



KENDALL COUNTY
PLANNING, BUILDING & ZONING COMMITTEE MEETING
111 West Fox Street • Rooms 209 and 210 • Yorkville, IL • 60560
(630) 553-4141 Fax (630) 553-4179

AGENDA

Monday, August 7, 2023 – 6:30 p.m.

CALL TO ORDER:

ROLL CALL: Elizabeth Flowers, Dan Koukol, Ruben Rodriguez (Vice-Chairman), Brooke Shanley, and Seth Wormley (Chairman)

APPROVAL OF AGENDA (VV):

APPROVAL OF MINUTES (VV): Approval of Minutes from July 10, 2023, Meeting (Pages 3-9)

PUBLIC COMMENT:

EXPENDITURE REPORT: Review of Expenditures from Prior Month (Pages 10-14)

PETITION (Roll Call Vote):

1. **Petition 23 – 27 – Laura L. Gay (Pages 15-54)**

Request: Minor Amendment to a Special Use Permit for a Kennel Granted by Ordinance 2019-33 and Amended by Ordinance 2022-09 by Changing the Location of Fencing and Signage

PIN: 03-28-100-018

Location: 3601 and 3587 Plainfield Road, Oswego in Oswego Township

Purpose: Petitioner Wants to Add Fencing and Rotate the Sign; Property is Zoned A-1 with a Special Use Permit

NEW BUSINESS:

1. Approval of Request from Michael Isadore to Renew a Special Use Permit for Swimming Lessons Granted by Ordinance 1982-02 at 15331 Burr Oak Road, Plano (Roll Call Vote) (Pages 55-56)

2. NPDES Survey Results

3. Approval to Change the September 2023 Planning, Building and Zoning Committee Meeting Date and Time (VV)

4. Update on Planning, Building and Zoning Department Staffing

OLD BUSINESS:

1. Discussion of Capital Projects for FY2023-2024 (Roll Call Vote) (Pages 63-66)

a. Replacement of 2008 Ford Pickup Truck

b. Historic Structure Survey

2. Discussion of Host Agreement Between Kendall County and Milroy Farms, LLC Regarding the Composting Facility at 1270 E. Beecher Road (PIN: 02-08-100-006) in Bristol Township; Committee Could Vote to Refer the Proposal to the State's Attorney's Office (Roll Call Vote) (Pages 67-84)

3. Approval of an Intergovernmental Agreement Between Kendall County and Oswego Township for the TransUnion TLOxp Program for a Period of Two Years at a Cost of \$600 Annually Paid by Kendall County to Oswego Township (Roll Call Vote) (Pages 85-93)
4. Approval of an Agreement with Teska Associates, Inc. for Planning Services for a Period of One Year a Cost Not \$175 Per Hour; Committee Could Refer the Matter to the State's Attorney's Office (Roll Call Vote) (Pages 94-100)

REVIEW VIOLATION REPORT (Pages 101-102):

REVIEW PRE-VIOLATION REPORT (Pages 103-110):

UPDATE FROM HISTORIC PRESERVATION COMMISSION:

REVIEW PERMIT REPORT (Pages 111-132):

REVIEW REVENUE REPORT (Page 133):

CORRESPONDENCE:

COMMENTS FROM THE PRESS:

EXECUTIVE SESSION:

ADJOURNMENT (VV):

If special accommodations or arrangements are needed to attend this County meeting, please contact the Administration Office at 630-553-4171, a minimum of 24-hours prior to the meeting time.

KENDALL COUNTY PLANNING, BUILDING & ZONING COMMITTEE

Kendall County Office Building

Rooms 209 and 210

111 W. Fox Street, Yorkville, Illinois

6:30 p.m.

Meeting Minutes of July 10, 2023 – Unofficial until Approved

CALL TO ORDER

The meeting was called to order by Chairman Wormley at 6:31 p.m.

ROLL CALL

Committee Members Present: Dan Koukol, Ruben Rodriguez, and Seth Wormley

Committee Members Absent: Elizabeth Flowers and Brooke Shanley

Also Present: Matt Asselmeier (Director), Brian Holdiman (Code Compliance Official), Rob DeLong, and Jackie Kowalski

APPROVAL OF AGENDA

Member Rodriguez made a motion, seconded by Member Koukol, to approve the agenda as presented. With a voice vote of three (3) ayes, the motion carried.

APPROVAL OF MINUTES

Member Koukol made a motion, seconded by Member Rodriguez, to approve the minutes of the June 12, 2023, meeting. With a voice vote of three (3) ayes, the motion carried.

PUBLIC COMMENT

None

EXPENDITURE REPORT

The Committee reviewed the expenditure report from June 2023.

PETITIONS

None

NEW BUSINESS

Presentation by Brian Holdiman and Rob DeLong Regarding TransUnion TLOxp Program; Committee Could Vote to Ask that the State's Attorney's Office to Prepare an Intergovernmental Agreement with Oswego Township for Cost Sharing for the County's Use of the Program

Mr. Asselmeier noted that the Department must physically serve parties in violation of various ordinances.

Mr. DeLong explained that Oswego Township and the Planning, Building and Zoning Department can no longer obtain information from the Secretary of State through Freedom of Information Act requests. He explained how the system works.

Member Koukol asked what the County's cost would be. Mr. DeLong responded that the cost would be Fifty Dollars (\$50) per month. Oswego Township would pay the remaining Fifty-Five Dollars (\$55) per month.

Member Koukol asked why the Department cannot use the programs used by the Sheriff's

Department. Mr. Holdiman responded that the Department cannot use the Sheriff's Department's programs unless it is part of a criminal investigation.

Member Koukol made motion, seconded by Member Rodriguez, to request that the State's Attorney's Office prepare an Intergovernmental Agreement with Oswego Township for cost sharing for the County's use of the program.

Mr. DeLong only had one (1) trailer that did he could not obtain information.

A demonstration of the program occurred.

There will be separate logins. There is no maximum on the number of searches per month.

The program could be run onsite.

The votes were as follows:

Yeas (3): Koukol, Rodriguez, and Wormley
Nays (0): None
Abstain (0): None
Absent (2): Flowers and Shanley

The motion carried.

The State's Attorney's Office will be contacted.

After the agreement is drafted, the proposal will come back to the Planning, Building and Zoning Committee.

Approval to Extend or Revoke Building Permit 01-2020-146 for a Single-Family Home at 7782 Tanglewood Trails

Mr. Holdiman explained the issue. He noted that the property owner requested a six (6) month extension; he requested a shorter extension.

Member Koukol asked the cost of the permit. Mr. Holdiman responded One Thousand Nine Hundred Dollars (\$1,900).

Mr. Holdiman explained the inspection timeline. The owner was doing most the work. The home is the owner's residence.

The house is mostly sided.

The owner has been cooperative with the Department.

Chairman Wormley asked what the impact would be to revoke the permit. Mr. Holdiman responded that it would make the owner re-apply for the permit.

Member Rodriguez felt a three (3) month extension was appropriate. He was open to an additional extension if the owner was making progress.

Member Koukol made motion, seconded by Member Rodriguez, to extend the building permit at the subject property for three (3) months.

The votes were as follows:

Yeas (3): Koukol, Rodriguez, and Wormley

Nays (0): None

Abstain (0): None

Absent (2): Flowers and Shanley

The motion carried.

Discussion of Capital Projects

Updating the Land Resource Management Plan

Replacement of 2008 Ford Pickup

Historic Structure Survey

Other Projects

Mr. Asselmeier said the Department was working on preparing the initial budget property for the next fiscal year.

Mr. Asselmeier provided the price quote from Teska Associates to update the Land Resource Management Plan. He also provided the quote from the previous historic structure survey.

Mr. Asselmeier discussed replacing the 2008 Ford truck.

Mr. Asselmeier provided the previous quote that Wiss, Janney, Elstner Associates (WJE) provided for the structure survey in unincorporated Kendall and Bristol Townships. The Historic Preservation Commission would like to survey Na-Au-Say and Seward Townships. WJE was working on a price quote to survey Na-Au-Say and Seward Townships. He explained the financing of the structure surveys.

Mr. Asselmeier also requested that the Department explore purchasing a scanner, if the GIS Department planned to relocate the existing scanner.

Chairman Wormley asked where some of the other towns were in updating their plans. Mr. Asselmeier reported that Plainfield and Joliet were working on their plans. Shorewood and Minooka recently finished their plans. Yorkville and Plano were likely to work on their plans in the upcoming years. Chairman Wormley favored waiting until the municipalities completed their updates.

The consensus of the Committee was to wait one (1) year to do update the Land Resource Management Plan. Mr. Asselmeier noted the importance of finishing the project with the 2030 Census numbers in mind.

Member Rodriguez asked when the current Land Resource Management Plan was updated. Mr. Asselmeier said the main update occurred between 1994 and 2004 with minor updates in the following years.

Discussion occurred about obtaining an impounded vehicle. Discussion occurred regarding the type of vehicle needed. Mr. Holdiman drives the 2017 truck. Mr. Holdiman estimated Forty

Thousand to Forty-Five Thousand Dollars (\$40,000-\$45,000). The Department would research a price and type of vehicle. The consensus of the Committee was to have the Department insert the request in the capital budget.

Chairman Wormley requested an updated price quote from WJE and updated information grant availability. The ask would be contingent on grant funding. Discussion occurred regarding the current structure survey and the final objective to survey each township and to prepare a preservation plan.

Discussion occurred regarding the type of scanner and whether or not GIS will move the scanner. The consensus was to have Mr. Asselmeier ask GIS if they planned to move the scanner.

Discussion occurred regarding renovations to the County Office Building.

Chairman Wormley made motion, seconded by Member Koukol, to wait with updating the Land Resource Management Plan until Fiscal Year 2025-2026, research the price and type of vehicle for inclusion in the capital project request, provide the Committee an update on the cost for the structure survey in August, and to have Staff ask GIS if they plan to move the scanner with no request for the capital project unless GIS has plans to move the scanner.

With a voice vote of three (3) ayes, the motion carried.

Approval of an Intergovernmental Agreement between the Village of Millbrook and the County of Kendall to Administer the County's Ordinances for Zoning, Building Code, Subdivision Control, Comprehensive Plan, and Stormwater Management within the Jurisdiction of the Village of Millbrook for a Term of One (1) Year in the Amount of \$1.00 Plus Associated Costs Paid by the Village of Millbrook to the County of Kendall

Chairman Wormley summarized the request.

The agreement between the Village of Millbrook and Kendall County allowing the County to provide Planning, Building and Zoning Department related services expires in August.

No changes from the previous contract are proposed.

During the current agreement period, the County conducted zero (0) investigations in Millbrook and issued two (2) permits with eight (8) inspections.

The Village of Millbrook reviewed the proposal in June and offered no proposed changes.

A copy of the proposed Intergovernmental Agreement was provided.

Chairman Wormley made motion, seconded by Member Koukol, to recommend approval of the agreement.

The votes were as follows:

Yeas (3): Koukol, Rodriguez, and Wormley
Nays (0): None
Abstain (0): None
Absent (2): Flowers and Shanley

The motion carried.

The proposal goes to the County Board on July 18, 2023, on the consent agenda.

Discussion of Host Agreement Between Kendall County and Milroy Farms, LLC Regarding the Composting Facility at 1270 E. Beecher Road (PIN: 02-08-100-006) in Bristol Township; Committee Could Vote to Refer the Proposal to the State's Attorney's Office

Mr. Asselmeier summarized the issue.

On March 19, 2014, the Kendall County Board approved a special use permit and host agreement allowing the operation of composting facility at 1270 E. Beecher Road.

Per both the special use permit and host agreement, the owner of the subject property was required to submit an application for renewal by July 1, 2023. On June 30, 2023, the owner submitted an application for renewal of both documents.

The special use permit application will go through the review process in August 2023.

Staff has several proposed changes to the host agreement; the existing host agreement was provided.

1. In the first paragraph, the agreement will be between Kendall County and Milroy Farms, LLC. Green Organics, Inc. is no longer associated with the property.
2. In the first Whereas, the property will be thirty-nine point eight-seven (39.87) acres instead of fifty-eight (58) acres. The requested special use permit and host agreement only applies to the property outside of the city limits of Yorkville.
3. In the first Whereas, the only PIN# impacted is 02-08-100-006.
4. In the first Whereas, the reference to Bristol Ventures, LLC will be deleted.
5. A Whereas will be added after the fourth (4th) Whereas to incorporate the special use permit ordinance that was approved in 2014.
6. The fifth (5) Whereas will be adjusted to reflect the current application for special use permit.
7. In Article 1.4, the expiration date will be changed to December 1, 2033. The deadline to apply for renewal shall be changed to June 30, 2033.
8. In Article 5.1, the reference to Section 7.01.D.15 of the Kendall County Zoning Ordinance will be deleted and replaced with "the applicable sections of the Kendall County Zoning Ordinance pertaining to composting of landscape waste and food waste."
9. In Article 8.1, the Planning, Building and Zoning Department's Attention will be changed to the Director.
10. In Article 8.1, the "To the Company" information will be changed from Green Organics, Inc. to Milroy Farms, LLC, Attention Jeff Milroy. The address will also be updated.
11. Attachment A will be updated to reflect the correct Legal Description.

12. Attachment B should be updated to reflect a new fee schedule. Staff proposed the fee to be Ninety Cents (\$0.90) upon the effective date of the new special use permit ordinance, Ninety-Five Cents (\$0.95) on December 1, 2026, and One Dollar (\$1.00) on December 1, 2029.

The previous host fee schedules were as follows:

2000-\$0.60

September 1, 2003 - \$0.65

September 1, 2006 - \$0.70

March 19, 2014 - \$0.75

December 1, 2016 - \$0.80

December 1, 2019 - \$0.85

The Kendall County Health Department collects the host fees. Fees for recent years were as follows:

2018 – \$28,583.47

2019 – \$31,429.00

2020 – \$27,138.83

2021 – \$789.21

2022 – \$1.79

If the Committee approves the above changes and/or any additional changes, Staff will prepare a redlined version of the agreement.

Staff requested that the redlined agreement be forwarded to the State's Attorney's Office for review.

Member Koukol asked why the dollar amounts dropped so much. He also wanted to know how much was hauled into the facility, how much was hauled out of the facility, how much composting materials were onsite, and what types of materials were ground at the property.

The consensus of the Committee was to obtain answers to Mr. Koukol's questions before requesting review from the State's Attorney's Office.

The plan is to have the special use permit and final host agreement go the Planning, Building and Zoning Committee and County Board at the same time.

OLD BUSINESS

None

REVIEW VIOLATION REPORT

The Committee reviewed the report.

REVIEW PRE-VIOLATION REPORT

The Committee reviewed the report.

UPDATE FOR HISTORIC PRESERVATION COMMISSION

Mr. Asselmeier reported that the Historic Preservation Commission will have its summer meeting of historic preservation organizations on July 17, 2023, at 6:00 p.m., at the Harris Forest Preserve. Ken Itle will discuss the historic structure survey of unincorporated Kendall and Bristol Townships.

REVIEW PERMIT REPORT

The Committee reviewed the report.

REVIEW REVENUE REPORT

The Committee reviewed the report.

CORRESPONDENCE

Mr. Asselmeier reported that the Corps of Engineers was transferring Kendall County back to the Chicago District from the Rock Island District effective August 1, 2023.

Mr. Holdiman reported that he is working with GIS to create a violation dashboard.

COMMENTS FROM THE PRESS

None

EXECUTIVE SESSION

None

ADJOURNMENT

Chairman Wormley made a motion, seconded by Member Koukol, to adjourn. With a voice vote of three (3) ayes, the motion carried.

Chairman Wormley adjourned the meeting at 7:25 p.m.

Minutes prepared by Matthew H. Asselmeier, AICP, CFM, Director

Kendall County



PBZ 07102023

CLERK: pherber BATCH: 3626

NEW INVOICES

VENDOR REMIT NAME	INVOICE	PO	CHECK RUN	NET AMOUNT	EXCEEDS PO BY	PO BALANCE	CHK/WIRE
PENDING UNPAID INVOICES							
1153	00000 KENDALL CO HIGHW June 2023			071523	179.75	.00	.00
CASH 000008	2023/08 INV 07/10/2023	SEP-CHK: Y	DISC: .00		11001902 62170		179.75 1099:
ACCT 1Y210	DEPT 19 DUE 07/10/2023	DESC:PBZ TRUCK FUEL					
CONDITIONS THAT PREVENT POSTING INVOICE 1153/42974							
* Invoice must be approved or voided to post.							
1849	00001 VERIZON 9937743274			071523	24.92	.00	.00
CASH 000008	2023/08 INV 07/10/2023	SEP-CHK: Y	DISC: .00		11001902 62070		24.92 1099:
ACCT 1Y210	DEPT 19 DUE 07/10/2023	DESC:ZONING CELL PHONE			CVD19 -PBZ	-EQUIP	
CONDITIONS THAT PREVENT POSTING INVOICE 1849/42977							
* Invoice must be approved or voided to post.							
1849	00001 VERIZON 9937743274-1			071523	84.26	.00	.00
CASH 000008	2023/08 INV 07/10/2023	SEP-CHK: Y	DISC: .00		11001902 62070		84.26 1099:
ACCT 1Y210	DEPT 19 DUE 07/10/2023	DESC:BUILDING CELLPHONES					
CONDITIONS THAT PREVENT POSTING INVOICE 1849/42982							
* Invoice must be approved or voided to post.							
2663	00000 PRINT SOURCE GRA 3498			071523	225.50	.00	.00
CASH 000008	2023/08 INV 07/10/2023	SEP-CHK: Y	DISC: .00		11001902 62170		225.50 1099:
ACCT 1Y210	DEPT 19 DUE 07/10/2023	DESC:PBZ TRUCK DECALS					
CONDITIONS THAT PREVENT POSTING INVOICE 2663/42973							
* Invoice must be approved or voided to post.							
3883	00000 MAYER PLUMBING L June 2023			071523	1,540.00	.00	.00
CASH 000008	2023/08 INV 07/10/2023	SEP-CHK: Y	DISC: .00		11001902 63610		1,540.00 1099:
ACCT 1Y210	DEPT 19 DUE 07/10/2023	DESC:JUNE 2023 PLUMBING INSPECTIONS					
CONDITIONS THAT PREVENT POSTING INVOICE 3883/42975							
* Invoice must be approved or voided to post.							
5 PENDING UNPAID INVOICES				TOTAL	2,054.43		

Kendall County



07212023

CLERK: pherber BATCH: 3671

NEW INVOICES

VENDOR REMIT NAME INVOICE PO CHECK RUN NET AMOUNT EXCEEDS PO BY PO BALANCE CHK/WIRE

PENDING UNPAID INVOICES

107	00000	AUTOMOTIVE SPECI 25851	073123	45.36	.00	.00	45.36	1099:
CASH 000008	2023/08	INV 07/21/2023	SEP-CHK: Y	DISC: .00			11001902 62170	
ACCT 1Y210	DEPT 19	DUE 07/21/2023	DESC:2008 PBZ TRUCK					

CONDITIONS THAT PREVENT POSTING INVOICE 107/43515

* Invoice must be approved or voided to post.

955	00000	ILLINOIS EPA ILR400261 - A	073123	1,000.00	.00	.00	1,000.00	1099:
CASH 000008	2023/08	INV 07/21/2023	SEP-CHK: Y	DISC: .00			11001902 63670	
ACCT 1Y210	DEPT 19	DUE 07/21/2023	DESC:ANNUAL NPDES FEE 7-123 TO 6-30-24					

CONDITIONS THAT PREVENT POSTING INVOICE 955/43518

* Invoice must be approved or voided to post.

1165	00000	KENDALL COUNTY R 417	073123	134.00	.00	.00	134.00	1099:
CASH 000008	2023/08	INV 07/21/2023	SEP-CHK: Y	DISC: .00			11001902 63700	
ACCT 1Y210	DEPT 19	DUE 07/21/2023	DESC:JUNE 2023 RECORDINGS					

CONDITIONS THAT PREVENT POSTING INVOICE 1165/43517

* Invoice must be approved or voided to post.

1928	00000	WBK ENGINEERING, 24342	073123	400.00	.00	.00	400.00	1099:
CASH 000008	2023/08	INV 07/21/2023	SEP-CHK: Y	DISC: .00			11001902 63630	
ACCT 1Y210	DEPT 19	DUE 07/21/2023	DESC:KC REVIEW SRVCS 5-28 TO 7-1-2023					

CONDITIONS THAT PREVENT POSTING INVOICE 1928/43520

* Invoice must be approved or voided to post.

1928	00000	WBK ENGINEERING, 24364	073123	500.00	.00	.00	500.00	1099:
CASH 000008	2023/08	INV 07/21/2023	SEP-CHK: Y	DISC: .00			11001902 63630	
ACCT 1Y210	DEPT 19	DUE 07/21/2023	DESC:FOX METRO SOLAR ARRAY					

CONDITIONS THAT PREVENT POSTING INVOICE 1928/43521

* Invoice must be approved or voided to post.

Kendall County



07212023

CLERK: pherber BATCH: 3671

NEW INVOICES

VENDOR REMIT NAME	INVOICE	PO	CHECK RUN	NET AMOUNT	EXCEEDS PO BY	PO BALANCE	CHK/WIRE
1928 00000 WBK ENGINEERING, 24361				200.00	.00	.00	
CASH 000008 2023/08 INV 07/21/2023	SEP-CHK: Y	DISC: .00					
ACCT 1Y210 DEPT 19 DUE 07/21/2023	DESC:2970 CREEK ROAD						
CONDITIONS THAT PREVENT POSTING INVOICE	1928/43522						
* Invoice must be approved or voided to post.							
1928 00000 WBK ENGINEERING, 24341				1,312.50	.00	.00	
CASH 000008 2023/08 INV 07/21/2023	SEP-CHK: Y	DISC: .00					
ACCT 1Y210 DEPT 19 DUE 07/21/2023	DESC:ANR PLANO SUB CLASS REVIEW						
CONDITIONS THAT PREVENT POSTING INVOICE	1928/43524						
* Invoice must be approved or voided to post.							
1928 00000 WBK ENGINEERING, 24357				100.00	.00	.00	
CASH 000008 2023/08 INV 07/21/2023	SEP-CHK: Y	DISC: .00					
ACCT 1Y210 DEPT 19 DUE 07/21/2023	DESC:WEIHLER-SCHLAPP RD						
CONDITIONS THAT PREVENT POSTING INVOICE	1928/43526						
* Invoice must be approved or voided to post.							
1928 00000 WBK ENGINEERING, 24358				100.00	.00	.00	
CASH 000008 2023/08 INV 07/21/2023	SEP-CHK: Y	DISC: .00					
ACCT 1Y210 DEPT 19 DUE 07/21/2023	DESC:BENDER ROAD						
CONDITIONS THAT PREVENT POSTING INVOICE	1928/43528						
* Invoice must be approved or voided to post.							
1928 00000 WBK ENGINEERING, 24359				200.00	.00	.00	
CASH 000008 2023/08 INV 07/21/2023	SEP-CHK: Y	DISC: .00					
ACCT 1Y210 DEPT 19 DUE 07/21/2023	DESC:ROUTE 52 & LISBON RD						
CONDITIONS THAT PREVENT POSTING INVOICE	1928/43530						
* Invoice must be approved or voided to post.							

Kendall County



07212023

CLERK: pherber BATCH: 3671

NEW INVOICES

VENDOR REMITT NAME	INVOICE	PO	CHECK RUN	NET AMOUNT	EXCEEDS PO BY	PO BALANCE	CHK/WIRE
1928 00000 WBK ENGINEERING, 24360				073123	900.00	.00	.00
CASH 000008 2023/08 INV 07/21/2023	SEP-CHK: Y		DISC: .00		180119 63150		900.00 1099:
ACCT 1Y210 DEPT 19 DUE 07/21/2023	DESC:R&S LANDSCAPE				23-19	-CONTSVC	-002 WBK -
CONDITIONS THAT PREVENT POSTING INVOICE 1928/43532							
* Invoice must be approved or voided to post.							
1928 00000 WBK ENGINEERING, 24362				073123	700.00	.00	.00
CASH 000008 2023/08 INV 07/21/2023	SEP-CHK: Y		DISC: .00		180119 63150		700.00 1099:
ACCT 1Y210 DEPT 19 DUE 07/21/2023	DESC:10744 ROUTE 47				21-31	-CONTSVC	-002 WBK -
CONDITIONS THAT PREVENT POSTING INVOICE 1928/43540							
* Invoice must be approved or voided to post.							
1928 00000 WBK ENGINEERING, 24363				073123	400.00	.00	.00
CASH 000008 2023/08 INV 07/21/2023	SEP-CHK: Y		DISC: .00		180119 63150		400.00 1099:
ACCT 1Y210 DEPT 19 DUE 07/21/2023	DESC:16901 OBRRIEN RD				23-05	-CONTSVC	-002 WBK -
CONDITIONS THAT PREVENT POSTING INVOICE 1928/43543							
* Invoice must be approved or voided to post.							
1928 00000 WBK ENGINEERING, 24367				073123	1,251.70	.00	.00
CASH 000008 2023/08 INV 07/21/2023	SEP-CHK: Y		DISC: .00		180119 63150		1,251.70 1099:
ACCT 1Y210 DEPT 19 DUE 07/21/2023	DESC:19-47 VET & KENNEL AT RIDGE AND BELL				19-47	-CONTSVC	-002 WBK -
CONDITIONS THAT PREVENT POSTING INVOICE 1928/43545							
* Invoice must be approved or voided to post.							
1928 00000 WBK ENGINEERING, 24368				073123	330.94	.00	.00
CASH 000008 2023/08 INV 07/21/2023	SEP-CHK: Y		DISC: .00		180119 63150		330.94 1099:
ACCT 1Y210 DEPT 19 DUE 07/21/2023	DESC:MCKANNA BARN				20-08	-CONTSVC	-002 WBK -
CONDITIONS THAT PREVENT POSTING INVOICE 1928/43547							
* Invoice must be approved or voided to post.							

Kendall County



ZONING 07242023

CLERK: pherber BATCH: 3676

NEW INVOICES

VENDOR REMIT NAME	INVOICE	PO	CHECK RUN	NET AMOUNT	EXCEEDS PO BY	PO BALANCE	CHK/WIRE
PENDING UNPAID INVOICES							
4160 00000 WISS, JANNEY, EI 0549349			073123	21,250.00	.00	.00	
CASH 000008 2023/08 INV 07/24/2023					172019 63630	21,250.00	1099:
ACCT 1V210 DEPT 19 DUE 07/24/2023							
DESC:KC HISTORIC SURVEY THROUGH 6-30-2023							
CONDITIONS THAT PREVENT POSTING INVOICE 4160/43581							
* Invoice must be approved or voided to post.							
1 PENDING UNPAID INVOICES				TOTAL	21,250.00		

0 INVOICE(S) REPORT POST TOTAL 0.00

REPORT TOTALS .00



DEPARTMENT OF PLANNING, BUILDING & ZONING

111 West Fox Street • Room 204

Yorkville, IL • 60560

(630) 553-4141

Fax (630) 553-4179

MEMORANDUM

To: Kendall County Planning, Building & Zoning Committee
From: Matthew H. Asselmeier, AICP, CFM, Director
Date: July 18, 2023
Re: Petition 23-27 Request for Minor Amendment to a Special Use Permit for Kennel at 3587
(Formerly 3601) Plainfield Road

On November 19, 2019, the Kendall County Board approved Ordinance 2019-33, granting a special use permit for a kennel at 3587 (formerly 3601) Plainfield Road in Oswego Township. On March 22, 2022, the Kendall County Board approved Ordinance 2022-09, amending the site plan at the subject property.

On July 1, 2023, the Petitioner submitted an application adding a fence and gate around the fire lane, adding a fence and gate on the north side of the building, and rotating the sign. The fence would be six feet (6') in height and would be vinyl.

Prior to submitting the application, the Oswego Fire Protection District was consulted and their comments are attached.

Petition information was sent to Oswego Township, the Village of Oswego, and the Oswego Fire Protection District on July 18, 2023.

Assuming Oswego Township, the Village of Oswego, and the Oswego Fire Protection District have no additional comments, Staff recommends approval of the requested minor amendment.

If the Planning, Building and Zoning Committee wishes to approve the request, a draft minor amendment is attached.

If you have any questions, please let me know.

Thanks,

MHA

ENCs: Application Material
Ordinance 2019-33
Ordinance 2022-09
Correspondence with the Oswego Fire Protection District
Draft Minor Amendment



DEPARTMENT OF PLANNING, BUILDING & ZONING

111 West Fox Street • Yorkville, IL • 60560
 (630) 553-4141 Fax (630) 553-4179

APPLICATION

PROJECT NAME The Pet's Home FILE #: _____

NAME OF APPLICANT (Including First, Middle Initial, and Last Name) Laura L Gay		
CURRENT LANDOWNER/NAME(s) John and Laura Gay		
SITE INFORMATION ACRES	SITE ADDRESS OR LOCATION 3587 Plainfield Rd Oswego Il 60543	ASSESSOR'S ID NUMBER (PIN) 03-28-100-004
EXISTING LAND USE Dog Daycare and Boarding	CURRENT ZONING Agricultural Special Use	LAND CLASSIFICATION ON LRMP Suburban Residential
REQUESTED ACTION (Check All That Apply):		
<input type="checkbox"/> SPECIAL USE	<input type="checkbox"/> MAP AMENDMENT (Rezone to _____)	<input type="checkbox"/> VARIANCE
<input type="checkbox"/> ADMINISTRATIVE VARIANCE	<input type="checkbox"/> A-1 CONDITIONAL USE for: _____	<input type="checkbox"/> SITE PLAN REVIEW
<input type="checkbox"/> TEXT AMENDMENT	<input type="checkbox"/> RPD (<input type="checkbox"/> Concept; <input type="checkbox"/> Preliminary; <input type="checkbox"/> Final)	<input type="checkbox"/> ADMINISTRATIVE APPEAL
<input type="checkbox"/> PRELIMINARY PLAT	<input type="checkbox"/> FINAL PLAT	<input type="checkbox"/> OTHER PLAT (Vacation, Dedication, etc.)
<input checked="" type="checkbox"/> AMENDMENT TO A SPECIAL USE (<input type="checkbox"/> Major; <input checked="" type="checkbox"/> Minor)		
¹PRIMARY CONTACT Laura Gay	PRIMARY CONTACT MAILING ADDRESS [REDACTED]	PRIMARY CONTACT EMAIL [REDACTED]
PRIMARY CONTACT PHONE # [REDACTED]	PRIMARY CONTACT FAX # N/A	PRIMARY CONTACT OTHER #(Cell, etc.) 815-666-7229
²ENGINEER CONTACT Laura Gay	ENGINEER MAILING ADDRESS [REDACTED]	ENGINEER EMAIL [REDACTED]
ENGINEER PHONE # [REDACTED]	ENGINEER FAX # [REDACTED]	ENGINEER OTHER # (Cell, etc.) [REDACTED]
I UNDERSTAND THAT BY SIGNING THIS FORM, THAT THE PROPERTY IN QUESTION MAY BE VISITED BY COUNTY STAFF & BOARD/ COMMISSION MEMBERS THROUGHOUT THE PETITION PROCESS AND THAT THE PRIMARY CONTACT LISTED ABOVE WILL BE SUBJECT TO ALL CORRESPONDANCE ISSUED BY THE COUNTY.		
I CERTIFY THAT THE INFORMATION AND EXHIBITS SUBMITTED ARE TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND THAT I AM TO FILE THIS APPLICATION AND ACT ON BEHALF OF THE ABOVE SIGNATURES. THE APPLICANT ATTESTS THAT THEY ARE FREE OF DEBT OR CURRENT ON ALL DEBTS OWED TO KENDALL COUNTY AS OF THE APPLICATION DATE.		
SIGNATURE OF APPLICANT [REDACTED]		DATE 7-1-23

FEE PAID: \$ 150
 CHECK #: [REDACTED]

¹Primary Contact will receive all correspondence from County
²Engineering Contact will receive all correspondence from the County's Engineering Consultants

ORDINANCE NUMBER 2019- 33

GRANTING A SPECIAL USE PERMIT ON PROPERTY ZONED A-1 AGRICULTURAL FOR A KENNEL AND A VARIANCE TO SECTION 7.01.D.27 OF THE KENDALL COUNTY ZONING ORDINANCE TO ALLOW A KENNEL TO BE LOCATED THIRTY FEET SIX AND ONE HALF INCHES FROM THE LOT LINE OF LOTS ZONED OTHER THAN RESIDENTIAL OR SHOWN ON THE LAND RESOURCE MANAGEMENT PLAN MAP AS NON-RESIDENTIAL FOR A 5.0 ACRE +/- PARCEL LOCATED AT 3601 PLAINFIELD ROAD AND IDENTIFIED BY PARCEL IDENTIFICATION NUMBER 03-28-100-004 IN OSWEGO TOWNSHIP

WHEREAS, Section 13.08 of the Kendall County Zoning Ordinance permits the Kendall County Board to issue special use permits and place conditions on special use permits and provides the procedure through which special use permits are granted; and

WHEREAS, Section 13.04 of the Kendall County Zoning Ordinance permits the Kendall County Board to issue variations and place conditions on variations and provides the procedure through which variations are granted; and

WHEREAS, Section 7.01.D.27 of the Kendall County Zoning Ordinance permits the operation of kennels as a special use with certain restrictions in the A-1 Agricultural Zoning District; and

WHEREAS, Section 7.01.D.27 of the Kendall County Zoning Ordinance requires kennels to be located a minimum of 150 feet from the lot line of lots zoned other than residential or shown on the Land Resource Management Plan Map as non-residential; and

WHEREAS, the property which is the subject of this Ordinance has been, at all relevant times, and remains currently located within the A-1 Agricultural Zoning District and consists of approximately 5.0 acres located at 3601 Plainfield Road (PIN: 03-28-100-004) in Oswego Township. The legal description for the subject property is set forth in Exhibit A attached hereto and incorporated by reference, and this property shall hereinafter be referred to as "the subject property."; and

WHEREAS, the subject property is currently owned by John and Laura Gay and shall hereinafter be referred to as "Petitioner"; and

WHEREAS, on or about September 18, 2019, Petitioner's representative filed a petition for a Special Use Permit allowing the operation of a kennel at the subject property and a variance to Sections 7.01.D.27 of the Kendall County Zoning Ordinance allowing the kennel to be placed no closer than 30 feet 6 ½ inches from the lot line of lots zoned other than residential or shown on the Land Resource Management Plan Map as non-residential; and

WHEREAS, following due and proper notice by publication in the Beacon News and Kendall County Record not less than fifteen days prior thereto, the Kendall County Zoning Board of Appeals conducted a public hearing on October 28, 2019, at 7:00 p.m., in the County Office Building at 111 W. Fox Street in Yorkville, at which the Petitioner's attorney presented evidence, testimony, and exhibits in support of the requested special use permit and variance and zero members of the public testified in favor or in opposition; and

WHEREAS, based on the evidence, testimony, and exhibits, the Kendall County Zoning Board of Appeals has made their Findings of Fact and recommended approval of the special use permit and variance with conditions as set forth in the Findings of Fact and Recommendation of the Kendall County Zoning Board of Appeals,

dated October 28, 2019, a true and correct copy of which is attached hereto as Exhibit B; and

WHEREAS, the Kendall County Planning, Building and Zoning Committee of the Kendall County Board has reviewed the testimony presented at the aforementioned public hearing and has considered the Findings of Fact and Recommendation of the Kendall County Zoning Board of Appeals, and has forwarded to the Kendall County Board a recommendation of approval of the requested special use permit and variance with conditions; and

WHEREAS, the Kendall County Board has considered the recommendation of the Planning, Building and Zoning Committee and the Findings of Fact and Recommendation of the Kendall County Zoning Board of Appeals, and has determined that said petition is in conformance with the provisions and intent of the Kendall County Zoning Ordinance; and

WHEREAS, this special use permit and variance shall be treated as a covenant running with the land and is binding on the successors, heirs, and assigns as to the same special use conducted on the property; and

NOW, THEREFORE, BE IT ORDAINED, BY THE COUNTY BOARD OF KENDALL COUNTY, ILLINOIS, as follows:


1. The Findings of Fact and Recommendation of the Kendall County Zoning Board of Appeals attached hereto as Exhibit B is hereby accepted and the Findings of Fact set forth therein are hereby adopted as the Findings of Fact and Conclusions of this Kendall County Board.
2. The Kendall County Board hereby grants approval of Petitioner's petition for a special use permit and variance allowing the operation of a kennel on the subject property subject to the following conditions:
 - A. The site shall be developed substantially in accordance with the attached site plan, security plan, landscaping plan, and lighting plan attached hereto as Exhibit C. The previously listed plans may be slightly altered to meet the right-of-way dedication mentioned in Condition B.
 - B. Within one hundred eighty (180) days of approval of this special use permit ordinance, the property owners shall convey a strip of land along the entire Plainfield Road portion of the property to Kendall County to be used as Plainfield Road right-of-way. This dedication shall have a depth of fifteen feet (15') as measured from the right-of-way line that existed on the date of adoption of this special use permit ordinance.
 - C. A variance is granted to Section 7.01.D.27 of the Kendall County Zoning Ordinance allowing the kennel operation granted by this special use permit to be placed thirty feet, six and one half inches (30' 6 1/2") at its closest point to lot lines of properties zoned other than residential or shown on the Land Resource Management Plan (LRMP) map as non-residential.
 - D. The use allowed by this special use permit shall be located a minimum of two hundred fifty feet (250') from the lot line of lots zoned residential or shown as Residential on the Land Resource Management Plan (LRMP) map.
 - E. One (1) non-illuminated sign may be installed on the subject property in substantially the location shown on the site plan attached hereto as Exhibit C. The specific location of the sign may be adjusted slightly to reflect the right-of-way dedication in Condition B.
 - F. A maximum of one hundred (100) pets may be on the subject property at any time.
 - G. All pets shall be indoors between the hours of sunset and sunrise except for the purposes of owners dropping-off and picking-up pets.

- H. The hours of operation for the business allowed by this special use permit shall be Monday through Sunday from 6:00 a.m. until 6:00 p.m. The operator(s) of the business allowed by this special use permit may reduce these hours of operation. Pets experiencing medical emergencies may be tended to outside the hours of operation.
- I. The maximum number of employees for the business allowed by this special use permit shall be seven (7), including the business owners.
- J. Refuse shall be removed from the subject property at least one (1) time per week or as necessary to prevent litter or odors from emanating from the subject property.
- K. Any construction on the property related to the use allowed by this special use permit shall not be considered as agricultural purposes and shall secure applicable permits.
- L. The operator(s) of the kennel allowed by this special use permit may sell ancillary items related to their kennel operations.
- M. The operator(s) of the kennel acknowledge and agree to follow Kendall County's Right to Farm Clause.
- N. The operator(s) of the kennel allowed by this special use permit shall follow all applicable Federal, State, and Local laws related to the operation of this type of business.
- O. Failure to comply with one or more of the above conditions or restrictions could result in the amendment or revocation of the special use permit.
- P. If one or more of the above conditions is declared invalid by a court of competent jurisdiction, the remaining conditions shall remain valid.

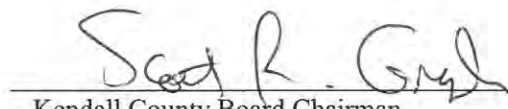
3. The Zoning Administrator and other appropriate County Officials are hereby authorized and directed to amend the Official Zoning Map of Kendall County to reflect this special use permit and variance.

IN WITNESS OF, this ordinance has been enacted by a majority vote of the Kendall County Board and is effective this 19th day of November, 2019.

Attest:



Kendall County Clerk
Debbie Gillette



Kendall County Board Chairman
Scott R. Gryder



Exhibit A

LEGAL DESCRIPTION

THAT PART OF THE NORTH HALF OF THE NORTH HALF OF SECTION 28, TOWNSHIP 37 NORTH, RANGE 8 EAST OF THE THIRD PRINCIPAL MERIDIAN, DESCRIBED AS FOLLOWS: COMMENCING AT THE SOUTHWEST CORNER OF THE NORTH HALF OF THE NORTH HALF OF SAID SECTION 28, THENCE EASTERLY ALONG THE SOUTH LINE OF SAID NORTH HALF OF THE NORTH HALF OF SAID SECTION 28, 1902.46 FEET TO A POINT IN THE EASTERLY RIGHT OF WAY OF PLAINFIELD ROAD FOR A POINT OF BEGINNING; THENCE NORTHWESTERLY ALONG THE EASTERLY RIGHT OF WAY LINE OF PLAINFIELD ROAD WHICH FORMS AN ANGLE OF 129 DEGREES 35 MINUTES 20 SECONDS TO THE LEFT FROM A PROLONGATION OF THE LAST DESCRIBED LINE, 354.51 FEET TO A POINT IN THE CENTER LINE OF MORGAN CREEK; THENCE NORTHEASTERLY ALONG SAID CENTER LINE OF MORGAN CREEK WHICH FORMS AN ANGLE OF 71 DEGREES 58 MINUTES 30 SECONDS WITH THE LAST DESCRIBED LINE, MEASURED FROM SOUTHEAST TO NORTHWEST, 131.19 FEET TO A POINT OF CURVATURE; THENCE SOUTHEASTERLY ALONG SAID CENTER LINE OF MORGAN CREEK BEING A CURVE TO THE RIGHT HAVING A RADIUS OF 150.00 FEET FOR AN ARC DISTANCE OF 100.42 FEET TO A POINT OF TANGENCY; THENCE SOUTHEASTERLY ALONG SAID CENTER LINE OF MORGAN CREEK, 933.39 FEET TO A POINT OF CURVATURE ; THENCE EASTERLY ALONG SAID CENTER LINE OF MORGAN CREEK BEING A CURVE TO THE LEFT HAVING A RADIUS OF 753.23 FEET FOR AN ARC DISTANCE OF 149.51 FEET TO A POINT OF TANGENCY; THENCE EASTERLY ALONG SAID CENTER LINE OF MORGAN CREEK 73.03 FEET; THENCE SOUTHERLY ALONG A LINE WHICH FORMS AN ANGLE OF 95 DEGREES 25 MINUTES 11 SECONDS MEASURED FROM WEST TO SOUTH WITH THE LAST DESCRIBED LINE, 20.00 FEET TO A POINT IN SAID SOUTH LINE OF THE NORTH HALF OF THE NORTH HALF OF SECTION 28, THENCE WESTERLY ALONG THE SAID SOUTH LINE OF THE NORTH HALF OF THE NORTH HALF OF SECTION 28, 1107.30 FEET TO THE POINT OF BEGINNING, ALL IN THE TOWNSHIP OF OSWEGO, KENDALL COUNTY, ILLINOIS.

Exhibit B

The Kendall County Zoning Board of Appeals approved the following Findings of Fact and Recommendation at their meeting on October 28, 2019, by a vote of five (5) in favor and zero (0) in opposition. Chairman Mohr and Member Cherry were absent.

FINDINGS OF FACT-SPECIAL USE

§ 13.08.J of the Zoning Ordinance outlines findings that the Zoning Board of Appeals must make in order recommend in favor of the applicant on special use permit applications.

*That the establishment, maintenance, or operation of the special use will not be detrimental to or endanger the public health, safety, morals, comfort, or general welfare. **The operation of the special use will not be detrimental to the public health, safety, morals, comfort, or general welfare. The immediately adjacent properties are also zoned A-1. There are no existing structures on adjacent properties within one hundred feet (100') of the property line. Taking into account the residential properties to the west and southwest of the property, the proposed kennel location will be situated on the east end of the property, thereby well-exceeding the two hundred fifty foot (250') setback requirement from any residential district set forth in the Zoning Ordinance. In addition, the Petitioners have a waste management plan and have considered the impact of noise on surrounding properties. A six foot (6') tall fencing is planned around the outdoor play area. The Petitioners intend to follow the Kendall County Zoning Ordinance as it relates to having all pets inside by dusk.***

*That the special use will not be substantially injurious to the use and enjoyment of other property in the immediate vicinity for the purposes already permitted, nor substantially diminish and impair property values within the neighborhood. The Zoning classification of property within the general area of the property in question shall be considered in determining consistency with this standard. The proposed use shall make adequate provisions for appropriate buffers, landscaping, fencing, lighting, building materials, open space and other improvements necessary to insure that the proposed use does not adversely impact adjacent uses and is compatible with the surrounding area and/or the County as a whole. **As noted in the previous finding, the proposed special use will be setback further than the required setback for residentially zoned properties. The Petitioners plan to install a fence and security lighting. The Petitioners agreed to have animals indoors by sunset. The proposed of hours of operation will also prevent injury to neighboring land uses.***

*That adequate utilities, access roads and points of ingress and egress, drainage, and/or other necessary facilities have been or are being provided. **This is true. An existing curb cut is already located off of Plainfield Road at the subject property. The Petitioners will have to secure applicable permits related stormwater, drainage, well, and septic systems.***

*That the special use shall in all other respects conform to the applicable regulations of the district in which it is located, except as such regulations may in each instance be modified by the County Board pursuant to the recommendation of the Zoning Board of Appeals. **Provided that the variance is approved regarding distance to non-residentially zoned or use properties, the special use would conform to the applicable regulations of the district.***

*That the special use is consistent with the purpose and objectives of the Land Resource Management Plan and other adopted County or municipal plans and policies. **True, the proposed use is consistent with an objective found on Page 6-34 of the Kendall County Land Resource Management Plan which calls for "a strong base of agricultural, commercial and industrial uses that provide a broad range of job opportunities, a healthy tax base, and improved quality of services to County residents" through the encouragement ". . . of locally owned businesses."***

FINDINGS OF FACT-VARIANCE

§ 13.04.A.3 of the Zoning Ordinance outlines findings that the Zoning Board of Appeals must make in order to grant variations.

*That the particular physical surroundings, shape, or topographical condition of the specific property involved would result in a particular hardship or practical difficulty upon the owner if the strict letter of the regulations were carried out. **The subject property is triangular in shape and combined with its size of approximately five (5) acres makes it difficult for any use to be greater than one hundred fifty feet (150') from any non-residentially zoned property.***

*That the conditions upon which the requested variation is based would not be applicable, generally, to other property within the same zoning classification. **The configuration of this property is unique among A-1 zoned properties. Most A-1 zoned properties are larger and more rectangular in shaping than the subject property giving them more space for uses to be away from non-residentially zoned property.***

*That the alleged difficulty or hardship has not been created by any person presently having an interest in the property. **The Petitioners did not create the configuration of the subject property.***

*That the granting of the variation will not materially be detrimental to the public welfare or substantially injurious to other property or improvements in the neighborhood in which the property is located. **Provided the site is developed as proposed, the granting of the variation will not be detrimental to the public welfare or substantially injurious to other property or improvements in the neighborhood.***

*That the proposed variation will not impair an adequate supply of light and air to adjacent property, or substantially increase the congestion in the public streets or increase the danger of fire, or endanger the public safety or substantially diminish or impair property values within the neighborhood. **Provided all applicable permits are secured, no threats to public safety should arise. The proposed use will not cause an impairment of light or air to adjacent property. Increased traffic congestion is not anticipated. If developed as proposed, property values should not be impaired.***

RECOMMENDATION

Approval with the following conditions and restrictions:

1. The site shall be developed substantially in accordance with the submitted site plan, security plan, landscaping plan, and lighting plan. The site plan shall be adjusted to accommodate a turn-around area for emergency vehicles. The previously listed plans may be slightly altered to meet the right-of-way dedication mentioned in condition 2.
2. Within one hundred eighty (180) days of approval of this special use permit ordinance, the property owners shall convey a strip of land along the entire Plainfield Road portion of the property to Kendall County to be used as Plainfield Road right-of-way. This dedication shall have a depth of fifteen feet (15') as measured from the right-of-way line that existed on the date of adoption of this special use permit ordinance.
3. A variance is granted to Section 7.01.D.27 of the Kendall County Zoning Ordinance allowing the kennel operation granted by this special use permit to be placed thirty feet, six and one half inches (30' 6 1/2") at its closest point to lot lines of properties zoned other than residential or shown on the Land Resource Management Plan (LRMP) map as non-residential.
4. The use allowed by this special use permit shall be located a minimum of two hundred fifty feet (250') from the lot line of lots zoned residential or shown as Residential on the Land Resource Management Plan (LRMP) map.
5. One (1) non-illuminated sign may be installed on the subject property in substantially the location shown on the site plan. The specific location of the sign may be adjusted slightly to reflect the right-of-way dedication in condition 2.

6. A maximum of one hundred (100) pets may be on the subject property at any time.
7. All pets shall be indoors between the hours of sunset and sunrise except for the purposes of owners dropping-off and picking-up pets.
8. The hours of operation for the business allowed by this special use permit shall be Monday through Sunday from 6:00 a.m. until 6:00 p.m. The operator(s) of the business allowed by this special use permit may reduce these hours of operation. Pets experiencing medical emergencies may be tended to outside the hours of operation.
9. The maximum number of employees for the business allowed by this special use permit shall be seven (7), including the business owners.
10. Refuse shall be removed from the subject property at least one (1) time per week or as necessary to prevent litter or odors from emanating from the subject property.
11. Any construction on the property related to the use allowed by this special use permit shall not be considered as agricultural purposes and shall secure applicable permits.
12. The operator(s) of the kennel allowed by this special use permit may sell ancillary items related to their kennel operations.
13. The operator(s) of the kennel acknowledge and agree to follow Kendall County's Right to Farm Clause.
14. The operator(s) of the kennel allowed by this special use permit shall follow all applicable Federal, State, and Local laws related to the operation of this type of business.
15. Failure to comply with one or more of the above conditions or restrictions could result in the amendment or revocation of the special use permit.
16. If one or more of the above conditions is declared invalid by a court of competent jurisdiction, the remaining conditions shall remain valid.

ds
Architectural Studio, Ltd.
1421 Oakley Ave
Mesa, AZ 85204
Tel: 708.933.4200
Fax: 708.996.0804

Notes to Fire Inspection Bureau

The following items are required:

1. Fire Department Connection (FDC) System
2. Sprinkler system per NFPA 13
3. Fire Alarm system per NFPA 72
4. Listed Central Station/Alarm Monitoring Company
5. FACP required if travel through occupancy required to reach FACP
6. FACP/PAAS required to identify location of FACP/PAAS
7. Fire extinguisher placement (75' travel distance to extinguisher).

Headed with the title block. The sheets shown are intended to be used in conjunction with the title block. The sheets shown are intended to be used in conjunction with the title block. The sheets shown are intended to be used in conjunction with the title block.

Professional Seal
BOSTA BAKS
REGISTERED ARCHITECT
No. 111111111
Issued 02/2019

No.	Description	Date
1	Initial Design/Concepts	11/15/19
2	Revisions	11/15/19

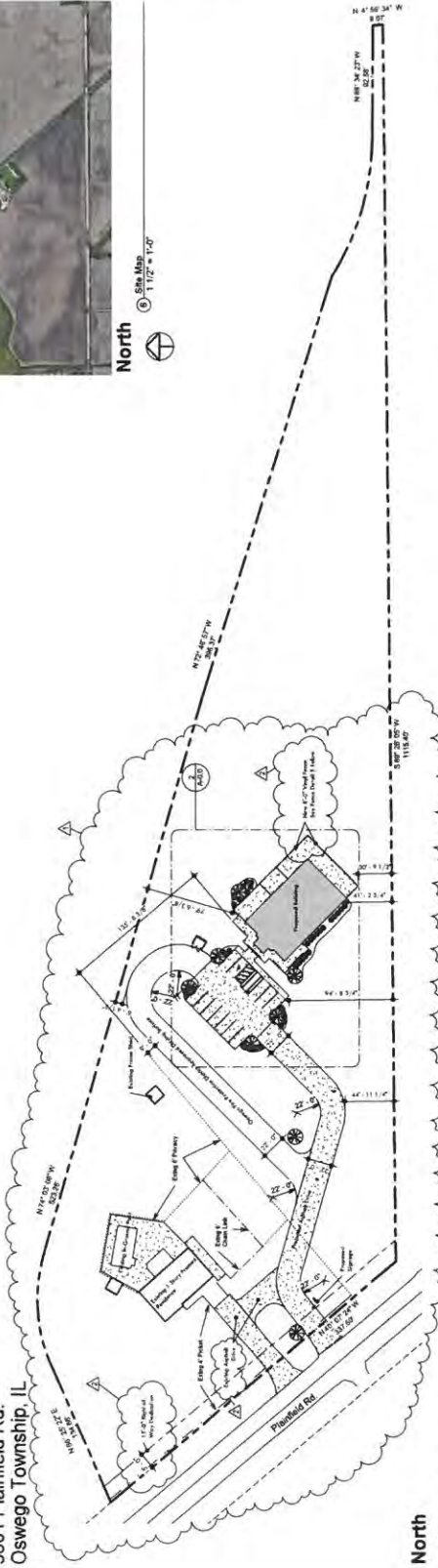
**John and Laura Gay
The Pets Home Pet
Resort and Spa
Site Plan**

Project Number: 2019-071
Client: John and Laura Gay
Checked By: [Signature]
Scale: As Indicated



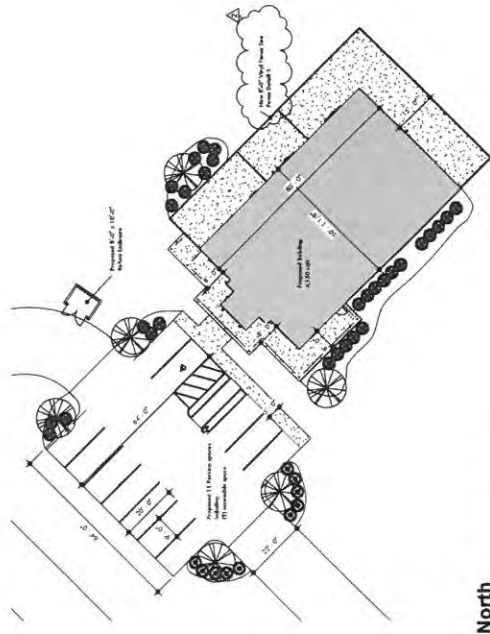
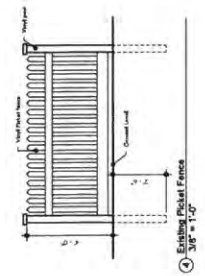
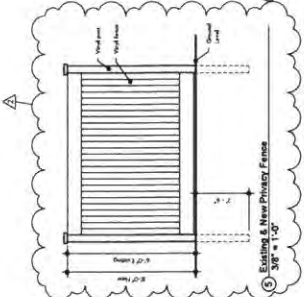
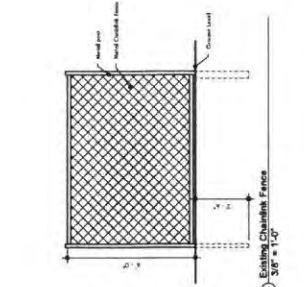
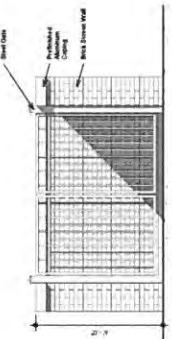
North

Site Map
1 1/2" = 1'-0"



Sheet List

Sheet Number	Sheet Name
A-0.0	Site Plan
A-1.0	Foundation Plan
A-2.0	Floor Plan
A-2.1	Finished Plans
A-3.0	Roof Plan & Schedules
A-4.0	Exteriors
A-4.1	Exteriors
A-5.0	Sections
A-5.1	Details
E-1.0	Electrical Plans
M-1.0	Mechanical Plans
P-1.0	Plumbing Plans



North

Schematic Site Plan - Cabool 1
1" = 30'-0"

ORDINANCE NUMBER 2022-09

GRANTING A MAJOR AMENDMENT TO AN EXISTING SPECIAL USE PERMIT FOR A KENNEL GRANTED BY ORDINANCE 2019-33 BY CHANGING THE SITE PLAN AT 3601 PLAINFIELD ROAD AND IDENTIFIED BY PARCEL IDENTIFICATION NUMBER 03-28-100-004 IN OSWEGO TOWNSHIP

WHEREAS, Section 13.08 of the Kendall County Zoning Ordinance permits the Kendall County Board to grant major amendments to existing special use permits and place conditions on special use permits and provides the procedure through which special use permits are granted and amended; and

WHEREAS, Section 7.01.D.29 of the Kendall County Zoning Ordinance permits the operation of kennels as a special use with certain restrictions in the A-1 Agricultural Zoning District; and

WHEREAS, the property which is the subject of this Ordinance has been, at all relevant times, and remains currently located within the A-1 Agricultural Zoning District and consists of approximately 5.0 acres located at 3601 Plainfield Road (PIN: 03-28-100-004) in Oswego Township. The legal description for the subject property is set forth in Exhibit A attached hereto and incorporated by reference, and this property shall hereinafter be referred to as “the subject property.”; and

WHEREAS, on November 19, 2019, the Kendall County Board approved Ordinance 2019-33 which granted a special use permit for a kennel with conditions and applicable variances at the subject property; and

WHEREAS, conditions 2.A and 2.E of Ordinance 2019-33 required the subject property be developed substantially in accordance with an attached site plan; and

WHEREAS, the subject property is currently owned by John and Laura Gay and shall hereinafter be referred to as “Petitioner”; and

WHEREAS, on or about December 21, 2021, Petitioner’s representative filed a petition for a major amendment to an existing special use permit by deleting the site plan attached to Ordinance 2019-33 and replacing the site plan with a new, proposed site plan; and

WHEREAS, following due and proper notice by publication in the Kendall County Record on January 6, 2022, the Kendall County Zoning Board of Appeals initiated a public hearing on January 31, 2022, at 7:00 p.m., in the County Office Building at 111 W. Fox Street in Yorkville, and continued the public hearing to February 28, 2022, at 7:00 p.m., at the same location, at which the Petitioner’s attorney presented evidence, testimony, and exhibits in support of the requested major amendment to an existing special use permit and zero members of the public testified in favor or in opposition to the request; and

WHEREAS, based on the evidence, testimony, and exhibits, the Kendall County Zoning Board of Appeals has made their Findings of Fact and recommended approval of the major amendment to an existing special use permit with conditions as set forth in the Findings of Fact and Recommendation of the Kendall County Zoning Board of Appeals, dated February 28, 2022, a true and correct copy of which is attached hereto as Exhibit B; and

WHEREAS, the Kendall County Planning, Building and Zoning Committee of the Kendall County Board has reviewed the testimony presented at the aforementioned public hearing and has considered the Findings of Fact and Recommendation of the Kendall County Zoning Board of Appeals, and has forwarded to the Kendall

County Board a recommendation of approval of the requested major amendment to an existing special use permit with conditions; and

WHEREAS, the Kendall County Board has considered the recommendation of the Planning, Building and Zoning Committee and the Findings of Fact and Recommendation of the Kendall County Zoning Board of Appeals, and has determined that said petition is in conformance with the provisions and intent of the Kendall County Zoning Ordinance; and

WHEREAS, this special use permit shall be treated as a covenant running with the land and is binding on the successors, heirs, and assigns as to the same special use conducted on the property; and

NOW, THEREFORE, BE IT ORDAINED, BY THE COUNTY BOARD OF KENDALL COUNTY, ILLINOIS, as follows:

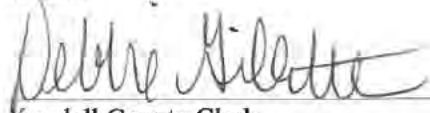
1. The Findings of Fact and Recommendation of the Kendall County Zoning Board of Appeals attached hereto as Exhibit B is hereby accepted and the Findings of Fact set forth therein are hereby adopted as the Findings of Fact and Conclusions of this Kendall County Board.
2. The Kendall County Board hereby grants approval of Petitioner's petition for a major amendment to an existing special use permit allowing the operation of a kennel on the subject property subject to the following conditions:
 - A. The site plan, security plan, landscaping plan, and lighting plan referenced as Exhibit C in Ordinance 2019-33 is replaced with the site plan attached hereto as Exhibit C, elevations attached hereto as Exhibit D, and landscaping plan attached hereto Exhibit E.
 - B. The vegetation and berm outlined in the landscaping plan attached hereto as Exhibit E shall be installed in the quantities outlined and described in the landscaping plan and shall be installed by June 1, 2022. The Planning, Building and Zoning Committee may extend this deadline upon the request of the property owner. Damaged or dead vegetation shall be replaced on a timeframe approved by the Planning, Building and Zoning Department.
 - C. The remaining conditions and restrictions contained in Ordinance 2019-33 shall remain effective.
 - D. Failure to comply with one or more of the above conditions or restrictions or the conditions and restrictions contained in Ordinance 2019-33 could result in the amendment or revocation of the special use permit.
 - E. If one or more of the above conditions is declared invalid by a court of competent jurisdiction, the remaining conditions shall remain valid.
3. This special use permit and major amendment to an existing special use permit shall be treated as a covenant running with the land and is binding on the successors, heirs, and assigns as to the same special use conducted on the property.
4. The Zoning Administrator and other appropriate County Officials are hereby authorized and directed to amend the Official Zoning Map of Kendall County to reflect this special use permit.

IN WITNESS OF, this ordinance has been enacted by a majority vote of the Kendall County Board and is effective this 15th day of March, 2022.

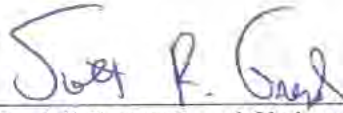
State of Illinois
County of Kendall

Zoning Petition
#22-04

Attest:



Kendall County Clerk
Debbie Gillette



Kendall County Board Chairman
Scott R. Gryder



Exhibit A

LEGAL DESCRIPTION

THAT PART OF THE NORTH HALF OF THE NORTH HALF OF SECTION 28, TOWNSHIP 37 NORTH, RANGE 8 EAST OF THE THIRD PRINCIPAL MERIDIAN, DESCRIBED AS FOLLOWS: COMMENCING AT THE SOUTHWEST CORNER OF THE NORTH HALF OF THE NORTH HALF OF SAID SECTION 28, THENCE EASTERLY ALONG THE SOUTH LINE OF SAID NORTH HALF OF THE NORTH HALF OF SAID SECTION 28, 1902.46 FEET TO A POINT IN THE EASTERLY RIGHT OF WAY OF PLAINFIELD ROAD FOR A POINT OF BEGINNING; THENCE NORTHWESTERLY ALONG THE EASTERLY RIGHT OF WAY LINE OF PLAINFIELD ROAD WHICH FORMS AN ANGLE OF 129 DEGREES 35 MINUTES 20 SECONDS TO THE LEFT FROM A PROLONGATION OF THE LAST DESCRIBED LINE, 354.51 FEET TO A POINT IN THE CENTER LINE OF MORGAN CREEK; THENCE NORTHEASTERLY ALONG SAID CENTER LINE OF MORGAN CREEK WHICH FORMS AN ANGLE OF 71 DEGREES 58 MINUTES 30 SECONDS WITH THE LAST DESCRIBED LINE, MEASURED FROM SOUTHEAST TO NORTHEAST, 131.19 FEET TO A POINT OF CURVATURE; THENCE SOUTHEASTERLY ALONG SAID CENTER LINE OF MORGAN CREEK BEING A CURVE TO THE RIGHT HAVING A RADIUS OF 150.00 FEET FOR AN ARC DISTANCE OF 100.42 FEET TO A POINT OF TANGENCY; THENCE SOUTHEASTERLY ALONG SAID CENTER LINE OF MORGAN CREEK, 933.39 FEET TO A POINT OF CURVATURE ; THENCE EASTERLY ALONG SAID CENTER LINE OF MORGAN CREEK BEING A CURVE TO THE LEFT HAVING A RADIUS OF 753.23 FEET FOR AN ARC DISTANCE OF 149.51 FEET TO A POINT OF TANGENCY; THENCE EASTERLY ALONG SAID CENTER LINE OF MORGAN CREEK 73.03 FEET; THENCE SOUTHERLY ALONG A LINE WHICH FORMS AN ANGLE OF 95 DEGREES 25 MINUTES 11 SECONDS MEASURED FROM WEST TO SOUTH WITH THE LAST DESCRIBED LINE, 20.00 FEET TO A POINT IN SAID SOUTH LINE OF THE NORTH HALF OF THE NORTH HALF OF SECTION 28, THENCE WESTERLY ALONG THE SAID SOUTH LINE OF THE NORTH HALF OF THE NORTH HALF OF SECTION 28, 1107.30 FEET TO THE POINT OF BEGINNING, ALL IN THE TOWNSHIP OF OSWEGO, KENDALL COUNTY, ILLINOIS.

Exhibit B

The Kendall County Zoning Board of Appeals approved the following Findings of Fact and Recommendation at their meeting on February 28, 2022, by a vote of five (5) in favor and zero (0) in opposition. Members Thompson and Whitfield were absent.

FINDINGS OF FACT-MAJOR AMENDMENT TO SPECIAL USE PERMIT

*That the establishment, maintenance, or operation of the special use will not be detrimental to or endanger the public health, safety, morals, comfort, or general welfare. **Provided the Oswego Fire Protection District approves the new turnaround area and the Kendall County Highway Department approves the new access point, the operation of the special use will not be detrimental to the public health, safety, morals, comfort, or general welfare. The immediately adjacent properties are also zoned A-1. There are no existing structures on adjacent properties within one hundred feet (100') of the property line. Taking into account the residential properties to the west and southwest of the property, the proposed kennel location will be situated on the east end of the property, thereby well-exceeding the two hundred fifty foot (250') setback requirement from any residential district set forth in the Zoning Ordinance. In addition, the Petitioners have a waste management plan and have considered the impact of noise on surrounding properties. A six foot (6') tall fencing is planned around the outdoor play area. The Petitioners intend to follow the Kendall County Zoning Ordinance as it relates to having all pets inside by dusk.***

*That the special use will not be substantially injurious to the use and enjoyment of other property in the immediate vicinity for the purposes already permitted, nor substantially diminish and impair property values within the neighborhood. The Zoning classification of property within the general area of the property in question shall be considered in determining consistency with this standard. The proposed use shall make adequate provisions for appropriate buffers, landscaping, fencing, lighting, building materials, open space and other improvements necessary to insure that the proposed use does not adversely impact adjacent uses and is compatible with the surrounding area and/or the County as a whole. **As noted in the previous finding, the proposed special use will be setback further than the required setback for residentially zoned properties. The Petitioners plan to install a fence and appropriate lighting. The Petitioners agreed to have animals indoors by sunset. The proposed of hours of operation will also prevent injury to neighboring land uses.***

*That adequate utilities, access roads and points of ingress and egress, drainage, and/or other necessary facilities have been or are being provided. **This is true. An existing curb cut is already located off of Plainfield Road at the subject property. The Petitioners will have to secure applicable permits related stormwater, drainage, well, septic systems, and the new driveway access.***

*That the special use shall in all other respects conform to the applicable regulations of the district in which it is located, except as such regulations may in each instance be modified by the County Board pursuant to the recommendation of the Zoning Board of Appeals. **Kendall County previously granted a variance regarding distance to non-residentially zoned or use properties through Ordinance 2019-33 at this property. No variances are necessary for the proposed amendment and the special use would otherwise conform to the applicable regulations of the district.***

*That the special use is consistent with the purpose and objectives of the Land Resource Management Plan and other adopted County or municipal plans and policies. **True, the proposed use is consistent with an objective found on Page 6-34 of the Kendall County Land Resource Management Plan which calls for "a strong base of agricultural, commercial and industrial uses that provide a broad range of job opportunities, a healthy tax base, and improved quality of services to County residents" through the encouragement "... of locally owned businesses."***

RECOMMENDATION

Approval subject to the following conditions and restrictions:

1. The site plan, security plan, landscaping plan, and lighting plan referenced as Exhibit C in Ordinance 2019-33 is replaced with the submitted site plan, elevations, and landscaping plan.
2. The vegetation and berm outlined in the landscaping plan shall be installed in the quantities outlined and described in the landscaping plan and shall be installed by June 1, 2022. The Planning, Building and Zoning Committee may extend this deadline upon the request of the property owner. Damaged or dead vegetation shall be replaced on a timeframe approved by the Planning, Building and Zoning Department.
3. The remaining conditions and restrictions contained in Ordinance 2019-33 shall remain effective.
4. Failure to comply with one or more of the above conditions or restrictions or the conditions and restrictions contained in Ordinance 2019-33 could result in the amendment or revocation of the special use permit.
5. If one or more of the above conditions is declared invalid by a court of competent jurisdiction, the remaining conditions shall remain valid.
6. This special use permit and major amendment to an existing special use permit shall be treated as a covenant running with the land and is binding on the successors, heirs, and assigns as to the same special use conducted on the property.

REVISION RECORD table with columns for DATE, REVISION, and DESCRIPTION.

1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPLICABLE AGENCIES AND AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPLICABLE AGENCIES AND AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPLICABLE AGENCIES AND AGENCIES.

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NO.	DATE	DESCRIPTION

CEC
Civil & Environmental Consultants, Inc.
 1720 EAST DEWITT ROAD, SUITE 400 - NAPERVILLE, IL 60563
 630-683-8225 • 630-677-0633
 WWW.CECIL.COM

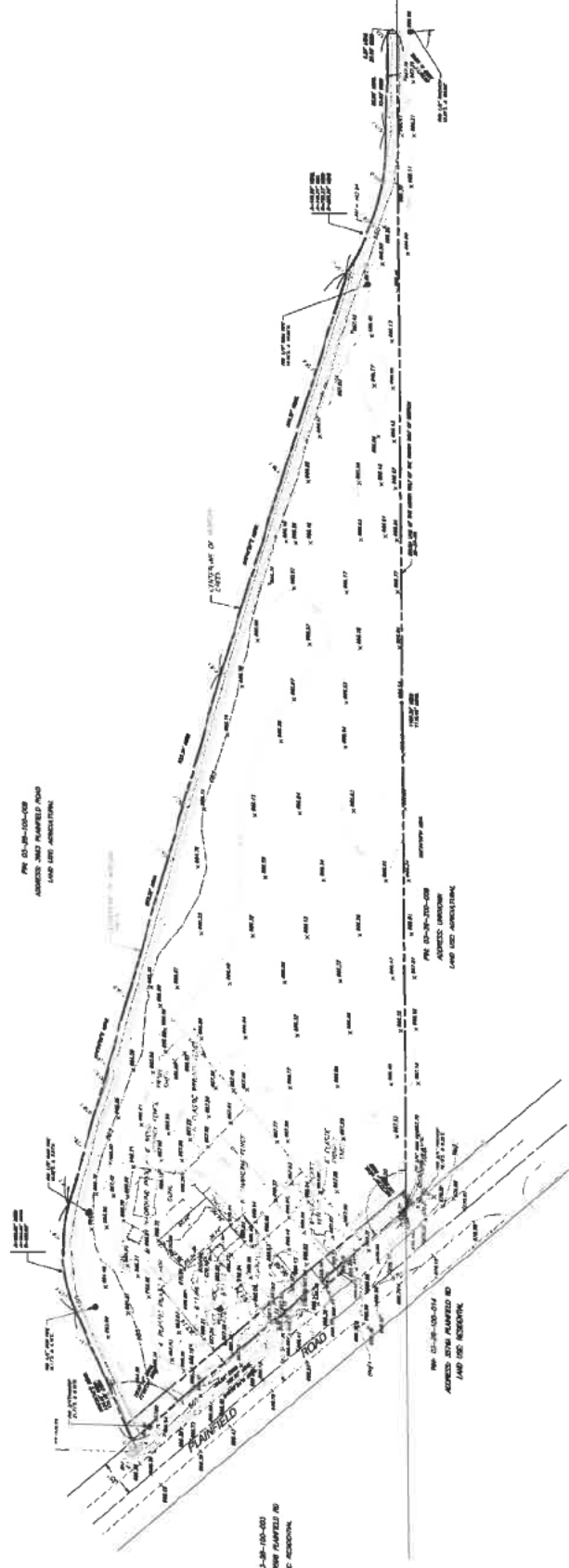
UNBLAD CONSTRUCTION CO. OF JOILET, INC
THE PETS HOME PET RESORT & SPA
3601 PLAINFIELD ROAD
OSWEGO, ILLINOIS 60543

DATE	BY	DESCRIPTION

TOPOGRAPHIC EXHIBIT
 SHEET NO. C200
 OF 200

SITE DATA
 PIN 03-31-100-004
 ADDRESS: PLAINFIELD ROAD
 OSWEGO, IL 60543
 GROSS AREA = 203,801 S.F. (4.73 ACRES)

FLOOD PLAIN NOTE
 THERE ARE NO PARTS OF THE SUBJECT PROPERTY LOCATED WITHIN THE FLOOD PLAIN PER FEMA FIRM PANEL 17083C0086H EFFECTIVE DATE 1/18/2014.



- REFERENCE:**
1. AS SHOWN ON THE FLOOD PLAIN MAP OF THE SUBJECT PROPERTY, BY CIVIL & ENVIRONMENTAL CONSULTANTS, INC.
 2. THE BOUNDARIES SHOWN HEREON ARE BASED UPON A STATE SURVEY BY CIVIL & ENVIRONMENTAL CONSULTANTS, INC. DATED 1/18/2014.
 3. ELEVATIONS SHOWN HEREON ARE BASED ON THE NAD 83 DATUM.
 4. UNDESIGNATED UTILITY INFORMATION SHOWN HEREON IS BASED ON FIELD OBSERVATION.

SCALE IN FEET
 0 10 20 30 40 50 60

NO.	DATE	DESCRIPTION

REVISION RECORD

CFC

Civil & Environmental Consultants, Inc.

1290 East Diani Road, Suite 200 - Naperville, IL 60563
 630-443-0025 • 677-863-0028
 www.cfcinc.com

UNBLAD CONSTRUCTION CO. OF JOLIET, INC.
THE PETS HOME PET RESORT & SPA
3601 PLAINFIELD ROAD
OSWEGO, ILLINOIS 60943

PROJECT NO.	21782222	DATE	07/20/2021
CLIENT	UNBLAD CONSTRUCTION CO.	DRAWN BY	
SCALE	1" = 20' (VERTICAL)	CHECKED BY	

DEMOLITION PLAN

C300

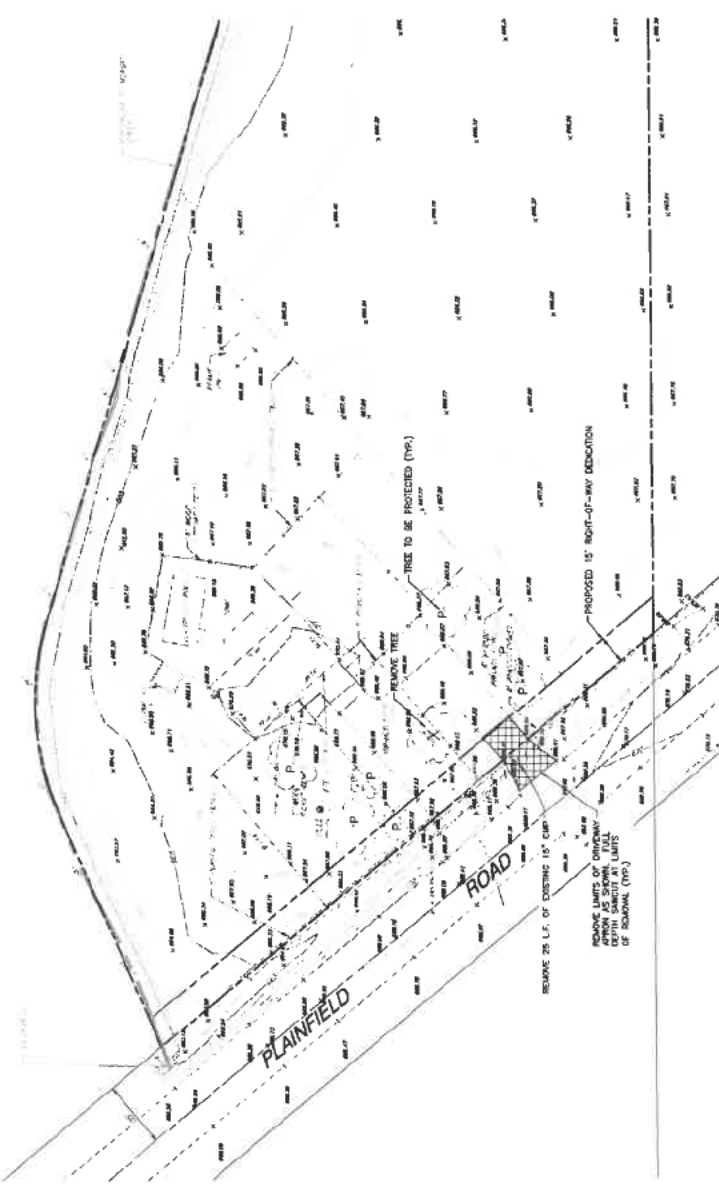
SCALE IN FEET
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DEMOLITION LEGEND

- BITUMINOUS PAVEMENT REMOVAL
- CIP REMOVAL
- RELOCATE NON-COMPLEX ITEM
- STRUCTURE OR TREE TO BE REMOVED
- TREES TO BE PROTECTED WITH FENCING
- TREES TO BE REMOVED

TREE PROTECTION

1. ALL TREES TO BE REMOVED SHALL BE IDENTIFIED BY THE CONTRACTOR AND SHOWN ON THE PLAN.
2. TREES TO BE PROTECTED SHALL BE IDENTIFIED BY THE CONTRACTOR AND SHOWN ON THE PLAN.
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- DEMOLITION PLAN NOTES:**
1. ALL TREES AND BRUSH SCHEDULED FOR REMOVAL SHALL BE COMPLETELY REMOVED INCLUDING TREE STAMPS, ANTI-ROOT BALLS, TREES TO REMAIN, BRUSH, AND LANDSCAPE MATERIAL. ALL NOT SHOWN ON THE PLAN SHALL BE IDENTIFIED BY THE CONTRACTOR AND SHOWN ON THE PLAN PRIOR TO FENCING FOR THE REMOVAL.
 2. EXISTING UTILITY LOCATIONS ARE BASED ON THE BEST AVAILABLE INFORMATION. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL UTILITY LOCATIONS AND DEPTHS PRIOR TO ANY EXCAVATION. THE CONTRACTOR SHALL BE FULLY RESPONSIBLE FOR ANY DAMAGE TO EXISTING UTILITIES AND SHALL BE RESPONSIBLE FOR REPAIR AND SERVICE WHETHER THESE UTILITIES ARE SHOWN ON THE PLAN OR NOT.
 3. ALL TREES AND BRUSH SCHEDULED FOR REMOVAL SHALL BE COMPLETELY REMOVED INCLUDING TREE STAMPS, ANTI-ROOT BALLS, TREES TO REMAIN, BRUSH, AND LANDSCAPE MATERIAL. ALL NOT SHOWN ON THE PLAN SHALL BE IDENTIFIED BY THE CONTRACTOR AND SHOWN ON THE PLAN PRIOR TO FENCING FOR THE REMOVAL.
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 5. ALL MATERIALS FROM DEMOLITION SHALL BE Hauled OFF SITE AND DISPOSED AT AN APPROVED LOCATION.
 6. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE EROSION AND SEDIMENTATION CONTROL MANUAL, THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING THE EXISTING STORM SEWER, PUBLIC ROWWAYS, AND ADJACENT PROPERTIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ADEQUATE EROSION CONTROL MEASURES TO PREVENT SOIL EROSION AND SILTATION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ADEQUATE EROSION CONTROL MEASURES TO PREVENT SOIL EROSION AND SILTATION.
 7. DURING EXISTING OPERATIONS, WATER WILL BE PUMPED INTO RESERVOIRS OR SILL TRAPS. CONCRETE THICKERS SHALL NOT BE PERMITTED TO BE REMOVED UNTIL THE EXISTING OPERATIONS ARE COMPLETE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ADEQUATE EROSION CONTROL MEASURES TO PREVENT SOIL EROSION AND SILTATION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ADEQUATE EROSION CONTROL MEASURES TO PREVENT SOIL EROSION AND SILTATION.
 8. ALL ADJACENT STREETS SHOULD BE KEPT CLEAR OF MUD/DERRIS. THE CONTRACTOR SHALL INSPECT THE STREETS DAILY AND CLEAN THEM AS NECESSARY.

REVISION RECORD

NO.	DATE	DESCRIPTION
1	07/19/16	ISSUED FOR PERMITS
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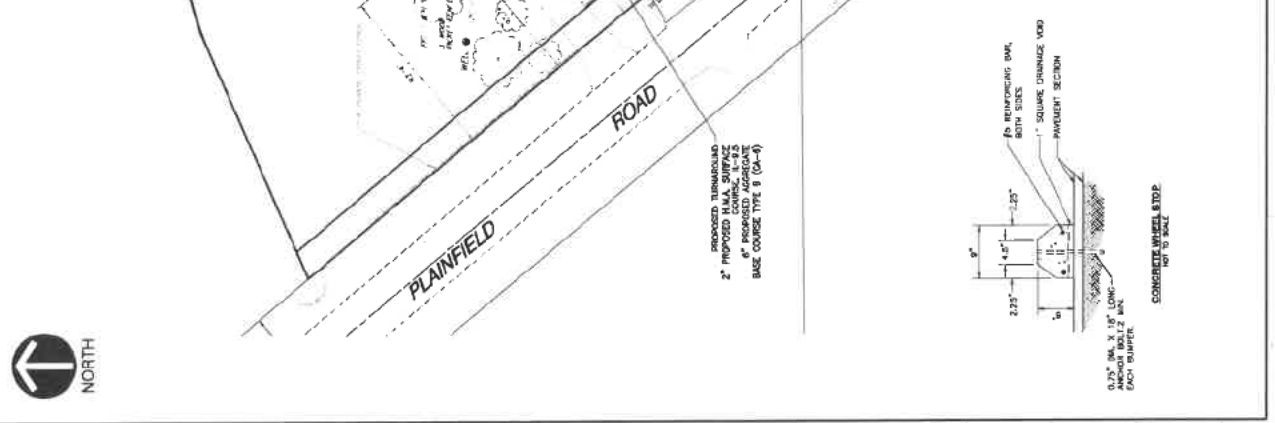
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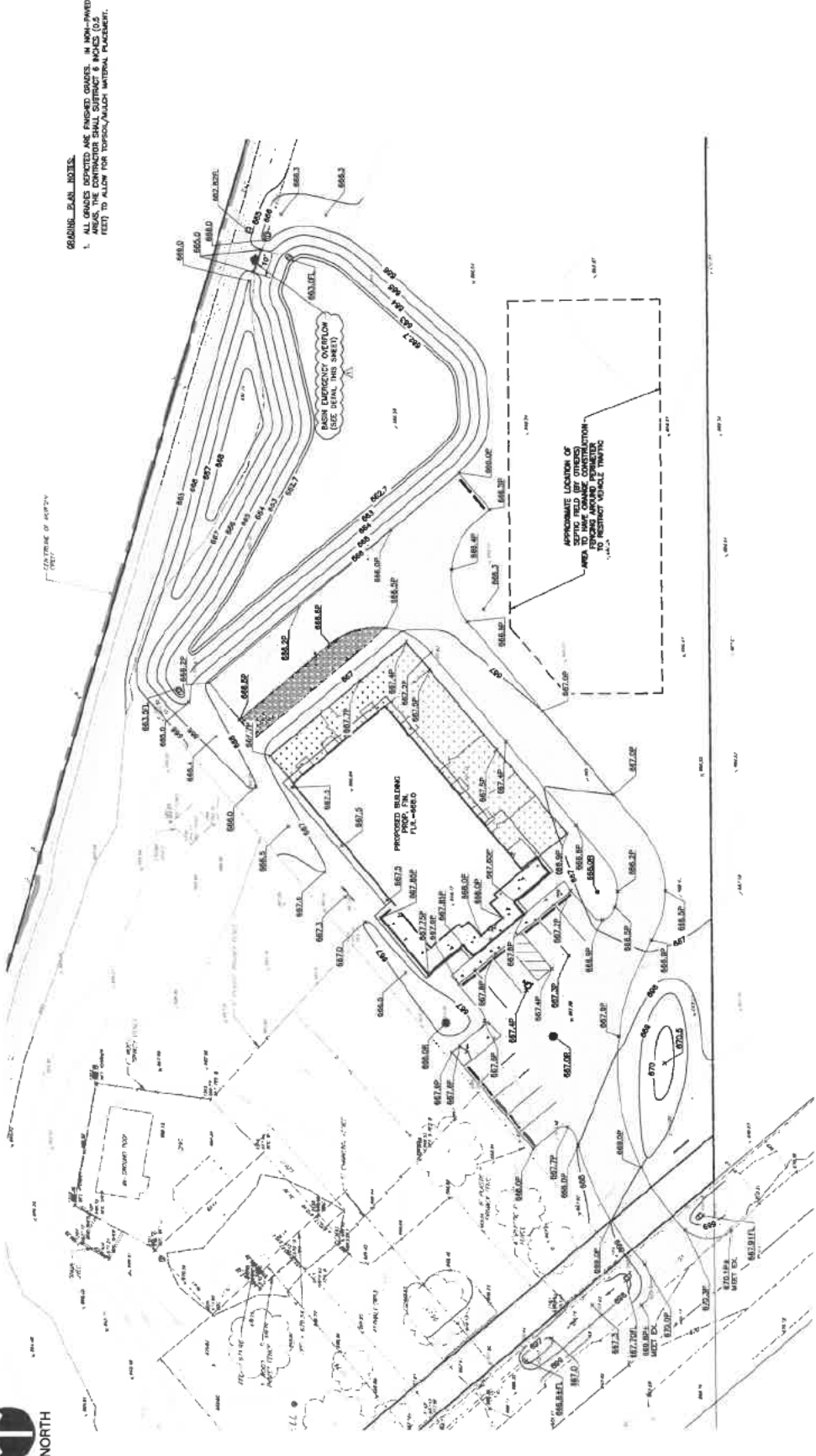
ITEM	DESCRIPTION	AMOUNT
1	TOTAL AREA (S.F.)	208,916.1
2	AREA OF LOT (S.F.)	5,120.0
3	AREA OF BUILDING FOOTPRINT (S.F.)	2,778.5
4	AREA OF DRIVEWAY (S.F.)	10,000.0
5	AREA OF EXISTING PAVEMENT (S.F.)	10,000.0
6	AREA OF EXISTING ASPHALT DRIVEWAY (S.F.)	10,000.0
7	AREA OF EXISTING CONCRET DRIVEWAY (S.F.)	10,000.0
8	AREA OF EXISTING SIDEWALK (S.F.)	10,000.0
9	AREA OF EXISTING CURB (S.F.)	10,000.0
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89	AREA OF EXISTING PAVING (S.F.)	10,000.0
90	AREA OF EXISTING DRIVEWAY (S.F.)	10,000.0
91	AREA OF EXISTING CONCRET DRIVEWAY (S.F.)	10,000.0
92	AREA OF EXISTING SIDEWALK (S.F.)	10,000.0
93	AREA OF EXISTING CURB (S.F.)	10,000.0
94	AREA OF EXISTING GRASS (S.F.)	10,000.0
95	AREA OF EXISTING TREES (S.F.)	10,000.0
96	AREA OF EXISTING UTILITIES (S.F.)	10,000.0
97	AREA OF EXISTING FENCES (S.F.)	10,000.0
98	AREA OF EXISTING SIGNAGE (S.F.)	10,000.0
99	AREA OF EXISTING LIGHTS (S.F.)	10,000.0
100	AREA OF EXISTING LANDSCAPE (S.F.)	10,000.0

ACCESSIBLE PARKING SPACE MARKINGS

1. PROVIDE BROOM FINISH.
 2. CONCRETE SHALL BE CLASS "X" 4,000 PSI UNLESS OTHERWISE NOTED.

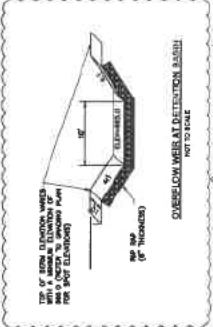
ACCESSIBLE PARKING





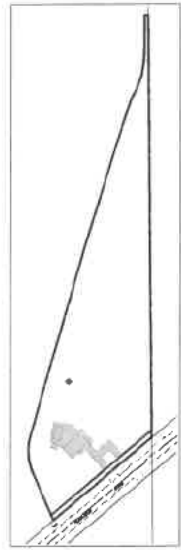
GRADING PLAN NOTES
 1. ALL GRADES ARE FINISHED GRADES. UNLESS NOTED OTHERWISE, ALL GRADES SHALL BE TO THE TOP OF CURB OR FINISH GRADE. A 2% MINIMUM SLOPE SHALL BE MAINTAINED TO ALLOW FOR TOPSOIL/MULCH MATERIAL PLACEMENT.

CONTINUATION OF SHEET 7



IMPERVIOUS AREA CALCULATIONS	
EXISTING	93,073
PROPOSED	33,259
NET INCREASE	59,814

PROPOSED AGGREGATE IMPERVIOUS AREAS SHALL BE COMPENSATED BY THE EXISTING AREA. THE TOTAL AREA IS 126,332. THE REQUIRED PERCENTAGE OF STORMWATER RETENTION AND STORAGE SHALL BE 10% OF THE NET INCREASE. SEE SHEET 7 FOR FURTHER INFORMATION.



SCALE IN FEET
 0 10 20 30 40

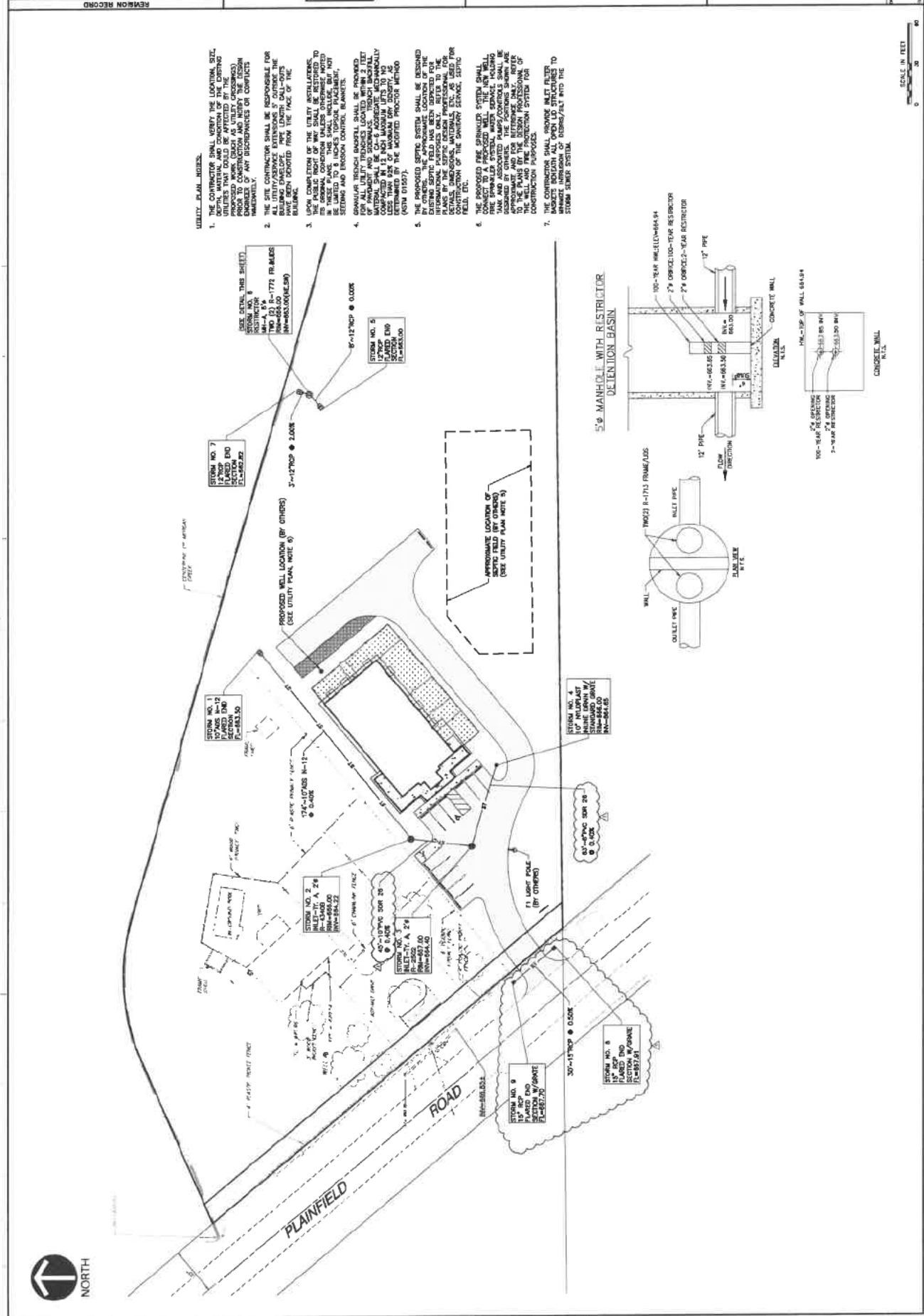
C500

GRADING PLAN

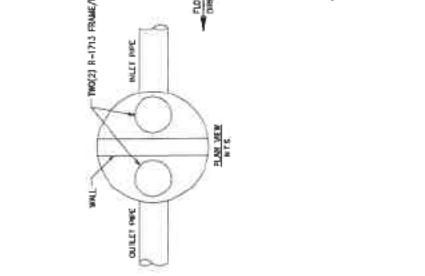
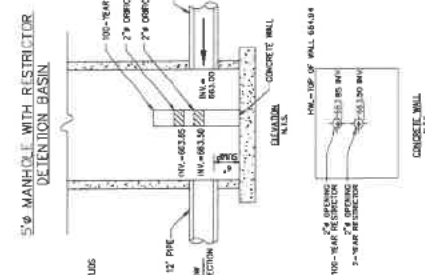
UNBLAD CONSTRUCTION CO. OF JOILET, INC
 THE PETS HOME PET RESORT & SPA
 3601 PLAINFIELD ROAD
 OSWEGO, ILLINOIS 60543

CFC
 Civil & Environmental Consultants, Inc.
 1200 East Dahl Road, Suite 200 - Naperville, IL 60563
 630-688-8028 • 630-688-8029

REVISION RECORD



- UTILITY PLAN NOTES:**
- THE CONTRACTOR SHALL VERIFY THE LOCATION, SIZE, DEPTH, MATERIAL, AND CONDITION OF THE EXISTING PROPOSED WORK (SUCH AS UTILITY CROSSINGS) FROM THE RECORD DRAWINGS AND FIELD SURVEY. THE LOCATION, SIZE, DEPTH, MATERIAL, AND CONDITION OF ANY DISCREPANCIES FOR CONTACTS IMMEDIATELY.
 - THE SITE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL UTILITY SERVICE EXTENSIONS. ANY CONTACTS THAT HAVE BEEN DERIVED FROM THE FACE OF THE BUILDING.
 - THE APPROXIMATE LOCATION OF THE UTILITY INSTALLATIONS TO BE PROVIDED SHALL BE INDICATED BY THE APPROXIMATE LOCATION UNLESS OTHERWISE NOTED. ALL CONTACTS SHALL BE LIMITED TO 6 INCHES TOP-TO-POUR PLACEMENT, NOT INCLUDING AND ENDON CONTROL BLANKETS.
 - GRANULAR TRENCH BACKFILL SHALL BE PROVIDED TO THE TOP OF THE UTILITY INSTALLATION. TRENCH BACKFILL OF PROTECTIVE AND SIDEWALLS SHALL BE LIMITED TO 18 INCHES MAXIMUM WIDTH TO MAXIMUM LESS THAN SIZE OF MAXIMUM BAY WIDTH, AS NOTED (NOTA 01257).
 - THE PROPOSED SEPTIC SYSTEM SHALL BE DESIGNED BY OTHERS. THE APPROXIMATE LOCATION OF THE SEPTIC FIELD SHALL BE INDICATED BY THE APPROXIMATE LOCATION UNLESS OTHERWISE NOTED. THE CONTRACTOR SHALL VERIFY THE LOCATION, SIZE, DEPTH, MATERIAL, AND CONDITION OF THE SEPTIC FIELD FROM THE RECORD DRAWINGS AND FIELD SURVEY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE CONSTRUCTION OF THE SEPTIC SERVICE, SEPTIC FIELD, ETC.
 - CONNECTIONS TO THE SEPTIC SERVICE SHALL BE MADE TO THE SEPTIC SERVICE FROM THE SEPTIC SERVICE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE CONSTRUCTION OF THE SEPTIC SERVICE, SEPTIC FIELD, ETC.
 - CONNECTIONS TO THE SEPTIC SERVICE SHALL BE MADE TO THE SEPTIC SERVICE FROM THE SEPTIC SERVICE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE CONSTRUCTION OF THE SEPTIC SERVICE, SEPTIC FIELD, ETC.



STORMWATER POLLUTION PREVENTION PLAN (SWPPP) HAS BEEN PREPARED TO COMPLY WITH THE PROVISIONS OF THE SWPPP ACT AND TO FACILITATE THE IMPLEMENTATION OF THE SWPPP ACT BY THE CONTRACTOR AND THE PROPERTY OWNER.

The SWPPP is a description of the construction activity that is the subject of this plan. The SWPPP is a description of the construction activity that is the subject of this plan. The SWPPP is a description of the construction activity that is the subject of this plan.

REVISION RECORD

NO.	DATE	DESCRIPTION

READING CONTRACTOR NOTIFICATIONS:

1. NOTIFY THE PROPERTY OWNER IMMEDIATELY UPON RECEIVING ANY CONTRACTOR NOTIFICATION FROM THE SWPPP ACT AND TO FACILITATE THE IMPLEMENTATION OF THE SWPPP ACT BY THE CONTRACTOR AND THE PROPERTY OWNER. THIS NOTIFICATION SHALL BE IN WRITING AND SHALL BE DATED AND SIGNED BY THE CONTRACTOR. THIS NOTIFICATION SHALL BE DATED AND SIGNED BY THE CONTRACTOR. THIS NOTIFICATION SHALL BE DATED AND SIGNED BY THE CONTRACTOR.

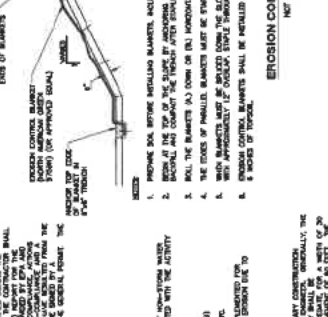
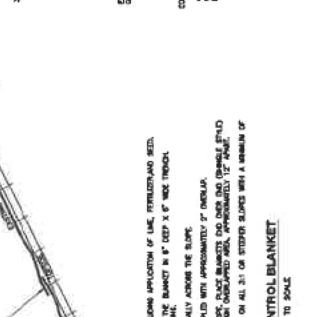
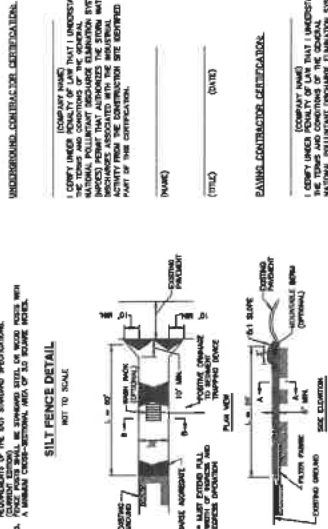
UNDERGROUND CONTRACTOR NOTIFICATIONS:

1. NOTIFY THE PROPERTY OWNER IMMEDIATELY UPON RECEIVING ANY CONTRACTOR NOTIFICATION FROM THE SWPPP ACT AND TO FACILITATE THE IMPLEMENTATION OF THE SWPPP ACT BY THE CONTRACTOR AND THE PROPERTY OWNER. THIS NOTIFICATION SHALL BE IN WRITING AND SHALL BE DATED AND SIGNED BY THE CONTRACTOR. THIS NOTIFICATION SHALL BE DATED AND SIGNED BY THE CONTRACTOR.

SAVING CONTRACTOR NOTIFICATIONS:

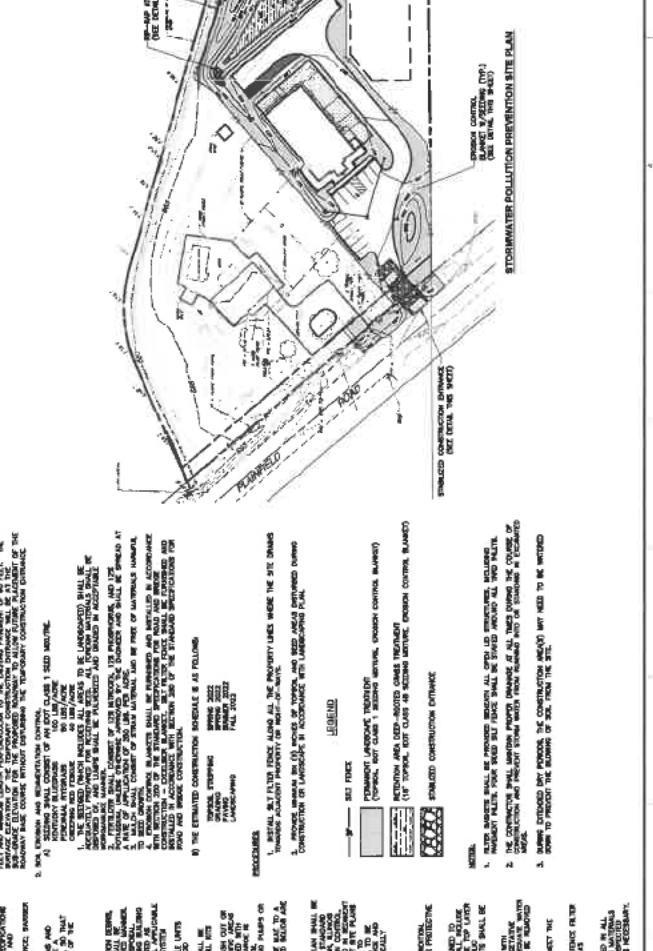
1. NOTIFY THE PROPERTY OWNER IMMEDIATELY UPON RECEIVING ANY CONTRACTOR NOTIFICATION FROM THE SWPPP ACT AND TO FACILITATE THE IMPLEMENTATION OF THE SWPPP ACT BY THE CONTRACTOR AND THE PROPERTY OWNER. THIS NOTIFICATION SHALL BE IN WRITING AND SHALL BE DATED AND SIGNED BY THE CONTRACTOR. THIS NOTIFICATION SHALL BE DATED AND SIGNED BY THE CONTRACTOR.

Civil & Environmental Consultants, Inc.
1280 East Main Road, Suite 200 - Naperville, IL 60563
630-683-0028 • 677-993-0293
www.civilandenvironmental.com



UNBLAD CONSTRUCTION CO. OF JOLIET, INC.
3601 PLAINFIELD ROAD
OSWEGO, ILLINOIS 60543

STORMWATER POLLUTION PREVENTION PLAN
C700



- 1. THE PROPOSED SWPPP... (Text regarding the purpose and scope of the plan)
- 2. THE CONTRACTOR SHALL... (Text regarding contractor responsibilities)
- 3. THE PROPERTY OWNER SHALL... (Text regarding property owner responsibilities)
- 4. THE SWPPP SHALL BE... (Text regarding plan maintenance)
- 5. THE SWPPP SHALL BE... (Text regarding plan availability)
- 6. THE SWPPP SHALL BE... (Text regarding plan updates)
- 7. THE SWPPP SHALL BE... (Text regarding plan closure)

REVISION RECORD

NO.	DATE	DESCRIPTION

UNBLAD CONSTRUCTION CO. OF JOLIET, INC.
3601 PLAINFIELD ROAD
OSWEGO, ILLINOIS 60543

Civil & Environmental Consultants, Inc.
1280 East Main Road, Suite 200 - Naperville, IL 60563
630-683-0028 • 677-993-0293
www.civilandenvironmental.com

NYLOPLAST™ NYLON BRACKET ZIRING...X

NOTE: 1. ALL DIMENSIONS ARE DIMENSIONS UNLESS OTHERWISE SPECIFIED.
2. ALL DIMENSIONS ARE DIMENSIONS UNLESS OTHERWISE SPECIFIED.
3. ALL DIMENSIONS ARE DIMENSIONS UNLESS OTHERWISE SPECIFIED.

Part #	Material	Dimensions
1000	1000	1000
1001	1001	1001
1002	1002	1002
1003	1003	1003
1004	1004	1004
1005	1005	1005
1006	1006	1006
1007	1007	1007
1008	1008	1008
1009	1009	1009
1010	1010	1010
1011	1011	1011
1012	1012	1012
1013	1013	1013
1014	1014	1014
1015	1015	1015
1016	1016	1016
1017	1017	1017
1018	1018	1018
1019	1019	1019
1020	1020	1020

FLARED END SECTIONS

IC THREADED END
FLANGES, WELDS AND SHIELDS
SEE NOTE

Part #	Material	Dimensions
1021	1021	1021
1022	1022	1022
1023	1023	1023
1024	1024	1024
1025	1025	1025
1026	1026	1026
1027	1027	1027
1028	1028	1028
1029	1029	1029
1030	1030	1030
1031	1031	1031
1032	1032	1032
1033	1033	1033
1034	1034	1034
1035	1035	1035
1036	1036	1036
1037	1037	1037
1038	1038	1038
1039	1039	1039
1040	1040	1040

NYLON BRACKET ZIRING...X

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NYLON BRACKET ZIRING...X

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NYLON BRACKET ZIRING...X

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3. ALL DIMENSIONS ARE DIMENSIONS UNLESS OTHERWISE SPECIFIED.

PIPE OUTLET TO FLAT AREA

PIPE OUTLET TO FLAT AREA
IN WALL-OUTLET CHANNEL

NOTE: 1. ALL DIMENSIONS ARE DIMENSIONS UNLESS OTHERWISE SPECIFIED.
2. ALL DIMENSIONS ARE DIMENSIONS UNLESS OTHERWISE SPECIFIED.
3. ALL DIMENSIONS ARE DIMENSIONS UNLESS OTHERWISE SPECIFIED.

NYLON BRACKET ZIRING...X

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NYLON BRACKET ZIRING...X

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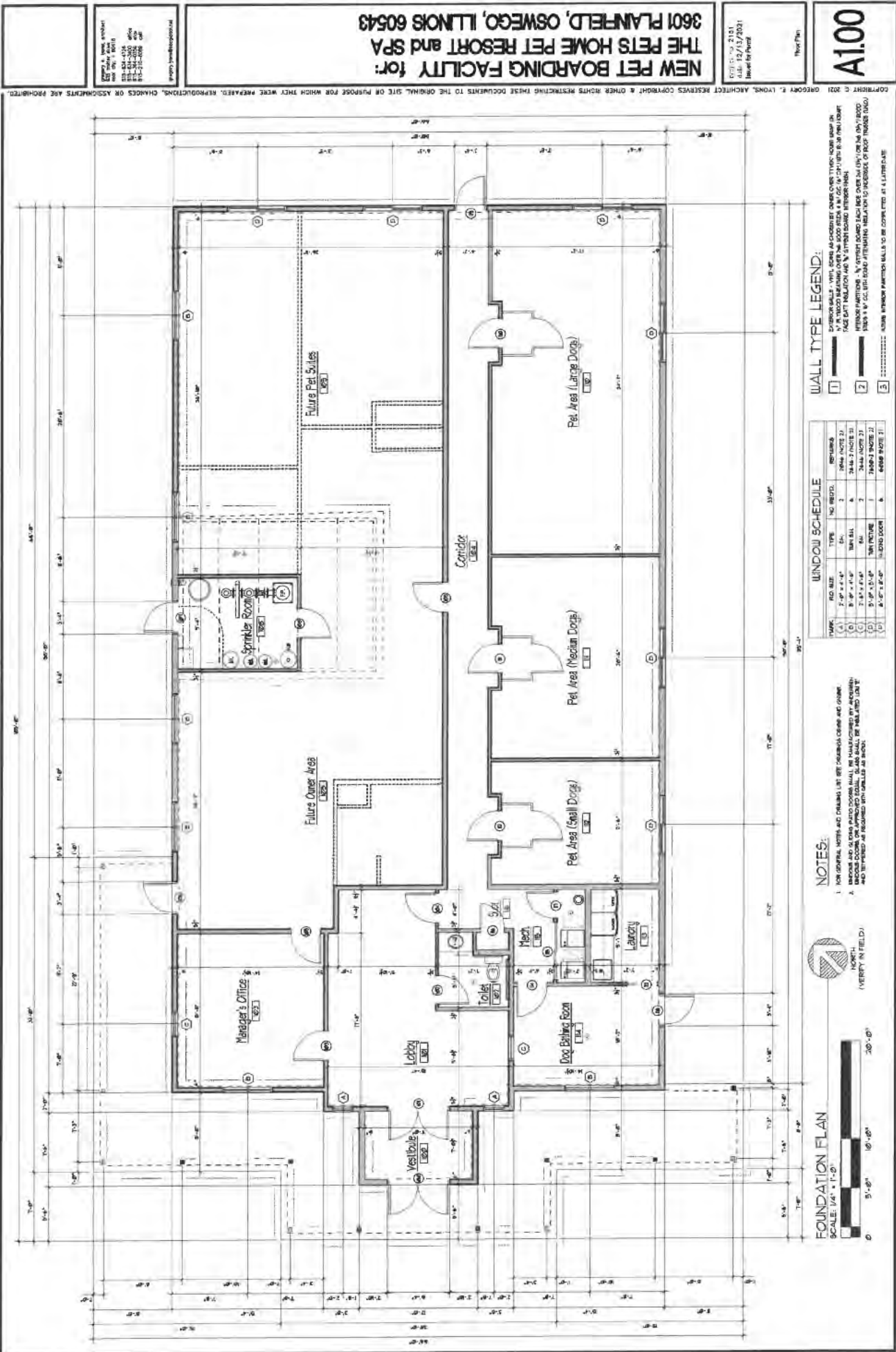
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Exterior Rendering

Project No. 2151
Date: 12/13/2021
Issued For Permit

**NEW PET BOARDING FACILITY for:
THE PETS HOME PET RESORT and SPA
3601 PLAINFIELD, OSWEGO, ILLINOIS 60543**

Gregory E. Lyons, Architect
1000 N. 10th St.
Suite 100
Oswego, IL 60543
Tel: 630-291-7777
Fax: 630-291-7778
www.gelyons.com
gelyons@comcast.net



FOUNDATION PLAN
SCALE: 1/4" = 1'-0"



NOTES:
1. FOR GENERAL NOTES AND DETAILS, SEE DRAWING CONCRETE AND CONCRETE REINFORCING AND REVISIONS TO BE INDICATED BY NUMBER AND REFERRED TO AS REQUIRED WITH CALLOUTS AS NOTED.
2. REVISIONS TO BE INDICATED BY NUMBER AND REFERRED TO AS REQUIRED WITH CALLOUTS AS NOTED.

WINDOW SCHEDULE

MARK	NO. REQ'D.	TYPE	REF. USED
1	2	6'-0" x 4'-0"	2044-NOTE 21
2	2	6'-0" x 4'-0"	2044-NOTE 21
3	2	6'-0" x 4'-0"	2044-NOTE 21
4	2	6'-0" x 4'-0"	2044-NOTE 21
5	2	6'-0" x 4'-0"	2044-NOTE 21
6	2	6'-0" x 4'-0"	2044-NOTE 21
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9	2	6'-0" x 4'-0"	2044-NOTE 21
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11	2	6'-0" x 4'-0"	2044-NOTE 21
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14	2	6'-0" x 4'-0"	2044-NOTE 21
15	2	6'-0" x 4'-0"	2044-NOTE 21
16	2	6'-0" x 4'-0"	2044-NOTE 21
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100	2	6'-0" x 4'-0"	2044-NOTE 21

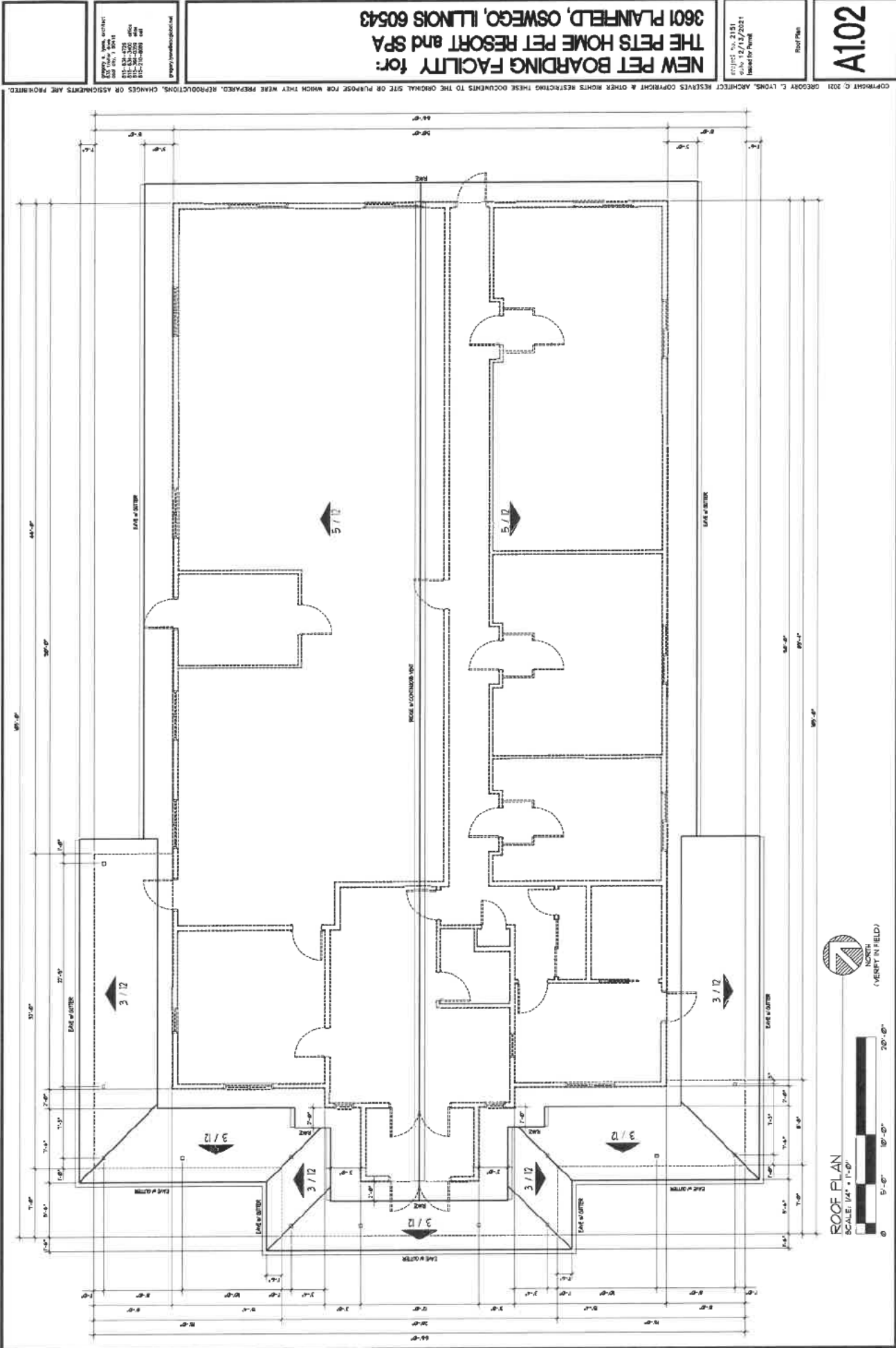
WALL TYPE LEGEND:
1. EXTERIOR WALL - WITH CORE AS SHOWN BY OWNER OVER TYPE CORE SHOWN IN PLAN. SEE NOTE 21.
2. INTERIOR WALL - WITH CORE AS SHOWN BY OWNER OVER TYPE CORE SHOWN IN PLAN. SEE NOTE 21.
3. INTERIOR WALL - WITH CORE AS SHOWN BY OWNER OVER TYPE CORE SHOWN IN PLAN. SEE NOTE 21.
4. INTERIOR WALL - WITH CORE AS SHOWN BY OWNER OVER TYPE CORE SHOWN IN PLAN. SEE NOTE 21.
5. INTERIOR WALL - WITH CORE AS SHOWN BY OWNER OVER TYPE CORE SHOWN IN PLAN. SEE NOTE 21.

A1.00
New Plan
DATE: 12/13/2021
BY: [Signature]

NEW PET BOARDING FACILITY for:
THE PETS HOME PET RESORT and SPA
3601 PLAINFIELD, OSWEGO, ILLINOIS 60543

OWNER: [Name]
ARCHITECT: [Name]
DATE: [Date]

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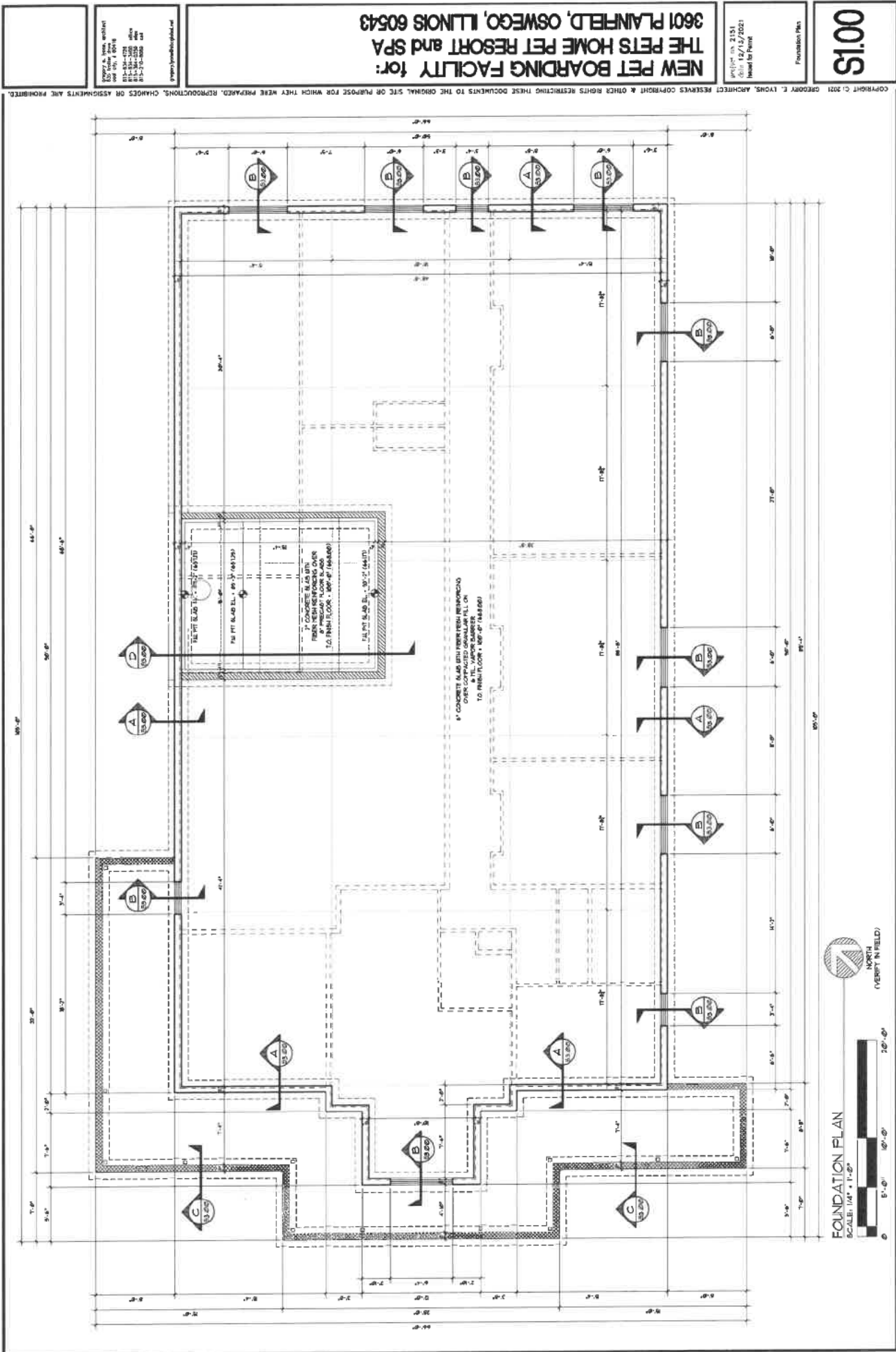
PROJECT NO. 2151
 DATE 12/13/2021
 BASED FOR PERMIT

3601 PLAINFIELD, OSWEGO, ILLINOIS 60543
THE PETS HOME PET RESORT and SPA
NEW PET BOARDING FACILITY for:

Gregory C. Lyons, Architect
 200 N. W. 1st St.
 Chicago, IL 60607
 Tel: 312-321-2222
 Fax: 312-321-2222
 Email: gcl@gregoryc.lyons.com

A1.02
 Roof Plan

Roof Plan
 SCALE: 1/4" = 1'-0"
 NORTH
 (VERIFY IN FIELD)
 0 5'-0" 10'-0" 20'-0"



PROJECT: New, residential
 3601 PLAINFIELD, OSWEGO, ILLINOIS 60543
 DATE: 12/13/2021
 DRAWN BY: [Name]
 CHECKED BY: [Name]

NEW PET BOARDING FACILITY for: THE PETS HOME PET RESORT and SPA 3601 PLAINFIELD, OSWEGO, ILLINOIS 60543

FOUNDATION PLAN
 SCALE: 1/4" = 1'-0"
 NORTH ARROW (VERIFY IN FIELD)

FOUNDATION PLAN
 SCALE: 1/4" = 1'-0"
 NORTH ARROW (VERIFY IN FIELD)

FOUNDATION PLAN
 SCALE: 1/4" = 1'-0"
 NORTH ARROW (VERIFY IN FIELD)

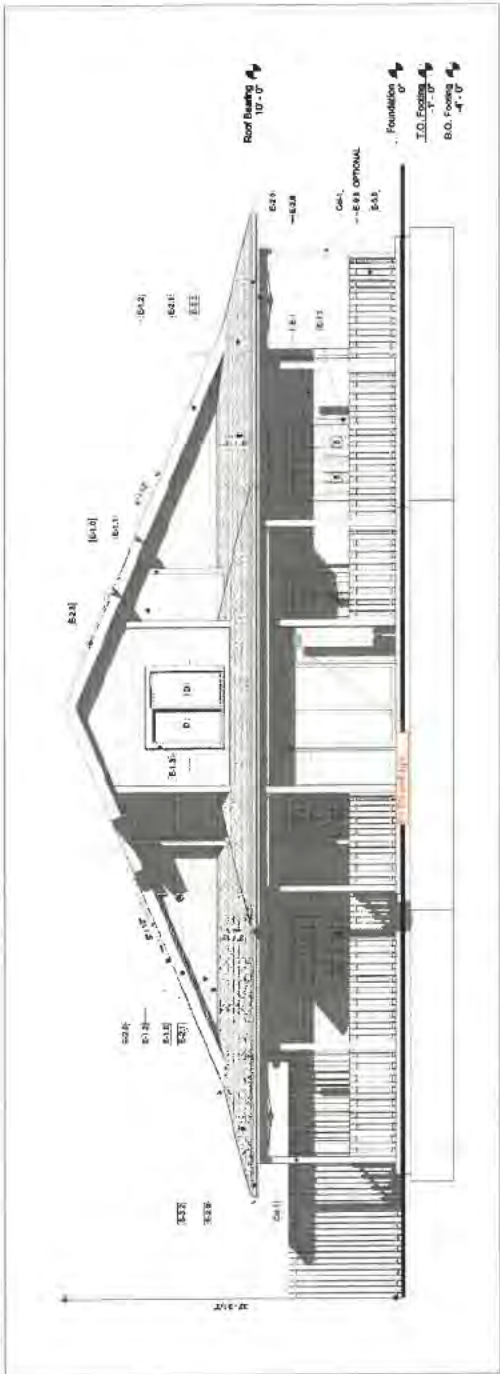
FOUNDATION PLAN
 SCALE: 1/4" = 1'-0"
 NORTH ARROW (VERIFY IN FIELD)

FOUNDATION PLAN
 SCALE: 1/4" = 1'-0"
 NORTH ARROW (VERIFY IN FIELD)

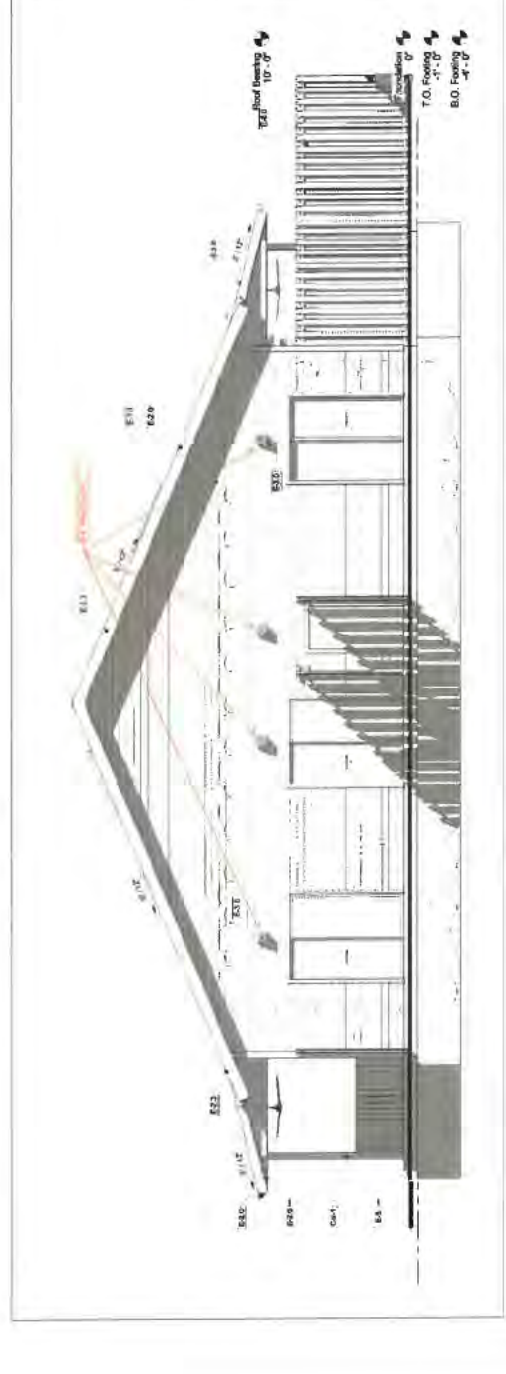
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ELEVATION'S KEYNOTE LEGEND

KEY NUMBER	KEY DESCRIPTION
CEL-1	4x4 TREATED WOOD POST AT STRONG FINISH-HE BASE AND CLAY CONC.
E-1A	W/4x6 WOOD BOARD - VERT. LAP JOINTS (MIN. 12" MIN)
E-1B	W/4x6 WOOD BOARD (HORIZ.)
E-1C	W/4x6 WOOD BOARD (HORIZ.)
E-1D	W/4x6 WOOD BOARD (HORIZ.)
E-1E	W/4x6 WOOD BOARD (HORIZ.)
E-1F	W/4x6 WOOD BOARD (HORIZ.)
E-1G	W/4x6 WOOD BOARD (HORIZ.)
E-1H	W/4x6 WOOD BOARD (HORIZ.)
E-1I	W/4x6 WOOD BOARD (HORIZ.)
E-1J	W/4x6 WOOD BOARD (HORIZ.)
E-1K	W/4x6 WOOD BOARD (HORIZ.)
E-1L	W/4x6 WOOD BOARD (HORIZ.)
E-1M	W/4x6 WOOD BOARD (HORIZ.)
E-1N	W/4x6 WOOD BOARD (HORIZ.)
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E-2Z	CONCRETE W/4x6 WOOD BOARD (HORIZ.)
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E-3Y	CONCRETE W/4x6 WOOD BOARD (HORIZ.)
E-3Z	CONCRETE W/4x6 WOOD BOARD (HORIZ.)
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E-4B	CONCRETE W/4x6 WOOD BOARD (HORIZ.)
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E-4X	CONCRETE W/4x6 WOOD BOARD (HORIZ.)
E-4Y	CONCRETE W/4x6 WOOD BOARD (HORIZ.)
E-4Z	CONCRETE W/4x6 WOOD BOARD (HORIZ.)



FRONT ELEVATION (Reversed)
SCALE: 1/4" = 1'-0"



REAR ELEVATION (Reversed)
SCALE: 1/4" = 1'-0"

NOTES:
1. FOR GENERAL NOTES AND DETAILS SEE THE PROJECT MANUAL AND SPECIFICATIONS.

NEW PET BOARDING FACILITY for:
THE PETS HOME PET RESORT and SPA
3601 PLAINFIELD, OSWEGO, ILLINOIS 60543

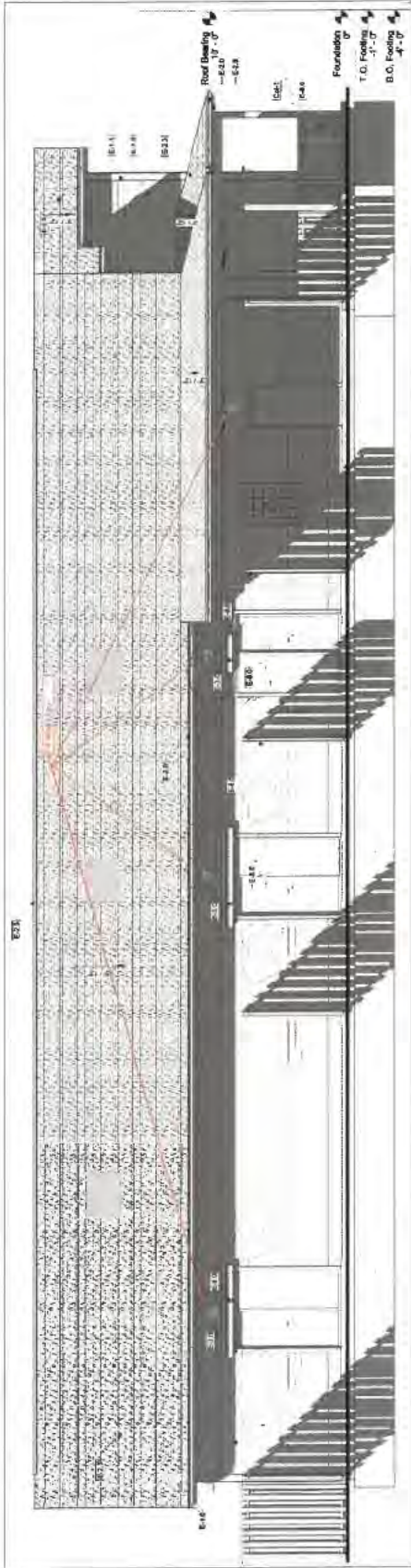
Project No. 2151
Date: 12/15/2021
Need for Print

A2.00

Edison Creations

Gregory E. Lyons, Architect
115 N. 4th St.
Oswego, IL 60543
630-231-4775
630-231-4776
630-231-4777
630-231-4778
630-231-4779

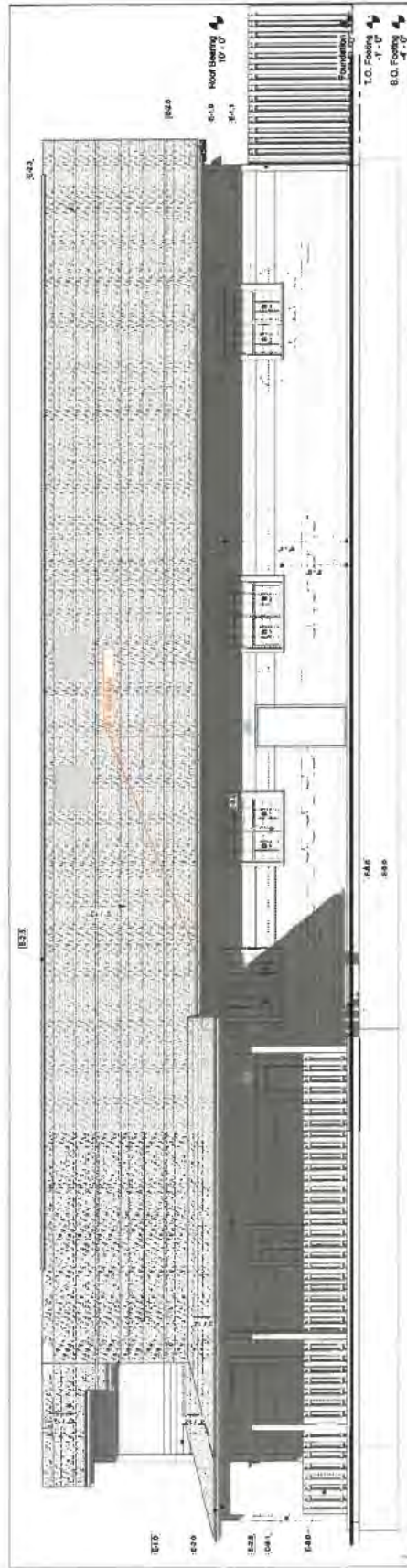
gregory@edisoncreations.com
www.edisoncreations.com



RIGHT ELEVATION (Reversed)
SCALE: 1/4" = 1'-0"

NOTES:

1. FOR ORIGINAL NOTES AND DRAWING SET SEE DRAWING CLIP AND G165
2. FOR ELEVATION KEYNOTE LEGEND SEE DRAWING A1.02



LEFT ELEVATION (Reversed)
SCALE: 1/4" = 1'-0"

Project: 19. Pets, animals
 Date: 11/1/2021
 815-654-0725
 815-331-2000
 815-331-8098
 815-331-8098 fax

www.corhont.com

NEW PET BOARDING FACILITY for:
THE PETS HOME PET RESORT and SPA
3601 PLAINFIELD, OSWEGO, ILLINOIS 60543

Project no: 2151
 Date: 12/13/2021
 Issued for Permit

Exhibit Drawings

A2.01

Matt Asselmeier

From: Alec Keenum <akeenum@oswegofire.com>
Sent: Friday, June 23, 2023 6:00 AM
To: Matt Asselmeier
Cc: Brian Holdiman; [REDACTED]
Subject: RE: [External]fence and sign 3587 Plainfield Rd

Matt...

The FD understands this explanation and has no issues with the fence as described.

Regards,

Capt. Alec J Keenum
Fire Marshal
Oswego Fire Protection District



From: laura gay [REDACTED]
Sent: Thursday, June 22, 2023 4:19 PM
To: Alec Keenum akeenum@oswegofire.com
Subject: Fence and sign

I know you're probably still listening to that long message of mine but I thought I would send you an email too. The north side of the building where the fence I need it up front because we have one of those push doors and when a dog lays on it or jumps on it the door opens up and out they go so that's why I need the fence up front. It is not locking so you can walk right back there it will open like a normal fence. On the other side where the driveway is that's a sliding fence once again it's not locking you can slide it and get on back there.

From: Alec Keenum
Sent: Wednesday, June 21, 2023 12:38 PM
To: 'Matt Asselmeier' <masselmeier@kendallcountyil.gov>; FireChief <firechief@oswegofire.com>
Cc: Brian Holdiman <BHoldiman@kendallcountyil.gov>; Seth Wormley <swormley@kendallcountyil.gov>; Latreese

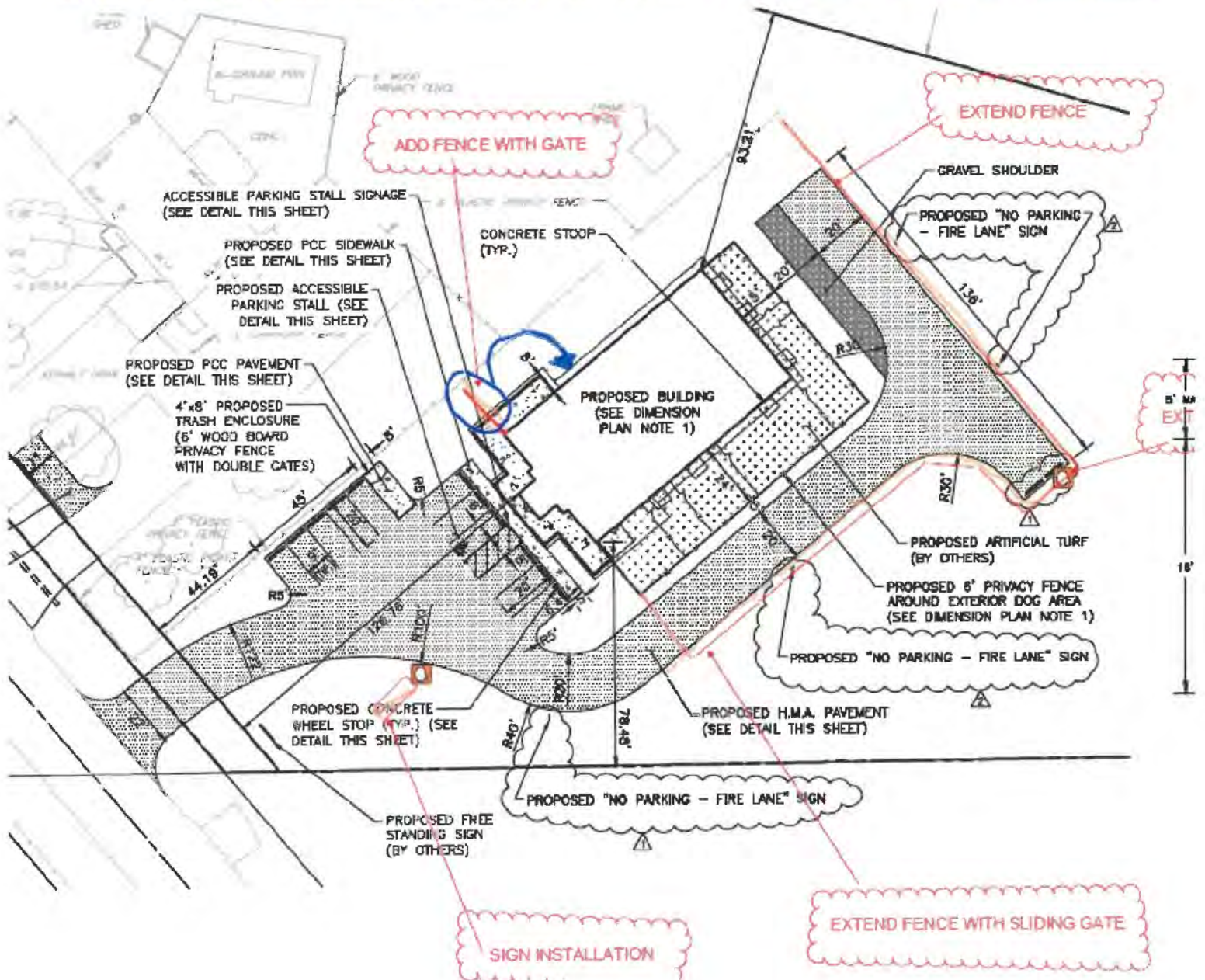
Caldwell <LCaldwell@kendallcountyil.gov>
Subject: RE: [External]fence and sign 3587 Plainfield Rd

Hi Matt,

I believe this is the first we have heard of this.

Do we know if these gates are locked or just closable to assist in containing the pets to the yard? IN either case, the fencing cannot impede on the drive surfaces 20' minimum unobstructed access.

The smaller gate on the "north" side - would prefer to see that moved such that the access to the sprinkler riser room/FACP is *not* within the fenced in area. The larger sliding gate on the south side - if this is electronically secured, then a Knox gate switch will be required to be added. If it is merely padlocked, then a Knox padlock will be required to supplement the owners padlock, allowing either party to secure/unsecure the gate without affecting each others padlock.



Regards,

Capt. Alec J Keenum
Fire Marshal
Oswego Fire Protection District

From: Matt Asselmeier <masselmeier@kendallcountyil.gov>
Sent: Wednesday, June 21, 2023 12:21 PM
To: Alec Keenum <akeenum@oswegofire.com>; FireChief <firechief@oswegofire.com>
Cc: Brian Holdiman <BHoldiman@kendallcountyil.gov>; Seth Wormley <swormley@kendallcountyil.gov>; Latreese Caldwell <LCaldwell@kendallcountyil.gov>
Subject: FW: [External]fence and sign

Captain Keenum:

Laura Gay wants to install a fence as depicted on the attached site plan at 3587 (formerly 3601) Plainfield Road.

Before I send her the information to obtain a minor amendment to her special use permit, I wanted to run this by you. Were you aware that she wanted to install this fence? Do you have any objections to the installation of the fence as proposed?

Thanks,

Matthew H. Asselmeier, AICP, CFM
Director
Kendall County Planning, Building & Zoning
111 West Fox Street
Yorkville, IL 60560-1498
PH: 630-553-4139
Fax: 630-553-4179

From: laura gay <[REDACTED]>
Sent: Wednesday, June 21, 2023 10:03 AM
To: Matt Asselmeier <masselmeier@kendallcountyil.gov>
Subject: [External]fence and sign

CAUTION - This email originated from outside the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

Laura Mae

The Pet's Home
www.thepetshome.com

MINOR AMENDMENT TO EXISTING SPECIAL USE

AMENDING THE SITE PLAN FOR A KENNEL AT 3587 (3601) PLAINFIELD ROAD AND IDENTIFIED BY PARCEL IDENTIFICATION NUMBER 03-28-100-018 IN OSWEGO TOWNSHIP

WHEREAS, Section 13:08 of the Kendall County Zoning Ordinance permits the Kendall County Planning, Building and Zoning Committee of the Kendall County Board to approve minor amendments to existing special use permits and provides the procedure through which minor amendments to existing special use permits are granted; and

WHEREAS, the property which is the subject of this Ordinance has been, at all relevant times, and remains currently located within the A-1 Agricultural District and consists of approximately five (5) acres located at 3587 (3601) Plainfield Road (PIN: 03-28-100-018), in Oswego Township. The legal description for the subject property is set forth in Exhibit A attached hereto and incorporated by reference, and this property shall hereinafter be referred to as “the subject property.”; and

WHEREAS, on November 19, 2019, the Kendall County Board approved Ordinance 2019-33 which granted a special use permit for a kennel at the subject property; and

WHEREAS, on March 22, 2022, the Kendall County Board approved Ordinance 2022-09 which amended the site plan for the special use permit for a kennel at the subject property; and

WHEREAS, the subject property is currently owned by John and Laura Gay and hereinafter shall be referred to as “Petitioner”; and

WHEREAS, on or about July 1, 2023, Petitioner filed a petition for a minor amendment to Condition Number 2.A of Ordinance 2022-09 to install additional fencing, gates, and rotate signage at the subject property; and

NOW, THEREFORE, BE IT ORDAINED, BY THE PLANNING, BUILDING AND ZONING COMMITTEE OF THE COUNTY BOARD OF KENDALL COUNTY, ILLINOIS, as follows:

1. The Planning, Building and Zoning Committee of the Kendall County Board finds that the requested minor amendment will result in equal or better performance than the original condition imposed and the property will still be in substantial compliance with the previously approved Ordinance 2019-33 and Ordinance 2022-09.
2. The Planning, Building and Zoning Committee of the Kendall County Board hereby grants approval of Petitioner’s petition for a minor amendment to Condition Number 2.A of Ordinance 2022-09 by allowing for the installation of six foot (6’) tall vinyl fencing with gates and the rotation of the sign as depicted on the site plan attached hereto as Exhibit B.
3. This minor amendment shall be treated as a covenant running with the land and is binding on the successors, heirs, and assigns as to the same special use conducted on the property.

IN WITNESS OF, this minor amendment to an existing special use permit has been enacted by a majority vote of the Planning, Building and Zoning Committee of the Kendall County Board and is effective this 7th day of August, 2023.

State of Illinois
County of Kendall

Zoning Petition
#23-27

Attest:

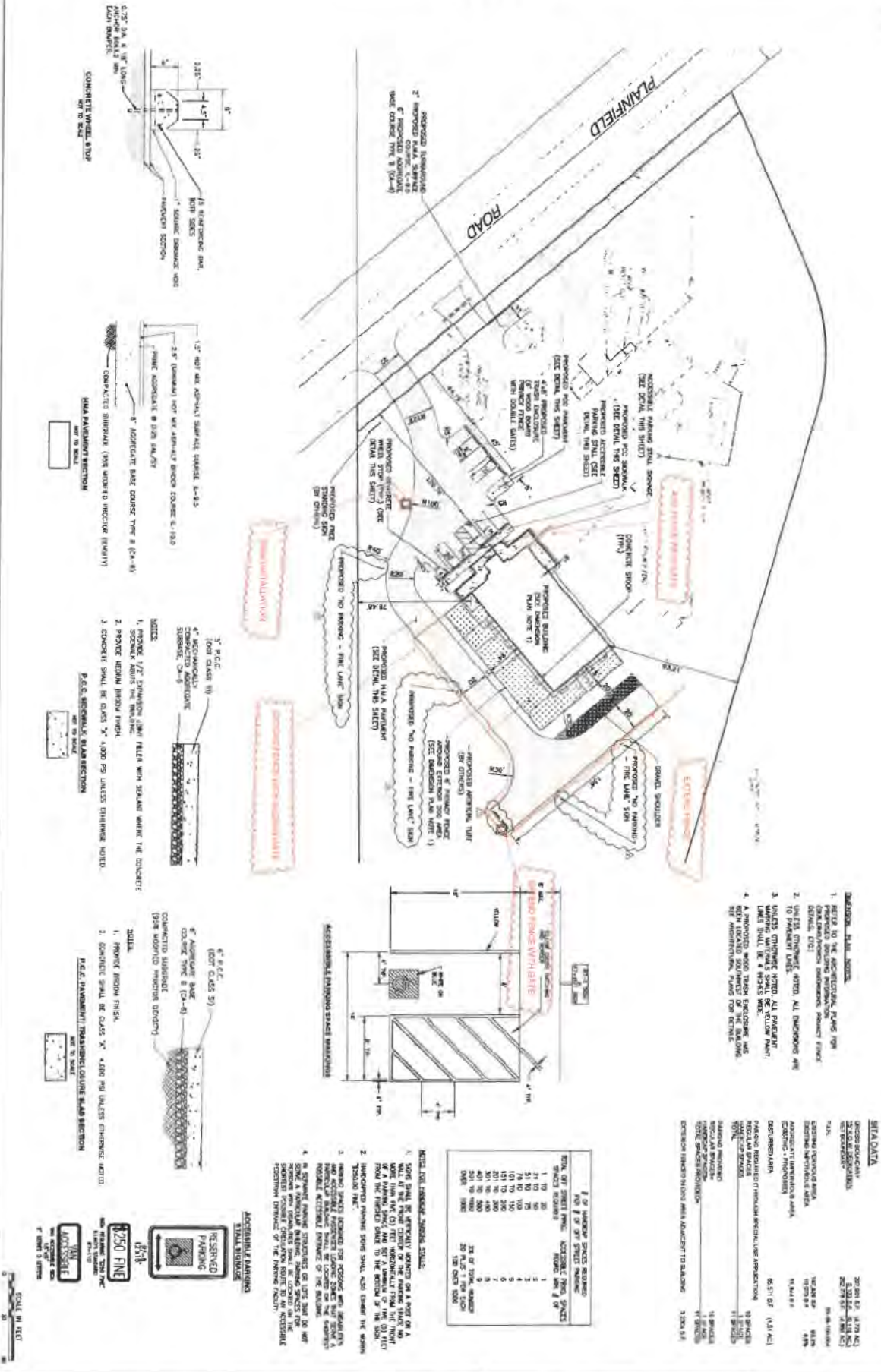
Kendall County Zoning Administrator
Matthew H. Asselmeier

Kendall County PBZ Committee Chairman
Seth Wormley

Exhibit A

LEGAL DESCRIPTION

THAT PART OF THE NORTH HALF OF THE NORTH HALF OF SECTION 28, TOWNSHIP 37 NORTH, RANGE 8 EAST OF THE THIRD PRINCIPAL MERIDIAN, DESCRIBED AS FOLLOWS: COMMENCING AT THE SOUTHWEST CORNER OF THE NORTH HALF OF THE NORTH HALF OF SAID SECTION 28, THENCE EASTERLY ALONG THE SOUTH LINE OF SAID NORTH HALF OF THE NORTH HALF OF SAID SECTION 28, 1902.46 FEET TO A POINT IN THE EASTERLY RIGHT OF WAY OF PLAINFIELD ROAD FOR A POINT OF BEGINNING; THENCE NORTHWESTERLY ALONG THE EASTERLY RIGHT OF WAY LINE OF PLAINFIELD ROAD WHICH FORMS AN ANGLE OF 129 DEGREES 35 MINUTES 20 SECONDS TO THE LEFT FROM A PROLONGATION OF THE LAST DESCRIBED LINE, 354.51 FEET TO A POINT IN THE CENTER LINE OF MORGAN CREEK; THENCE NORTHEASTERLY ALONG SAID CENTER LINE OF MORGAN CREEK WHICH FORMS AN ANGLE OF 71 DEGREES 58 MINUTES 30 SECONDS WITH THE LAST DESCRIBED LINE, MEASURED FROM SOUTHEAST TO NORTHEAST, 131.19 FEET TO A POINT OF CURVATURE; THENCE SOUTHEASTERLY ALONG SAID CENTER LINE OF MORGAN CREEK BEING A CURVE TO THE RIGHT HAVING A RADIUS OF 150.00 FEET FOR AN ARC DISTANCE OF 100.42 FEET TO A POINT OF TANGENCY; THENCE SOUTHEASTERLY ALONG SAID CENTER LINE OF MORGAN CREEK, 933.39 FEET TO A POINT OF CURVATURE ; THENCE EASTERLY ALONG SAID CENTER LINE OF MORGAN CREEK BEING A CURVE TO THE LEFT HAVING A RADIUS OF 753.23 FEET FOR AN ARC DISTANCE OF 149.51 FEET TO A POINT OF TANGENCY; THENCE EASTERLY ALONG SAID CENTER LINE OF MORGAN CREEK 73.03 FEET; THENCE SOUTHERLY ALONG A LINE WHICH FORMS AN ANGLE OF 95 DEGREES 25 MINUTES 11 SECONDS MEASURED FROM WEST TO SOUTH WITH THE LAST DESCRIBED LINE, 20.00 FEET TO A POINT IN SAID SOUTH LINE OF THE NORTH HALF OF THE NORTH HALF OF SECTION 28, THENCE WESTERLY ALONG THE SAID SOUTH LINE OF THE NORTH HALF OF THE NORTH HALF OF SECTION 28, 1107.30 FEET TO THE POINT OF BEGINNING, ALL IN THE TOWNSHIP OF OSWEGO, KENDALL COUNTY, ILLINOIS.



REVISION RECORD

NO.	DATE	DESCRIPTION

LINDSLAD CONSTRUCTION CO. OF JOILET, INC
THE PETS HOME PET RESORT & SPA
3601 PLAINFIELD ROAD
OSWEGO, ILLINOIS 60543

CEC
Civil & Environmental Consultants, Inc.
 1200 East O'Hair Road, Suite 200 - Naperville, IL 60563
 630-963-6026 - 877-963-6026
 www.cec.com

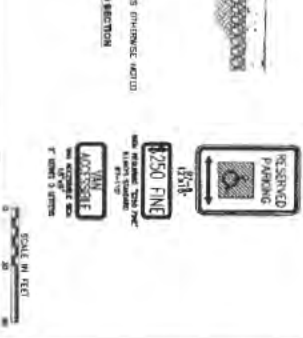
SCALE: 1/8" = 1'-0"

DATE: 01/18/2023 DRAWN BY: **MAJ**

DATE: 01/18/2023 CHECKED BY: **TJS**

PROJECT NO: 115-044

APPROVED BY: [Signature]



REBAR DATA

SECTION	BAR SIZE	SPACING	STARTING POINT	ENDING POINT
1	1/2"	12"	0'	12'
2	1/2"	12"	12'	24'
3	1/2"	12"	24'	36'
4	1/2"	12"	36'	48'

REBAR DATA

SECTION	BAR SIZE	SPACING	STARTING POINT	ENDING POINT
1	1/2"	12"	0'	12'
2	1/2"	12"	12'	24'
3	1/2"	12"	24'	36'
4	1/2"	12"	36'	48'

Matt Asselmeier

From: mike isadore <[REDACTED]>
Sent: Monday, July 10, 2023 9:12 AM
To: Matt Asselmeier
Subject: Re: [External]15331 BURR OAK RD SPECIAL USE PERMIT FOR SWIMMING LESSONS

Yes I would. Thank you so much for reaching out.

Mike Isadore

Sent from my iPhone

On Jul 10, 2023, at 8:57 AM, Matt Asselmeier <masselmeier@kendallcountyil.gov> wrote:

Michael:

Do you wish to renew the special use permit for swimming lessons at your property at 15331 Burr Oak Road?

Thanks,

Matthew H. Asselmeier, AICP, CFM
Director
Kendall County Planning, Building & Zoning
111 West Fox Street
Yorkville, IL 60560-1498
PH: 630-553-4139
Fax: 630-553-4179

From: Matt Asselmeier
Sent: Tuesday, August 9, 2022 11:37 AM
To: 'mike isadore' <[REDACTED]>
Subject: RE: [External]15331 BURR OAK RD SPECIAL USE PERMIT FOR SWIMMING LESSONS

Michael:

The Committee approved the renewal.

Thanks,

Matthew H. Asselmeier, AICP, CFM
Senior Planner
Kendall County Planning, Building & Zoning
111 West Fox Street
Yorkville, IL 60560-1498
PH: 630-553-4139
Fax: 630-553-4179

Bad legal
think it is

Pt 01-33-400-005

ORDINANCE 82-2
AMENDING KENDALL COUNTY ZONING ORDINANCE AS AMENDED 82-03

WHEREAS, the Kendall County Board did petition the Zoning Board of Appeals of Kendall County for a public hearing in the manner required by law and the ordinances of Kendall County, Illinois for a proposed amendment to the Kendall County Zoning Ordinance adopted January 16, 1940; and

WHEREAS, said Zoning Board of Appeals did thereupon publish notice of a hearing on said proposed amendment to said Zoning Ordinance as provided by the Statutes of the State of Illinois, and did then hold a public hearing on said proposed amendment on the 29th day of April, 1982, A.D., on the site described in the petition and at the conclusion of said hearing said Zoning Board of Appeals voted in favor of recommending to the County Board of Kendall County, Illinois that the petition be granted and the Zoning maps and ordinance be amended in the manner required by law; and

NOW THEREFORE, BE IT ORDAINED by the County Board of Kendall County, Illinois that the following described property be and it is hereby rezoned from A1, Agriculture District to ALSU for the purpose of setting standards and restrictions for swimming instruction classes, and that the County Clerk be and she is hereby ordered and directed to change the zoning map, to show the change in zoning classification:

That part of the Southeast Quarter of Section 33, Township 37 North, Range 6 East of the Third Principal Meridian, described as follows: Commencing at the Southeast corner of said Section 33; thence West on the South line of said Section, 952 feet to the center line extended Southeasterly of a public highway running Northwesterly through said quarter-section; thence North 34° 43' 30" West on the center line of said public highway and forming an angle of 53° 19' 30" as measured from West to North with the Southline of said Section 33, 1,992.9 feet to a point of beginning; thence North 55° 16' 30" East at right angles to the center line of said highway 315.15 feet; thence South 34° 43' 30" West, 372 feet to the point of beginning; in the Township of Little Rock, Kendall County, Illinois.

BE IT FURTHER ORDAINED that the above special use classification shall be expressly made subject to the following conditions:

1. Renewal annually by County Board/Committee.
2. Operations regulations:
 - a. Season June 1 thru August 31
 - b. Monday thru Saturday, 9 a.m. to 6 p.m.
3. Off street parking on north side of street only.
4. Copy of lease to be reviewed by County Board/Committee prior to Special Use approval.
5. No additional facilities be constructed as accessory uses to the Special Use without prior approval of County Board/Committee.
6. No concession structure be built and sales to be limited to pool users only. Health permit and sales tax reporting, enforced.
7. Pool can be leased to a non-profit organization only.

PASSED THIS 11th day of May, 1982.

Robert J. Cheng
Chairman, County Board of
Kendall County, Illinois

ATTEST:

Jean P. Brady
County Clerk

John A. ...



DEPARTMENT OF PLANNING, BUILDING & ZONING

111 West Fox Street • Room 204

Yorkville, IL • 60560

(630) 553-4141

Fax (630) 553-4179

MEMORANDUM

To: Kendall County Planning, Building and Zoning Committee

From: Matthew H. Asselmeier, AICP, CFM Director

Date: August 1, 2023

Re: NPDES Survey Results

The County sent the NPDES survey to the townships at the end of June. 2023 was the fifth time the County sent the survey.

Four (4) townships responded compared to four (4) townships in 2022, 2021, and 2020, and five (5) townships in 2019. Kendall Township responded for the first time. Little Rock Township responded for the first time since 2019. Lisbon Township and Oswego Township responded every year.

The topic of how to properly store and dispose common household products remained the most popular topics for increased learning.

The Townships generally do not use the stormwater information on the County's website.

Over the years, respondents have not utilized volunteer information on the County's website and that remained true in 2023.

Respondents were least interested in river clean-ups and most interested in electronics recycling; this has been historically the case.

There were no illicit discharges in any of the responding townships.

Respondents would like the County to perform more visual inspections and perform more grab samples downstream when illicit discharges occur. The Townships have historically responded the same way to this question.

Townships historically felt that the County does an adequate job of inspecting soil erosion and sediment control at construction sites and this remained true with in the 2023 survey.

2023 was the second year with the question regarding good housekeeping. Only Kendall Township felt that they had a clear understanding of good housekeeping in 2023.

Historically, the question regarding adequate resources for training on stormwater pollution prevention practices have been mixed. This was again true in 2023.

2023 was the first year where the majority of responding townships felt the County was taking the necessary steps to reduce flooding. This was the first time that Lisbon Township responded yes to this question; Oswego Township continued to respond no to this question.

The survey composite and comparison of the previous survey responses are attached.

If you have any questions, please let me know.

MHA

NPDES Annual Evaluation Survey Questions
Kendall County

Public Education and Outreach

1. What topics are you interested in learning more about that the County could provide information on for the public? Please rank the following list from 1 to 3 with 1 being most interested and 3 being least interested.
 - A. How to properly store and dispose of common household products such as fuel, oil, paint, etc. 1-Kendall and Little Rock 2-Lisbon
 - B. How to incorporate green infrastructure such as rain gardens, rain barrels, or permeable pavement onto my property to improve rainwater runoff. 2-Kendall Lisbon, and Little Rock
 - C. How to compost to reduce the amount of waste my household generates. 1-Oswego 2-Lisbon 3- Kendall and Little Rock
2. Do you utilize the stormwater information listed on the County's website at <https://www.kendallcountyil.gov/departments/planning-building-zoning/npdes?>
 - A. Yes (1) Kendall
 - B. No (3) Lisbon, Little Rock, and Oswego
3. Do you find the stormwater information listed on the County's website helpful?
 - A. Yes (1) Kendall
 - B. No
 - C. Do not utilize information on County Website (3) Lisbon, Little Rock, and Oswego

Public Participation/Involvement

1. Do you think the County offers enough volunteer opportunities for members of the community?
 - A. Yes (1) Kendall
 - B. No
 - C. Not familiar with County volunteer opportunities (3) Lisbon, Little Rock, and Oswego
2. Do you utilize the volunteer opportunities information listed on the County's website at <https://www.kendallcountyil.gov/departments/administration-services/volunteer-opportunities?>
 - A. Yes (1) Kendall
 - B. No (3) Lisbon, Little Rock, and Oswego
3. Do you find the volunteer opportunities information listed on the County's website helpful?
 - A. Yes (1) Kendall
 - B. No (1) Little Rock

- C. Not familiar with County volunteer opportunities (2) Lisbon and Oswego
4. What volunteer opportunities would you be interested in in participating in in the future? Please rank the following list from 1 to 3 with 1 being most interested and 3 being least interested.
 - A. River clean-up 3-Kendall and Lisbon
 - B. Electronic recycling 1-Kendall, Lisbon, and Oswego
 - C. Household waste (fuel, oil, paint, etc.) recycling 1-Oswego 2-Kendall and Lisbon
No Response (1)-Little Rock

Illicit Discharge Detection & Elimination

1. If an illicit discharge is identified by a Township staff member or reported to the Township office, do you work with the County to get it removed?
 - A. Yes (1) Little Rock
 - B. No
 - C. Have not identified illicit discharge. (3) Kendall, Lisbon, and Oswego

2. Do you feel the County is doing a sufficient job in identifying, tracking, and removing illicit discharges and non-stormwater discharges that are significant polluters within the County?
 - A. Yes
 - B. No (1) Oswego
 - C. There have not been illicit discharges identified within my Township. (3) Kendall, Lisbon, and Little Rock

3. What can the County do to better identify and track illicit discharges?
 - A. Perform more visual inspections at outfalls throughout the County.
 - B. Once an illicit discharge is identified perform more grab samples downstream of the location. (1) Kendall
 - C. Both of the above. (2) Lisbon and Little Rock
 - D. None of the above.
 - E. Other:
(1) Not Sure-Oswego

Construction and Post-Construction Runoff Control

1. Do you feel that the County does an adequate job inspecting soil erosion and sediment control on construction sites within your township?
 - A. Yes (3) Kendall, Lisbon, and Little Rock
 - B. No
 - C. There have not been construction projects within my Township during the past year. (1) Oswego

2. What can the County do to better monitor soil erosion and sediment control issues on construction sites? N/A-Lisbon and Little Rock

Existing permitting process seems to be well administered. Spot checks during other inspection process-Kendall

Pollution Prevention/Good Housekeeping

1. Do you have a clear understanding of “Good Housekeeping” under the NPDES regulation?
 - A. Yes (1) Kendall
 - B. No (3) Lisbon, Little Rock, and Oswego
 2. Do you feel you have adequate resources for training of your staff members to keep them informed on stormwater pollution prevention practices?
 - A. Yes (2) Kendall and Little Rock
 - B. No (2) Lisbon and OswegoIf No, what resources would you like to have available? N/A-Lisbon
-
-

3. Do you feel the County is taking necessary measures to mitigate flooding throughout the County?
 - A. Yes (3) Kendall, Lisbon, and Little Rock
 - B. No (1) Oswego

General comments or questions regarding Stormwater Management and/or NPDES requirements:

Feel information on the site is somewhat dated and updating with more dynamic links could be beneficial (perhaps as part of Hazard Mitigation Exercise) would be good. Increase visibility as information would be helpful as well. -Kendall

Name of Person Completing Survey (Optional): _____

Responding Townships:
Lisbon (Lisbon Township Board)
Kendall (Steve Grebner)
Little Rock (Jo Ann Gryder and Dick Wade)
Oswego

	2019 Notes	2020 Notes	2021 Notes	2022 Notes	2023 Notes
Dispose Products					
Most Interested	7 4 From OS, LR, SE, LS, Fox	2 NAS and BG	2 NAS and OS	2 LS and SE	2 Ken and LR
Middle Interested		1 BL		2 OS and BR	1 LS
Least Interested			1 LS		
Incorporate Green Infrastructure					
Most Interested		1 OS		2 OS and BR	
Middle Interested	5 2 From OS, SE, LS, Fox	1 BL	1 LS		3 Ken, LS, and LR
Least Interested	1 LR	2 NAS and BG	2 NAS and OS	1 LS	
Compost					
Most Interested			2 LS and SE		1 OS
Middle Interested		3 NAS BL and BG	2 NAS and OS	1 LS	1 LS
Least Interested	6 2 From OS, LR, SE, LS, Fox			2 OS and BR	2 Ken and LR
Utilize SW Info					
Yes	1 OS	1 OS	1 SE	2 OS and SE	1 Ken
No	7 3 From OS, LR, SE, LS, Fox	3 NAS, BL, and BG	3 NAS, LS, and OS	2 LS and BR	3 LS, LR, and OS
No Response					
SW Info Helpful					
Yes	2 OS and SE	1 OS	1 SE	2 OS and SE	1 Ken
No	4 2 From OS, LS, Fox	2 BL and BG			
Do Not Utilize	N/A	N/A	3 NAS, LS, and OS	2 LS and BR	3 LS, LR, and OS
No Response	3 OS, LR, SE	1 NAS			
Enough Volunteer Opportunities					
Yes	2 OS and SE	2 OS and BG	1 SE		1 Ken
No	5 2 From OS, LR, LS, Fox	1 NAS		1 LS	
Not Familiar	N/A	N/A	3 NAS, LS, and OS	3 OS, SE, and BR	3 LS, LR, and OS
No Response	1 OS	1 BL			
Utilize Volunteer Opportunities					
Yes	1 SE	1 BL			1 Ken
No	7 4 From OS, LR, LS, Fox	2 OS and BG	4 NAS, LS, OS, and SE	4 OS, LS, SE, and BR	3 LS, LR, and OS
No Response		1 NAS			
Volunteer Opportunities Helpful					
Yes	2 OS and SE	1 OS	1 SE		1 Ken
No	3 OS, LS, Fox	2 BL and BG			1 LR
Not Familiar	N/A	N/A	3 NAS, LS, and OS	4 OS, LS, SE, and BR	2 LS and OS
No Response	3 2 From OS and LR	1 NAS			
River Clean-up	Least Popular Except in OS		Least Popular	Least Popular	Least Popular
Electronic Recycling	Most Popular		Most Popular-NAS and OS	Most Popular-LS and	Most Popular-Ken, LS, and OS
Household Waste Recycling	Second Most Popular		Most Popular-LS and SE	Most Popular-SE and	Most Popular-OS
Work With County on Illicit Discharge					
Yes	2 2 From OS	1 OS		2 SE and BR	1 LR
No	0	0			
No Illicit Discharge	5 2 From OS, LR, SW, LS, and F	3 NAS BL and BG	4 NAS, LS, OS, and SE	2 OS and LS	3 Ken, LS, and OS

Sufficient Job					
Yes	1 OS	0	1 SE	1 LS	
No	0	0			1 OS
No Illicit Discharge	7 3 From OS, LR, SE, LS, Fox	4 OS, NAS, BL, and BG	3 NAS, LS, and OS	3 OS, SE, and BR	3 Ken, LS, and LR
What Can County Do Better					
More Visual Inspections	0	1 BL			
More Grab Samples	1 SE	0			1 Ken
Both of Above	5 3 From OS, LR, and LS	2 NAS OS	3 LS, OS, and SE	4 OS, LS, SE and BR	2 LS and LR
None of Above	0	1 BG	1 NAS		
Other	Educate Public and Public Of	0			Not Sure OS
Soil and Erosion Inspections					
Yes	3 3 From OS	2 OS and BG	4 NAS, LS, OS, and SE	3 OS, LS, and SE	3 Ken, LS, and LR
No	2 LS and Fox	0			
No Construction Projects	2 LR and SE	2 NAS and BL		1 BR	1 OS
What Can County Do Better					
	Work Closer with Township (OS)	No Responses	Silt Fencing and Possit Enforce Rules (LS)	Existing Permitting Process Seems to be well Administered. Spot Checks during other Inspection Processes (Ken)	
	Enforce Maintenance of Silt Fences (Fox)		Culverts After Floodin Adequate Response (SE)		
	Keep Sediment out of Road Ditches (LS)				
Understanding Good Housing Keeping					
Yes				1 BR	1 Ken
No				3 OS, LS, and SE	3 LS, LR, and OS
Adequate Training					
Yes	3 2 From OS and SE	2 NAS and BG		2 SE and BR	2 Ken and LR
No	3 1 From OS, LR, and Fox	1 OS	3 LS, OS, and SE	2 OS and LS	2 LS and LR
No Response	1 OS	1 BL	1 NAS		
Unaware of Training/No Training	1 LS and Fox				
Necessary Steps to Reduce Flooding					
Yes	1 SE	1 BG		1 BR	3 Ken, LS, and LR
No	6 3 From OS, LR, LS and Fox	3 NAS, OS, and BL	4 NAS, LS, OS, and SE	3 OS, LS, and SE	1 OS
No Response	1 OS				
Key					
OS-Oswego					
LR-Little Rock					
SE-Seward					
LS-Lisbon					
Fox					
NAS-Na-Au-Say					
BL-Blank					
BG-Big Grove					
BR-Bristol					
Ken-Kendall					



DEPARTMENT OF PLANNING, BUILDING & ZONING

111 West Fox Street • Room 204

Yorkville, IL • 60560

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MEMORANDUM

To: Planning, Building and Zoning Committee
From: Matthew H. Asselmeier, AICP, CFM, Director
Date: August 1, 2023
Re: Capital Project for FY2023-2024

At the July Planning, Building and Zoning Committee meeting, the Committee requested additional information on replacing the Department's 2008 Ford pickup truck and the historic structure survey.

Brian Holdiman researched trucks on the State bid and, based on the information provided, a replacement Ford F150 would cost Sixty Thousand Dollars (\$60,000). Mr. Holdiman felt a truck would better serve the Department's need compared to other vehicles.

The cost to conduct historic structure surveys in unincorporated Na-Au-Say and Seward Townships was Forty Thousand Dollars (\$40,000). The cost to survey one (1) of the above townships was Twenty-Two Thousand Dollars (\$22,000). The surveys would only be conducted if the County received a Certified Local Government Grant. These types of grants fund seventy percent (70%) of project costs. The scope of work for the survey is attached.

If you have any questions regarding this memo, please let me know.

MHA



Wiss, Janney, Elstner Associates, Inc.
 330 Pfingsten Road
 Northbrook, Illinois 60062
 847.272.7400 tel
 www.wje.com

July 11, 2023

Mr. Matthew H. Asselmeier
 Director
 Kendall County Planning, Building & Zoning
 111 West Fox Street
 Yorkville, Illinois 60560

Survey of Na-Au-Say and Seward Townships
 WJE No. 2023.4502

Dear Mr. Asselmeier:

As requested, Wiss, Janney, Elstner Associates, Inc. (WJE) is pleased to provide this proposal to conduct a historical and architectural survey of Na-Au-Say and Seward Townships, two of the nine townships within Kendall County. The townships were selected by the Kendall County Historic Preservation Commission (Commission). We understand that Kendall County intends to pursue a Certified Local Government (CLG) Grant from the Illinois State Historic Preservation Office to support the survey work. Additionally, local volunteers recruited by the Commission will be available to participate in the project work.

The intent of these surveys will be to identify historically and architecturally significant properties and/or sites over 50 years of age, which will result in recommendations of the most noteworthy properties for listing in the National Register of Historic Places or designation as a Local Landmark. As part of the survey, the present condition, integrity, architectural style and features, construction date, and any additions or alterations would be identified for the most significant properties. The proposed survey will build upon the work completed this year by WJE for the survey of Bristol and Kendall Townships. Also, we will refer to the relevant portions of a previous project completed by WJE in 2005 for the Village of Plainfield, which include a survey of the northeastern portion of Na-Au-Say Township.

SCOPE OF SERVICES

The Kendall County Historic Preservation Commission seeks to conduct an intensive-level historical and architectural survey of unincorporated areas of Na-Au-Say Township and Seward Township in Kendall County. Based on an initial review of 1939 aerial photography as compared to present-day aerial photography, we estimate that there are approximately 125 existing properties in each township that should be included in the survey.

To perform the tasks involved with the completion of an intensive-level survey, we understand that members of the Kendall County Historic Preservation Commission will volunteer their time to support the field survey work and historical research.

Based on our understanding of the project, we propose the following scope of services:

1. **Orientation Meeting.** Attend a meeting with the Kendall County Historic Preservation Commission to discuss the survey, clarify the scope of services and methodology, and establish plans for the implementation of the work.
2. **Sample Report and Survey Form.** Provide a sample of the typical survey form to be used for the project.
3. **Field Survey.** Perform a survey of farmsteads, cemeteries, and rural churches identified in Na-Au-Say and Seward Townships. Each survey team will typically include one WJE staff member and one Kendall County volunteer. Volunteers will be trained by WJE staff prior to commencement of the field survey.
4. **Photographic Documentation.** Prepare documentary photographs using digital photography in accordance with the National Register Photo Policy Factsheet of May 2013.
5. **Map.** Prepare a base map of the survey area, showing approximate location of survey sites. The map will be prepared using GIS software. We assume that Kendall County will provide baseline GIS data such as parcel boundaries.
6. **Research.** Conduct research into the history and development of Na-Au-Say and Seward Townships in area historical societies as well as online sources.
7. **Determinations of Eligibility.** Field survey information and research materials collected by volunteers will be reviewed, and landmark status eligibility evaluations will be made for all inventoried sites.
8. **Database Development.** The survey data will be compiled using Microsoft Access.
9. **Draft Report.** Prepare a summary draft report for Na-Au-Say and Seward Townships, with a discussion and evaluation of the Kendall County region, including the following:
 - Executive Summary
 - Survey methodology
 - A description and context history of the township and the surrounding region, including the growth of businesses, agriculture, and development
 - List of structures within the survey area, with approximate construction date, architectural style, and the level of significance of each structure
 - Tabulated results from the survey area, including the acres surveyed, total properties extant at time of survey, and number of properties meriting further historical research
 - Map of the survey area
 - Map of potential historic districts, if applicable
 - Map locating noteworthy properties considered eligible for individual landmark status
 - A brief description of significant and relevant surveys previously undertaken in the survey area
 - Identification of any difficulties or limitations in the survey
 - A discussion of recommended strategies for identifying and protecting significant historic properties in the survey area
 - Bibliography of previous surveys and sources referenced

The draft report will be submitted electronically for review.

- 10. **Final Report and Deliverables.** Based on comments received on the draft report, revise and finalize the summary report. The final survey forms, photography, database, mapping, and report files will be provided electronically on CD-ROM. No printed hard copy deliverables are included at this time.
- 11. **Public Meetings.** Attend up to two scheduled meetings with the Kendall County Historic Preservation Commission during the project. Meetings are assumed to be held at the Kendall County office in Yorkville.

As noted above, we anticipate each survey team will typically include one WJE staff member and one Kendall County volunteer. Kendall County will coordinate volunteers to be available to accompany WJE staff during the field survey work.

SCHEDULE

Following contracting, WJE will develop a schedule with Kendall County to complete the tasks described in the Scope of Services to meet any submittal requirements indicated by the Illinois State Historic Preservation Office. We understand that the survey project is tentatively planned for 2024, if funding is available.

BUDGET

To perform the above described Scope of Services, we propose a budget of forty thousand dollars (\$40,000) to complete the survey of both townships and associated tasks, inclusive of all expenses. If each township is surveyed as a separate project, we recommend a budget of \$22,000 per township. All WJE services will be provided in accordance with an AIA B102 agreement, similar to the agreement previously used for the survey of Kendall and Bristol Townships.

The budget presented above is for WJE time and expenses only. The budget does not include time from volunteers coordinated by Kendall County to assist with the field survey work or other expenses incurred by Kendall County during the project (e.g., printing of hard copies of the final report). It is anticipated that funding from the county will provide the local match required as part of the grant program.

WJE is fully licensed to conduct business in the State of Illinois. Resumes of team members with prior experience conducting historic structure surveys in rural, unincorporated locations within Illinois are available upon request. If you have any questions, or would like to discuss anything regarding this proposal, please let us know.

Sincerely,

WISS, JANNEY, ELSTNER ASSOCIATES, INC.



Kenneth Itle
Associate Principal



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MEMORANDUM

To: Planning, Building and Zoning Committee
From: Matthew H. Asselmeier, AICP, CFM, Director
Date: July 3, 2023 (Updated August 1, 2023)
Re: Host Agreement for Composting Facility at 1270 E. Beecher Road

On March 19, 2014, the Kendall County Board approved a special use permit and host agreement allowing the operation of composting facility at 1270 E. Beecher Road.

Per both the special use permit and host agreement, the owner of the subject property was required to submit an application for renewal by July 1, 2023. On June 30, 2023, the owner submitted an application for renewal of both documents.

The special use permit application will go through the review process in August 2023.

Staff has several proposed changes to the host agreement; the existing host agreement is attached.

1. In the first paragraph, the agreement will be between Kendall County and Milroy Farms, LLC. Green Organics, Inc. is no longer associated with the property.
2. In the first Whereas, the property will be thirty-nine point eight-seven (39.87) acres instead of fifty-eight (58) acres. The requested special use permit and host agreement only applies to the property outside of the city limits of Yorkville.
3. In the first Whereas, the only PIN# impacted is 02-08-100-006.
4. In the first Whereas, the reference to Bristol Ventures, LLC will be deleted.
5. A Whereas will be added after the fourth (4th) Whereas to incorporate the special use permit ordinance that was approved in 2014.
6. The fifth (5) Whereas will be adjusted to reflect the current application for special use permit.
7. In Article 1.4, the expiration date will be changed to December 1, 2033. The deadline to apply for renewal shall be changed to June 30, 2033.
8. In Article 5.1, the reference to Section 7.01.D.15 of the Kendall County Zoning Ordinance will be deleted and replaced with "the applicable sections of the Kendall County Zoning Ordinance pertaining to composting of landscape waste and food waste."
9. In Article 8.1, the Planning, Building and Zoning Department's Attention will be changed to the Director.
10. In Article 8.1, the "To the Company" information will be changed from Green Organics, Inc. to Milroy Farms, LLC, Attention Jeff Milroy. The address will also be updated.
11. Attachment A will be updated to reflect the correct Legal Description.

12. Attachment B should be updated to reflect a new fee schedule. Staff proposes the fee to be Ninety Cents (\$0.90) upon the effective date of the new special use permit ordinance, Ninety-Five Cents (\$0.95) on December 1, 2026, and One Dollar (\$1.00) on December 1, 2029.

The previous host fee schedules were as follows:

2000-\$0.60

September 1, 2003 - \$0.65

September 1, 2006 - \$0.70

March 19, 2014 - \$0.75

December 1, 2016 - \$0.80

December 1, 2019 - \$0.85

The Kendall County Health Department collects the host fees. Fees for recent years were as follows:

2018 – \$28,583.47

2019 – \$31,429.00

2020 – \$27,138.83

2021 – \$789.21

2022 – \$1.79

If the Committee approves the above changes and/or any additional changes, Staff will prepare a redlined version of the agreement.

Staff requests that the redlined agreement be forwarded to the State's Attorney's Office for review.

At the July Planning, Building and Zoning Committee meeting, the Committee had several questions for the Petitioner. The Petitioner's responses are attached.

If you have any questions regarding this memo, please let me know.

MHA

Encs: Host Community Agreement
July 31, 2023 Karen Milroy Email

KAM 14-12

HOST COMMUNITY AGREEMENT

THIS HOST COMMUNITY AGREEMENT (“Host Agreement” or “Agreement”) is entered into as of the 19th day of March, 2014, among the County of Kendall, Illinois (“County”) and Green Organics, Inc. (“the Company”), an Illinois corporation with its principal place of business located in Kendall County, Illinois.

RECITALS

WHEREAS, the Company currently leases approximately 58 acres located on the east side of Beecher Road about 0.5 miles south of Galena Road, commonly known as 1270 E. Beecher Road (PIN #02-08-100-006, part of PIN # 02-08-200-015, part of PIN #02-08-200-018, part of PIN #02-08-200-019 and part of PIN # 02-08-200-022), in Bristol Township from Milroy Farms, LLC and Bristol Ventures, LLC, which property is more specifically described in the legal description set forth in Attachment A (the “Property”); and

WHEREAS, said Property is currently zoned A-1 Agricultural with an existing Special Use for the operation of a landscape and food waste composting site (hereinafter referred to as “the Facility”); and

WHEREAS, the County Board of Kendall County, Illinois did grant the original special use permit on October 19, 1993 (*see* Ordinance 1993-19) and also granted the Company’s requests for renewal of the special use permit on August 19, 1997 (Ordinance 1997-13), on April 18, 2000 (Ordinance 2000-18) and most recently on May 20, 2008 (Ordinance 2008-17); and

WHEREAS, on October 25, 2011, the Kendall County Zoning Administrator and Deputy Zoning Administrator granted the Company’s petition for a minor amendment to the special use permit to allow the Facility to accept and process food waste (Minor Amendment No. 10-25-11); and

WHEREAS, the Company recently filed a petition for a major amendment to their special use permit, which was signed by the Company and the Property's owners, seeking the Company to continue operating the Facility but modifying the site plan to eliminate approximately 10.5 acres of the existing Property; add approximately 9.5 acres northeast of the existing Property in the City of Yorkville; and adding new conditions to the Property (*see* Petition 13-26); and

WHEREAS, if the County grants Company's petition to amend the special use permit and the Illinois Environmental Protection Agency ("the Agency") issues all appropriate and necessary permits for the continued development and operation of the Facility on the Property, the Company is willing to afford certain benefits as set forth herein to the County; and

NOW, THEREFORE, for and in consideration of the mutual covenants contained herein, and for other good and valuable consideration, the receipt and sufficiency of which are hereby acknowledged, the Company and the County hereby agree as follows:

ARTICLE 1. GENERAL

1.1 Incorporation of Recitals. The above recitals are incorporated as part of this Agreement as though fully set forth herein.

1.2 Property. This Agreement encompasses and relates to the Property, as legally described in Attachment A. Any further or future requests for expansion of the Facility, whether on the Property or located elsewhere in the County, is not encompassed by this Agreement and will be the subject matter of a separate Host Agreement, or a supplement to this Agreement, as later determined by the parties to this Agreement.

1.3 Effective Date. This Agreement shall be effective upon acceptance of its terms by the Kendall County Board.

1.4 Expiration Date. This Agreement shall expire on **December 1, 2023**. If environmental permitting is not achieved and maintained throughout the term of the Agreement or if the Facility ceases to be operational for any other reason, this Agreement shall expire thirty (30) calendar days after written notification of termination from the Company to the County. Any petition for renewal of this Agreement and the Property's special use permit shall be submitted to the County on or before the close of business on **June 30, 2023**. This Agreement may be terminated by the County for any other reason upon written notice delivered to the Company at least sixty (60) calendar days prior to the effective date of termination. Termination of the Agreement will not adversely impact the special use approval and composting operations shall be allowed to continue. No penalties or early termination charges shall be required upon County's early termination of the Agreement.

ARTICLE 2. DEFINITIONS

Whenever used in this Agreement, the following terms shall have the following meanings unless a different meaning is required by the context:

2.1. **"Act"** refers to the Illinois Environmental Protection Act, 415 ILCS 5/1 *et. seq.*, the Illinois Pollution Control Board regulations issued pursuant thereto and relevant permit requirements the Agency may in the future issue with respect to the Facility.

2.2. **"Agency"** and **"IEPA"** refer to the Illinois Environmental Protection Agency.

2.3. **"Agreement"** or **"Host Agreement"** refer to this Agreement and the provisions contained herein.

2.4. **"Authorized Waste"** means landscape and food waste that the Facility is authorized to accept and compost pursuant to the terms of the Facility's IEPA permit and the terms of this Agreement.

2.5. “**Board**” refers to the Kendall County Board.

2.6. “**County**” refers to the County of Kendall, Illinois.

2.7. “**Host Community Fee**” refers to the fee paid to the County, for the benefit of the County, as set forth in this Agreement;

2.8. “**Landscape waste**” refers to landscape waste as defined in Section 5/3.270 of the Act.

2.9. “**Unauthorized Waste**” refers to any other form of waste that is not expressly authorized pursuant to the terms of the Facility’s IEPA permit and the special use permit issued for the Property.

ARTICLE 3. COMMITMENTS AND GUARANTEES

3.1. Operational Commitment. The Company commits that it will be the sole operator of the Facility and will not transfer its lease of the Property or assign its rights and obligations to operate related to the Facility, including any component thereof, without the written approval of the Board.

3.2. Covenant Guarantee. The parties acknowledge their mutual intent at the time of entering into this Agreement to create a covenant running with the land in favor of the County and that the obligations stated in this Agreement touch and concern the use of the Property. It is the intent of the parties hereto that the Company’s obligation to make payments pursuant to this Agreement is and shall be a covenant running with the Property and is and shall be binding upon transferees, successors, assigns, and subsequent tenants and owners of the Property, and is and shall be a lien upon the Property. Said covenant shall benefit the County and its successors, transferees, and assigns. The Company agrees the County may prepare, and the Company shall

promptly execute duplicate originals of the Host Agreement and record such Host Agreement in the Kendall County Recorder's Office.

ARTICLE 4. OPERATIONS

4.1. Authorized Waste. The Facility shall accept only Authorized Waste. The Facility shall comply with all relevant regulations and IEPA permits relative to load checking and waste acceptance.

ARTICLE 5. ENVIRONMENTAL PROTECTIONS

5.1. Compliance. At all times in connection with the operation of the Facility, the Company shall comply with all laws, ordinances, rules, regulations and permits of any applicable Federal, State or local governmental agency or authority relating to the operation of the Facility. At all time in connection with the operation of the Facility, the Company shall also comply with all provisions of the Property's special use permit and all conditions listed in Section 7.01.D.15 (composting of landscape waste and food waste) of the County's Zoning Ordinance. The County will continue to provide all inspections and testing for the Facility. The Company shall provide the Kendall County Solid Waste Coordinator with notice of all complaints received about the Facility and a copy of all documents requested by the Kendall County Solid Waste Coordinator regarding the complaints. The Kendall County Solid Waste Coordinator shall maintain a log of all complaints received about the Facility.

5.2. Indemnification. The Company agrees to indemnify, hold harmless and defend with counsel of the County's own choosing, the County, and its Board members, elected officials, agents, servants, and employees, from and against any and all lawsuits, claims, demands, liabilities, losses and expenses (including court costs, litigation expenses and attorney's fees) for or on the account of any injury to any person or any death at any time

resulting from such injury, or any damage to property or the environment, or any other damage of any type, kind or sort which may arise or which may have been alleged to have arisen out of or in connection with the Property's special use permit or this Agreement.

5.3. Third Party Claims. Promptly after receipt by the County, or municipality within the County, of notice of any claim, action, suit or proceeding by any person who is not a party to this Agreement which is subject to indemnification hereunder, the County or such municipality shall provide reasonable notice to the Company.

5.4. Insurance. The Company shall obtain and maintain all insurance coverage required by the EPA. In the event the EPA ceases to require the Company to maintain insurance coverage, the Company shall promptly notify the County and the parties shall amend this Agreement to include insurance coverage requirements.

ARTICLE 6. HOST COMMUNITY FEES AND BENEFITS

6.1. Host Fees. On a monthly basis, the Company shall pay a Host Community Fee to the County pursuant to the Host Fee Schedule set forth in "Attachment B", which is attached hereto, for all waste received by the Facility.

6.2. Payment Form. Each Host Community Fee payment shall be accompanied by a form prescribed by the County stating the weight of authorized waste accepted at the Facility during the payment period; a copy of all weight receipts for the Facility during the payment period; and all such other information as may be necessary for the County to assure compliance with this Agreement. The form shall be signed by the Facility's operator or his authorized representative.

6.3. Books and Records. The Company shall keep complete and accurate books and records relating to the determination of the fees owed under Article 6 of this Agreement, in an

auditable form. The Company shall permit the County's designated representatives access to such books and records for inspection and photocopying, during the Facility's normal business hours. In the event that such inspection reveals any underpayment(s) of the host fee, the Company shall promptly pay to the County the amount(s) of such underpayment(s) due and owing to the County, and reimburse the County for its costs and expenses of such inspection and, if necessary, collection, including any professional and technical fees in connection therewith.

ARTICLE 7. REMEDIES

7.1. Remedies. In the event of any default or breach by the Company of their obligations set forth in this Agreement, the County may bring an action to enforce this Agreement and seek any and all relief available at law or in equity. The Company shall reimburse the County for its reasonable attorneys' fees and costs (including fees for expert witnesses and consultants) incurred in enforcing this Agreement.

7.2. Remedies Not Exclusive. No right, power or remedy conferred upon or reserved to any Non-Defaulting Party under this agreement or under law shall be considered exclusive of any other right, power or remedy, but such rights, powers and remedies shall be cumulative and shall be addition to every other right, power and remedy given hereunder or now or hereafter available at law or in equity or by statute or otherwise, and every right, power and remedy given by this Agreement to any Non-Defaulting Party may be exercised from time to time and as often as occasion may arise or as may be deemed expedient, without precluding an Non-Defaulting Party's simultaneous or later exercise of any or all other rights, powers or remedies, including, by way of example, the right of the County to file a complaint with the IPCB alleging a violation of the Act. No delay or omission of the Non-Defaulting Party to exercise any right, power or remedy arising from an default or breach hereof on the part of the Defaulting Party shall impair

any such right, power or remedy or shall be construed to be a waiver of any such default or breach or any acquiescence therein.

ARTICLE 8. MISCELLANEOUS

8.1. Notice. Any notice to be given hereunder by either party to another shall be in writing and be sent by personal delivery, by overnight delivery service or by registered or certified mail, postage prepaid, return receipt requested, and shall be deemed communicated when delivered or after four (4) business days from the date of mailing, whichever is earlier. Notice shall be addressed as set forth below, but each party may change its address by written notice to the others.

To the County: Kendall County
111 West Fox Street
Yorkville, Illinois 60560-1498
Attention: County Clerk

with a copy to: Kendall County Courthouse
Office of the Kendall County State’s Attorney’s Office
807 West John Street
Yorkville, Illinois 60560
Attention: Kendall County State’s Attorney

Kendall County Planning, Building & Zoning Department
111 W. Fox Street
Yorkville, Illinois 60560
Attention: Interim Director

To the Company: Green Organics, Inc.
290 Main Place
Carol Stream, IL 60188
Attention: President

8.2. Entire Agreement and Modification of Agreement. This Agreement constitutes the entire agreement of the parties hereto relating to the subject matter hereof, and all prior communications, discussions, understandings and agreements are hereby merged herein. This Agreement may not be modified except in writing acknowledged by all parties to the Agreement.

8.3. Caption. Captions of the Articles, Sections and Sub-Sections of this Agreement are for convenience of reference only, and the words contained therein shall in no way be held to explain, modify, amplify or aid in the interpretation, construction or meaning of the provisions of this Agreement.

8.4. Governing Law and Forum for Litigation. This Agreement shall be governed by and construed in accordance with the laws of the State of Illinois. Any litigation filed by any party hereto against any other party hereto and involving this Agreement shall be filed in the Circuit Court for the Twenty-Third Judicial Circuit, Kendall County, Illinois.

8.5. Severability. The provisions of this Agreement shall be deemed to be severable, and the invalidity or unenforceability of any one provision shall not affect the validity and enforceability of the other provisions hereof.

8.6. Binding Effect. This Agreement shall inure to the benefit of, and be binding upon, the parties hereto and their respective successors and assigns.

8.7. Force Majeure. No party hereto shall be deemed to be in default or to have breached any provision of this Agreement, as a result of any delay, failure in performance or interruption of services resulting directly or indirectly, from new technology that substantially reduces the amount of waste available for disposal at the Facility, acts of God, acts of civil or military authority, civil disturbance, war, acts or orders of any governmental entity, riots, or any governmental action that prevents the Company from meeting its minimum guarantee set forth herein. The Company's inability to satisfy the guaranteed minimum Host Community Fee due to its own action does not constitute a *force majeure* event hereunder. Such aforementioned government actions include, but are not limited to, restrictions on operations imposed due to non-compliance with applicable legal requirements or involuntary reduction of waste receipts by the

Company for reasons not otherwise set forth in this Agreement or any other Agreement of the parties. The closure or suspension of operations at the Facility by government action does not constitute a *force majeure* event under this section where the closure or suspension is the result of (a) a court of competent jurisdiction (or IPCB) finding that the Company willfully or recklessly violate the Act; (b) IEPA finding in an order issued pursuant to §34 of the Act that the Company willfully or recklessly violated the Act, which order was not appealed by the Company; or (c) the Company admitting to willfully or recklessly violating the Act. In the event a *force majeure* event does prevent the Company from meeting its guaranteed minimum Host Community Fee, the Company shall exercise commercially reasonable efforts to maximize the delivery of waste to the Facility.

8.8. Non Third-Party Beneficiaries. Nothing in this Agreement, whether expressed or implied, is intended to confer any rights or remedies under or by reason of this Agreement on any persons or entities other than the parties and their respective successors and assigns, nor shall any provision give any third persons or entities any right or rights of action against any party to this Agreement.

8.9. Authorization. Each of the parties hereto represent to the others that the individual(s) executing this Agreement on its behalf are duly authorized and empowered to bind such party.

8.10. Conflict of Interest. The parties represent, to the best of their knowledge and belief, that no member or employee of the County and no other public official who exercises any functions or responsibilities in the review or approval of the undertaking or carrying out this Agreement has any direct personal or financial interest in the Agreement or in the proceeds thereof.

8.11. Execution of Additional Documents. Each of the parties hereto agree to execute and deliver to the other party any and all documents that may be necessary or appropriate to effectuate the terms of this Agreement whether on or after the Effective Date, including but not limited to execution and recordation of the Agreement.

8.12. Counterparts. This Agreement may be executed in counterparts, and each such counterpart shall constitute one and the same instrument.

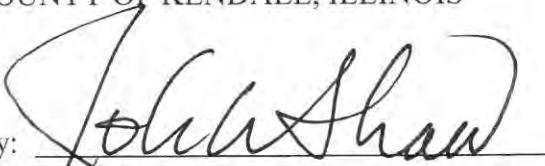
8.13. Non-Discrimination. The Company shall not, in the performance of this Agreement, discriminate or knowingly permit discrimination against any person on account of sex, race, age, creed, color, national origin, or political or religious opinion or affiliation and shall comply with all relevant state and federal laws concerning discrimination and equal opportunity.

8.14. Reservation of Police Powers. The County reserves all its power and authority, including the power to tax and zone the Property except that the County agrees not to impose fees or taxes specific to the disposal of authorized waste on the Property other than as provided in this Agreement.

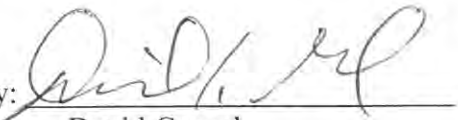
8.15. Waiver. Any waiver of a right, power or remedy under this Agreement must be in writing and accompanied by legal opinion stating (a) the signing party has the power and authority to waive the right, power or remedy under this Agreement; (b) the person(s) signing the waiver on behalf of the waiving party has been properly authorized to do so; and (c) the waiver has been duly authorized, executed, and delivered by the waiving party and constitutes the valid and binding amendment of this Agreement of the signing party and is enforceable against the signing party in accordance with its terms.

IN WITNESS WHEREOF, the parties hereto have executed this instrument on the day and year first above written.

COUNTY OF KENDALL, ILLINOIS

By: 
John Shaw
Kendall County Board Chairman

GREEN ORGANICS, INC.

By: 
David Gravel
Vice President

ATTACHMENT A

PROPERTY'S LEGAL DESCRIPTION

PARCEL 1

THAT PART OF THE NORTHWEST QUARTER OF SECTION 8, TOWNSHIP 37 NORTH, RANGE 7 EAST OF THE THIRD PRINCIPAL MERIDIAN, BEING DESCRIBED AS FOLLOWS:

COMMENCING AT THE NORTHWEST CORNER OF SAID QUARTER SECTION; THENCE NORTH 88 DEGREES 29 MINUTES 44 SECONDS EAST ALONG THE NORTH LINE OF SAID NORTHWEST QUARTER 953.68 FEET TO A POINT IN THE CENTER LINE OF A BRANCH OF THE ROB ROY CREEK FOR THE POINT OF BEGINNING; THENCE CONTINUING NORTH 88 DEGREES 29 MINUTES 44 SECONDS EAST ALONG SAID NORTH LINE 1699.46 FEET TO THE NORTHEAST CORNER OF SAID QUARTER SECTION; THENCE SOUTH 0 DEGREES 07 MINUTES 06 SECONDS EAST ALONG THE EAST LINE OF SAID QUARTER SECTION 1124.58 FEET; THENCE SOUTH 88 DEGREES 27 MINUTES 18 SECONDS WEST 2655.97 FEET TO A POINT ON THE WEST LINE OF SAID QUARTER SECTION THAT IS 1126.52 FEET SOUTH OF THE NORTHWEST CORNER OF SAID SECTION; THENCE NORTH 0 DEGREES 01 MINUTES 23 SECONDS EAST ALONG SAID WEST LINE 100.00 FEET; THENCE NORTH 87 DEGREES 51 MINUTES 12 SECONDS EAST 1498.53 FEET TO A POINT IN THE CENTER OF SAID ROB ROY CREEK; THENCE NORTH 28 DEGREES 38 MINUTES 38 SECONDS WEST ALONG SAID CREEK, 1134.24 FEET TO THE POINT OF BEGINNING, IN THE TOWNSHIP OF BRISTOL, KENDALL COUNTY, ILLINOIS
PIN: 02-08-100-006

PARCEL 2

THAT PART OF THE NORTHEAST QUARTER OF SECTION 8 IN TOWNSHIP 37 NORTH, RANGE 7 EAST OF THE THIRD PRINCIPAL MERIDIAN, DESCRIBED AS FOLLOWS:

BEGINNING AT THE NORTHWEST CORNER OF SAID NORTHEAST QUARTER; THENCE NORTH 87 DEGREES 36 MINUTES 31 SECONDS EAST, ALONG THE NORTH LINE OF SAID NORTHEAST QUARTER, 187.01 FEET; THENCE SOUTH 61 DEGREES 46 MINUTES 39 SECONDS EAST, 332.00 FEET; THENCE SOUTH 71 DEGREES 34 MINUTES 14 SECONDS EAST, 463.00 FEET; THENCE SOUTH 45 DEGREES 09 MINUTES 49 SECONDS EAST, 58.00 FEET; THENCE SOUTH 00 DEGREES 33 MINUTES 15 SECONDS WEST, 356.00 FEET; THENCE SOUTH 89 DEGREES 48 MINUTES 46 SECONDS WEST, 541.26 FEET TO A POINT ON A LINE 400.00 FEET EAST OF, AND PARALLEL WITH, THE WEST LINE OF SAID NORTHEAST QUARTER; THENCE SOUTH 01 DEGREE 14 MINUTES 06 SECONDS

EAST, ALONG SAID LINE, 171.42 FEET; THENCE ALONG THE SOUTH LINE OF A PARCEL OF LAND WITH PARCEL IDENTIFICATION NUMBER 02-08-200-015 FOR THE NEXT FOUR CALLS; SOUTH 83 DEGREES 45 MINUTES 54 SECONDS WEST, 130.42 FEET, MORE OR LESS; SOUTH 86 DEGREES 27 MINUTES 54 SECONDS WEST, 65.30 FEET; NORTH 08 DEGREES 04 MINUTES 41 SECONDS WEST, 23.88 FEET; NORTH 87 DEGREES 04 MINUTES 28 SECONDS WEST, 202.52 FEET, MORE OR LESS, TO A POINT 850.00 FEET SOUTHERLY OF THE NORTHWEST CORNER OF SAID NORTHEAST QUARTER, AS MEASURED ALONG THE WEST LINE THEREOF; THENCE NORTH 01 DEGREE 14 MINUTES 06 SECONDS WEST, ALONG SAID WEST LINE, 850.00 FEET TO THE POINT OF BEGINNING, ALL IN KENDALL COUNTY, ILLINOIS, AND CONTAINING 13.72 ACRES, MORE OR LESS.

PINs# 02-08-200-015 (portions thereof); 02-08-200-018 (portions thereof); 02-08-200-019 (portions thereof); and 02-08-200-022 (portions thereof).

ATTACHMENT B

HOST FEE SCHEDULE

The Company shall pay a host fee to Kendall County on a monthly basis and shall provide all weight receipts to Kendall County with each host fee payment. The host fee schedule shall be as follows:

Date to Begin	Fee Per Ton of Landscape Waste Received
Effective date of Ordinance (March 19, 2014)	\$0.75
December 1, 2016	\$0.80
December 1, 2019	\$0.85

100% of the host fees are to be paid to Kendall County.

The Company will enter into a separate agreement with the City of Yorkville regarding any additional host fees to be paid to the City of Yorkville for the portion of the Property located in the City of Yorkville.

Matt Asselmeier

From: Karen Elizabeth <[REDACTED]>
Sent: Monday, July 31, 2023 8:31 PM
To: Matt Asselmeier
Cc: Jeff Milroy; Latreese Caldwell; Seth Wormley; liliانا milroy
Subject: Re: [External]Revised Business Plan

Hi Matt,

We don't have any documentation from Green Organics in response to your questions. We did receive a call from Joe Mazza and were able to take notes. Since we are not the current operators we do not have that information.

1. How much material has been hauled into the property?

No indication of time frame was provided. We are told by Green Organics that material in normally is balanced by material out. Amounts in and out over the last two seasons was minimal.

2. How much material is hauled out of the property?

It is estimated by Green Organics that with normal business conditions, 800 cubic yards per day is a normal throughput. However thus will vary with weather, seasonality, compost availability, market price of compost, and demand from the big user Scotts Fertilizer, organic farmers, and individual small orders.

3. How much material is presently onsite (i.e. how tall are the existing piles)?

We are told by Green Organics that there is an estimated 7,000 cubic yards of compost (on our parcel). Windrow height can vary depending on if they are turned by windrow turner or loaded by wheel loader. It is approximated that most are around 8' tall or less. However, they may range up to the windrow height allowed by county and EPA permit.

4. What types of materials are ground at the property?

Types of material ground at the facility are primarily landscape waste such as grass, leaves, and woody brush. A small percentage of food waste is also allowed by EPA permit.

Thank you,

Karen Milroy

On Mon, Jul 31, 2023 at 9:07 AM Matt Asselmeier <masselmeier@kendallcountyl.gov> wrote:

Karen:



DEPARTMENT OF PLANNING, BUILDING & ZONING

111 West Fox Street • Room 203

Yorkville, IL • 60560

(630) 553-4141 Fax (630) 553-4179

MEMORANDUM

To: Kendall County Planning, Building and Zoning Committee

From: Matthew H. Asselmeier, AICP, CFM Director

Date: August 1, 2023

Re: Proposed Intergovernmental Agreement Between Kendall County and Oswego Township

At the July Planning, Building and Zoning Committee meeting, the Committee heard information regarding the TransUnion TLOxp Program and requested that the State's Attorney's Office prepare an intergovernmental agreement with Oswego Township for use of the program.

The draft intergovernmental agreement is attached.

The proposal is effective for two (2) years. Oswego Township is required to maintain the license for the duration of the agreement. The County shall pay Oswego Township Six Hundred Dollars (\$600) annually on November 1st after Oswego Township submits an invoice to the County. Both parties may terminate the agreement after thirty (30) days notice.

Oswego Township has not reviewed the proposal.

If you have any questions, please let me know.

Thanks,

MHA

ENC: Proposed IGA

**INTERGOVERNMENTAL AGREEMENT BETWEEN
KENDALL COUNTY, ILLINOIS, AND OSWEGO TOWNSHIP, ILLINOIS,
RELATING TO THE USE OF TRANSUNION TLOXP PROGRAM**

THIS INTERGOVERNMENTAL AGREEMENT (*the “Agreement”*) is by and between the County of Kendall, a unit of local government of the State of Illinois (“*Kendall County*”), and Oswego Township, a unit of local government of the State of Illinois (*the “Township”*).

WITNESSETH:

WHEREAS, the Township and Kendall County (*the “Parties”*) are units of local government within the meaning of Article VII, Section 1 of the Illinois Constitution of 1970 who are authorized to enter into intergovernmental agreements pursuant to the Intergovernmental Cooperation Act, 5 ILCS 220/1 *et seq.*; and

WHEREAS, the Constitution of the State of Illinois of 1970, Article VII, Section 10, provides that units of local government may contract or otherwise associate among themselves to obtain or share services and to exercise, combine, or transfer any power or function in any manner not prohibited by law or by ordinance and may use their credit, revenues, and other resources to pay costs related to intergovernmental activities; and

WHEREAS, the Intergovernmental Cooperation Act, 5 ILCS 220/1 *et seq.*, provides that any county may participate in an intergovernmental agreement under this Act notwithstanding the absence of specific authority under the State law to perform the service involved, provided that the unit of local government contracting with Kendall County has authority to perform the service; and

WHEREAS, it is deemed to be in the best interests of Kendall County and its residents to identify and locate individuals and businesses being investigated for ordinance violations by the Kendall County Planning, Building and Zoning Department (hereinafter the “*Department*”); and

WHEREAS, the Township has acquired, through purchase, license to use the program titled TransUnion TLOx (hereinafter the “*Program*”), which allows the user to search for information regarding individuals and businesses through use of the Program’s proprietary database and generate reports regarding same; and

WHEREAS, it would be beneficial to Kendall County and its residents if the Department possessed the capability to use the functions of the Program to identify and locate individuals and businesses being investigated by the Department for ordinance violations; and

WHEREAS, the Township, through its license to use the Program, possesses a certain allotment of monthly transactions, or “searches,” through the Program, of which the Township is willing to give Kendall County a share of one-half of such allotment on a recurring basis, for use by the Department, in exchange for annual payments of the sum of six hundred dollars (\$600), payable by November 1st of each year; and

NOW, THEREFORE, in consideration of the foregoing preambles, the mutual covenants contained herein and for good and valuable consideration, the sufficiency of which is agreed to by the Parties hereto, Kendall County and the Township covenant, agree and bind themselves as follows, to wit:

1. The foregoing preambles are hereby incorporated into this Agreement as if fully restated in this Paragraph 1, the same constituting the factual basis for this Agreement.

2. The headings of the paragraphs and subparagraphs for this Agreement are inserted for the convenience of reference only and shall not be deemed to constitute part of this Agreement or to affect the construction thereof.
3. For the duration of this Agreement and upon Kendall County's payment of such sum by the agreed upon date of each month, the Township shall provide Kendall County with the necessary credentials to access the Program and enjoy full use of its features and functionality, subject to the allotment of one-half of the Township's monthly transactions or "searches" conferred by its license as described above.
4. The Township shall be responsible for maintaining its license of the Program as described for the duration of this Agreement and making all necessary and timely payment(s) for same to the vendor providing such license so as not to disrupt or hinder Kendall County's access to, and use of, the Program.
5. Payment under this Agreement shall be made by Kendall County to the Township as follows: Six hundred dollars (\$600) shall be payable by November 1st of each year that this Agreement remains in effect and Township shall submit an invoice or bill to Kendall County for same at least thirty (30) days prior.
6. This Agreement and the rights of the Parties hereunder may not be assigned (except by operation of law), and the terms and conditions of this Agreement shall inure to the benefit of and be binding upon the respective successors and assigns of the Parties hereto. Nothing in this Agreement, express or implied, is intended to confer upon any party, other than the Parties and their respective successors and assigns, any rights, remedies, obligations or liabilities under or by reason of such agreements.

7. Any notice required or permitted to be given pursuant to this Agreement shall be duly given if sent by fax, certified mail, or courier service and received. As such, all notices required or permitted hereunder shall be in writing and may be given by either (a) depositing the same in the United States mail, addressed to the Party to be notified, postage prepaid and certified with the return receipt requested, (b) delivering the same in person, or (c) telecopying the same with electronic confirmation of receipt:

If to the County: Director
Kendall County Planning, Building & Zoning
111 West Fox Street
Yorkville, Illinois 60560

With copy to: Kendall County State's Attorney
807 John Street
Yorkville, Illinois, 60560

If to the Township: Community Resource Officer
Oswego Township
99 Boulder Hill Pass
Montgomery, IL 60538

Or such address or counsel as any Party hereto shall specify in writing pursuant to this Section from time to time.

8. This Agreement shall be interpreted and enforced under the laws of the State of Illinois. Any legal proceeding related to enforcement of this Agreement shall be brought in the Circuit Court of Kendall County, Illinois. In case any provision of this Agreement shall be declared and/or found invalid, illegal or unenforceable by a court of competent jurisdiction, such provision shall, to the extent possible, be modified by the court in such manner as to be valid, legal and enforceable so as to most nearly retain the intent of the Parties, and, if such modification is not possible, such provision shall be severed from this Agreement, and in either case the validity,

legality, and enforceability of the remaining provisions of this Agreement shall not in any way be affected or impaired thereby.

9. This Agreement may be executed in counterparts (including facsimile signatures), each of which shall be deemed to be an original and each of which shall constitute one and the same Agreement.
10. This Agreement represents the entire agreement between the Parties regarding this subject matter and there are no other promises or conditions in any other agreement whether oral or written. Except as stated herein, this agreement supersedes any other prior written or oral agreements between the Parties regarding its subject matter and may not be further modified except in writing acknowledged by all Parties.
11. Nothing contained in this Agreement, nor any act of Kendall County or the Township pursuant to this Agreement, shall be deemed or construed by any of the Parties hereto or by third persons, to create any relationship of third-party beneficiary, principal, agent, limited or general partnership, joint venture, or any association or relationship involving Kendall County and the Township.
12. Both parties affirm no Kendall County or Township officer or elected official has a direct or indirect pecuniary interest in this Agreement or in the purchase, licensing, or use of the Program, or, if any Kendall County or Township officer or elected official does have a direct or indirect pecuniary interest in this Agreement or the purchase, licensing, or use of the Program, that interest, and the procedure followed to effectuate this Agreement has and will comply with 50 ILCS 105/3.
13. Township, its officer, employees, subcontractors, and agents agree not to commit unlawful discrimination/unlawful harassment and further agree to comply with all applicable provisions

of the Illinois Human Rights Act, Title VII of the Civil Rights Act of 1964, as amended, the Americans with Disabilities Act, the Age Discrimination Act, the Illinois Public Works Employment Discrimination Act, 775 ILCS 10/0.01 et seq., as amended, and all applicable rules and regulations. Township, its officers, employees, subcontractors, and agents shall maintain a written sexual harassment policy that complies with the requirements of 775 ILCS 5/2-105 and shall comply with all fair employment practices and equal employment opportunity/affirmative action requirements set forth in applicable state and federal laws and regulations.

14. In the event Kendall County is in default under the Agreement because funds are not appropriated for a fiscal period subsequent to the one in which the Agreement was entered into which are sufficient to satisfy all or part of Kendall County's obligations under this Agreement during said fiscal period, the County agrees to provide prompt written notice of said occurrence to the Township. In the event of a default due to non-appropriation of funds, either party has the right to terminate the Agreement upon providing thirty (30) days written notice to the other party. No additional payments, penalties and/or early termination charges shall be required upon termination of the Agreement.
15. This Agreement may be terminated by either party upon written notice delivered to the other party at least thirty (30) calendar days prior to the effective date of termination. No additional payments, penalties and/or early termination charges shall be required upon termination of the Agreement.
16. Township certifies that Township, its subsidiaries and affiliates are not bared from entering into this Agreement as a result of a violation of either 720 ILCS 5/33E-3 or 5/33E-4 (bid rigging or bid rotating) or as a result of a violation of 820 ILCS 130/1 et seq. (the Illinois

Prevailing Wage Act). Township further certifies by signing this Agreement that Township, its subsidiaries and affiliates have not been convicted of, or are not barred for attempting to rig bids, price-fixing or attempting to fix prices as defined in the Sherman Anti-Trust Act and Clayton Act. 15 U.S.C. § 1 et seq.; and has not been convicted of or bared for bribery or attempting to bribe an officer or employee of a unit of state or local government or school district in the State of Illinois in that officer's or employee's official capacity. Nor has Township made an admission of guilt of such conduct that is a matter of record, nor has any official or officer of Township been so convicted nor made such an admission.

17. This Agreement shall be in full force and effect for a period of two (2) years from the date of the last signature below unless terminated in writing signed by both parties.
18. This Agreement shall be effective upon approval by Kendall County and the Township and the date of this Agreement shall be deemed as the last date of acceptance provided below.
19. Kendall County and the Township each hereby warrant and represent that their respective signatures set forth below have been, and are on the date of this Agreement, duly authorized by all necessary and appropriate corporate and/or governmental action to execute this Agreement.

IN WITNESS WHEREOF, the Parties hereto have caused this Intergovernmental Agreement to be executed by their duly authorized officers on the below date.

COUNTY OF KENDALL, A UNIT OF LOCAL GOVERNMENT OF THE STATE OF ILLINOIS

By: _____
Kendall County Board Chair Date

Attest: _____
Kendall County Clerk Date

(Seal)

OSWEGO TOWNSHIP, A UNIT OF LOCAL GOVERNMENT OF THE STATE OF ILLINOIS

By: _____
[position] Date

Attest: _____
Town Clerk Date



DEPARTMENT OF PLANNING, BUILDING & ZONING

111 West Fox Street • Room 204

Yorkville, IL • 60560

(630) 553-4141

Fax (630) 553-4179

MEMORANDUM

To: Planning, Building and Zoning Committee
From: Matthew H. Asselmeier, AICP, CFM, Director
Date: August 1, 2023
Re: Teska Contract

Teska Associates, Inc. has been Kendall County's Planning Consultant for the last twenty (20) years. They served the County when the Senior Planner/Director position was vacant and/or in a backup capacity.

The attached proposed contract would continue this practice for the next year. Teska Associates, Inc. would answer general zoning questions and provide staff for various committees in the absence of the Planning, Building and Zoning Director. The contract would be valid for one (1) year. Teska Associates, Inc. would bill the County on a bi-weekly basis when services are rendered.

Staff requests that the attached contract be forwarded to the State's Attorney's Office for review.

If you have any questions regarding this memo, please let me know.

MHA

AGREEMENT BETWEEN
KENDALL COUNTY
AND
TESKA ASSOCIATES, INC.

This AGREEMENT made and entered into this _____ day of September, 2023 by and between Kendall County, Illinois with offices at 111 West Fox Street, Yorkville, IL 60560-1498, hereinafter referred to as the "CLIENT" and Teska Associates, Inc., an Illinois Corporation with offices at 627 Grove Street, Evanston, Illinois 60201 and 24103 West Lockport Street, Unit 107, Plainfield, IL 60544, hereinafter referred to as the "CONSULTANT".

WITNESSETH:

WHEREAS the CLIENT desires to engage the services of the CONSULTANT to provide **Planning and Zoning Support/Consulting** for Kendall County, hereinafter referred to as the "PROGRAM", and the CONSULTANT has signified its willingness to furnish professional and technical services to the CLIENT:

NOW THEREFORE, the parties hereto do mutually agree as follows:

A. Scope of Consultant's Services

The CONSULTANT agrees to commence work upon execution of this AGREEMENT, and to perform those services outlined in Attachment "A", a copy of which is attached hereto and incorporated in this Agreement, utilizing the degree of skill and care exercised by practicing professionals performing similar services under similar conditions. CONSULTANT makes no other representations and no warranties of any kind, whether express or implied, with respect to its services rendered hereunder.

B. Services to be provided by the CLIENT

If any information, data, reports, records, and maps are existing and available and are useful for carrying out the work on this PROJECT, the CLIENT shall promptly furnish this material to the CONSULTANT. CONSULTANT shall be entitled to rely upon the accuracy and completeness of all information provided by the CLIENT and the CLIENT shall obtain any information reasonably necessary for the CONSULTANT to perform its work under this Agreement. The CLIENT will be responsible for the organization and conduct of all meetings necessary to carry out the services described in Attachment "A". The CLIENT designates **the Kendall County Administrator** or his/her appointee to act as its representatives with respect to the work to be performed under this Agreement, and such persons shall have authority to transmit instructions, receive information, interpret and define the CLIENT's policies and provide decisions in a timely manner pertinent to the work covered by this Agreement until the CONSULTANT has been advised in writing by the CLIENT that such authority has been

revoked. The CONSULTANT shall assign Mike Hoffman as Principal-in-Charge with respect to the work to be performed under this agreement.

C. Compensation

The CONSULTANT shall be compensated for services based on hourly billing rates for professional and technical staff time devoted to the PROJECT, plus reimbursement for directly related expenses. The Consultant will not charge for travel to Kendall County. The billing rates for professional staff are:

Staff Member	Hourly Rate
Mike Hoffman, AICP, Principal, V.P.	\$165
Other Principal	\$135 to \$175
Associate	\$115

An accurate accounting of the hours and expenses incurred on the assignment shall be kept by the CONSULTANT and the CLIENT will be invoiced accordingly. Separate accounts can be set-up for individual projects to allow the County to seek reimbursement from developers as appropriate. Invoicing will be done bi-weekly when services are rendered.

D. Method of Payment

Method of payment shall be as follows: The CONSULTANT shall submit applicable invoices for costs incurred on the PROJECT during the billing period. Invoices are subject to the requirements of the Prompt Payment Act of the State of Illinois. To the extent permitted by applicable law, the CLIENT agrees to pay all costs and disbursements, including reasonable attorney's fees, incurred by the CONSULTANT in legal proceedings to collect for invoices which are delinquent and payable. No interest or collection costs shall be included.

If the CLIENT fails to make any payment due the CONSULTANT within sixty (60) days from receipt of the invoice, the consultant may, after giving seven days' written notice to the CLIENT, suspend services under this AGREEMENT until it has been paid in full all amounts due.

E. Time of Performance

Work shall proceed in a timely manner according to mutually acceptable scheduling adopted between the CLIENT and CONSULTANT. The services of the CONSULTANT will begin upon delivery to the CONSULTANT of an executed copy of this Agreement and shall continue for one (1) year from the date of this agreement.

F. Excusable Delays

The CONSULTANT shall not be in default by reason of any failure in performance of this Agreement in accordance with its terms (including any failure by the CONSULTANT to make progress in the prosecution of the work hereunder which endangers such performance) if such failure arises out of causes beyond the reasonable control and without the fault or negligence of the CONSULTANT. Such causes may include, but are not restricted or limited to, acts of God, or of the public enemy, acts of the government in either its sovereign or contractual capacity, fires, floods, epidemics, quarantine restrictions, strikes, illness, accidents, and unusually severe weather, but in every case the failure to perform must be beyond the control and without the fault or negligence of the CONSULTANT.

G. Termination

The CLIENT and the CONSULTANT shall have the right to terminate the Agreement by written notice delivered to the other party at least thirty (30) days prior to the specified effective date of such termination. In such event, all finished and unfinished documents prepared by the CONSULTANT under the Agreement shall become the property of the CLIENT upon payment of all invoices properly submitted and due the CONSULTANT under the terms of the Agreement. CLIENT acknowledges that incomplete documents are not represented as suitable for any use or purpose, and further agrees to defend, indemnify, and hold the CONSULTANT harmless from and against all claims, costs, suits, damages, liabilities, and expenses, including reasonable attorneys' fees, arising from or relating to any use, reuse, or modification of any CONSULTANT-authored documents that occurs without the CONSULTANT'S consent and professional involvement. This includes any subsequent use or completion of any incomplete documents.

H. Dispute Resolution

The parties agree that all claims, disputes, or other matters in question that arise out of or relate to this AGREEMENT or the breach thereof shall be submitted to non-binding mediation as a condition precedent to the institution of legal proceedings. If mediation fails to resolve the matter, either party may initiate litigation in a court of competent jurisdiction in the State of Illinois.

I. Conflict of Interest

The CONSULTANT certifies that to the best of his knowledge, no CLIENT's employee or agent interested in the Agreement has any pecuniary interest in the business of the CONSULTANT or the Agreement, and that no person associated with the

CONSULTANT has any interest that would conflict in any manner or degree with the performance of the Agreement.

J. Changes

The CLIENT may, from time to time, require or request changes in the scope or deadline of services of the CONSULTANT to be performed hereunder. Such changes, including any appropriate increase or decrease in the amount of compensation, which are mutually agreed upon by and between the CLIENT and the CONSULTANT, shall be incorporated in written amendments to this Agreement.

K. Hold Harmless

The CLIENT shall hold the CONSULTANT harmless, protect and defend the CONSULTANT against any claims brought by third parties in connection with the implementation of any recommendations made or services rendered by the CONSULTANT in accordance with the Agreement that are not the result of the CONSULTANT'S negligence.

To the fullest extent permitted by law, the total liability in the aggregate, of the CONSULTANT to the CLIENT or anyone claiming by, through, or under the CLIENT, whether arising in tort, breach of contract, or by virtue of any other cause of action or legal theory, shall be limited to the coverage and limits of the insurance required of CONSULTANT by this Agreement.

The CONSULTANT shall indemnify and hold the CLIENT harmless from and against damages, costs, liabilities, and expenses, to the extent caused by the CONSULTANT'S negligence in the performance of its services under this Agreement.

L. Insurance

The CONSULTANT shall maintain and keep in force during the term of this Agreement Commercial General Liability and Automobile Liability coverage in the following minimum amounts:

Commercial General Liability

General Aggregate Limit	\$3,000,000
Product-Completed Operation	\$1,000,000
Each Occurrence Limit	\$1,000,000
Personal and Advertising Injury Limit	\$1,000,000
Medical expense Limit	\$10,000
Auto - Combined Single Limits (each Accident)	\$1,000,000
Excess/Umbrella Liability	\$1,000,000
Workers Compensation (statutory limits)	\$500,000

IN WITNESS WHEREOF, the CLIENT and the CONSULTANT have executed this Agreement on the date and year first above written.

CONSULTANT:
TESKA ASSOCIATES, INC.

CLIENT:
KENDALL COUNTY



BY: _____
Michael E. Hoffman
Vice President

BY: _____

Date: _____

ATTACHMENT A

SCOPE OF SERVICES

The Study Area

For the purposes of this Agreement, the study area is defined Kendall County, Illinois.

1. County Planning and Zoning Consultation

The CONSULTANT will assist the CLIENT with planning and zoning services as needed, primarily during the time when the County's Senior Planner is out on paternity leave. This effort will include review of development applications and zoning related requests and meeting or responding via telephone or e-mail with developers, residents, and County staff/consultants as appropriate, and preparation of staff reports. All services will be at the request of the CLIENT.

2. Meetings

During the period of the Agreement, the CONSULTANT will attend regular or special meetings of the Kendall County Regional Planning Commission (KCRPC), the Historic Preservation Commission (HPC), the Comprehensive Land Plan and Ordinance Committee (CLPOC), the Zoning Board of Appeals (ZBA), the Planning, Building and Zoning Committee (PBZ), and the Zoning, Platting and Advisory Committee (ZPAC). The CONSULTANT will also be available for County Board or other meetings as requested by the CLIENT to provide planning or landscape architectural advice.

This effort will include logistical elements of meetings including preparing agendas, minutes, and operating equipment such as recorders, monitors, etc. The CONSULTANT shall provide the agenda, minutes reports and packets in a timely fashion to the County Administration office who will handle posting to the website and at the office building as appropriate.

3. Special Assignments

As required, the CONSULTANT will provide professional and technical assistance on special assignments related to such subjects as: intergovernmental relations, code enforcement and amendment, capital improvements, economic development, public meetings, litigation, and other topics as requested by the CLIENT during the period of this Agreement.

2023 VIOLATIONS

Violation	Name	Parcel #	Address	Subdivision	Description	Opened	Follow up	PBZ	SAO	Closed
V23-001	MUND/STADLER	02-34-176-004	34 RIVERSIDE ST	FOX RIVER GARDENS	Work in Floodplain w/o permit	5/15/2023	MA Stormwater			7/13/23
V23-002	HARDEKOPF	03-04-253-010	44 INGLESHERE RD	BOULDER HILL	INOPERABLE VEHICLE	10/14/2022				
V23-003	VANDERBERG	03-04-176-006	90 FERNWOOD RD	BOULDER HILL	PROHIBITED PARKING-TRAILER	3/23/2023				
V23-004	BUTZ	03-04-305-023	16 WYNDHAM DR	BOULDER HILL	MULTIPLE VIOLATIONS	9/8/2022				
V23-005	RUIZ	03-03-352-001	132 SAUGATUCK RD	BOULDER HILL	PROH. PKG. COMMERCIAL VEHI	12/27/2022				

2022 VIOLATIONS

Violation	Name	Parcel #	Address	Subdivision	Description	Opened	Follow up	PBZ	SAO	Closed
V22-001	Aguiar	03-07-277-001	20 Shore Ct.	Marina Village	Parking on Lawn	11/9/2021	1/23/2022			2/9/2022
V22-002	Jones	03-05-279-020	44 Briarcliff Rd.	Boulder Hill	Illegal fence height	8/6/2021	1/23/2022			4/27/2022
V22-003	Cabrera	03-04-306-027	44 Hampton Rd.	Boulder Hill	Multiple Violations	8/3/2021	1/23/2022			5/9/2022
V22-004	Lemaster	03-04-253-024	16 Winrock Rd.	Boulder Hill	Inoperable Vehicles	8/18/2021	1/23/2022		11/8/2022	11/23/2022
V22-005	Johnson	03-04-477-025	54 Springdale Rd.	Boulder Hill	Trailer parking	11/22/2021	1/23/2022			4/22/2022
V22-006	Haehlen	03-04-277-011	235 Ferrwood Rd.	Boulder Hill	RV parking	11/24/2021	1/23/2022			2/24/2022
V22-007	Joquin	03-27-377-015	2543 Simons Rd		Banquet facility	11/15/2021			5/16/2022	5/17/2022
V22-008	Bilek	01-34-300-008	14824 Millhurst Rd		Air B&B	1/3/2022	3/11/2022			2/24/2022
V22-009	VOID									
V22-010	Faulkner	03-26-100-004	1539 Collins Rd.		Multiple Violations	7/13/2021	8/4/2021			Ongoing
V22-011	Amstadt	02-35-380-001	7796 Madeline Dr.	FOFC	RV parking	5/24/2022	6/24/2022		9/7/2022	10/18/2022
V22-012	Gomez	09-27-200-004	2511 Wildy Rd.		Stormwater	8/1/2022	4/11/2023		Court 8/29/2023	
V22-013	Utility Dyn	03-07-227-002	5327 Light Rd.		Stormwater	9/8/2022	10/11/2022			9/19/2022

7
8/23/23

**PRE VIOLATION REPORT
2023**

Date Opened	Parcel #	Address	Subdivision	Description of Complaint	Inspection Date	Comments	F/U/P	Closed
1/10/2023	03-05-432-001	3 Durango Rd Montgomery	Boulder Hill	Grass Parking/Inoperable Vehicle	1/13/2023	Inoperable vehicle in grass	2/17/2023	2/16/2023
1/10/2023	03-05-277-022	8 Bereman Rd Montgomery	Boulder Hill	Boat	1/13/2023	Boat in FY setback & non approved surface	3/20/2023	7/19/2023
1/10/2023	03-09-102-008	41 Cayman Dr Montgomery	Boulder Hill	Grass Parking/Inoperable Vehicle	1/13/2023	Vehicle not present		1/17/2023
1/17/2023	01-01-301-003	1700 Little Rock Rd Plano	Synder	Addition - No Permit & Farm Animals		15 Day Inspections observed	MONITORING	
1/18/2023	07-23-100-023	13625 Aakesha Rd Newark		New Ag Buildings - No Permits	2/1/2023	No New Structures observed		2/2/2023
1/20/2023	03-18-326-001	150 Osage Ct Oswego	Owners 2nd	Addition to Ac Bldg - No Permit				3/6/2023
1/20/2023	03-18-403-009	85 Osage Ct Oswego	The Highlands	Shed - NO Permit				3/6/2023
1/20/2023	03-18-401-002	118 Osage Ct Oswego	Owners 2nd	Addition - No Permit				3/6/2023
1/23/2023	09-10-100-008	13100 McKenna Rd Minooka		Pool - no Permit	GIS			1/31/2023
1/26/2023	03-12-204-005	26 Gastville St Aurora	Gastville	Landscaping business - debris - large trucks	2/1/2023	30 Day Warning Notice Reg & Cert	2/23/2023	6/5/2023
1/26/2023	03-12-203-011	29 Gastville St Aurora	Gastville	Landscaping bus - Stormwater-pallett business	2/1/2023		6/5/2023	6/5/2023
1/26/2023	03-12-203-013	39 Gastville St Aurora	Gastville	Landscaping business - debris - large trucks	2/1/2023		6/5/2023	6/5/2023
1/26/2023	09-12-201-001	3 Council Ave Aurora	Gastville Reaub	Landscaping business - debris - large trucks	2/1 & 3/3/2023	30 Day Warning Notice Reg & Cert	6/5/2023	6/5/2023
1/31/2023	03-04-407-030	130 Beauwick Dr Montgomery	Boulder Hill	Junk & Debris	2/1/2023	30 Day Warning Notice Reg & Cert	3/3/2023	3/6/2023
2/17/2023	03-05-404-026	152 Boulder Hill Pass Montgomery	Boulder Hill	Multiple Violations	see dates on notice	30 Day Warning Notice Reg & Cert	4/23/2023	4/20/2023
2/15/2023	03-04-329-016	39 Whitney Way Montgomery	Boulder Hill	Multiple Violations			6/5/2023	Closed
3/13/2023	02-24-252-004	3315 Millner Rd Oswego		Barn Fire			MONITORING	
3/14/2023	03-08-303-007	105 Dolores St. Oswego	Shore Heights	Multiple Violations	3/23 & 4/5/23	30 Day Warning Notice Reg & Cert	6/5/2023	4/19/2023
3/14/2023	03-08-303-001	117 Dolores St. Oswego	Shore Heights	Semi-Trucks & parking in grass	3/15/2023	No work being performed-applied for BP	6/5/2023	6/7/2023
3/14/2023	07-07-100-015	17900 Sheridan Rd. Newark		Building without permit	4/1/2023	Applied for BP	3/15/2023	4/12/2023
3/14/2023	05-12-228-008	7130 Clubhouse Dr. Yorkville	Whitehall Ridge	Deck not finished and unsafe	4/1/2023	Not enough evidence to prove occupied	4/19/2023	4/25/2023
3/14/2023	09-24-100-010	15200 Ridge Rd. Minooka		Possible business	3/15/2023	Lumber business	6/5/2023	4/3/2023
3/14/2023	07-16-200-026	14360 Townhouse Rd. Newark		See email - Big Grove Assessor	3/15/2023	Business out of residence-box truck	6/5/2023	4/25/2023
3/15/2023	03-05-452-077	9 Hillcrest Ct. Montgomery	Boulder Hill	Grass Parking/Junk & Debris	3/15/2023	Prohibited parking on grass	4/17/2023	4/25/2023
3/15/2023	03-05-452-076	7 Hillcrest Ct. Montgomery	Boulder Hill	Grass Parking/Junk & Debris	3/15/2023	Prohibited parking on grass	4/17/2023	4/25/2023
3/15/2023	03-05-423-075	5 Hillcrest Ct. Montgomery	Boulder Hill	Grass Parking/Junk & Debris	3/15/2023	Prohibited parking on grass	4/17/2023	4/25/2023
3/15/2023	03-08-253-009	14 Ashlam Ave. Montgomery	Boulder Hill	Inoperable Vehicle	3/15 & 4/14/23	Inoperable vehicle in grass	6/5/2023	6/21/2023
3/15/2023	03-05-402-010	12 Circle Dr E. Montgomery	Boulder Hill	Inoperable Vehicles	3/15/2023	Inoperable vehicle in grass	6/5/2023	6/21/2023
3/15/2023	03-04-154-024	4 Rounder Rd. Montgomery	Boulder Hill	Prohibited Parking	3-23 & 4-5-2023	30 Day Warning Notice Reg & Cert	6/5/2023	6/8/2023
3/15/2023	03-04-178-007	15 Ingleshire Rd. Montgomery	Boulder Hill	Prohibited Parking	3/23 & 4/5/23	30 Day Warning Notice Reg & Cert	6/5/2023	6/8/2023
3/15/2023	03-04-178-009	21 Ingleshire Rd. Montgomery	Boulder Hill	Prohibited Parking	3/23 & 4/20/2023	No violation	6/16/2023	4/12/2023
3/15/2023	03-04-251-029	200 Fernwood Rd. Montgomery	Boulder Hill	Prohibited Parking	3/23/2023		6/5/2023	6/8/2023
3/15/2023	03-04-176-006	90 Fernwood Rd. Montgomery	Boulder Hill	Prohibited Parking	3-23 & 4-3-2023	30 Day Warning Notice Reg & Cert	6/5/2023	Court 9/6/23
3/15/2023	03-04-281-007	56 Atton Dr. Montgomery	Boulder Hill	Prohibited Parking	3-23 & 4-5-2023	30 Day Warning Notice Reg & Cert	7/3/2023	7/6/2023
3/16/2023	02-36-106-002	292 Talgrass Ln. Yorkville	Farm Colony	Prohibited Parking	3-23 & 4-5-23	Not present	6/5/2023	5/8/2023
3/16/2023	06-03-251-002	2017 Devonshire Ct. Oswego	Southfield Estates	Ac Bld-no permit/Vehicle plng./Junk & Debris	3/23/2023	30 Day Warning Notice Reg & Cert	5/3/2023	5/8/2023
3/16/2023	09-07-200-090	13315 S Grove Rd. Minooka	HighGrove	Rooster in R2 zoning	3/23/2023	30 Day Warning Notice Reg & Cert	5/3/2023	5/8/2023
3/20/2023	03-05-426-004	21 Bhardoff Rd	Boulder Hill	Chickens	3/23/2023	No evidence	5/3/2023	5/3/2023
3/20/2023	03-17-103-008	2162 Route 31 Oswego	Herrins	Building without permit	3/23/2023	Repairs - requested inspection	6/5/2023	6/8/2023
3/20/2023	03-09-102-008	41 Cayman Dr Montgomery	Boulder Hill	Inoperable Vehicles	3/23, 4/5, 4/20/23	30 Day Warning Notice Reg & Cert	6/5/2023	6/8/2023
3/21/2023	03-34-251-001	38 Boat Ln Oswego	Manna Village	Building without permit	4/14/2023	Applied for BP	6/5/2023	4/25/2023
3/28/2023	03-08-152-015	118 Saugstuck Rd. Montgomery	Boulder Hill	Driveway w/o permit & Business operating	4/5 & 4/20/2023	30 Day Warning Notice Reg & Cert	6/5/2023	5/18/2023
3/28/2023	03-04-480-005	4 Collier Rd. Montgomery	Boulder Hill	Grass Parking	4/5 & 4/20/2023	30 Day Warning Notice Reg & Cert	6/5/2023	6/8/2023
3/29/2023	03-08-278-009	44 Hamilton Way Montgomery	Boulder Hill	Trailer in Front yard setback	4/5/2023	30 Day Warning Notice Reg & Cert	6/5/2023	6/8/2023
3/29/2023	03-04-329-016	39 Whitney Way Montgomery	Boulder Hill	Boat/Trailer in Front yard setback	4/20/2023	Removed	6/5/2023	6/8/2023
3/29/2023	03-04-329-009	25 Whitney Way Montgomery	Boulder Hill	Junk & Debris	4/20/2023		5/10/2023	
3/29/2023	03-04-306-027	44 Hamilton Way Montgomery	Boulder Hill	Trailer in Front yard setback	4/20/2023	Removed	6/5/2023	6/8/2023
3/29/2023	03-05-431-022	16 Durango Rd. Montgomery	Boulder Hill	2 Trailers	4/5/2023	30 Day Warning Notice Reg & Cert	8/5/2023	6/29/2023
3/29/2023	03-04-305-022	14 Windham Rd. Montgomery	Boulder Hill	RV/Trailer in Front yard setback	4/5/2023	30 Day Warning Notice Reg & Cert	6/5/2023	5/31/2023
3/29/2023	03-08-253-016	3 Colbold Dr. Montgomery	Boulder Hill	Boat in FY setback - new driveway - no permit	4/20/2023	30 Day Warning Notice Reg & Cert	6/5/2023	5/4/2023
3/30/2023	09-14-300-001	1910/1920 Route 52 Minooka	Boulder Hill	Built up permits, changed grade-flooding on Rt 52	4/20/2023	MM - set to WBR 5/8/2023	MA 7/7/23	7/26/2023
3/30/2023	03-04-354-004	64 Hampton Rd. Montgomery	Boulder Hill	Multiple Violations	4/20/2023	30 Day Warning Notice Reg & Cert	6/8/2023	6/20/2023
3/30/2023	03-09-152-019	14 Ridgefield Rd. Montgomery	Boulder Hill	Inoperable Vehicle	4/20/2023	15 Day Warning Notice Reg & Cert	7/21/2023	4/12/2023
3/30/2023	03-08-228-008	13 Brighton Way Montgomery	Boulder Hill	Inoperable Vehicle	4/5/2023	Removed	4/12/2023	4/28/2023
3/30/2023	03-08-227-043	3 Brighton Way Montgomery	Boulder Hill	Inoperable Vehicle	4/5/2023	Tires on Pavers	6/5/2023	5/9/2023
3/30/2023	03-04-307-001	62 Circle Drive E. Montgomery	Boulder Hill	Boat / trailer parked in grass	4/5 & 5/21/2023	Not enough evidence	5/9/2023	5/9/2023
3/30/2023	03-04-456-001	3 Wembley Rd. Montgomery	Boulder Hill	Parking in grass/vehicle under tarp	4/5/2023	present / operable	4/12/2023	6/8/2023
3/30/2023	03-04-178-009	21 Ingleshire Rd. Montgomery	Boulder Hill	Inoperable Vehicle	4/14/2023	Duplicate	6/5/2023	6/8/2023
3/30/2023	03-09-153-004	40 Fieldport Rd. Montgomery	Boulder Hill	Trailer in Front yard setback	4/5/2023	30 Day Warning Notice Reg & Cert	5/19/2023	5/21/2023
3/30/2023	03-04-479-006	51 Eastfield Rd. Montgomery	Boulder Hill	Trailer in Front yard setback	4/14 & 4/23/23	30 Day Warning Notice Reg & Cert	6/8/2023	6/29/2023
4/1/2023	03-04-306-005	59 Circle Drive East Montgomery	Boulder Hill	Junk & Debris	3/22 & 4/14/23	Removed	6/8/2023	4/20/2023
4/3/2023	03-03-351-005	71 Senora Dr. Montgomery	Boulder Hill	Semi Tractor Trailer	4/3/2023	30 Day Warning Notice Reg & Cert	6/8/2023	6/8/2023
4/3/2023	03-04-378-003	49 Pueblo Rd. Montgomery	Boulder Hill	Construction business, Junk & Debris, Troh Trailer	3/23 & 4/14/2023	30 Day Warning Notice Reg & Cert	5/6/2023	4/28/2023
4/3/2023	03-04-428-006	172 Heathgate Rd Montgomery	Boulder Hill	Trailer	4/14/2023	Trailer removed	6/5/2023	4/20/2023

Mail refused

**PRE VIOLATION REPORT
2023**

4/3/2023	0304-278-026	116 Heathgate Rd, Montgomery	Boulder Hill	Commercial Vehicle	4/14/2023	Removed	4/19/2023	5/4/2023
4/5/2023	03-17-103-008	2162 Route 31 Oswego	Schafer Woods	Construction - No permit	4/14/2023	No Violation: found	4/19/2023	Closed
4/6/2023	01-25-456-001	1231 Mitchell Dr, Plano		Multiple Violations	4/14/2023		4/25/2023	
4/11/2023	05-18-400-011	8756 E Highpoint Rd, Yorkville		Semi Parking, Storage & Stormwater	4/14/2023		4/19/2023	
4/14/2023	03-05-279-021	42 Branch Rd, Montgomery	Boulder Hill	Parking in ROW/Parking on adjoining property	4/14/2023	No Business - repairing parking lot	6/5/2023	
4/19/2023	01-08-200-008	9513 Walker Rd, Yorkville		Driveway - no permit	4/20/2023	30 Day Warning Notice Reg & Cert	5/17/2023	Citation coming
4/19/2023	01-23-100-002	1426 Creek Rd, Plano		Pond constructed w/o permit & possible floodplain		Applied for Stormwater Permit - MA	5/17/2023	5/24/2023
4/24/2023	04-01-401-001	2970 C Rock Creek Rd, Plano		Train car in floodplain	5/2/2023	MA	6/9/2023	6/28/2023
4/25/2023	02-24-171-004	21 Fox Ct.	Fox Station	Inoperable Vehicle/Toy & Junk & Debris	4/20/2023	30 Day Warning Notice Reg & Cert	6/9/2023	Citation coming
4/27/2023	08-28-200-005	16396 Route 47 Newark		Multiple Violations	5/2/2023	30 Day Warning Notice Reg & Cert	6/9/2023	Citation coming
5/1/2023	03-16-176-006	Lot 3 Wolf Rd, Oswego	Fox Bend Estates	Junk & Debris	5/2/2023	30 Day Warning Notice Reg & Cert	6/9/2023	FJU Mkt
5/1/2023	03-08-253-022	95 Greenbrier Rd, Montgomery	Minnesota Springs	Illegal Business & Junk & Debris	5/2/2023	Letter requesting inspection	6/2/2023	6/7/2023
5/5/2023	03-05-427-003	15 Ceibold Dr, Montgomery	Boulder Hill	Grass Parking	5/11/2023	30 Day Warning Notice Reg & Cert	6/26/2023	6/2/2023
5/5/2023	09-09-100-002	9 Greenbrier Rd, Montgomery	Boulder Hill	Inoperable Vehicle	5/11/2023	30 Day Warning Notice Reg & Cert	6/26/2023	6/28/2023
5/9/2023	02-24-157-006	13099 McKenna Rd, Minooka	Owners	Trucking Business	5/11/2023	30 Day Warning Notice Reg & Cert	8/3/2023	Monitoring
5/9/2023	03-04-430-006	39 Seneca Dr, Montgomery	Boulder Hill	Abandoned RV	5/11/2023	30 Day Warning Notice Reg & Cert	6/9/2023	5/23/2023
5/9/2023	03-08-277-021	11 Fieldpoint Rd, Montgomery	Boulder Hill	Multiple Violations	5/5/2023	Removed	6/9/2023	5/8/2023
5/10/2023	03-05-432-012	28 Seneca Dr, Montgomery	Boulder Hill	Shed - No Permit	5/11/2023	30 Day Warning Notice Reg & Cert	6/26/2023	6/26/2023
5/12/2023	03-08-106-018	16901 Ohren Rd, Minooka	Boulder Hill	Junk & Debris	5/25/2023	Applied for Stormwater Permit - MA	MA	6/8/2023
5/15/2023	02-26-200-025	37 Boat Ln Oswego	Marina Villages	Pond w/o permit				6/2/2023
5/16/2023	03-13-400-005	7265 Route 71, Yorkville		Trailer in Front yard setback		Req Onsite meeting/Appt for Acc Bldg pending	6/26/2023	6/28/2023
5/24/2023	01-18-200-004	Behind 131 W Richard Dr, Oswego		Pond, Structure & Driveway - No permit		Sent to City of Yorkville	Investigating	5/17/2023
5/24/2023	09-22-200-003	227 Rance Rd, Oswego		Tall Grass - area behind Grand Reserve		Referred to Sheriff's Office	5/25/2023	6/17/2023
5/25/2023	03-04-303-014	17080 Miller Rd, Plano	Aux Sable Oaks	Barquet Center	6/28/2023	Not enough evidence	6/30/2023	6/29/2023
5/25/2023	03-04-303-014	15070 Lufphandle Rd, Minooka	Boulder Hill	Possible Event Center		No evidence	6/8/2023	6/8/2023
6/6/2023	03-04-282-007	10 Marne Rd, Montgomery	Boulder Hill	Junk & Debris	6/8/2023	30 Day Warning Notice Reg & Cert	7/20/2023	7/20/2023
6/13/2023	07-17-300-003	13 Senora Dr, Montgomery		Multiple Violations	6/26/2023	30 Day Warning Notice Reg & Cert	7/26/2023	7/26/2023
6/15/2023	09-24-400-027	1551 Cherry Rd, Oswego	County Clerks	Unpermitted structures				
6/15/2023	03-04-307-005	15635 County Line Rd, Minooka	Boulder Hill	Illegal Sign	6/20/2023	30 Day Warning Notice Reg & Cert	7/23/2023	7/23/2023
6/15/2023	03-04-376-003	17 Wyndham Dr, Montgomery	Boulder Hill	Inoperable Vehicle	6/28/2023	Permit Not required	8/6/2023	6/29/2023
6/20/2023	03-08-227-006	76 Circle Drive E, Montgomery	Boulder Hill	Building without permit	6/28/2023	30 Day Warning Notice Reg & Cert	8/6/2023	6/29/2023
6/26/2023	03-35-380-013	58 Candorus Rd, Montgomery	FOFC	RV/Trailer in Front yard setback		Notified HHQ regarding pool location	6/28/2023	6/28/2023
6/26/2023	03-08-176-010	7622 Madeline Dr, Yorkville	Marina Village	Pool - no permit		Driveway permitted	9/6/2023	6/28/2023
6/26/2023	01-25-200-026	32 Marina Dr, Oswego		Illegal Driveway			9/6/2023	6/28/2023
6/26/2023	03-07-252-012	4287 Eldaman Rd, Plano	Shore Heights	Illegal Sign	6/28/2023	No Violation - 2 trailers on street	9/6/2023	6/29/2023
6/27/2023	02-23-352-002	120 Augusta Rd, Oswego		Wetland east of 7 Division Street Bristol	6/28/2023	Sent to WBK	7/28/2023	7/20/2023
6/28/2023	02-29-426-011	212 Georganna St, Yorkville	Timber Ridge	Wetland violation	6/28/2023	MA - 30 Day Notice - Certified	9/6/2023	7/31/2023
6/28/2023	02-29-426-008	218 Georganna St, Yorkville	Countryside	Fill greater than 3 ft			9/6/2023	
6/28/2023	02-28-152-001	209 Pleasure Dr, Yorkville	Countryside	Possible apts, boarding or rooming house			9/6/2023	
6/30/2023	03-04-151-006	54 Fernwood Rd, Montgomery	Boulder Hill	Possible apts, boarding or rooming house	7/6/2023	Removed	8/6/2023	7/6/2023
7/5/2023	05-02-128-001	7512 Audrey Ave, Yorkville	Rose Hill	RV parked in Front yard setback	7/19/2023	30 Day Warning Notice Reg & Cert	8/6/2023	7/19/2023
7/10/2023	03-08-154-014	1394 Route 31, Oswego	Ricketts	Rooster in RI zoning	6/20/2023	Unable to confirm violation	8/11/2023	8/11/2023
7/10/2023	03-04-479-023	113 Saugatuck Rd, Montgomery	Boulder Hill	8' Solid fence & Landscape business	7/10/2023	30 Day Warning Notice Reg & Cert	8/11/2023	7/19/2023
7/10/2023	03-03-352-001	132 Saugatuck Rd, Montgomery	Boulder Hill	Commercial vehicle & driveway no permit	7/10/2023	30 Day Warning Notice Reg & Cert	8/11/2023	7/19/2023
7/10/2023	03-08-253-007	10 Ashwau Ave, Montgomery	Boulder Hill	Addition - No permit	7/19/2023	Unable to obtain evidence	8/11/2023	7/19/2023
7/11/2023	03-05-229-004	24 Fernwood Rd, Montgomery	Boulder Hill	Trailer in Front Yard setback	7/20/2023	Removed	9/6/2023	7/20/2023
7/14/2023	02-34-129-010/02-23-130-004	55 Riverisic Rd, Yorkville	Fox River Gardens	Driveway w/o permit	7/20/2023	30 Day Warning Notice Reg & Cert	8/24/2023	8/24/2023
7/19/2023	03-05-432-007	144 Longbeach Rd, Montgomery	Boulder Hill	Trailer in Front yard setback	7/20/2023	30 Day Warning Notice Reg & Cert	8/24/2023	8/24/2023
7/24/2023	03-35-451-002	13 Durango Rd, Montgomery	Boulder Hill	Parking on grass	7/27/2023	30 Day Warning Notice Reg & Cert	8/27/2023	8/27/2023
7/26/2023	03-08-154-014	1400 Plainfield Rd, Oswego	Oswego Plains	Building without permit	7/27/2023	30 Day Warning Notice Reg & Cert	8/28/2023	8/28/2023
7/31/2023	03-09-152-022	1394 Route 31, Oswego	Ricketts	Rooster		30 Day Warning Notice Reg & Cert	8/28/2023	
7/31/2023	04-15-200-014	20 Ridgefield Rd, Montgomery	Boulder Hill	RV parked in Front yard setback				
		14201 # A Budd Rd, Yorkville		Junk & Debris				

Mr. Casp

PRE VIOLATION REPORT
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Date Opened	Parcel #	Address	Subdivision	Description of Complaint	Inspection Date	Comments	F/U/P	Closed
12/2/2021	09-13-200-006	195 Route 52, Mintooka		Inoperable Vehicles & Pile of dirt	12/13/2021	Ag Building - Backfill per MA		12/20/2021
12/2/2021	03-04-408-041	124 Longbeach Rd. Montgomery	Boulder Hill	Prohibited Trailer parked in front yard	12/22/2021	Truck in setback - trailer removed		12/20/2021
12/6/2021	03-04-378-039	43 Saugatuck Rd. Montgomery	Boulder Hill	Multiple Violations	12/11/2021	30 Day Warning Notice Reg & Cert	4/3/2023	5/10/2023
12/7/2021	03-04-452-013	22 Greenbriar Rd. Montgomery	Boulder Hill	Multiple Violations	12/11/2021	Improvmnt-5/4/22 junk/debris & trailer removed	6/3/2022	6/8/2022
12/13/2021	03-05-477-038	80 Springdale Rd. Montgomery	Boulder Hill	Parking on Lawn 8/22. Inspect of 2 motorcycles	12/11/2021	1/25 Warning Notice Reg & Cert.	8/22/2022	9/15/2022
12/13/2021	03-05-430-019	42 S Bereman Rd. Montgomery	Boulder Hill	Prohibited Trailer parked in front yard	1/6/2022	30 day warning 1/24/2022	2/24/2022	3/9/2022
12/16/2021	06-13-176-003	Anderson Tree Farm		Multiple Violations	10/7/2022	Requesting Meeting	5/1/2023	Final inspection pending 7/27/23
12/16/2021	03-05-429-031	37 S Bereman Rd. Montgomery	Boulder Hill	Prohibited Trailer parked in front yard	1/6/2022	Trailer removed		2/8/2022
12/16/2021	02-35-381-004	5879 Danielle Lane Yorkville	Fields of Farm Colony	3 trailers in front yard setback	1/6/2022	30 day warning 1/13/2022		2/18/2022
12/16/2021	03-05-430-026	158 Boulder Hill Pass Montgomery	Boulder Hill	Inoperable Vehicle	1/6/2022	30 day warning 1/24/2022		3/9/2022
12/20/2021	06-02-177-003	7 Cherokee Dr. Oswego	Oswego Plains	Building w/ permit	12/20/2021	BP applied for #04-2022-029		1/5/2022
12/20/2021	03-18-402-003	19 N. Cherry Dr. Oswego	Owners 2nd Sub	Junk & Debris	1/6/2022, 1/23/2022	No change		9/30/2022
12/21/2021	03-04-428-011	162 Heathgate Rd. Montgomery	Boulder Hill	Junk & Debris	1/6/22, 1/23/22	No changes-Osw Code taking action		7/25/2022
12/28/2021	03-04-406-004	49 Winnock Rd. Montgomery	Boulder Hill	Prohibited Trailer parking	1/6/22, 1/23/22	No change		4/12/2022
12/29/2021	03-04-305-026	22 Wyndham Dr. Montgomery	Boulder Hill	Junk & Debris	1/6/2022	Debris has been removed		4/12/2022
1/5/2022	03-09-152-019	14 Ridgefield Rd. Montgomery	Boulder Hill	Inoperable Vehicle	1/6/2022	Burnt car / trailer		4/14/2022
1/5/2022	03-08-227-036	23 Old Post Rd. Montgomery	Boulder Hill	Parking on non approved surface	1/6/2022	Gravel Drive Grandfathered in		1/19/2022
1/5/2022	02-34-204-004	80 Riverside St. Yorkville	Fox River Gardens	Tent	12/21/2021	Forwarded to Matt A for response		1/19/2022
1/6/2022	02-35-380-006	7796 Madeline Dr. Yorkville	FOC	RV parked in front yard since 12/10/2021.	1/5/2022	RV still driveway - f/y setback		1/21/2022
1/11/2022	02-34-253-010	44 Inglehire Rd. Yorkville	Boulder Hill	Junk & Debris	1/23/2022	House seems empty		4/12/2022
1/11/2022	02-35-380-006	5703 Fields Dr. Yorkville	FOC	Trailer in Front yard setback	2/28/2022	Removed		3/7/2022
1/13/2022	05-18-226-002	8115 E. Highpoint. Rd.		Trucking Business	1/23/2022	Several Trucks Parked		2/3/2022
1/14/2022	05-03-200-027	8250 Route 71 Yorkville		Drive Lane not hard surface per SU approval	1/18/2022	Forwarded to Matt A for response		4/3/2023
1/18/2022	01-19-200-009	17660 Sedgewick Rd. Sandwvich		Possible residence in Barn	1/18/2022	Building permit applied for		2/28/2023
1/19/2022	05-04-300-033	9600 Route 71		Junk & Debris	1/19/2022	Unable to observe blowing J & D		1/20/2022
1/26/2022		behind 421 Hazeltine Way		Junk & Debris	1/27/2022	No Debris or Carbage observed		1/27/2022
2/3/2022	03-05-401-003	81 Boulder Hill Pass	Boulder Hill	Occupying a struction w/o C of O	2/9/2022	Applied for Permit		3/8/2022
2/4/2022	03-08-278-010	102 Circle Drive W Montgomery	Boulder Hill	Prohibited RV parking	3/9/2022	No RV on site		3/9/2022
2/7/2022	03-04-256-020	51 Hunter Dr. Montgomery	Boulder Hill	Possible Auto repair business	2/12/2022	No Evidence of auto shop		2/15/2022
2/7/2022	03-05-402-008	8 Circle Dr East Montgomery	Boulder Hill	Possible Auto repair business	2/12/2022	Tow vehicle, trailers,cars, hauler		4/13/2022
2/7/2022	03-04-378-019	83 Pueblo Rd. Montgomery	Boulder Hill	Possible Auto repair business	2/12/2022	No Evidence of auto shop		2/15/2022
2/16/2022	02-24-228-001	8 Riverview Ct. Oswego	Riverview Heights	Remodel bathroom w/o permit	2/18/2022	No Evidence of violation		2/18/2022
2/22/2022	05-03-200-027	8250 Route 71 Yorkville		Driveway not asphalted per Ord. 2014-21		MA		5/1/2023
2/24/2022	02-35-301-003	339 Austin Ct. Yorkville	Fields of Farm Colony	Box truck	3/7/2022	30 day warning		4/28/2023
2/24/2022	03-08-202-008	54 Circle Dr. W Montgomery	Boulder Hill	Prohibited RV parking	3/9/2022	No RV on site		3/9/2022
2/24/2022	03-05-453-007	141 Boulder Hill Pass Montgomery	Boulder Hill	POD in driveway	3/9/2022	No POD on site		3/9/2022
2/28/2022	02-36-300-014	5626 Winkler Rd. Yorkville	Squaw Valley	Trailer in setback	3/7/2022	No violation		3/7/2022
3/1/2022	02-21-151-005	30 Patricia Ln. Yorkville	Richard Blackberry Estates	Inoperable Vehicle-green truck	3/7/2022			4/13/2022
3/7/2022	03-04-154-002	37 Woodridge Rd. Montgomery	Boulder Hill	Junk & Debris	3/9/2022	30 day warning		4/12/2022
3/2/2022	02-28-403-005	804 McHugh Rd. Yorkville		Multiple Violations	3/7/2022	Moved from setback and used for family time		4/8/2022
3/2/2022	03-04-329-016	39 Whitney Way Montgomery	Boulder Hill	Multiple Violations	3/9/2022	30 day warning		3/14/2023
3/9/2022	03-04-351-001	25 Hampton Rd. Montgomery	Boulder Hill	Illegal POD in driveway	5/23/2022	Removed		5/23/2022
3/10/2022	03-05-402-008	8 Circle Dr East Montgomery	Boulder Hill	Possible Auto repair business	2/12 & 3/9	Tow vehicle, trailers,cars, hauler		4/10/2022
3/11/2022	07-07-200-022	13297 Fennel Rd. Newark		Possible barndominium	3/15/2022	Single family home BP# 01-00-160		3/16/2022
3/16/2022	03-04-181-010	48 Pembroke Rd. Montgomery	Boulder Hill	Possible Boarding house	4/12/2022	Not enough evidence		4/12/2022
3/23/2022	03-04-458-001	3 Wembley Rd. Montgomery	Boulder Hill	Trailer Parking	4/12/2022			4/12/2022
3/23/2022	02-15-302-001	2 South Street Bristol		Multiple Violations	9/30/2022	30 Day Warning Notice Reg & Cert		11/19/2022
3/29/2022	09-28-300-008	16924 O'Brien Rd Minooka		Possible Landscaping business		Not enough evidence		8/12/2022
4/1/2022	03-05-404-028	7 Greenfield Rd. Montgomery	Boulder Hill	Multiple Violations	4/12/2022	Numerous warning notices		8/27/2022
4/8/2022	03-04-306-001	51 Circle Drive E. Montgomery	Boulder Hill	Junk & Debris	4/13/2022	30 day warning		5/18/2022
4/8/2022	03-35-200-003	1126 Simons Rd. Oswego		Short term rental- Banquet facility	4/25/2022	30 day warning		5/25/2022

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4/12/2022	09-35-200-005	17045 Ridge Rd. Minooka		Multiple Violations	4/20/2022	30 day warning	7/5/2022	6/2/2022
4/12/2022	03-04-376-003	76 Circle Dr. E. Montgomery	Boulder Hill	Junk & Debris	4/14/2022	No violation	7/5/2022	4/14/2022
4/12/2022	02-11-101-007	65 E Latspur Ln. Bristol	Willowbrook	Pool-open pit in backyard	4/20/2022	30 Day warning notice	7/5/2022	7/6/2022
4/12/2022	03-04-478-022	52 Eastfield Rd. Montgomery	Boulder Hill	Junk & Debris	4/12/2022	30 day warning	5/25/2022	5/25/2022
4/12/2022	03-04-479-032	52 Sonora Dr. Montgomery	Boulder Hill	Ambulance parked in driveway	4/12/2022	Removed	5/12/2022	4/25/2022
4/13/2022	06-08-101-011	7126 Roberts Ct. Oswego	Grove Estates	Zoning Violation - Airbnb	4/13/2022	MA - 30 day warning	5/16/2022	4/19/2022
4/20/2022	03-04-303-029	40 Marne Rd. Montgomery	Boulder Hill	Unsafe Structure	4/22/2022	No Property Maintenance Code	4/22/2022	4/28/2022
4/25/2022	01-16-201-003	15416 Miller Rd. Plano		Multiple Violations	4/27/2022	Not enough evidence	8/1/2022	8/3/2022
4/25/2022	04-13-277-005	8450 W Highpoint Rd. Yorkville		Junk & Debris	5/4/2022	Onsite meeting 5/17/22	8/1/2022	8/3/2022
4/25/2022	04-13-226-004	61 Cotswold Dr. Yorkville		Inoperable Vehicle	5/4/2022	Can't prove inoperable	5/27/2022	4/28/2022
4/26/2022	06-02-177-001	73 Oswego Plains Dr. Oswego	Oswego Plains	2 Horses	4/27/2022	No Horses	5/3/2022	5/3/2022
4/27/2022	03-04-151-010	62 Fernwood Rd. Montgomery	Boulder Hill	Fence debris after storm	5/3/2022	No violation	5/3/2022	5/3/2022
5/3/2022	03-04-403-002	Fernwood Rd. Montgomery	Boulder Hill	Semi tractor trailer	5/3/2022	Using to move	5/3/2022	5/3/2022
5/4/2022	05-08-403-002	12 Ronhill Rd. Yorkville	Ronhill	Pool - No fence	5/6/2022	BP 12-2022-092 in progress	5/9/2022	5/9/2022
5/5/2022	03-04-378-039	43 Saugatuck Rd. Montgomery	Boulder Hill	Fence in ROW	5/10/2022	Deferred to Osw Twin HwyDept	5/10/2022	5/10/2022
5/5/2022	03-04-477-024	52 Springdale Rd. Montgomery	Boulder Hill	Fence in ROW	5/10/2022	Deferred to Osw Twin HwyDept	5/10/2022	5/10/2022
5/5/2022	03-04-306-024	38 Hampton Rd. Montgomery	Boulder Hill	Fence in ROW	5/10/2022	Deferred to Osw Twin HwyDept	5/10/2022	5/10/2022
5/5/2022	02-35-382-008	5812 Danielle Ln. Yorkville	FOFC	Trailer in F-yard setback	5/10/2022	No violation	5/10/2022	5/10/2022
5/9/2022	03-05-430-031	9 Seneca Dr. Montgomery	Boulder Hill	Fence in ROW	5/10/2022	Deferred to Osw Twin HwyDept	5/10/2022	5/10/2022
5/10/2022	04-16-351-005	8942 Wilcox Ct. Millbrook	Boulder Hill	Pool encroachment	5/17/2022	Pool is min. 5" from property line	5/24/2022	5/24/2022
5/10/2022	09-18-300-017	Brislin Rd. Minooka		Illegal dumping	5/16/2022	Removed	5/16/2022	5/16/2022
5/10/2022	01-10-301-003	1700 Little Rock Rd. Plano	Snyder	Banquet Facility	Several	No Evidence - Neighbor will monitor	6/1/2022	6/1/2022
5/11/2022	03-08-278-010	102 Circle Drive W Montgomery	Boulder Hill	RV parked in F-yard setback	5/10/2022	30 Day warning notice	7/11/2022	7/11/2022
5/18/2022	03-04-180-002	115 Fernwood Rd. Montgomery	Boulder Hill	Driveway - No Permit	5/31/2022	No violation	5/31/2022	5/31/2022
5/18/2022	03-08-227-036	23 Old Post Rd. Montgomery	Boulder Hill	Parking on non approved surface	5/25/2022	ZBA allowed parking on gravel	5/25/2022	5/25/2022
5/18/2022	03-09-152-019	14 Ridgefield Rd. Montgomery	Boulder Hill	Trailer Parking	5/25/2022	30 Day warning notice	7/1/2022	7/1/2022
5/18/2022	03-05-404-009	118 Boulder Hill Pass	Boulder Hill	RV Parked in grass	5/25/2022	30 Day warning notice	7/1/2022	7/7/2022
5/18/2022	03-04-352-002	21 Durango Rd. Montgomery	Boulder Hill	Landscape business in R-6 zoning	5/25/2022	30 Day warning notice	8/11/2022	8/31/2022
5/18/2022	03-04-477-002	99 Longbeach Rd. Montgomery	Boulder Hill	Inoperable Vehicle	5/25/2022	30 Day warning notice	7/1/2022	7/1/2022
5/18/2022	03-04-305-025	20 Wyncham Dr. Montgomery	Boulder Hill	Junk & Debris	5/25/2022	30 Day warning notice	1/9/2023	1/17/2023
5/19/2022	03-08-227-032	15 Old Post Rd. Montgomery	Boulder Hill	Driveway-no permit	5/25/2022	Driveway permit not required	8/12/2022	8/12/2022
5/20/2022	03-04-408-035	112 Longbeach Rd. Montgomery	Boulder Hill	Inoperable Vehicle	5/25/2022	30 Day warning notice	10/7/2022	10/20/2022
5/20/2022	03-04-252-003	55 Inglehire Rd. Montgomery	Boulder Hill	Possible remodel w/o permit	5/26/2022	30 Day warning -wrong address	7/1/2022	5/30/2022
5/20/2022	03-04-307-025	34 Longbeach Rd. Montgomery	Boulder Hill	Commercial Vehicle	5/25/2022	Unable to locate commercial vehicle	10/5/2022	10/5/2022
5/24/2022	03-17-102-011	2245 Route 31 Oswego	Herrrens Riverview Add	Commercial Vehicle parking	5/25/2022	Met w/owner - Home Occupation	6/9/2022	6/9/2022
5/24/2022	03-05-454-013	7 Curtmar Ct. Montgomery	Boulder Hill	Sealcoating business	5/25/2022	Met w/owner - Home Occupation	6/8/2022	6/8/2022
5/24/2022	03-04-180-004	121 Fernwood Rd. Montgomery	Boulder Hill	Trailer in F-yard setback	5/23/2022	30 Day warning notice	6/23/2022	6/24/2022
5/24/2022	03-04-256-026	138 Fernwood Rd. Montgomery	Boulder Hill	Camper parked in F-yard setback	5/23/2022	30 Day warning notice	6/23/2022	6/24/2022
5/24/2022	03-04-376-039	50 Sierra Rd. Montgomery	Boulder Hill	Parking on non approved surface	5/23/2022	30 Day notice for parking	6/23/2022	6/24/2022
5/24/2022	03-04-428-011	162 Headline Rd. Montgomery	Boulder Hill	Junk & Debris	5/23/2022	30 Day warning notice	6/23/2022	
5/24/2022	02-35-380-001	7796 Madeline Dr. Yorkville	FOFC	RV Parked in F/Y setback	Multiple	30 Day warning notice	6/23/2022	Citation 7/11/22
5/24/2022	03-05-404-028	7 Greenfield Rd. Montgomery	Boulder Hill	Trailer in Front yard setback	5/23/2022	30 Day warning notice	6/23/2022	6/23/2022
5/26/2022	03-04-478-005	51 Springdale Rd. Montgomery	Boulder Hill	Mechanic Shop	5/25/2022	Site visit w/owner-business not operational	6/8/2022	6/8/2022
5/31/2022	08-11-227-002	13205 Church Rd. Minooka	Plattville	Investigate per June	8/3/2022	No Violation found	8/3/2022	8/3/2022
5/31/2022	09-12-103-006	6772 Chicago Rd. Yorkville	Plattville	Investigate per June	8/3/2022	No Violation found	8/3/2022	8/3/2022
5/31/2022	08-01-451-005	6363 Chicago Rd. Yorkville	Plattville	Investigate per June	8/3/2022	No Violation found	8/3/2022	8/3/2022
5/31/2022	03-07-402-014	168 Dolores St. Oswego	Shore Heights	Car Repair business	6/7/2022	No evidence found of auto repair	8/19/2022	6/9/2022
5/31/2022	05-09-300-015	7789 Route 47 Yorkville	Walz	Remodel & Change of Occup w/o permit	6/14/2022	Met w/owner-Prop for sale	7/1/2022	9/27/2022
5/31/2022	03-05-432-010	24 Seneca Dr. Montgomery	Boulder Hill	Trailer in F-yard setback	5/25/2022	30 Day warning notice	7/1/2022	7/1/2022
5/31/2022	03-05-476-020	15 Codorus Rd. Montgomery	Boulder Hill	Boat in F-yard setback	5/25/2022	30 Day warning notice	7/1/2022	7/1/2022
5/31/2022	08-01-452-019	6366 Chicago Rd. Yorkville		Junk & Debris	8/3/2022	30 Day warning notice	9/4/2022	9/13/2022
5/31/2022	08-12-103-001	6986 Chicago Rd. Minooka		Junk & Debris	8/3/2022	30 Day warning notice	8/1/2023	Monitoring
6/2/2022	03-04-479-023	113 Saugatuck Rd. Montgomery	Boulder Hill	Landscape business	6/21/2022	30 Day warning notice	7/7/2022	7/7/2022

Handwritten initials and date:
KKS
7/7/2022

**PRE VIOLATION REPORT
2022**

6/6/2022	03-08-278-009	4 Culver Rd. Montgomery	Boulder Hill	Rooster	6/9/2022	Sent email for location to view or hear	6/21/2022
6/6/2022	03-05-454-031	9 Crewe Ct. Montgomery	Boulder Hill	Pool - No Permit	6/8/2022	30 Day warning notice	8/25/2022
6/6/2022	02-28-301-002	207 Georgianna St. Yorkville	Countryside	Junk & Debris	6/13/2022	People moving-waiting for garbage p/u	6/13/2022
6/6/2022	03-04-477-038	80 Springdale Rd. Montgomery	Boulder Hill	Multiple violations	5/25/2022	30 day warning notice	7/6/2022
6/6/2022	03-08-278-009	4 Culver Rd. Montgomery	Boulder Hill	Rooster	6/14/2022	Unable to see or hear rooster	6/21/2022
6/7/2022	09-18-300-017	British Rd. Minooka	Boulder Hill	Fill / Debris	6/14/2022	Dirt fill placed-SW permit not required	6/15/2022
6/10/2022	03-04-377-010	65 Sierra Rd. Montgomery	Boulder Hill	Chickens/Rooster in R-6	6/21/2022	2nd notice 7/27/2022	8/27/2022
6/12/2022	03-17-102-011	2245 Route 31 Oswego	Herrens Riverview Add	Fire - 2 apartments & out building	6/13/2022	Letter to contract for Fire Rest. Permit	1/9/2023
6/13/2022	03-04-376-023	102 Circle Drive W Montgomery	Boulder Hill	RV parked in F-yard setback	5/10/2022	30 Day warning notice	7/13/2022
6/16/2022	02-21-178-001	3416 N Route 47 Yorkville		Tall grass		Referred to Bristol Township	6/17/2022
6/24/2022	05-02-101-002	324 Austin Ct. Yorkville	FOFC	Pool - fence still not finished	6/27/2022	Fence being installed	6/28/2022
6/23/2022	03-04-152-004	45 Fernwood Rd. Montgomery	Boulder Hill	Sheds - No Permit	6/24/2022	30 Day Warning	8/3/2022
6/24/2022	02-15-157-003	8 Grove St. Bristol	Vil of Huntsville	Porch addition w/o permit	6/24/2022	10 day final warning	9/12/2022
7/1/2022	03-23-277-004	3428 Roth Rd. Oswego		Condition 10 Special Use	8/3/2022	Letter to discuss conditions/available to det violation	5/1/2023
7/1/2022	04-16-129-001	8 N Hudson St. Millbrook	Vil of Millbrook	Repair-Used car business	7/19/2022	Vehicle operable/RV not occupied	8/19/2022
7/1/2022	03-04-152-013	22 Greenbriar Rd. Montgomery	Boulder Hill	Landscape Business	7/26/2022	30 Day warning notice	8/27/2022
7/1/2022	03-09-153-015	31 Pickford Rd. Montgomery	Boulder Hill	Grass Parking	7/7/2022	No grass parking observed	7/7/2022
7/1/2022	03-05-401-003	67 Boulder Hill Pass Montgomery	Boulder Hill	Change of Occupancy	7/7/2022	Change of Occupancy - No Permit	8/11/2022
7/1/2022	03-04-177-020	10 Ingleshire Rd. Montgomery	Boulder Hill	Landscape business			8/11/2022
7/1/2022	03-09-153-014	29 Pickford Rd. Montgomery	Boulder Hill	Grass Parking	7/7/2022	30 Day warning notice	8/11/2022
7/1/2022	03-05-404-026	152 Boulder Hill Pass Montgomery	Boulder Hill	Boat in F-yard setback	7/7/2022	30 Day warning notice	8/11/2022
7/6/2022	03-04-177-020	10 Ingleshire Rd. Montgomery	Boulder Hill	Landscape business in R-6 zoning	7/7/2022	No evidence	7/8/2022
7/7/2022	03-04-306-005	59 Circle Dr. E Montgomery	Boulder Hill	Multiple Violations	7/7/2022	30 Day Warning Notice	11/29/2022
7/8/2022	05-02-102-002	317 Fields Dr. Yorkville	FOFC	Trailer in F/Yard setback	7/13/2022	30 Day Warning Notice	8/15/2022
7/11/2022	02-16-228-012	43 West St. Bristol		Roosters in R-3 zoning	7/11/2022	Not able to find evidence of rooster	7/11/2022
7/11/2022	09-15-300-016	14565 Jughandle Rd. Minooka		Residence in Barn		A-1 Home occupation-see notes	10/28/2022
7/11/2022	09-22-200-016/ 030	2325 Bell Rd. Minooka	Fran-Shi Acres	Tree Business - R-1 zoning	10/28/2022	Incorrect PIN#	12/1/2022
7/11/2022	09-22-200-004	15100 Jughandle Rd. Minooka	Aux Sable Oaks	Residence in Barn	8/3/2022	Hobby Shop-not residence	10/28/2022
7/12/2022	03-04-306-004	57 Circle Dr. E Montgomery	Boulder Hill	Multiple Violations	7/20/2022	Eviction process started	1/9/2023
7/12/2022	03-04-306-001	51 Circle Drive E Montgomery	Boulder Hill	Tattoo business	7/20/2022	No Evidence	7/20/2022
7/12/2022	03-04-352-020	170 Boulder Hill Pass Montgomery	Boulder Hill	Rec Trailer in F/Y setback	7/20/2022	30 Day warning notice	8/27/2022
7/12/2022	03-05-404-018	136 Boulder Hill Pass Montgomery	Boulder Hill	Boat in F-yard setback	7/20/2022	30 Day warning notice	8/31/2022
7/13/2022	03-08-303-007	105 Dolores St. Oswego	Shore Heights	Fire on 7/12/2022	7/15/2022	Remodel - cosmetic only	10/25/2022
7/13/2022	03-04-307-025	34 Longbeach Rd. Montgomery	Boulder Hill	Box Truck-Commercial Vehicle	10/21/2022	30 Day Warning Notice Reg & Cert	11/28/2022
7/18/2022	02-35-301-001	330 Austin Ct. Yorkville	FOFC	Trailer in F/Yard setback	7/19/2022	30 Day warning notice	8/27/2022
7/20/2022	09-27-200-004	2511 Wildy Rd. Minooka		Fill in Floodplain	7/19/2022	Matt- email - Brian notes -court	6/27/2023
7/20/2022	03-04-306-027	44 Hampton Rd. Montgomery	Boulder Hill	Business - Tamale stand	7/20/2022	KCHHD is investigating	7/20/2022
7/20/2022	03-04-305-022	14 Wyncham Dr. Montgomery	Boulder Hill	Commercial Vehicle - Semi	9/22/2022	No Semi Truck	9/22/2022
7/20/2022	03-04-306-005	59 Circle Dr. E Montgomery	Boulder Hill	Commercial Vehicle - Semi	9/22/2022		Closed
7/20/2022	03-04-326-005	52 Marnel Rd. Montgomery	Boulder Hill	Commercial Vehicle - Semi	9/22/2022		9/22/2022
7/20/2022	03-04-329-019	45 Whitney Way Montgomery	Boulder Hill	Commercial Vehicle - Semi	9/22/2022	Not on site	9/22/2022
7/20/2022	03-04-408-003	106 Tealwood Rd. Montgomery	Boulder Hill	Commercial Vehicle - Semi	9/22/2022	Not on site	9/22/2022
7/20/2022	03-04-377-019	39 Longbeach Rd. Montgomery	Boulder Hill	Commercial Vehicle - Semi	8/31/2022	Owner changed - Removed	8/31/2022
7/20/2022	03-05-428-020	20 Hampton Rd. Montgomery	Boulder Hill	Commercial Vehicle - Semi	9/22/2022	30 Day Warning Notice Reg & Cert	11/5/2022
7/20/2022	03-05-279-010	4 Knollwood Dr. Montgomery	Boulder Hill	Commercial Vehicle - Semi	9/21/2022	30 Day Warning Notice Reg & Cert	11/5/2022
7/20/2022	03-05-428-008	8 Circle Dr East. Montgomery	Boulder Hill	Trailer in F/Yard setback	7/26/2022	30 Day warning notice	11/15/2022
7/25/2022	03-02-400-003	1250 Route 34 Oswego		Noise - Disco club or trucking company	8/4/2022	No Violation	8/27/2022
7/25/2022	03-04-428-015	32 Sonora Dr. Montgomery	Boulder Hill	Junk & Debris	7/26/2022	30 Day warning notice	10/3/2022
7/26/2022	03-04-302-004	24 Hampton Rd. Montgomery	Boulder Hill	Parking on non approved surface	7/25/2022	30 Day warning notice	8/27/2022
7/26/2022	07-21-300-001	15919 Route 52 Newark		Multiple Violations	10/21/2022	Removed all violations	10/21/2022
7/26/2022	04-31-452-008	11850 Fox River Dr. Newark		Post residence in portable home	8/8/2022	30 Day warning notice	1/20/2023
7/26/2022	03-04-152-004	45 Fernwood Rd. Montgomery	Boulder Hill	Chickens - Weeds	7/26/2022	No chickens-no permit req for rubbermatt shield	3/1/2023
7/28/2022	03-04-152-004	45 Fernwood Rd. Montgomery	Boulder Hill	Chickens - Weeds		re-oriented	7/26/2022
7/28/2022	03-12-204-005	26 Gastville Aurora	Gastville Acreage	Business in R-3 Zoning	See notes	Business in R-3 Zoning	10/4/2022

**PRE VIOLATION REPORT
2022**

9/19/2022	03-04-456-004	4160 Steam Mill Ct. Oswego	Boulder Hill	Possible remodel w/o permit		9/22/2022	No permit required at this time	10/4/2022
9/20/2022	03-08-201-012	82 Saugatuck Rd. Montgomery	Boulder Hill	Junk & Debris		9/22/2022	30 Day Warning Notice Reg & Cert	10/26/2022
9/20/2022	02-15-251-006	63 Circle Dr W. Montgomery	Boulder Hill	Junk & Debris		9/22/2022	Debris has been removed	9/23/2022
9/21/2022	01-23-200-028	23 N Royal Oaks Dr. Bristol	Woods of Blackberry oaks	Inoperable Vehicle		9/22/2022	30 Day Warning Notice Reg & Cert	10/28/2022
9/21/2022	06-04-400-005	13349 A Faxon Rd. Plano		Construction w/o permit		9/22/2022	Address added 2024-16-Ag Exempt - No Violation	9/22/2022
9/21/2022	06-09-400-004	6909 Schlopp Rd. Oswego		Trucking business		9/27/2022	15 day notice to contact office	11/28/2022
9/21/2022	03-08-227-036	E. Schlopphouse Rd.		Site Dev - Fill - No permit		9/27/2022	MA - 30 day warning	11/17/2022
9/21/2022	03-04-456-001	23 Old Post Rd. Montgomery	Boulder Hill	Trailer in F/Y setback & non approved surfac		9/27/2022	No Violation present	9/27/2022
9/22/2022	03-04-429-001	3 Wembley Rd. Montgomery	Boulder Hill	Parking on non approved surface		9/27/2022	30 Day Warning Notice Reg & Cert	11/5/2022
9/23/2022	03-04-428-001	23 Sonora Dr. Montgomery	Boulder Hill	Boat & Trailer in ROW		9/27/2022	30 Day Warning Notice Reg & Cert	11/15/2022
9/23/2022	03-08-278-010	162 Heathgate Rd. Montgomery	Boulder Hill	Multiple Violations		9/27/2022	30 Day Warning Notice Reg & Debris	1/16/2023
9/26/2022	03-04-306-005	102 Circle Drive W Montgomery	Boulder Hill	RV Parking		9/27/2022	30 Day Warning Notice Reg & Cert	11/5/2022
9/26/2022	03-04-306-028	59 Circle Dr. E. Montgomery	Boulder Hill	Semi tractor trailer		9/26/2022	30 Day Warning Notice Reg & Cert	11/5/2022
9/26/2022	03-05-430-046	46 Hampton Rd. Montgomery	Boulder Hill	Construction Business		9/27/2022	30 Day Warning Notice Reg & Cert	11/15/2022
9/28/2022	02-34-151-005	39 Seneca Dr. Montgomery	Boulder Hill	Commercial Veh, Inoper Veh & Junk & Debr		9/30/2022	30 Day Warning Notice Reg & Cert	5/1/2023
9/29/2022	04-27-100-003	82-84 Quinsey Lane Yorkville	Nelson J Quinsey	Abandoned property- Junk & debris		9/30/2022	It occupied-no prop maintenance code	10/5/2022
9/29/2022	01-14-177-001	14886 Walker Rd. Newark	Schomer Estates	Storage Business & Billboard		9/30/2022	Certified letter sent 10/20/2022- MA	11/21/2022
9/29/2022	02-13-478-007	8 Schomer Ln. Plano	Riverview Heights	Landscaping Business		9/30/2022	30 Day Warning Notice Reg & Cert	11/19/2022
9/29/2022	03-08-227-006	20 Center Dr. Oswego	Boulder Hill	Construction Equipment in Front yard		10/21/2022	Excavator removed	10/21/2022
9/29/2022		Audrey Ave Yorkville	Fields of Farm Colony	RV parked in Front yard setback		10/17/2022	30 Day Warning Notice Reg & Cert	11/12/2022
9/30/2022	03-22-400-002	2292 Woolley Rd. Oswego		Construction - fill behind houses		9/30/2022	Sewer Repair per HHS	10/4/2022
10/3/2022	03-04-376-040	52 Sierra Rd. Montgomery	Boulder Hill	Landscaping business		10/7/2022	No Business	10/7/2022
10/3/2022	03-05-428-013	6 Hampton Rd. Montgomery	Boulder Hill	Container in Front yard setback		10/7/2022	30 Day Warning Notice Reg & Cert	4/10/2023
10/3/2022	03-04-306-028	46 Hampton Rd. Montgomery	Boulder Hill	Inoperable Vehicle		10/7/2022	30 Day Warning Notice Reg & Cert	11/12/2022
10/4/2022	03-04-451-015	13 Pomeroy Dr. Montgomery	Boulder Hill	Trailer in Front yard setback				11/17/2022
10/5/2022	03-05-430-046	39 Seneca Dr. Montgomery	Boulder Hill	Inoperable vehicle being used as shed				Closed
10/6/2022	06-13-300-007	547 Wheeler Rd. Plainfield		Multiple Violations		9/27/2022	30 Day Warning Notice Reg & Cert	11/18/2022
10/6/2022	06-13-300-004	609 Wheeler Rd. Plainfield		Auto Repair business		10/7/2022	Requesting Meeting	11/30/2022
10/12/2022	03-05-429-031	37 S Bereman Rd. Montgomery	Boulder Hill	Parking Lot - No Permit		10/13/2022	30 Day Warning Notice Reg & Cert	11/28/2022
10/12/2022	03-04-378-019	83 Pueblo Rd. Montgomery	Boulder Hill	Property Damage Inspection		10/18/2022	Tree Ordinance does not exist	2/1/2023
10/13/2022	03-09-103-008	200 Fernwood Rd. Montgomery	Boulder Hill	Auto Repair business		10/18/2022	30 Day Warning Notice Reg & Cert	wrong address
10/13/2022	06-18-200-011	51 Old Post Rd. Montgomery	Boulder Hill	RV Parking		10/18/2022	30 Day Warning Notice Reg & Cert	12/12/2022
10/14/2022	03-04-326-004	50 Marnel Rd. Montgomery	Boulder Hill	Boat in Front yard setback		10/18/2022	Boat is parked in permitted location	10/21/2022
10/14/2022	03-04-325-010	44 Inghesire Rd. Montgomery	Boulder Hill	Landscaping Business w/o Spec Use - MA		10/18/2022	30 Day Warning Notice Reg & Cert	5/16/2023
10/18/2022	03-05-404-046	43 Greenfield Rd. Montgomery	Boulder Hill	Fire - Structure		10/17/2022	No Access - Not habitable	ON HOLD MA
10/18/2022	03-04-327-007	29 Surrey Rd. Montgomery	Boulder Hill	Inoperable Vehicle		10/18/2022	30 Day Warning Notice Reg & Cert	11/18/2022
10/20/2022	04-27-100-003	14886 Walker Rd. Newark		Inoperable Vehicle				Citation coming
10/20/2022	03-04-278-024	112 Heathgate Rd. Montgomery	Boulder Hill	Billboard and storage business		10/24/2022	30 Day Warning Notice Reg & Cert	11/28/2022
10/20/2022	03-04-277-023	2 Afton Dr. Montgomery	Boulder Hill	Construction Business		9/30/2022	Certified letter sent MA	11/21/2022
10/26/2022	03-09-152-016	8 Ridgefield Rd. Montgomery	Boulder Hill	Trailer parked in Front yard setback		10/21/2022	30 Day Warning Notice Reg & Cert	11/28/2022
10/26/2022	03-09-152-017	14 Ridgefield Rd. Montgomery	Boulder Hill	Trailer in Front yard setback		10/21/2022	30 Day Warning Notice Reg & Cert	various
10/26/2022	03-09-152-019	10 Ridgefield Rd. Montgomery	Boulder Hill	Trailer in Front yard setback		10/21/2022	30 Day Warning Notice Reg & Cert	11/28/2022
10/26/2022	03-04-278-026	116 Heathgate Rd. Montgomery	Boulder Hill	Trailer parked in Front yard setback/Inop Veh		10/21/2022	30 Day Warning Notice Reg & Cert	11/13/2023
10/26/2022	02-22-426-002	19 Timberview Ln Yorkville	Timber Ridge	Pool being drained into retention area		10/26/2022	30 Day Warning Notice Reg & Cert	11/28/2022
10/28/2022	02-13-479-003	19 Center Dr Oswego	Riverview Heights	Commercial Vehicle parking			ot a Violation of KC Ordin. Civil matter	11/29/2022
10/27/2022	09-24-100-010	59 Circle Dr. E. Montgomery	Boulder Hill	Storing Vehicles, Junk & debris& tall grass		2/1/2022	No Change	6/5/2023
10/28/2022	03-04-306-005	15200 Ridge Rd. Minnoka	Boulder Hill	Semi tractor trailer				Monitoring
10/31/2022	03-05-430-026	158 Boulder Hill Pass Montgomery	Boulder Hill	Possible business-landscaping or lumber		11/2/2022	MA 30 Day Warning Notice Reg & Ce	4/25/2023
10/31/2022	03-04-378-018	81 Pueblo Rd. Montgomery	Boulder Hill	Commercial Vehicle Parking		10/31/2022	30 Day Warning Notice Reg & Cert	12/3/2022
11/2/2022	09-22-200-030	15476 Jughandle Rd. Minnoka	Boulder Hill	Camper parked in F-yard setback		11/2/2022	30 Day Warning Notice Reg & Cert	12/8/2022
11/2/2022	02-34-227-001	8027 Van Emmon Rd. Yorkville	Wending	Walsh Tree Service		11/2/2022	Orig. 7/11/22-2325 Bell Rd.	11/2/2022
				Possible shed converted to living quarters		11/3/2022	30 Day letters req meeting reg & ce	6/5/2023

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**PRE VIOLATION REPORT
2022**

11/3/2022	03-05-430-026	158 Boulder Hill Pass Montgomery	Boulder Hill	Commercial vehicle - box trucks	11/21/2022	30 Day Warning Notice Reg & Cert	12/3/2022	Closed
11/3/2022	01-34-300-008	14824 Millhurst Rd.		Pool - No Permit	11/9/2022	Applied for Permit	12/3/2022	Closed
11/3/2022	09-15-200-005	14021 Arpelter Rd Minooka		Building-No Permit/Business in A-1	11/9/2022	30 Day Warning Notice Reg & Cert	1/13/2023	Closed
11/9/2022	03-04-256-026	138 Fernwood Rd. Montgomery	Boulder Hill	RV Parking	11/12/2022	F/U	12/5/2022	12/12/2022
11/9/2022	03-04-430-008	164 Tealwood Rd. Montgomery	Boulder Hill	Trailer parking	11/17/2022	30 Day Warning Notice Reg & Cert	1/13/2023	2/17/2023
11/10/2022	03-09-156-007	306 Boulder Hill Pass Montgomery	Boulder Hill	Building w/o Permit	11/17/2022	30 Day Warning Notice Reg & Cert	12/21/2022	12/8/2022
11/10/2022	03-04-406-004	49 Winrock Rd. Montgomery	Boulder Hill	Inoperable Vehicle	11/17, 11/23	30 Day Warning Notice Reg & Cert	12/9/2022	12/12/2022
11/14/2022	03-04-478-012	65 Springdale Rd. Montgomery	Boulder Hill	Trailer in Front yard setback	11/17/2022	30 Day Warning Notice Reg & Cert	12/21/2022	12/21/2022
11/15/2022	02-31-477-005	4 Poplar Rd. Yorkville	Foxlawn	Rooster & chickens	11/17/2022	30 Day Warning Notice Reg & Cert	12/21/2022	12/21/2022
11/16/2022	09-21-100-009	3527 Bell Rd. Minooka		Possible building without permit	11/23/2022	Email	11/28/2022	11/28/2022
11/18/2022	03-04-152-012	24 Greenbriar Rd. Montgomery	Boulder Hill	Semi tractor trailer	11/23/2022	Not present-removed	8/9/2023	11/23/2022
11/21/2022	03-05-427-003	9 S. Greenbriar Rd. Montgomery	Boulder Hill	Chickens	11/23/2022	30 Day Warning Notice Reg & Cert	8/9/2023	11/23/2022
11/21/2022	03-08-227-006	58 Codorus Rd. Montgomery	Boulder Hill	Chickens	11/23/2022	30 Day Warning Notice Reg & Cert	12/14/2022	12/14/2022
11/23/2022	03-04-151-008	58 Fernwood Rd. Montgomery	Boulder Hill	Chickens	11/29/2022	30 Day Warning Notice Reg & Cert	7/18/2023	7/25/2023
11/23/2022	03-08-227-006	58 Codorus Rd. Montgomery	Boulder Hill	Chickens	11/29/2022	No evidence of chickens	11/29/2022	11/29/2022
11/28/2022	03-04-304-025	28 Spring Garden Dr. Montgomery	Boulder Hill	Chickens	11/29/2022	Permit not req. for driveway replace	11/30/2022	11/30/2022
11/28/2022	02-26-476-003	36 Oak Creek Dr. Yorkville	Oak Creek	Driveway Expansion & grading change. Shed	12/9/2022	Referred to HHS	11/30/2022	11/30/2022
11/28/2022	03-24-100-008	640 B Rance Rd. Oswego		Dumping and burning items brought onto prop		Referred to HHS	11/30/2022	11/30/2022
11/28/2022	03-24-100-009	640 D Rance Rd. Oswego		Dumping and burning items brought onto prop		Referred to HHS	11/30/2022	11/30/2022
11/30/2022	03-09-101-002	21 Cayman Dr. Montgomery	Boulder Hill	Chickens	12/9/2022	30 Day Warning Notice Reg & Cert	7/18/2023	7/25/2023
12/7/2022	03-04-326-006	54 Marmel Rd. Montgomery	Boulder Hill	Semi tractor trailer	12/9/2022	30 Day Warning Notice Reg & Cert	3/6/2023	3/14/2023
12/7/2022	03-05-430-004	12 S Bereman Rd. Montgomery	Boulder Hill	Trailer parking	12/9/2022	Not enough evidence	8/17/2023	12/14/2022
12/7/2022	06-15-100-007	8150 S Schlapp Rd. Plainfield		Piles of Dirt - MA	12/20/2022	Owner spoke with MA	3/2/2023	3/6/2023
12/9/2022	03-28-100-004	3601 Plainfield Rd. Oswego		Building w/o Permit	12/20/2022	30 Day Warning Notice Reg & Cert	3/2/2023	3/6/2023
12/14/2022	09-14-300-001	1910 Route 52 Minooka		Possible non-ag activities on property	12/20/2022	No Evidence that this is not AG	12/21/2022	12/21/2022
12/15/2022	02-26-400-023	7405 Route 71 Yorkville		Piles of Dirt - MA	12/20/2022	No Violation	12/21/2022	12/21/2022
12/19/2022	03-27-402-005	35 Royce Rd. Oswego	Ring-Neck	Remodel w/o permit	12/20/2022	No Evidence	12/28/2022	12/28/2022
12/21/2022	03-04-478-005	51 Springdale Rd. Montgomery	Boulder Hill	Mechanic Shop	1/13/2023	Not enough evidence	1/13/2023	1/17/2023
12/21/2022	03-19-180-001	5951 Route 71 Oswego		Large Construction sign	12/28/2022	Exempt from permit	2/17/2023	12/28/2022
12/21/2022	03-04-155-016	2 Surrey Rd. Montgomery	Boulder Hill	Trailer parking on non-approved surface	1/13/2023	30 Day Warning Notice Reg & Cert	2/17/2023	3/6/2023
12/27/2022	03-03-352-001	132 Saugatuck Rd. Montgomery	Boulder Hill	Commercial Vehicle	1/13/2023	30 Day Warning Notice Reg & Cert	2/17/2023	2/16 & 6/8/23

**Permit Summary by Category
Kendall County**

Permit Category	Count	Estimated Cost	Permit Fees	Land Cash
House	1	\$550,000	\$5,063	\$3,163
Garage	1	\$25,000	\$200	\$0
Accessory Buildings	7	\$75,700	\$696	\$0
Additions	4	\$259,997	\$1,647	\$0
Remodeling	2	\$84,500	\$460	\$0
Barns/Farm Buildings	2	\$190,000	\$0	\$0
Swimming Pools	1	\$5,154	\$200	\$0
Decks	2	\$23,720	\$200	\$0
Patio	3	\$33,800	\$150	\$0
Solar	5	\$286,263	\$1,525	\$0
	28	\$1,534,134	\$10,141	\$3,163

July 2022 - 2 Houses
- 34 Total Permits

YTD 2022 - 18 Houses
215 Total Permits

Permit Summary by Category by Month Kendall County

Permit Category	Total	Jan	Feb	Mar	Apr	May	Jun	Jul	Aug	Sep	Oct	Nov	Dec
House	19	0	0	5	4	6	3	1	0	0	0	0	0
Garage	7	0	0	0	2	4	0	1	0	0	0	0	0
Accessory Buildings	32	1	2	7	3	8	4	7	0	0	0	0	0
Additions	12	0	0	0	2	6	0	4	0	0	0	0	0
Remodeling	9	0	2	1	1	1	2	2	0	0	0	0	0
Commercial - B Zone	4	0	0	3	0	0	1	0	0	0	0	0	0
Barns/Farm Buildings	14	2	1	1	6	1	1	2	0	0	0	0	0
Signs	2	0	0	1	0	1	0	0	0	0	0	0	0
Other	1	0	0	0	0	1	0	0	0	0	0	0	0
Swimming Pools	24	0	0	5	6	6	6	1	0	0	0	0	0
Decks	13	0	1	0	2	5	3	2	0	0	0	0	0
Demolitions	10	0	0	2	7	0	1	0	0	0	0	0	0
Electrical Upgrades	7	2	0	2	2	1	0	0	0	0	0	0	0
Change in Occupancy	2	0	1	0	0	0	1	0	0	0	0	0	0
Driveway	7	0	0	0	1	3	3	0	0	0	0	0	0
Patio	3	0	0	0	0	0	0	3	0	0	0	0	0
Generator	9	3	1	0	2	3	0	0	0	0	0	0	0
Solar	45	5	5	10	7	3	10	5	0	0	0	0	0
	220	13	13	37	45	49	35	28	0	0	0	0	0

Permit Approval Date Report
Kendall County

Issue Date	Permit ID	Permit Category	Parcel Number	Owner Name	Property Address	Subdivision	Contractor Name
4/17/2023	012023098	01 House	05-02-100-005	REES GINGER	6611 MINKLER RD YORKVILLE, IL. 60560		
6/5/2023	012023156	01 House	04-02-200-014	CARTER JEFF DBA DON CARTER PHIL REES 09-22-400-008	13153 FOX ROAD YORKVILLE, IL. 60560		
6/14/2023	012023173	01 House	RC ENTERPRISES EAT LLC	2412 BELL RD MINOOKA, IL 60447-			
7/6/2023	012023179	01 House	02-26-400-023	DEL TORO MARCO & IMELDA	7404 ROUTE 71 YORKVILLE, IL 60560-		
5/31/2023	012023151	01 House	06-14-200-013	IBRAHIM CRAIG F & GRETCHEN M	8265 OLD RIDGE ROAD PLAINFIELD, IL. 60544		HISG ISNER/KINDRED HOMES, INC.
5/12/2023	012023129	01 House	06-07-226-002	SHORT ANGELA F	5612 WHITETAIL RIDGE DR YORKVILLE, IL 60560-	WHITETAIL RIDGE	CHARLES JAMES CUSTOM HOMES
5/9/2023	012023073	01 House	04-04-300-008	KUEFLER EDWARD	15426 C MILLHURST RD PLANO, IL 60545-		
3/28/2023	012023044	01 House	09-23-300-026	RESENDIZ PHILIP AND JENNIFER	15801 HARE ROAD MINOOKA, IL. 60447		NRK CONNOR CARPENTRY BY CONTRACTORS
6/12/2023	012023165	01 House	05-17-103-006	STIVENDER EUGENE SCOTT	10932 TANGLEWOOD TRAILS DR YORKVILLE, IL 60560-	TANGLEWOOD TRAILS	CLEAN EDGE CONSTRUCTION
6/29/2023	012023081	01 House	04-20-226-002	MCNELIS TOM & HAZEL	16137 S STONEWALL DR NEWARK, IL 60541-	ESTATES OF MILLBROOK UNIT 4	
3/22/2023	012023058	01 House	07-07-100-015	HERMANN RICHARD A	17900 SHERIDAN RD NEWARK, IL 60541-		WILLMAN-GROESCH GENERAL CONTRACTORS

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3/13/2023	012023053	01 House	02-06-100-010	KONICEK MICHAELA DEC OF TRUST & KONICEK ANNE MARIE 06-07-373-004	11843 GALENA RD PLANO, IL 60545-	WHITETAIL RIDGE	ED SALGADO DESIGN BUILD
4/25/2023	012023069	01 House	09-29-400-008	KAY ROLLIN MATTHEW & KAREN MELANIE	5883 CHAMPIONSHIP CT YORKVILLE, IL 60560-	WHITETAIL RIDGE	MEDOWS CONSTRUCTION
3/17/2023	012022375	01 House	04-30-101-012	GILKERSON NATHANIAL & MEGAN	16901 OBRIEN ROAD MINOOKA, IL. 60447		
5/3/2023	012023122	01 House	04-19-300-010	WIESBROOK EDWARD D & LINDA L	10050 MILLINGTON RD NEWARK, IL 60541-		
5/24/2023	012023148	01 House	05-02-126-003	KEWENIG MATTHEW & JAMIE	9420 FINNIE RD NEWARK, IL 60541-		
4/12/2023	012023075	01 House	05-18-250-005	BRYAN, PERCY LEE & JERRI	7579 AUDREY AVENUE YORKVILLE, IL. 60560	ROSEHILL	MWK CONSTRUCTION INC.
4/11/2023	012023068	01 House	06-07-227-005	SCHULTZ BENJAMIN & LAUREN	11353 BRIGHTON OAKS DR YORKVILLE, IL 60560-	BRIGHTON OAKS ESTATES	SAME
6/27/2023	012023176	01 House	02-28-452-014	RIEDY ANTHONY EDWARD LIV TRUST & LINDA RICHY RIVANIA 09-05-400-017	7178 FAIRWAY DR YORKVILLE, IL 60560-	WHITETAIL RIDGE	CL DESIGN-BUILD INC.
5/4/2023	022023125	02 Garage	02-11-128-015	NELSON THRON K & DIANA M	607 WACKER DR YORKVILLE, IL 60560-	WACKERLIN SUB	
5/3/2023	022023121	02 Garage	09-05-400-017	1ST BAPTIST CHURCH PLAINFIELD	4295 VAN DYKE RD MINOOKA, IL 60447-		
7/26/2023	022023221	02 Garage	64 S CYPRESS DR BRISTOL, IL 60512-	WILLOWBROOK UNIT 2 AMNDED PLAT			

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5/9/2023	022023142	02 Garage	06-05-153-003	KLINGBIEL MATTHEW C & JANEL R	61 E TIMBERLAKE TRL OSWEGO, IL 60543-	ARROWHEAD HILLS UNIT 2	
4/25/2023	022023109	02 Garage	03-34-251-001	LUNN ALLEN E	5290 DOUGLAS RD OSWEGO, IL 60543-		
5/3/2023	022023127	02 Garage	01-16-426-001	MULEDY MATTHEW T & CORDARO ANGELAH	68 N LINDEN DR PLANO, IL 60545-	MEYERBROOK UNIT 1	MICHAEL BURGERMEISTER
4/17/2023	022023095	02 Garage	07-15-400-003	RUTKAS MICHAEL & JENNIFER	14633 BIG GROVE RD NEWARK, IL 60541-		
5/3/2023	032023128	03 Accessory Buildings	02-34-276-005	WATTS JOHN R JR & PAMELA C	33 PONDEROSA DR YORKVILLE, IL 60560-	PONDEROSA SUB	JPM C HOMES
5/30/2023	032023153	03 Accessory Buildings	01-19-476-007	HRVATIN ARTHUR	17170 FRAZIER RD PLANO, IL 60545-		AMERICAN STEEL CARPORTS INC.
3/21/2023	032023049	03 Accessory Buildings	01-03-352-003	STEVENS ZACHARY & LAUREN	26 DAWN AVE PLANO, IL 60545-	STAINFIELD SUB	PF BUILDERS
6/5/2023	032023155	03 Accessory Buildings	04-02-200-014	CARTER JEFF DBA DON CARTER	13153 FOX ROAD YORKVILLE, IL 60560		
6/12/2023	032023170	03 Accessory Buildings	01-09-428-003	FRANCO RAUL D & MARVELLA	23 COFFMAN LN PLANO, IL 60545-		
5/3/2023	032023124	03 Accessory Buildings	07-09-200-002	CHRISTOPHER & JACQUELINE ROWE	13320 SLEEZER ROAD NEWARK, IL 60541		
4/18/2023	032023091	03 Accessory Buildings	02-11-252-002	GARCIA CHRISTOPHER	62 W HIGHLAND DR BRISTOL, IL 60512-	STORYBOOK HIGHLANDS UNIT 2	BOB LEE CONSTRUCTION

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4/25/2023	032023107	03 Accessory Buildings	02-36-102-009	ANDERSON MICHAEL J & SANDRA M	429 COUNTRY RD YORKVILLE, IL 60560-	FARM COLONY	SILHOUETTE BUILDERS INC.
1/31/2023	032023018	03 Accessory Buildings	04-16-376-010	STAWIARSKI RAFAL & TERESA	8750 WILCOX CT NEWARK, IL 60541-	ESTATES OF MILLBROOK UNIT 1	
3/17/2023	032023054	03 Accessory Buildings	01-19-200-009	RAMIREZ JORGE & RY PROPERTY	17660 SEDGEWICK RD SANDWICH, IL 60548-		
3/30/2023	032023046	03 Accessory Buildings	02-35-386-002	HIGHLAND BRADLEY M STEPHANIE L	5672 FIELDS DR YORKVILLE, IL 60560-		
3/13/2023	032023048	03 Accessory Buildings	02-28-453-017	GENITILE FRANK D & JENNIFER G	606 WACKER DR YORKVILLE, IL 60560-	WACKERLIN SUB	
6/13/2023	032023162	03 Accessory Buildings	02-34-226-004	BAUSTIAN FRED	8055 VAN EMMON RD YORKVILLE, IL 60560-		FBI BUILDINGS
4/18/2023	032023090	03 Accessory Buildings	02-27-327-023	EPPERSON RAYMOND & VALERIE	26 N PARK DR YORKVILLE, IL 60560-	OAK CREEK SUB UNIT 2	BOB LEE CONSTRUCTION
3/13/2023	032023043	03 Accessory Buildings	02-26-476-003	WADE, KATHRYN A & DAVIS, MICHAEL D	36 OAK CREEK DR YORKVILLE, IL 60560-		
3/1/2023	032023036	03 Accessory Buildings	01-29-377-002	UNIVERSAL RESOURCE INC	16395 C GRISWOLD SPRINGS RD PLANO, IL 60545-		
2/10/2023	032023027	03 Accessory Buildings	02-35-312-002	VOIRIN TIMOTHY L & CRISTINA V	7768 MADELINE DR YORKVILLE, IL 60560-	FIELDS OF FARM COLONY UNIT 3	
6/9/2023	032023178	03 Accessory Buildings	06-02-103-003	BLALOCK BRIAN S & CAROL M	1937 WINCHESTER CT OSWEGO, IL 60543-	SOUTHFIELD ESTATES	

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2/8/2023	032023024	03 Accessory Buildings	06-16-300-007	JAGOW KRISTIAN J & TREAT HEATHER M	3805 WHEELER RD YORKVILLE, IL 60560-		
7/31/2023	032023226	03 Accessory Buildings	04-35-100-005	MATHRE BRADLEY & TREVA			
7/24/2023	032023216	03 Accessory Buildings	02-35-431-010	SMITH KELLY A	5748 AUDREY AVE YORKVILLE, IL 60560-	FIELDS OF FARM COLONY UNIT 4	
7/24/2023	032023213	03 Accessory Buildings	08-02-476-012	EATON JEFFREY H & TAMARAL	12944 MACKENZIE RD YORKVILLE, IL 60560-	MURDO T MACKENZIE SUB	
3/13/2023	032023050	03 Accessory Buildings	02-35-380-011	BANACH LUKASZ & HELENA	7562 MADELINE DR YORKVILLE, IL 60560-	FIELDS OF FARM COLONY UNIT 2	
5/3/2023	032023120	03 Accessory Buildings	05-07-101-003	DEMPSEY TODD A & LISAD	16 HILLVIEW CT YORKVILLE, IL 60560-	PAVILLION HEIGHTS UNIT 3	
7/19/2023	032023212	03 Accessory Buildings	05-08-351-005	DYSON JAMES R & CONNIE R	10957 BRANDENBURG WAY YORKVILLE, IL 60560-	TANGLEWOOD TRAILS	J&E RESTORATIONS PLLC
7/19/2023	032023208	03 Accessory Buildings	05-02-128-001	GLYNN MARK & LORI	7512 AUDREY AVE YORKVILLE, IL 60560-	ROSEHILL	
5/4/2023	032023130	03 Accessory Buildings	03-09-153-013	BELLO FROILAN GARCIA & VILLANUEVA MADRINI	27 PICKFORD RD MONTGOMERY, IL 60538-	BOULDER HILL UNIT 21	Permitsxlala@gmail.com
5/5/2023	032023132	03 Accessory Buildings	06-03-251-002	OBERHEIDE CHRISTIAN & MARCY	2017 DEVONSHIRE CT OSWEGO, IL 60543-	SOUTHFIELD ESTATES	
6/29/2023	032023187	03 Accessory Buildings	02-11-301-001	PEREZ JUVENTINO MARTINEZ & MARTINEZ MADRINI	7970 GALENA RD BRISTOL, IL 60512-	WAGNER SUB	

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6/13/2023	032023171	03 Accessory Buildings	08-12-127-006	KROPP RANDALL S & JEANETTE R	6612 CHICAGO RD YORKVILLE, IL 60560-		MODERN RENOVATION SERVICES INC.
5/3/2023	042023123	04 Additions	01-10-101-003	CECH MICHAEL E	1148 WILMIN RD PLANO, IL 60545-		
7/26/2023	042023219	04 Additions	04-16-351-005	JEFFERS STEPHEN W & ANGIE	8942 WILCOX CT MILLBROOK, IL 60536-	ESTATES OF MILLBROOK UNIT 2	REVOLUTION BUILDERS CONSTRUCTION
5/31/2023	042023119	04 Additions	01-14-325-007	YOUNG TIMOTHY BA & KAYLEA M	2588 J ROCK CREEK RD PLANO, IL 60545-	ESTATES OF FOX CHASE UNIT 3	
4/20/2023	042023076	04 Additions	09-04-100-004	RUELAS ALBERTICO FERNANDEZ & CAROLINA E	12130 MCKANNA RD MINOOKA, IL 60447-		
5/3/2023	042023118	04 Additions	09-04-100-013	SALINAS RAFAEL & MARIA M	12452 MCKANNA RD MINOOKA, IL 60447-		
5/11/2023	042023143	04 Additions	01-20-352-014	WHITMER DEAN L & MARY G	118 WOODLAND DR PLANO, IL 60545-	SUGAR BROOK ESTATES UNIT 3	WILLMAN & GROESCH GC
4/17/2023	042023094	04 Additions	07-15-400-003	RUTKAS MICHAEL & JENNIFER	14633 BIG GROVE RD NEWARK, IL 60541-		
7/25/2023	042023218	04 Additions	01-10-101-010	WALTON CHARLES H JR & SYLVIA	73 STAINFIELD DR PLANO, IL 60545-	STAINFIELD SUB UNIT 2	STEVE HATCHER
7/24/2023	042023217	04 Additions	06-06-201-006	SALIGA KEVIN M & MARGERY K	21 NAAUSAY CT OSWEGO, IL 60543-	NA-AU-SAY WOODS	CLEAN EDGE CONSTRUCTION
7/19/2023	042023209	04 Additions	03-27-402-006	MARSHALL JACK & MARYANN	43 ROYCE DR OSWEGO, IL 60543-	RING-NECK SUB UNIT 2	

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5/30/2023	042023159	04 Additions	05-08-402-005	ARCHBOLD EDGAR E & AELITA	6 JULIUS CT YORKVILLE, IL 60560-	RONHILL ESTATES	
5/26/2023	042023150	04 Additions	09-12-300-001	OPPERMAN DANIELLE & DEAN ALAN	510 JONES RD MINOOKA, IL 60447-		BOB LEE CONSTRUCTION
7/10/2023	052023204	05 Remodeling	02-35-279-001	DETERDING BRENT & CHALYCE	232 TALLGRASS LN YORKVILLE, IL 60560-	FARM COLONY UNIT 1 RESUB PT LT 61	J&E RESTORATIONS PLLC
6/27/2023	052023194	05 Remodeling	02-34-471-001	BASSO JAMES C & REBA P	8182 SHADOW CREEK LN YORKVILLE, IL 60560-	SHADOW CREEK SUB	DME ELEVATORS DME ACCESS, LLC
6/29/2023	052023197	05 Remodeling	02-23-303-006	DILLON PHILLIP & JOYCE	12 CANYON CT YORKVILLE, IL 60560-	TIMBER RIDGE SUB UNIT 1	BASEMENT 2 FINISH
5/26/2023	052023152	05 Remodeling	05-18-202-003	HAAS DAVID J & KAREN S	47 MAPLE RIDGE LN YORKVILLE, IL 60560-	MAPLE GROVE	ARTISAN ENTERPRISES INC.
4/24/2023	052023105	05 Remodeling	05-06-226-002	LITCHEFIELD JACQUELINE T	11040 FOX RD YORKVILLE, IL 60560-		ABSOLUTE CONSTRUCTION INC.
2/28/2023	052023032	05 Remodeling	02-06-102-003	WICKTER LAWRENCE D JR & DEBORAH H	17 MASHE RD SUGAR GROVE, IL 60554-		T-Square Construction
2/16/2023	052023030	05 Remodeling	03-24-201-011	HULVA GREG A & PEREZ CYNTHIA GARCIA	12 PIONEER CT OSWEGO, IL 60543-		BMF REMODELING LLC
3/14/2023	052023051	05 Remodeling	04-15-300-001	SUN JELLY CHICAGO RV LLC	8574 MILLBROOK RD NEWARK, IL 60541-		
7/7/2023	072023201	07 Commercial - B Zone	05-16-300-009	CROSS EVANGELICAL LUTHRN CHRCH	8535 ROUTE 47 YORKVILLE, IL 60560-		JAMES SMILEY - DIR OF OP

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4/12/2023	072023070	07 Commercial - B Zone	03-34-100-027	RAMIREZ LYDIA	5438 SCHLAPP ROAD OSWEGO, IL. 60543		DIVISION ONE PAINTING
3/29/2023	072023066	07 Commercial - B Zone	08-21-300-002	LISBON TOWNSHIP HIGHWAY DEPT	15759 ROUTE 47 NEWARK, IL 60541-		WALTERS BUILDINGS
3/15/2023	072023047	07 Commercial - B Zone	09-13-200-012	GOPROBALL, LLC% Jason Shelley	14285 B COUNTY LINE RD SHOREWOOD, IL 60404-		SCI DESIGN INC. BOB SANFRATELLO
6/5/2023	082023161	08 Barns/Farm Buildings	08-25-300-009	DELANEY ROBERT A	-		
7/28/2023	082023224	08 Barns/Farm Buildings	07-18-400-001	MICHEL BRIAN J	17510 FERN DELL RD NEWARK, IL 60541-		
7/24/2023	082023215	08 Barns/Farm Buildings	07-07-400-006	COE BRIAN & WENDE	17504 LISBON CENTER RD NEWARK, IL 60541-		
6/15/2023	082023177	08 Barns/Farm Buildings	05-25-300-013	HOWELL NATHANIELA	10712 CHURCH RD YORKVILLE, IL 60560-		
4/25/2023	082023113	08 Barns/Farm Buildings	08-24-400-014	SCHUDA JOHN	15731 BRISBIN RD. MINOOKA, IL. 60447		
4/20/2023	082023103	08 Barns/Farm Buildings	07-18-300-015	AMMENHAUSER CHRISTOPHER & HARRIS AV	-		
4/17/2023	082023084	08 Barns/Farm Buildings	03-12-476-001	MAURICIO LOUIS E & MENDOZAALICIA	139 WOLF RD OSWEGO, IL 60543-		
4/11/2023	082023082	08 Barns/Farm Buildings	07-20-200-005	BROMELAND ANDREW J & JENNIFER L	15375 ROODS RD NEWARK, IL 60541-		

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4/11/2023	082023077	08 Barns/Farm Buildings	03-34-400-011	RICKER DAVID LEE & VICTORIA M	2051 PLAINFIELD RD OSWEGO, IL 60543-		
3/1/2023	082023038	08 Barns/Farm Buildings	08-01-452-010	HORTON JAMES J & NANCY L	6336 CHICAGO RD YORKVILLE, IL 60560-		
2/28/2023	082023033	08 Barns/Farm Buildings	01-09-428-004	PLANO ROTARY CLUB	1701 LITTLE ROCK RD PLANO, IL 60545-		
1/31/2023	082023019	08 Barns/Farm Buildings	06-08-200-012	UNDERHILL PATRICK L & PATRICIA	7169 GROVE RD OSWEGO, IL 60543-		
1/6/2023	082023010	08 Barns/Farm Buildings	05-03-300-009	BAUER TEMPLIN FAMILY TRUST	6670 WING RD YORKVILLE, IL 60560-		
4/4/2023	082023074	08 Barns/Farm Buildings	03-19-180-001	HAMMAN JAMES & LAURA	5951 ROUTE 71 OSWEGO, IL 60543-		
6/13/2023	092023166	09 Signs	03-05-253-032	OSWEGOLAND PARK DISTRICT	0 BOULDER HILL PASS MONTGOMERY, IL 60538-		AURORA SIGN COMPANY
3/17/2023	092023057	09 Signs	03-02-227-008	U STOR IT #2	184 ROUTE 30 AURORA, IL 60504-		
5/4/2023	102023131	10 Other	06-10-200-006	KELLER FRANK	7426 SCHLAPP RD OSWEGO, IL 60543-		
5/17/2023	122023147	12 Swimming Pools	03-05-402-004	MEZA, TERESA & MARTINEZ, JUAN	13 BRIARCLIFF RD MONTGOMERY, IL 60538-	BOULDER HILL UNIT 3	AJ RECREATIONAL SERVICES
5/16/2023	122023144	12 Swimming Pools	03-31-452-016	DIAZ RAMIRO & ANA LOTFE DE	8 OTTAWA CT OSWEGO, IL 60543-	NA-AU-SAY WOODS	KAYAK POOLS

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6/15/2023	122023139	12 Swimming Pools	02-36-104-007	ST GERMAIN STEPHANIE A & INDEPENDENT	340 TALLGRASS LN YORKVILLE, IL 60560-	FARM AND FLEET RESUB	
5/9/2023	122023137	12 Swimming Pools	06-05-400-020	MCCAW MATTHEW T	6755 GROVE RD OSWEGO, IL 60543-		PREMIER POOLS AND SPAS
4/25/2023	122023114	12 Swimming Pools	01-10-301-005	MCQUADE ROBERT & DIANE	1594 LITTLE ROCK RD PLANO, IL 60545-	BERNS FIRST SUB	
4/17/2023	122023099	12 Swimming Pools	02-34-471-001	BASSO JAMES C & REBA P	8182 SHADOW CREEK LN YORKVILLE, IL 60560-	SHADOW CREEK SUB	MUELLNER CONSTRUCTION INC.
4/13/2023	122023097	12 Swimming Pools	02-22-476-003	RAMIREZ OSCAR JR & JACQUELINE	39 TIMBER VIEW LN YORKVILLE, IL 60560-	TIMBER RIDGE SUB UNIT 2	ALL PROPERTY SERVICES INC.
4/13/2023	122023096	12 Swimming Pools	05-12-277-016	STEFANI PETER L & JENNIFERA	5891 LEGACY CIR YORKVILLE, IL 60560-	WHITETAIL RIDGE	FOX POOL CHICAGO
4/12/2023	122023093	12 Swimming Pools	01-32-101-002	AVENARIUS DAVID & LAURIE H	16700 GRISWOLD SPRINGS RD PLANO, IL 60545-	SANDY BLUFF DUTCH ACRES	
4/12/2023	122023079	12 Swimming Pools	04-08-400-011	LEITNER BRYAN SR & SHAUNA	16154 ROGERS RD NEWARK, IL 60541-		
3/29/2023	122023065	12 Swimming Pools	02-35-382-002	HERBER JASON J & PAMELAA	5968 DANIELLE LN YORKVILLE, IL 60560-	FIELDS OF FARM COLONY UNIT 2	SUNCO POOLS
7/28/2023	122023225	12 Swimming Pools	03-09-155-013	SANTIAGO HEATHER	9 CIRCLE CT MONTGOMERY, BOULDER HILL UNIT 21 IL 60538-		
6/30/2023	122023199	12 Swimming Pools	02-36-105-006	HAREJ KYLE ALBERT & JENNIFER KAY BOBICID	351 TALLGRASS LN YORKVILLE, IL 60560-	FARM COLONY UNIT 1 RESUB PT LT 61	DESROCHES BACKYARD POOLS

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6/20/2023	122023183	12 Swimming Pools	01-28-254-002	BALTERREZ LUIS & URBINA EMMA	1201 W JONES ST PLANO, IL 60545-	CAQUELINS SUB	
6/16/2023	122023182	12 Swimming Pools	04-20-226-003	DEMORY ANDREA	16131 S STONEWALL DR NEWARK, IL 60541-	ESTATES OF MILLBROOK UNIT 4	
6/14/2023	122023175	12 Swimming Pools	04-21-126-002	GUNTY CRAIG J JR & DARCY A	9000 N STONEWALL DR NEWARK, IL 60541-	ESTATES OF MILLBROOK UNIT 2	
3/22/2023	122023060	12 Swimming Pools	05-06-351-005	WINNINGER PATRICK R	6 HILLSIDE DR YORKVILLE, IL 60560-		
3/6/2023	122023041	12 Swimming Pools	02-35-432-001	ERMERY RYAN R & LINDSAY A	5610 SCHMIDT LN YORKVILLE, IL 60560-	FIELDS OF FARM COLONY KAYAK POOLS UNIT 4	MIDWEST
3/31/2023	122023059	12 Swimming Pools	02-35-279-001	DETERDING BRENT & CHALYCE	232 TALLGRASS LN YORKVILLE, IL 60560-		SWIM SHACK
6/20/2023	122023169	12 Swimming Pools	04-02-227-003	CLEMENT BRADLEY J & TINAM	13246 WATERCRESS RD YORKVILLE, IL 60560-	THE WOODS OF SILVER SPRINGS	CHIP & DIP POOL & SPA SERVICES LLC
5/9/2023	122023141	12 Swimming Pools	06-05-402-010	WEZNER MATTHEW R & KELLY DONADO	4160 STEAM MILL CT OSWEGO, IL 60543-	HENNEBERRY WOODS UNIT 1	FOX POOL CHICAGO BY ECOSCAPE
6/6/2023	122023163	12 Swimming Pools	02-29-276-011	VERHUNCE KARYN	1105 GAME FARM RD YORKVILLE, IL 60560-		AMERICAN SALE
6/16/2023	122023181	12 Swimming Pools	03-04-426-004	PATSCH JAMES E & LAURIE	27 SPRINGDALE RD MONTGOMERY, IL 60538-	BOULDER HILL UNIT 26	
3/27/2023	122023064	12 Swimming Pools	01-14-177-002	BECKER CRAIG & PAMELA	14 SCHOMER LN PLANO, IL 60545-	SCHOMERS ESTATES	

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6/30/2023	132023196	13 Decks	02-15-276-008	FITZPATRICK DOROTHYA	83 N ROYAL OAKS DR BRISTOL, IL 60512-	THE WOODS OF BLACKBERRY OAKS	CLEAN EDGE CONSTRUCTION
6/30/2023	132023193	13 Decks	05-04-178-004	CROWE KEVIN MICHAEL & GRAJEDA MICHAEL D	35 CROOKED CREEK DR YORKVILLE, IL 60560-	CROOKED CREEK WOODS	MODERN IMPROVEMENTS
6/5/2023	132023167	13 Decks	02-35-276-010	DRAPER ROSS & AMY	187 COUNTRY RD YORKVILLE, IL 60560-	FARM COLONY	
6/13/2023	132023149	13 Decks	03-04-255-008	HOOD JOHN P & SUSAN C	115 HEATHGATE RD MONTGOMERY, IL 60538-	BOULDER HILL UNIT 27	J&E RESTORATIONS
6/15/2023	132023140	13 Decks	02-36-104-007	ST GERMAIN STEPHANIE A & INGERU T	340 TALLGRASS LN YORKVILLE, IL 60560-	FARM COLONY	
5/5/2023	132023136	13 Decks	05-07-326-002	PARISH RONALD D & REBECCAL	11571 ROUTE 71 YORKVILLE, IL 60560-		
5/5/2023	132023134	13 Decks	03-05-253-025	FORESTA JOSEPH E III & MELANIE L	13 W ALDON CT MONTGOMERY, IL 60538-		WOLF SPIRIT LLC
5/5/2023	132023133	13 Decks	06-03-251-002	OBERHEIDE CHRISTIAN & MARCY	2017 DEVONSHIRE CT OSWEGO, IL 60543-	SOUTHFIELD ESTATES	
4/12/2023	132023092	13 Decks	05-12-228-008	SHARAR SHAHID	7130 CLUBHOUSE DR YORKVILLE, IL 60560-	WHITETAIL RIDGE	
4/17/2023	132023085	13 Decks	03-12-476-001	MAURICIO LOUIS E & MENDOZA ALCIA	139 WOLF RD OSWEGO, IL 60543-		
2/28/2023	132023034	13 Decks	03-28-100-004	SONNYBOY LLC	3601 PLAINFIELD RD OSWEGO, IL 60543-		Cannavino Construction

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7/11/2023	132023205	13 Decks	05-02-102-008	ZEBLECKIS WILLIAM M & MARLENE	341 EMILY CT YORKVILLE, IL 60560-	FIELDS OF FARM COLONY UNIT 1	UPPERDECK DESIGN & CONSTRUCTION
4/14/2023	142023086	14 Demolitions	03-13-200-003	VILLAGE OF OSWEGO	340 WOLF RD OSWEGO, IL 60543-		ALPINE DEMOLITION SERVICES, LLC
4/11/2023	142023083	14 Demolitions	07-20-200-005	BROMELAND ANDREW J & JENNIFER L	15375 ROODS RD NEWARK, IL 60541-		CRAFTSMAN SERVICES
4/12/2023	142023080	14 Demolitions	02-28-278-001	PRAIRIE CREEK TRUST	9120 ROUTE 34 YORKVILLE, IL 60560-		
3/17/2023	142023055	14 Demolitions	02-03-200-001	RY PROPERTY MANAGEMENT CORPORATION	8218 ROUTE 30 BRISTOL, IL 60512-		
3/13/2023	142023052	14 Demolitions	02-06-100-010	KONICEK MICHAEL A DEC OF TRUST & KATHLEEN ANNE AKA	11843 GALENA RD PLANO, IL 60545-		
7/13/2023	142023184	14 Demolitions	09-32-100-001	COLLINS CLIFFORD	4930 WHITEWILLOW RD MINOOKA, IL 60447-		
4/17/2023	142023100	14 Demolitions	02-22-126-004	LEIFHEIT ELMER B & NANCY	26 LAKEVIEW DR YORKVILLE, IL 60560-	BRISTOL LAKE SUB	
4/14/2023	142023089	14 Demolitions	03-13-100-003	VILLAGE OF OSWEGO	809 WOLF RD OSWEGO, IL 60543-		ALPINE DEMOLITION SERVICES LLC
4/14/2023	142023087	14 Demolitions	03-13-200-002	VILLAGE OF OSWEGO	460 WOLF RD OSWEGO, IL 60543-		ALPINE DEMOLITION SERVICES
4/14/2023	142023088	14 Demolitions	03-13-200-001	VILLAGE OF OSWEGO	500 WOLF RD OSWEGO, IL 60543-		ALPINE DEMOLITION SERVICES LLC

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1/5/2023	152023011	15 Electrical Upgrades	06-05-400-019	CHRISTINA TYRELL	6735 GROVE RD OSWEGO, IL 60543-		R&K ELECTRICAL
5/30/2023	152023157	15 Electrical Upgrades	03-05-452-016	BUSBY RUTH	7 GARDEN DR MONTGOMERY, IL 60538-	GARDENS OF BOULDER HILL	ABC PHCE
5/2/2023	152023117	15 Electrical Upgrades	03-04-476-006	GIERDEN JOAN M LIVING TRUST	61 SHEFFIELD RD MONTGOMERY, IL 60538-	BOULDER HILL UNIT 22	MET ELECTRICAL & MECHANICAL
4/18/2023	152023101	15 Electrical Upgrades	03-06-476-002	SALGADO JORGE ERIC & SALGADO GERARDO	971 ROUTE 31 OSWEGO, IL 60543-		
3/29/2023	152023067	15 Electrical Upgrades	03-04-155-009	BUUCK DAVID J & AMY L	14 PEMBROOKE RD MONTGOMERY, IL 60538-	BOULDER HILL UNIT 29	KAPITAL ELECTRIC
3/17/2023	152023056	15 Electrical Upgrades	01-36-100-025	KUTER HERBERT C & CAROL	13010 A RIVER RD PLANO, IL 60545-		MIK SOLUTIONS INC.%MAX KOLODII
1/31/2023	152023020	15 Electrical Upgrades	09-09-300-009	PADILLA JOSE L	13916 MCKANNA RD MINOOKA, IL 60447-		YVONNE GREER
6/14/2023	172023172	17 Change in Occupancy	03-02-400-003	FIRSTAR BANK	1250 ROUTE 34 OSWEGO, IL 60543-		AHMAD S MUHAMMAD
2/14/2023	172023023	17 Change in Occupancy	03-18-403-015	MERCHANTS NATIONAL DANIELA CARROTTI E	5375 ROUTE 34 OSWEGO, IL 60543-		
6/26/2023	182023192	18 Driveway	03-08-303-001	CAMPOS CHRISTIAN	117 DOLORES ST OSWEGO, SHORE HEIGHTS UNIT 1 IL 60543-		
6/21/2023	182023186	18 Driveway	02-13-353-001	GARZA ROSALBA & JOSE M	9 RIVERWOOD LN OSWEGO, RIVER WOOD FARMS IL 60543-		

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6/14/2023	182023174	18 Driveway	03-08-152-015	BARRAZA, FRANCISCO LUNA & OLGUIN, INOCENCIA CATHERINE	38 BOAT LN OSWEGO, IL 60543-	MARINA VILLAGE RESUB	
5/31/2023	182023160	18 Driveway	09-09-300-018	CLASSIC INVESTMENTS LLC			
5/26/2023	182023154	18 Driveway	07-15-400-017	PETKO PAUL & DONNA	14154 BUSHNELL SCHOOL RD NEWARK, IL 60541-		
5/3/2023	182023126	18 Driveway	03-05-253-009	BUSIC STEPHANIE L	14 E RIVER RD MONTGOMERY, IL 60538-	BOULDER HILL UNIT 15 REUSB	PM CONSTRUCTION & CONTRACTING
4/11/2023	182023078	18 Driveway	03-08-176-008	CROSS JAVAN J & SELENA M MONTANEZ	24 MARINA DR OSWEGO, IL 60543-	MARINA VILLAGE RESUB	
7/31/2023	202023227	20 Patio	03-05-253-026	NOLAN MICHAEL G & CATHERINE A	11 W ALDON CT MONTGOMERY, IL 60538-	BOULDER HILL UNIT 15 REUSB	
7/24/2023	202023214	20 Patio	03-05-454-008	FERNANDEZ RODRIGO MUNOZ & RUBIO I ESTERIA	36 CIRCLE DR W MONTGOMERY, IL 60538-	BOULDER HILL UNIT 7	
7/19/2023	202023211	20 Patio	03-04-403-008	MENCHACA, MARIO ALBERTO & SAENZ, CAROLITICA	114 BRAEBURN DR MONTGOMERY, IL 60538-	BOULDER HILL UNIT 13	
5/17/2023	232023146	23 Generator	05-12-228-020	WINTER CARYA & DONNA M	7182 IRONWOOD CT YORKVILLE, IL 60560-	WHITETAIL RIDGE	LEE LEGLER CONSTRUCTION & CONTRACTING
5/9/2023	232023138	23 Generator	02-23-302-004	SLADEK ZACHARY	7 TIMBER VIEW LN YORKVILLE, IL 60560-	TIMBER RIDGE SUB UNIT 2	LEE LEGLER CONSTRUCTION & CONTRACTING
4/25/2023	232023108	23 Generator	05-12-220-008	FUGLESTAD ALAN & KIM	7341 CLUBHOUSE DR YORKVILLE, IL 60560-	WHITETAIL RIDGE	

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4/24/2023	232023104	23 Generator	06-13-151-004	CHICAGO TITLE LAND TRUST COMPANY	8422 OLD RIDGE RD PLAINFIELD, IL 60586-		BAKER ELECTRIC & GENERATORS
2/15/2023	232023029	23 Generator	06-05-393-007	BAGEANIS GUS JR & ARELIS	4695 WAAKEESHA DR YORKVILLE, IL 60560-	HEARTLAND IN YORKVILLE UNIT 2	BAKER ELECTRIC & GENERATORS
1/31/2023	232023021	23 Generator	01-25-454-009	SLEEZER GARY & AMY	12406 ANDREW ST PLANO, IL 60545-	SCHAEFER WOODS NORTH UNIT 3	360 ELECTRIC
1/6/2023	232023014	23 Generator	02-27-153-006	TROTSKY ALAN L & PATRICIA M	4410 TUMA RD YORKVILLE, IL 60560-	WACKERLINS 2ND SUB	LEE LEGLER CONSTRUCTION & RESTORATION
6/1/2023	232023164	23 Generator	03-27-377-011	COLLINS JEFF T & JANE P	4835 DOUGLAS RD OSWEGO, IL 60543-	LEISURE LEA UNIT 1	LEE LEGLER CONSTRUCTION & RESTORATION
1/6/2023	232023013	23 Generator	04-02-230-005	DEPARIS HENRY L JR & DEBORAH JO	6100 RED GATE LN YORKVILLE, IL 60560	THE WOODS OF SILVER SPRINGS	LEE LEGLER CONSTRUCTION & RESTORATION
6/27/2023	242023189	24 Solar	09-20-400-001	HANSEN SABRINA M	4250 BELL RD MINOOKA, IL 60447-		CELL ELECTRIC LLC
6/15/2023	242023188	24 Solar	02-35-130-001	FLETES ZULMA & NOE	78 COUNTRY RD YORKVILLE, IL 60560-	HITEMAND SUB	TYLER JONES
6/21/2023	242023185	24 Solar	08-11-100-017	SPICHER DARON & KIMBERLY	7650 PLATTVILLE RD YORKVILLE, IL 60560-		
6/16/2023	242023180	24 Solar	03-04-256-001	GARCIA MARIA	11 HUNTER DR MONTGOMERY, IL 60538-	BOULDER HILL UNIT 34	FREEDOM FOREVER IL LLC
5/30/2023	242023158	24 Solar	03-08-301-005	BURBRIDGE JAMES O JR	112 LAURIE LN OSWEGO, IL 60543-	SHORE HEIGHTS UNIT 1	BRS FIELD OPS LLC

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5/15/2023	242023145	24 Solar	03-04-278-017	BROWN BRADLEY	33 AFTON DR MONTGOMERY, IL 60538-	BOULDER HILL UNIT 26	BRIGHT PLANET SOLAR
5/5/2023	242023135	24 Solar	02-35-301-003	GALARZA RICARDO	339 AUSTIN CT YORKVILLE, IL 60560-	FIELDS OF FARM COLONY UNIT 1	SUNRUN INSTALLATION
5/2/2023	242023115	24 Solar	02-07-100-009	DODD NICHOLAS A LIV TRUST	1286 ELDAMAIN RD PLANO, IL 60545-		SUNRUN INSTALLATION
4/25/2023	242023112	24 Solar	03-08-352-004	SKURKA JEROME J & DEBRA R	40 CENTURY DR OSWEGO, IL 60543-	WORMLEYS CENTURY ESTATES	SUNRUN INSTALLATION
4/25/2023	242023111	24 Solar	03-04-277-041	LEWIS ALGINON M SR	38 AFTON DR MONTGOMERY, IL 60538-	BOULDER HILL UNIT 26	SUNRUN INSTALLATION
1/13/2023	242023017	24 Solar	05-07-201-002	MATLOCK DOUGLAS G & RHONDAL	7425 PAVILLION RD YORKVILLE, IL 60560-		SUNRUN INSTALLATION
1/19/2023	242023016	24 Solar	03-23-277-006	ADAMS SEAN & AMANDAK	1135 WOOLLEY RD OSWEGO, IL 60543-		FREEDOM FOREVER IL LLC
1/6/2023	242023015	24 Solar	03-05-279-012	STIEHM MARK JAMES	60 BRIARCLIFF RD MONTGOMERY, IL 60538-	BOULDER HILL UNIT 13	BRIGHT PLANET SOLAR
1/5/2023	242023012	24 Solar	03-07-402-017	KOHLER NICHOLAS W	162 DOLORES ST OSWEGO, IL 60543-	SHORE HEIGHTS UNIT 2	BRIGHT PLANET SOLAR
3/23/2023	242023062	24 Solar	03-08-281-005	FOMBY, JAMAL & WALSH, LISA	107 CIRCLE DR MONTGOMERY, IL 60538-		SUNRUN INSTALLATION
3/23/2023	242023061	24 Solar	05-03-300-009	BAUER TEMPLIN FAMILY TRUST	6670 WING RD YORKVILLE, IL 60560-		SUNRUN INSTALLATION

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3/13/2023	242023045	24 Solar	06-02-102-002	HANEY RYAN P & THOMAS DANAR	6145 SOUTHFIELD LN OSWEGO, IL 60543-	SOUTHFIELD ESTATES	ALLEY SOLAR ELECTRIC
3/6/2023	242023042	24 Solar	05-03-200-031	TORRES ARNULFO S & RUFINA	8110 B ROUTE 71 YORKVILLE, IL 60560-		SUNRUN INSTALLATION
3/1/2023	242023039	24 Solar	05-19-100-008	JOHNSON LOIS A REV LVG TRUST	9374 LISBON RD YORKVILLE, IL 60560-		Revolution Solar
2/14/2023	242023028	24 Solar	03-04-406-003	HURST CAREN L	47 WINROCK RD MONTGOMERY, IL 60538-	BOULDER HILL UNIT 27	BRIGHT PLANET SOLAR
2/9/2023	242023026	24 Solar	02-36-400-006	PIEPER RONALD R & KAREN E	6520 RESERVATION RD YORKVILLE, IL 60560-		SUNRUN INSTALLATION
2/9/2023	242023025	24 Solar	05-08-301-001	WOODWARD JOHN	7595 E HIGHPOINT RD YORKVILLE, IL 60560-		SUNRUN INSTALLATION
4/25/2023	242023110	24 Solar	03-04-181-013	THRASHER JENNIFER	33 INGLESHIRE RD MONTGOMERY, IL 60538-	BOULDER HILL UNIT 29	SUNRUN INSTALLATION
4/25/2023	242023106	24 Solar	03-05-430-010	SAMSON PARRISH & LATESHIA	24 S BEREMAN RD MONTGOMERY, IL 60538-	BOULDER HILL UNIT 6	SUNRUN INSTALLATION
4/19/2023	242023102	24 Solar	08-16-100-007	SMITH ERIC & EMMA	9635 CHICAGO RD NEWARK, IL 60541-		ADT SOLAR
4/3/2023	242023072	24 Solar	03-04-406-015	KELLOGG PAUL E & KELLOGG CAROLYN	107 TEALWOOD RD MONTGOMERY, IL 60538-	BOULDER HILL UNIT 27	RETHINK ELECTRIC
2/1/2023	242023022	24 Solar	03-05-276-003	GRAEBER SHARON	44 N BEREMAN RD MONTGOMERY, IL 60538-	BOULDER HILL UNIT 15	REVOLUTION SOLAR, INC.

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4/3/2023	242023071	24 Solar	03-09-108-007	BEYER JORDAN L	140 CIRCLE DR MONTGOMERY, IL 60538-	BOULDER HILL UNIT 25	ADT SOLAR
3/23/2023	242023063	24 Solar	03-04-354-006	GALLARDO ALBERTO	68 HAMPTON RD MONTGOMERY, IL 60538-	BOULDER HILL UNIT 7	SUNRUN INSTALLATION
7/27/2023	242023223	24 Solar	02-07-200-009	FOLTZ JERRY G & MARILEE	1010 BEECHER RD BRISTOL, IL 60512-		SUNPOWER CORPORATION
5/2/2023	242023116	24 Solar	03-34-201-001	NATIONS JEREMY T & CYNTHIA GRACE	5020 DOUGLAS RD OSWEGO, IL 60543-	DOUGLAS HILL SUB	GNRE SOLAR-SAM EVANS
7/11/2023	242023206	24 Solar	03-05-353-011	FOX METRO WATER REC DIST	682 A ROUTE 31 OSWEGO, IL 60543-		SIMPLERAY LLC
7/7/2023	242023203	24 Solar	04-08-400-011	LEITNER BRYAN SR & SHAUNA	16154 ROGERS RD NEWARK, IL 60541-		SUNRUN INSTALLATION
7/7/2023	242023202	24 Solar	05-18-300-005	DRAKE DAMIEN ANTHONY & MEGAN	8751 C E HIGHPOINT RD YORKVILLE, IL 60560-		REVOLUTION SOLAR, INC.
6/6/2023	242023168	24 Solar	01-20-302-003	VANCIL IKE E & MARY E	37 WOODLAND DR PLANO, IL 60545-	SUGAR BROOK ESTATES RESUB UNIT 2	REVOLUTION SOLAR, INC.
7/5/2023	242023200	24 Solar	02-35-431-005	BRENART HEATHER & ROBERT F	5671 SCHMIDT LN YORKVILLE, IL 60560-	FIELDS OF FARM COLONY UNIT 4	CERTASUN LLC
6/29/2023	242023198	24 Solar	02-35-432-010	WILKINS GARY L & MARCIAL	5754 SCHMIDT LN YORKVILLE, IL 60560-	FIELDS OF FARM COLONY UNIT 4	SUNRUN INSTALLATION
6/28/2023	242023195	24 Solar	05-02-400-029	KENDALL COUNTY FOREST PRESERVE METRODIST	6350 A MINKLER RD YORKVILLE, IL 60560-		GRNE SOLAR

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6/26/2023	242023191	24 Solar	03-18-428-002	WILKINSON BOYD & LINDA R	5254 ROUTE 34 OSWEGO, IL 60543-	OWNERS 2ND SUB SEC 18-37-8	SUNPOWER CORPORATION
6/23/2023	242023190	24 Solar	03-08-304-004	SCHRAMER HERBERT JOHN	1540 ROUTE 31 OSWEGO, IL 60543-	PROSPECT VILLA SUB	LEGACY SOLAR LLC

PLANNING BUILDING & ZONING RECEIPTS 2023

DATE	BUILDING FEES	ZONING FEES	LAND-CASH	OFFSITE ROADWAY	MONTHLY FY 23	TOTAL FY 23	MONTHLY FY 22	TOTAL FY 22
December	\$5,767.80	\$1,266.00	\$8,020.26	\$1,000.00	\$16,054.06	\$16,054.06	\$32,122.24	\$32,122.24
January	\$4,380.00	\$50.00	\$3,162.98	\$1,000.00	\$8,592.98	\$24,647.04	\$11,644.18	\$43,766.42
February	\$3,030.00	\$50.00	\$0.00	\$0.00	\$3,080.00	\$27,727.04	\$7,433.47	\$51,199.89
March	\$7,265.95	\$1,962.00	\$3,441.25	\$0.00	\$12,669.20	\$40,396.24	\$30,294.30	\$81,494.19
April	\$16,494.34	\$50.00	\$15,633.11	\$1,000.00	\$33,177.45	\$73,573.69	\$16,538.38	\$98,032.57
May	\$11,172.72	\$50.00	\$13,102.02	\$1,000.00	\$25,324.74	\$98,898.43	\$21,056.55	\$119,089.12
June	\$8,127.40	\$549.00	\$1,364.53	\$0.00	\$10,040.93	\$108,939.36	\$9,828.89	\$128,918.01
July	\$17,223.34	\$2,332.00	\$12,731.79	\$1,000.00	\$33,287.13	\$142,226.49	\$18,978.87	\$147,896.88
August							\$25,754.63	\$173,651.51
September							\$26,794.38	\$200,445.89
October							\$48,857.45	\$249,303.34
November							\$15,184.61	\$264,487.95
YR END TOTAL	\$73,461.55	\$6,309.00	\$57,455.94	\$5,000.00	\$142,226.49			

June BP fees corrected to reflect bounced check for \$267.12