPECIES WITH A SINGLE MAIN TRUNK UNLESS OTHERWISE SPECIFIED OR ACCEPTED.
 3. PROVIDE PLANTS MATCHED IN FORM WHEN ARRANGED IN GROUPS.
 4. PROVIDE EVERGREEN TREES BRANCHED TO THE GROUND UNLESS OTHERWISE SPECIFIED OR ACCEPTED.
 5. PROVIDE SHRUBS AND SMALL PLANTS MEETING THE REQUIREMENTS FOR SPREAD AND HEIGHT INDICATED IN THE PLANT LIST.
 5.a. THE MEASUREMENTS FOR HEIGHT SHALL BE TAKEN FROM THE GROUND LEVEL TO THE AVERAGE HEIGHT OF THE TOP OF THE PLANT AND NOT THE LONGEST BRANCH.

PART 3 - EXECUTION

3.01 INSPECTION

- A. EXAMINE FINISH SURFACE GRADES, TOPSOIL QUALITY, DEPTH, AND CONDITIONS OF INSTALLATIONS.

3.02 PREPARATION

- A. LOOSEN TOPSOIL OF LAWN AREAS TO MINIMUM DEPTH OF 2". REMOVE STONES OVER 1" IN ANY DIMENSION AND STICKS, ROOTS, RUBBISH, AND EXTRANEOUS MATTER.
 B. GRADE LAWN AREAS TO SMOOTH, FREE DRAINING AND EVEN SURFACE WITH A LOOSE, UNIFORMLY FINE TEXTURE. MECHANICALLY OR MANUALLY RAKE; REMOVE RIDGES AND FILL DEPRESSIONS AS REQUIRED TO DRAIN.
 C. RESTORE PREPARED AREAS TO SPECIFIED CONDITION IF ERODED, SETTLED, OR OTHERWISE DISTURBED AFTER FINE GRADING AND PRIOR TO SEEDING OR SODDING.
 D. TIME OF PLANTING:
 1. EVERGREEN MATERIAL: PLANT EVERGREEN MATERIALS BETWEEN SEPTEMBER 2ND AND NOVEMBER 1ST OR IN SPRING BEFORE NEW GROWTH BEGINS.
 2. DECIDUOUS MATERIAL: PLANT DECIDUOUS MATERIALS IN A DORMANT CONDITION OR PRE-DIG AND HEAL UNTIL SITE IS READY.
 E. LOCATE PLANTS AS INDICATED AND APPROVED IN THE FIELD BY THE LANDSCAPE ARCHITECT.
 F. ROTOTILL ALL GROUND COVER BEDS.
 G. PROVIDE SHRUB PITS AT LEAST 8" GREATER THAN THE DIAMETER OF THE ROOT SYSTEM AND 12" GREATER FOR TREES.

3.03 SEED INSTALLATION

- A. TURF AREAS:
 1. SEED IMMEDIATELY AFTER PREPARATION OF BED.
 2. PERFORM SEEDING OPERATIONS WHEN THE SOIL IS DRY AND WHEN WINDS DO NOT EXCEED 20 MILES PER HOUR VELOCITY.
 3. SOW SEED AT 300 LBS. PER ACRE.
 3.a. CONVENTIONAL SEEDING:
 3.a.1. APPLY SEED WITH A ROTARY OR DROP TYPE DISTRIBUTOR. SEED EVENLY.
 3.a.2. AFTER SEEDING, RAKE SOIL SURFACE LIGHTLY TO INCORPORATE SEED.
 4. WITHIN 24 HOURS, PLACE STRAW BLANKET OVER ALL SEEDED AREAS. PLACE BLANKET PERPENDICULAR TO CONTOUR LINES AND FASTEN IN PLACE PER MANUFACTURER'S RECOMMENDATIONS.

3.04 PLANT INSTALLATION

- A. TREES AND SHRUBS:
 1. SET PLANT MATERIAL IN THE PLANTING PIT TO PROPER GRADE AND ALIGNMENT. DO NOT FILL AROUND TRUNKS OR STEMS.
 2. AFTER BALLED OR BURLAPPED PLANTS ARE SET, FILL ALL VOIDS.
 3. MIX APPROVED COMMERCIAL FERTILIZER AT 10 LBS. PER CUBIC YARD OF BACKFILL.
 B. GROUNDCOVERS:
 1. WHERE GROUNDCOVERS ARE SPECIFIED ON THE PLANS, ROTOTILL ENTIRE PLANT BED TO 6" DEPTH USING AMENDED TOPSOIL. INCORPORATE COMMERCIAL 10-10-10 FERTILIZER INTO PREPARED SOIL MIXTURE AT AN APPROPRIATE RATE OF 1 LB. PER SQUARE YARD.
 C. MULCHING:
 1. MULCH TREE AND SHRUB PLANTING PITS AND SHRUB BEDS WITH REQUIRED MULCHING MATERIAL 3" DEEP IMMEDIATELY AFTER PLANTING. THOROUGHLY WATER MULCHED AREAS. AFTER WATERING, RAKE MULCH TO PROVIDE A UNIFORM FINISHED SURFACE.
 D. WRAPPING:
 1. INSPECT TREES FOR INJURY TO TRUNKS, EVIDENCE OF INSECT INFESTATIONS, AND IMPROPER PRUNING BEFORE WRAPPING.
 2. WRAP TRUNKS OF ALL TREES SPIRALLY FROM BOTTOM TO TOP WITH SPECIFIED TREE WRAP AND SECURE IN PLACE. WRAPPING IS AT THE DISCRETION OF THE CONTRACTOR.

E. PRUNING:

1. PRUNE BRANCHES OF DECIDUOUS STOCK, AFTER PLANTING, TO PRESERVE THE NATURAL CHARACTER APPROPRIATE TO THE PARTICULAR PLANT REQUIREMENTS. IN GENERAL, REMOVE APPROXIMATELY 1/4 OF THE LEAF BEARING BUDS. REMOVE OR CUT BACK BROKEN, DAMAGED, AND UNSYMMETRICAL GROWTH OF NEW WOOD.
2. MULTIPLE LEADER PLANTS: PRESERVE THE LEADER WHICH WILL BEST PROMOTE THE SYMMETRY OF THE PLANT. CUT BRANCHES FLUSH WITH THE TRUNK OR MAIN BRANCH, AT DIAMETER OF THE SUPPORTING BRANCH. MAKE CUT ON AN ANGLE.
3. PRUNE EVERGREENS ONLY TO REMOVE BROKEN OR DAMAGED BRANCHES.

3.05 FINAL COMPLETION, INSPECTION, AND ACCEPTANCE

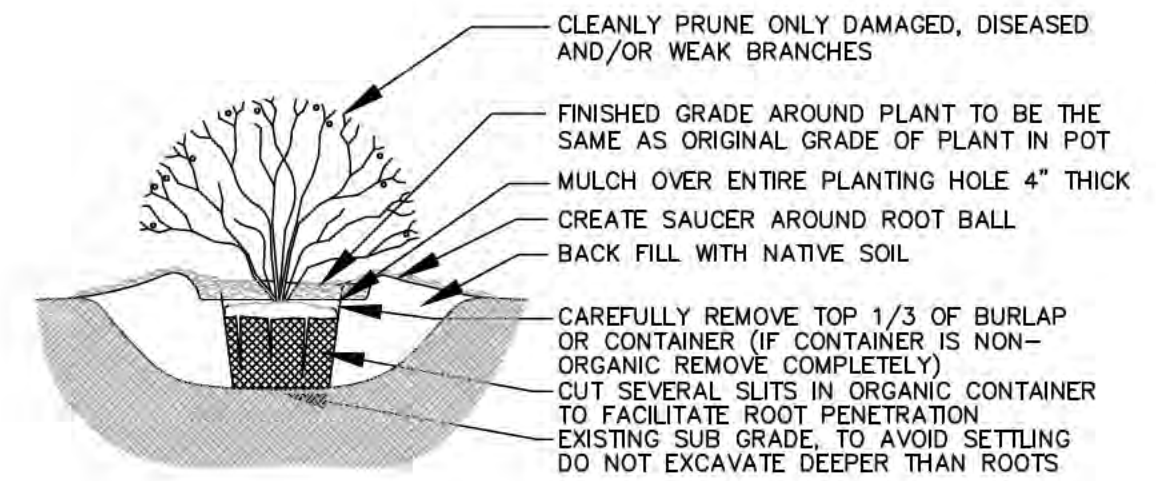
- A. UPON COMPLETION INSPECTION OF ALL WORK WILL BE MADE BY THE OWNER OR HIS REPRESENTATIVE. AT THAT TIME IF ALL WORK IS SATISFACTORY, THAT WILL CONSTITUTE FINAL ACCEPTANCE.
 B. SEEDED AREAS WILL BE INSPECTED AT COMPLETION OF THE INSTALLATION AND ACCEPTED SUBJECT TO COMPLIANCE WITH SPECIFIED MATERIALS AND INSTALLATION REQUIREMENTS.
 1. SEEDED AREAS WILL BE ACCEPTABLE PROVIDED ALL REQUIREMENTS, HAVE BEEN COMPLIED WITH.
 2. NO SEEDED AREAS SHALL HAVE BARE SPOTS OR UNACCEPTABLE COVER TOTALING MORE THAN 2% OF THE INDIVIDUAL AREAS, IN AREAS REQUESTED TO BE INSPECTED.
 C. INSPECTION OF ALL WORK SHALL BE MADE UPON REQUEST OF CONTRACTOR. AT THAT TIME, IF ALL WORK IS SATISFACTORY, THAT WILL CONSTITUTE FINAL ACCEPTANCE.
 D. PLANTS THAT HAVE DIED OR ARE IN UNHEALTHY OR BADLY IMPAIRED CONDITION UPON INSPECTION SHALL BE TREATED OR REPLACED AT NO ADDITIONAL COST TO OWNER.
 E. REPLACE REJECTED PLANTS IN THE SEASON THAT IS MOST FAVORABLE FOR RESETTING KINDS OF PLANTS REQUIRED.

3.06 CLEANING

- A. PERFORM CLEANING DURING INSTALLATION OF THE WORK AND UPON COMPLETION OF THE WORK. REMOVE FROM SITES ALL EXCESS MATERIALS, SOIL, DEBRIS, AND EQUIPMENT.

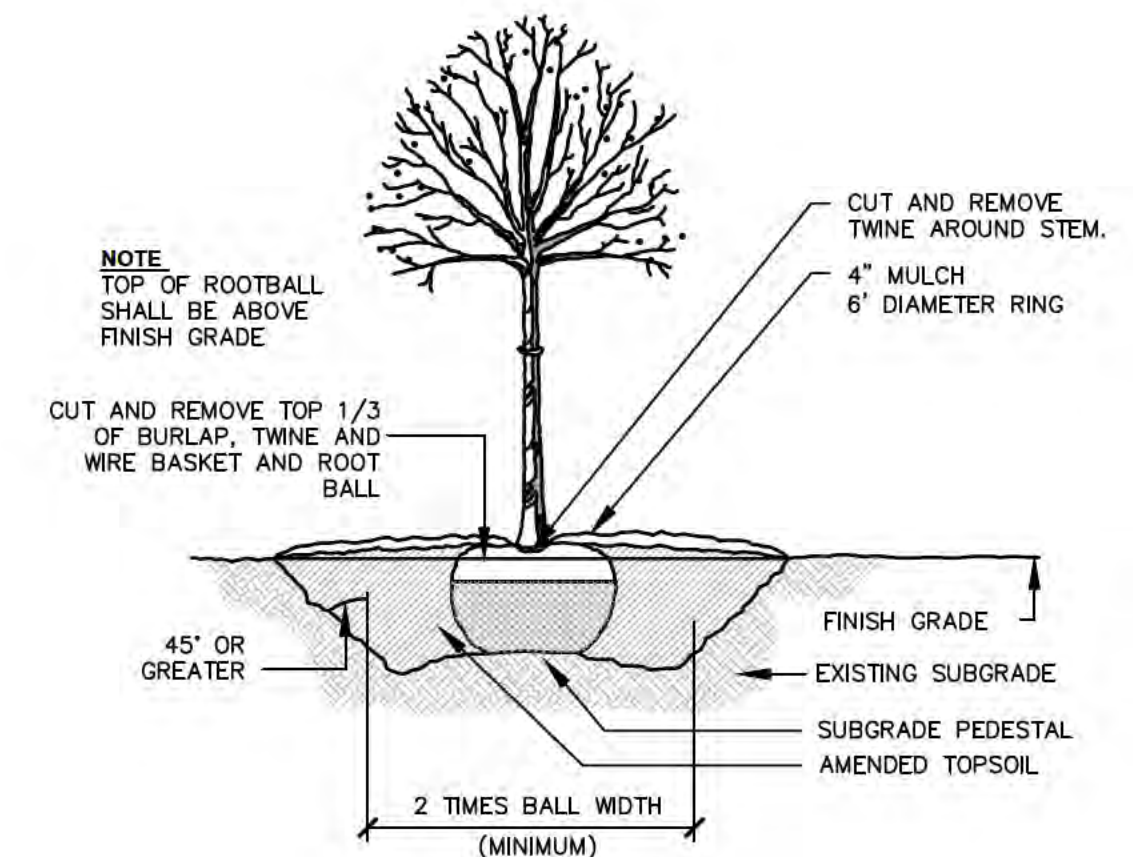
4.01 MISC. NOTES

- A. ALL GRADES TO BE ESTABLISHED TO MEET ENGINEERING DRAWINGS BY OTHERS.
 B. BASIN BOTTOMS SEED, BLOW WITH STRAW MULCH AND CRIMP STRAW IN PLACE, AS NOTED ON PLANS.
 C. SEED AND INSTALL STRAW BLANKET ALL OTHER TURF AREAS.
 D. ALL DISTURBED AREAS THAT ARE NOT MULCHED SHALL BE SEED.



- NOTES:**
1. WATER THOROUGHLY AFTER INSTALLATION.
 2. USE EXISTING SOIL AS BACK FILL. IF DIRECTED BY OWNER, AMEND WITH 1/3 COMPOST.
 3. ALL SHRUBS TO BE MULCH OVER ENTIRE PLANTING HOLE

SHRUB DETAIL - CONTAINER OR B&B



TREE DETAIL N.T.S.

DETENTION POND SHALL HAVE 6" OF PULVERIZED TOPSOIL AND INSTALL DRY MESIC PRAIRIE MIX & EROSION CONTROL BLANKET UP TO THE HIGH WATER LINE

ALL DISTURBED AREAS THAT ARE NOT BEING MULCHED SHALL RECEIVE A MINIMUM OF 6" OF PULVERIZED TOP SOIL & BE SEED

NATIVE ECOSYSTEMS	
MESIC TO DRY PRAIRIE WITH FLOWERS MIXTURE	
Temporary Cover	lbs./acre
<i>Avena sativa</i> (seed mix)	22.0
<i>Lolium multiflorum</i> (annual ryegrass)	10.0
Permanent Grasses	
<i>Andropogon gerardii</i> (big bluestem)	1.5
<i>Andropogon scoparius</i> (bald bluestem)	3.0
<i>Bouteloua curtipendula</i> (bald top grass)	2.0
<i>Bouteloua curtipendula</i> (purple top grass)	0.125
<i>Stachytaraxa nutans</i> (blue panicum)	1.25
<i>Sporobolus heterolepis</i> (prairie dropseed)	0.125
Deciduous Trees	
<i>Aster spicatus</i> (leaf plant)	0.125
<i>Aster novae-angliae</i> (new england aster)	0.063
<i>Aster multiflorus</i> (poly-flower aster)	0.063
<i>Aster spicatus</i> (purple aster)	0.063
<i>Eupatorium rugosum</i> (white milk thistle)	0.063
<i>Carex lasiocarpa</i> (prairie sedge)	0.063
<i>Carex crinita</i> (fringed sedge)	0.063
<i>Carex americana</i> (yellow sedge)	0.063
<i>Chamaecrista fasciculata</i> (partridge pea)	0.125
<i>Echinacea purpurea</i> (purple coneflower)	0.6
<i>Eryngium yuccifolium</i> (sandstone mallow)	0.063
<i>Hidropogon radiolatus</i> (red sunflower)	0.125
<i>Lernaeus capitata</i> (woodland sunflower)	0.125
<i>Liatris scariosa</i> (rough blazing star)	0.125
<i>Liatris pycnostachya</i> (spike blazing star)	0.125
<i>Marrubium diffusum</i> (wild bergamot)	0.125
<i>Perforatus angustifolius</i> (wild geranium)	0.125
<i>Prachytaraxa nutans</i> (purple prairie clover)	0.063
<i>Rudbeckia hirta</i> (black-eyed susan)	0.310
<i>Rudbeckia hirta</i> (black-eyed susan)	0.6
<i>Rudbeckia hirta</i> (black-eyed susan)	0.125
<i>Silphium laciniatum</i> (rattlesnake master)	0.188
<i>Silphium laciniatum</i> (rattlesnake master)	0.063
<i>Silphium laciniatum</i> (rattlesnake master)	0.063
<i>Solidago rigida</i> (stiff goldenrod)	0.063
<i>Solidago nemoralis</i> (white goldenrod)	0.063
<i>Veronica stricta</i> (hoary veronica)	0.063
<i>Viola fasciculata</i> (hoopnet)	0.180
<i>Arnica montana</i> (mountain buttercup)	3.0
MIXTURE TOTAL	56.8 lbs.

For Trees no more than three of the same species shall be clustered together. And the goal should be that no Family shall account for more than 30%, no Genus shall account for more than 20%, and no Species shall account for more than 10% of any Planting Material Type.

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NO.	DATE	NOTES
1	10.8.21	WIK REVIEW LETTER 9.8.21
2	4.14.23	IDOT RIGHT-OF-WAY TAKE JULY 2022 LETTER

PREPARED FOR:
ALWAYS FAITHFUL PROPERTIES, LLC

SEMPER FI LAND SITE PLAN - 10744 US ROUTE 47 - YORKVILLE

LANDSCAPE DETAILS

PROJECT NO.	21 493 01	SHEET NO.	2
SCALE:	NTS		
DATE:	JUNE 30, 2021	OF 2 SHEETS	