

### KENDALL COUNTY

### PLANNING, BUILDING & ZONING COMMITTEE MEETING

111 West Fox Street • Rooms 209 and 210 • Yorkville, IL • 60560 (630) 553-4141 Fax (630) 553-4179

### **AGENDA**

Monday, May 6, 2024 – 6:30 p.m.

### CALL TO ORDER:

<u>ROLL CALL:</u> Elizabeth Flowers, Dan Koukol, Ruben Rodriguez (Vice-Chairman), Brooke Shanley, and Seth Wormley (Chairman)

### APPROVAL OF AGENDA (VV):

APPROVAL OF MINUTES (VV): Approval of Minutes from April 8, 2024, Meeting (Pages 3-5)

### PUBLIC COMMENT:

EXPENDITURE REPORT: Review of Expenditures from April 2024 (Pages 6-10)

### PETITIONS (Roll Call Votes):

1. Petition 24 – 04 – Larry Nelson on Behalf of the Fox Valley Family YMCA, Inc. (Pages 11-63)

Request: Site Plan Approval (Number of Parking Spaces)

PINs: 02-10-300-019 and 02-10-300-020

Location: 1520 Cannonball Trail, Bristol in Bristol Township

Purpose: Petitioner Wants to Construct a YMCA and Related Infrastructure on the Property;

Property is Zoned B-4

2. Petition 24 – 05 – George S. and Heidi R. Oliver (Pages 64-68)

Request: Plat of Vacation of a Ten Foot Drainage and Utility Easement at the Common Lot Lines of

Lots 223 and 224 of Whitetail Ridge Subdivision

PINs: 06-07-375-002 and 06-07-375-003

Location: 7709 and 7731 Bentgrass Circle, Yorkville in Na-Au-Say Township

Purpose: Petitioner Wants to Vacate the Easements in Order to Construct a House over the Common

Lot Line; Property is Zoned RPD-2

### NEW BUSINESS (Roll Call Votes):

1. Approval to Extend the Deadline to Construct and Occupy the Buildings and Install Landscaping at 10744 Route 47 (Pages 69-81)

2. Approval to Extend the Deadline to Install the Botanicals at 15759 Route 47 (Pages 82-94)

### OLD BUSINESS:

1. Recommendation on Annual Facility Inspection Report for NPDES Permit for Stormwater Discharges from Separate Storm Sewer Systems (MS4) (Roll Call Vote) (Pages 95-127)

2. Approval to Extend or Revoke Building Permit 01-2020-146 for a Single-Family Home at 7782 Tanglewood Trails (Roll Call Vote) (Page 128-130)

- 3. Update on Stormwater Permit at 13039 McKanna Road (PIN: 09-09-100-002) in Seward Township
- 4. Follow-Up on April 20, 2024, Code Official Open House in Oswego Township (Page 131)

### REVIEW VIOLATION REPORT (Pages 132-134):

REVIEW PRE-VIOLATION REPORT (Pages 135-138):

### UPDATE FROM HISTORIC PRESERVATION COMMISSION:

None

### REVIEW PERMIT REPORT (Pages 139-150):

### REVIEW REVENUE REPORT (Page 151):

### **CORRESPONDENCE:**

### **COMMENTS FROM THE PRESS:**

### EXECUTIVE SESSION (Roll Call Vote):

1. Review of Minutes of Meetings Lawfully Closed Under the Illinois Open Meetings Act (5 ILCS 120/2(c)(21))

### NEW BUSINESS (VV):

1. Approval to Release the Executive Session Minutes of May 6, 2024

### ADJOURNMENT (VV):

If special accommodations or arrangements are needed to attend this County meeting, please contact the Administration Office at 630-553-4171, a minimum of 24-hours prior to the meeting time.

### **KENDALL COUNTY PLANNING, BUILDING & ZONING COMMITTEE**

Kendall County Office Building Rooms 209 and 210 111 W. Fox Street, Yorkville, Illinois 6:30 p.m.

Meeting Minutes of April 8, 2024 – Unofficial until Approved

### **CALL TO ORDER**

The meeting was called to order by Chairman Wormley at 6:30 p.m.

### **ROLL CALL**

Committee Members Present: Dan Koukol, Ruben Rodriguez, Brooke Shanley, and Seth

Wormley

Committee Members Absent: Elizabeth Flowers

Also Present: Sally Seeger, Dan Kramer, Tyler Arbeen, Justin Plohr, and Gordon Plohr

### APPROVAL OF AGENDA

Member Shanley made a motion, seconded by Member Rodriguez, to approve the agenda as presented by Chairman Wormley. With a voice vote of four (4) ayes, the motion carried.

### **APPROVAL OF MINUTES**

Member Shanley made a motion, seconded by Member Rodriguez, to approve the minutes of the March 11, 2024, meeting. With a voice vote of four (4) ayes, the motion carried.

### **PUBLIC COMMENT**

None

### **EXPENDITURE REPORT**

The Committee reviewed the Expenditure Report from March 2024.

### **PETITIONS:**

### Petition 23-35 Tyler Arbeen on Behalf of Arbeen, LLC

Chairman Wormley summarized the request. He spoke about the original Petition being updated removing accessory structures and parking in the front.

Dan Kramer, Attorney for the Petitioner, stated that the Petitioner found eleven (11') foot solid panels and, with a three foot (3') high berm, he will have a fourteen foot (14') tall screen along the southern boundary line, starting at the front yard setback line.

Member Koukol requested a history of the review process. Mr. Kramer explained the changes to the site related to stormwater control.

Member Koukol asked how many acres was at the site. Mr. Kramer stated that Mr. Arbeen had four (4) acres. Mr. Arbeen owns the property.

Mr. Kramer discussed the reviews of Oswego Township, the Village of Oswego, and the Regional Planning Commission.

Member Koukol asked if four (4) acres would be enough land to run a business since Mr. Arbeen given the setback requirements. Mr. Kramer stated that the Petitioner has enough land to run his business. He will not have hoop houses or a parking lot in front.

Justin Plohr, neighbor of the Petitioner, stated that they reached an agreement with Mr. Arbeen with regards to the fence height.

Chairman Wormley recommended a minor amendment for the Petitioner, if the Petitioner decides to change the site plan in the first one hundred feet (100') he may do so because of ordinance adjustment.

Discussion occurred about the impact of changing the setback on the location of the fourteen foot (14') tall buffer.

Gordon Plohr, who sold the land to Mr. Arbeen, requested the berm run to the ditch. He was concerned about stormwater impacting the property south of the subject property.

Mr. Kramer stated all operations would be behind the fence. The stormwater has been designed by the stormwater engineer and reviewed by the county engineer showing underground pipe from the front of the property, and Stewart Road runs north and south at the west end carrying the water to the detention pond southeast of Mr Plohr's home. There will also be field tiles placed on the property. Matt Asselmeier, Zoning Director, will include the verbiage in the special use permit to have these conditions added.

Member Koukol made a motion, seconded by Member Shanley, to recommend approval of this Petition with the understanding that if the zoning ordinance is modified and the setback is reduced that any auxiliary structures or parking could be amended through a minor amendment in the Planning, Building and Zoning Office instead of a major amendment. This excludes buildings in the one hundred fifty feet (150').

The votes were as follows:

Yeas (4): Koukol, Rodriguez, Shanley, and Wormley

Nays (0): None Abstain (0): None Absent (1) Flowers

The proposal will go to the April 16, 2024, Kendall County Board meeting.

Mr. Kramer provided an update from Comed regarding the easement vacation request from George and Heidi Oliver.

### **NEW BUSINESS:**

<u>Approval to Change the May Planning, Building and Zoning Committee Meeting Date and Time</u> Chairman Wormley requested that Committee change the May meeting date from May 13, 2024, to May 6, 2024, at 6:30 p.m. Without objection, the date was changed.

### April 20, 2024, Code Official Open House in Oswego Township

Member Koukol explained the purpose for the Code Official Open House in Oswego Township. Brian Holdiman is in charge of this event. The event is an opportunity for residents to stop by if they have any questions or concerns.

### **OLD BUSINESS:**

<u>Update on Stormwater Permit at 13039 McKanna Road (PIN: 09-09-100-002) in Seward</u> Township

No update. This will be discussed at the May 6, 2024, meeting.

### **REVIEW VIOLATION REPORT:**

The Committee reviewed the report.

### **REVIEW PRE-VIOLATION REPORT:**

The Committee reviewed the report.

### **UPDATE FROM HISTORIC PRESERVATION COMMISSION:**

Recommendation for a Proclamation Declaring May Historic Preservation Month in Kendall County

No vote was taken on this matter.

### **REVIEW PERMIT REPORT:**

The Committee reviewed the report.

### **REVIEW REVENUE REPORT:**

The Committee reviewed the report.

### **CORRESPONDENCE:**

None

### **COMMENTS FROM THE PRESS:**

None

### **EXECUTIVE SESSION:**

Review of Minutes of Meetings Lawfully Closed Under the Illinois Open Meetings Act (5 ILCS 120/2(c)(21))

The Committee did not go into executive session.

### **ADJOURNMENT**

Member Shanley made a motion, seconded by Member Rodruguez, to adjourn. With a voice vote of four (4) ayes, the motion carried.

Chairman Wormley adjourned the meeting at 7:05 p.m.

Minutes prepared by Wanda A. Rolf, Administrative Assistant



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### Zoning-Econ 042224

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10 PENDING UNPAID INVOICES

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# **INVOICE ENTRY PROOF LIST**

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### Kendall County Agenda Briefing

**Meeting Type:** Planning, Building and Zoning

**Meeting Date:** 5/6/2024

**Subject:** Approval of Petition 24-04, Number of Parking Spaces at the New YMCA at

1520 Cannonball Trail

**Prepared by:** Matthew H. Asselmeier, AICP, CFM

**Department:** Planning, Building and Zoning

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### **Action Requested:**

Approval of Petition 24-04, A Request from Larry Nelson on Behalf of the Fox Valley Family YMCA for Site Plan Approval for Construction of a New YMCA and Related Infrastructure (Number of Parking Spaces Specifically) at 1520 Cannonball Trail, Bristol (PINs: 02-10-300-019 and 02-10-300-020) in Bristol Township; Property is Zoned B-4

### **Previous Board/Committee Review:**

ZPAC-Approval of Fifty (50) Parking Spaces Initially and Two Hundred Eighty-Three (283) Parking Space at Project Completion (7-0-3) on April 2, 2024

Kendall County Regional Planning Commission-Approval of Fifty (50) Parking Spaces Initially and Two Hundred Eighty-Three (283) Parking Space at Project Completion (7-0-2-1) on April 24, 2024

### **Fiscal impact:**

N/A

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### **Background and Discussion:**

The Zoning Ordinance requires that the County Board set the number of parking spaces for community centers after receiving a recommendation from the Kendall County Regional Planning Commission.

The Petitioner proposed fifty (50) parking spaces initially and two hundred eighty-three (283) total parking spaces when the project is complete.

### **Staff Recommendation:**

Approval

### **Attachments:**

Memo Dated May 1, 2024



### **DEPARTMENT OF PLANNING, BUILDING & ZONING**

111 West Fox Street • Room 203 Yorkville, IL • 60560

(630) 553-4141

Fax (630) 553-4179

### Petition 24-04 Larry Nelson on Behalf of the Fox Valley Family YMCA, Inc. Site Plan Approval

### **BACKGROUND AND INTRODUCTION**

The Petitioner would like to construct one (1) fifty-nine thousand, two hundred thirty-three (59,233) square foot YMCA building on the subject property as part of Phase I of the project with related parking. Phase II consists of an eighty-nine thousand nine hundred thirty-six (89,936) square foot swimming pool and daycare addition with related parking.

The proposed use is a permitted use in the B-4 zoning district. However, the Petitioner would like a reduction in the screening requirements and a determination in the number of parking spaces is required.

Section 13:10 of the Zoning Ordinance requires site plan review for structures on properties zoned B-4.

The property was de-annexed from Yorkville and zoned B-4 by court order in 2020.

The application materials are included as Attachment 1. The revised site plan is included as Attachment 2. A picture of the proposed structure is included as Attachment 3.

### PARKING

Section 11:04 of the Zoning Ordinance states that the number of parking spaces for community centers shall be determined by the Regional Planning Commission and approved by the County Board.

The site plan shows one hundred fifty-five (155) parking spaces, including eight (8) handicapped accessible spaces in the first phase. An additional one hundred twenty-eight (128) parking spaces are proposed in the second phase.

At their meeting on April 2, 2024, ZPAC approved the proposed site plan and set the number of parking spaces initially at fifty (50). The parking spaces would be gravel except for the required handicapped accessible parking spaces. The minutes of the meeting are included as Attachment 5.

At their meeting on April 24, 2024, the Kendall County Regional Planning Commission recommended fifty (50) parking spaces originally and two hundred eighty-three parking spaces at the end of the project. The minutes of this meeting are included as Attachment 6.

For reference, there are two hundred sixteen (216) parking spaces at the existing YMCA facility on Eldamain Road.

### SITE INFORMATION

PETITIONER: Larry Nelson on Behalf of Fox Valley Family YMCA, Inc.

ADDRESS: 1520 Cannonball Trail, Bristol

LOCATION: Southeast Corner of Galena Road and Cannonball Trail



TOWNSHIP: Bristol

PARCEL #s: 02-10-300-019 and 02-10-300-020

LOT SIZE: 25.8 +/- Acres

EXISTING LAND Agricultural

USE:

**ZONING:** B-4 Commercial Recreation District

LRMP:

Future Land Use	Urbanized Community (County) Estate/Conservation Residential (Yorkville)
Roads	Cannonball Trail is a County maintained Major Collector.
Trails	Yorkville has a trail planned along Cannonball Trail.
Floodplain/ Wetlands	There is no floodplain on the property. There is a wetland on the property and the Petitioner submitted a wetland delineation report and jurisdictional determination request with their stormwater permit application.

REQUESTED

Site Plan Approval ACTION:

APPLICABLE Section 13:10 - Site Plan Approval **REGULATIONS:** 

### **SURROUNDING LAND USE**

Location	Adjacent Land Use	Adjacent Zoning	Land Resource Management Plan	Zoning within ½ Mile
North	Agricultural/Farmstead	A-1 (County) B-1 (Montgomery)	Neighborhood Commercial (Montgomery)	N/A

PBZ Memo – Prepared by Matt Asselmeier – May 1, 2024

South	Public/Institutional (Church)	R-2, R-3, and B-3 (Yorkville)	Estate/Conservation Residential (Yorkville)	N/A
East	Agricultural	A-1 (County)	Rural Residential (County) Estate/Conservation Residential (Yorkville)	N/A
West	Agricultural and Single- Family Residential	R-2 D and R-2 Single-Family Traditional (Yorkville)	Estate/Conservation Residential (Yorkville)	N/A

### **ACTION SUMMARY**

### **BRISTOL TOWNSHIP**

Petition information was sent to Bristol Township on March 20, 2024.

### UNITED CITY OF YORKVILLE

Petition information was sent to the United City of Yorkville on March 20, 2024. They will be reviewing the proposal at their May meetings.

### **BRISTOL-KENDALL FIRE PROTECTION DISTRICT**

Petition information was sent to the Bristol-Kendall Protection District on March 20, 2024.

### 7PAC

ZPAC reviewed the proposal at their meeting on April 2, 2024. ZPAC approved the site plan contingent on Corps of Engineers' determination of the farmed wetland on the property and setting the number of parking spaces initially at fifty (50) by a vote of seven (7) in favor and zero (0) in opposition, with three (3) members absent. The minutes of the meeting are included as Attachment 5.

### **RPC**

The Kendall County Regional Planning Commission reviewed this proposal at their meeting on April 24, 2024. The Commission voted to approve the landscaping waiver and recommend fifty (50) parking spaces initially and two hundred eighty-three (283) parking spaces at project completion by a vote of seven (7) in favor and zero (0) in opposition with two (2) members absent and one (1) abstention. The minutes of the meeting are included as Attachment 6.

### **DESIGN STANDARDS**

Pursuant to Section 13:10.D of the Kendall County Zoning Ordinance, the following shall be taken into account when reviewing Site Plans (Staff comments in bold):

Responsive to Site Conditions-Site plans should be based on an analysis of the site. Such site analysis shall examine characteristics such as site context; geology and soils; topography; climate and ecology; existing vegetation, structures and road network; visual features; and current use of the site. In addition to the standards listed below, petitioners must also follow the regulations outlined in this Zoning Ordinance. To the fullest extent possible, improvements shall be located to preserve the natural features of the site, to avoid areas of environmental sensitivity, and to minimize negative effects and alteration of natural features. Fragile areas such as wetlands and flood plains should be preserved as open space. Slopes in excess of 20 percent as measured over a 10-foot interval also should remain as open space, unless appropriate engineering measures concerning slope stability, erosion and safety are taken. There is wetland on the property located. A portion of the Phase II building and parking area are proposed inside the wetland. The Petitioner has submitted a wetland delineation study and jurisdictional determination information as part of their stormwater permit. Depending on the results of the jurisdictional determination, the site might need to be adjusted to reflect the wetland. The Petitioner proposes a detention pond south of the wetland. WBK Engineering's comments dated February 22, 2024, are included as Attachment 4. The Petitioner's Engineer submitted responses to these comments on April 15, 2024.

Traffic and Parking Layout-Site plans should minimize dangerous traffic movements and congestion, while achieving efficient traffic flow. An appropriate number of parking spaces shall be provided while maintaining County design standards. The number of curb cuts should be minimized and normally be located as far as possible from intersections. Connections shall be provided between parking areas to allow vehicles to travel among adjacent commercial or office uses. Cross-access easements or other recordable mechanisms must be employed. The site plan shows one (1) access point from Cannonball Trail. The site plan shows one hundred fifty-five (155) parking spaces, including eight (8) handicapped accessible spaces in the first phase. An additional one hundred twenty-eight (128) parking spaces are proposed in the second phase. Section 11:04 of the Kendall County Zoning Ordinance states that the Regional Planning Commission recommends and the County Board approves the number of parking spaces for community centers. The site plan could change depending on the recommendation of the Regional Planning Commission. The Petitioner is proposing some of the parking spaces not be blacktopped, but use a CA-6 type of material.

Conflicts between pedestrians and vehicular movements should be minimized. When truck traffic will be present upon the site, the road size and configuration shall be adequate to provide for off-street parking and loading facilities for large vehicles. Barrier curb should be employed for all perimeters of and islands in paved parking lots, as well as for all service drives, loading dock areas, and the equivalent. Parking lots in industrial or commercial areas shall be paved with hot-mix asphalt or concrete surfacing. No conflicts are foreseen. No islands or load dock areas are proposed.

Site Layout-Improvements shall be laid out to avoid adversely affecting ground water and aquifer recharge; minimize cut and fill; avoid unnecessary impervious cover; prevent flooding and pollution; provide adequate access to lots and sites; and mitigate adverse effects of shadow, noise, odor, traffic, drainage and utilities on neighboring properties. The proposal should not impact, shadow, noise, odor, traffic, or utilities on neighboring properties. Drainage concerns can be addressed in the stormwater management permit. The proposed septic field is located south of the access drive and southern most future parking area.

Consistent with the Land Resource Management Plan-The proposed use and the design of the site should be consistent with the Land Resource Management Plan. **This is true.** 

Building Materials-The proposed site plan design shall provide a desirable environment for its occupants and visitors as well as its neighbors through aesthetic use of materials, textures and colors that will remain appealing and will retain a reasonably adequate level of maintenance. Buildings shall be in scale with the ultimate development planned for the area. Monotony of design shall be avoided. Variations in detail, form, and setting shall be used to provide visual interest. Variation shall be balanced by coherence of design elements. While a rendering of the building was provided, no information was provided regarding specific building materials.

Relationship to Surrounding Development-A site shall be developed in harmony with neighboring street pattern, setbacks and other design elements. **This is not an issue.** 

Open Space and Pedestrian Circulation-Improvements shall be designed to facilitate convenient and safe pedestrian and bicycle movement within and to the property. **This is not an issue.** 

Buffering-Measures shall be taken to protect adjacent properties from any undue disturbance caused by excessive noise, smoke, vapors, fumes, dusts, odors, glare or stormwater runoff. Incompatible, unsightly activities are to be screened and buffered from public view. The Petitioner indicated that buffering (i.e. fencing) type and location had not been finalized. Section 11:02.F.8 of the Zoning Ordinance discussing the planting of hedges, installation of berms, and the planting of natural vegetation. This Section also gives the Regional Planning Commission the ability to reduce buffering requirements. The Petitioner would like to ask the Regional Planning Commission for a reduction in the buffering requirement.

Emergency Vehicle Access-Every structure shall have sufficient access for emergency vehicles. Staff would like comments from the Fire Protection District and Sheriff's Department on this matter.

Mechanical Equipment Screening-All heating, ventilation and air conditioning equipment shall be screened on sides where they abut residential districts. No information was provided regarding the location of heating, ventilation, or air conditioning equipment or the placement of mechanical screening.

Lighting-The height and shielding of lighting fixtures shall provide proper lighting without hazard to motorists on adjacent roadways or nuisance to adjacent residents by extending onto adjacent property. Cut-off lighting should be used in most locations, with fixtures designed so that the bulb/light source is not visible from general side view. The Petitioner did not provide any information about lighting. Section 11:02.F.12 of the Zoning Ordinance requires all parking lots with greater than thirty (30) parking spaces to be lit and supply a photometric plan. The Petitioner is not proposing freestanding signage. There would be an illuminated sign on the building.

Refuse Disposal and Recycling Storage Areas-All refuse disposal and recycling storage areas should be located in areas designed to provide adequate accessibility for service vehicles. Locations should be in areas where minimal exposure to public streets or residential districts will exist. Screening shall be required in areas which are adjacent to residential districts or are within public view. Such enclosures should not be located in landscape buffers. Refuse containers and compactor systems shall be placed on smooth surfaces of non-absorbent material such as concrete or machine-laid asphalt. A concrete pad shall be used for storing grease containers. Refuse disposal and recycling storage areas serving food establishments shall be located as far as possible from the building's doors and windows. The use of chain link fences with slats is prohibited. No information was provided regarding the location of the refuse area or the type of buffering that will be used for the refuse area.

### **RECOMMENDATION**

Staff recommends approval of the parking spaces as proposed.

The draft approval letter is attached.

### **ATTACHMENTS**

- 1. Application Materials
- 2. Site Plan Dated March 22, 2024
- 3. Rendering
- 4. February 22, 2024, WBK Engineering Comment Letter.
- 5. April 2, 2024, ZPAC Minutes (This Petition Only)
- 6. April 24, 2024, Kendall County Regional Planning Commission Minutes (This Petition Only)
- 7. Draft Approval Letter



### DEPARTMENT OF PLANNING, BUILDING & ZONING

111 West Fox Street • Yorkville, IL • 60560 Fax (630) 553-4179 (630) 553-4141

### APPLICATION

PROJECT NAME YMCH East

NAME OF APPLICANT (Including F	irst, Middle Initial, and Last Name;	
Fox Valley	Family YMCH Inc	
CURRENT LANDOWNER/NAME(4)	4	
Same		
SITE INFORMATION ACRES	SITE ADDRESS OR LOCATION	ASSESSOR'S ID NUMBER (PIN)
,		11 02-10-300-19
	1520 Cannospall B	LAND CLASSIFICATION ON LINE
EXISTING LAND USE	CURRENT ZONING	LAND CLASSIFICATION ON LRMP
Aa	8-4	15-4
REQUESTED ACTION (Check All Th	nat Apply):	
100000		
SPECIAL USE	MAP AMENDMENT (Rezone to)	VARIANCE
		V
ADMINISTRATIVE VARIANCE	A-1 CONDITIONAL USE for:	SITE PLAN REVIEW
TEXT AMENDMENT	RPD (Concept; Preliminary; Fina	i) ADMINISTRATIVE APPEAL
PRELIMINARY PLAT	FINAL PLAT	OTHER PLAT (Vacation, Dedication, etc.)
AMENDMENT TO A SPECIAL U	SE (Major;Minor)	
PRIMARY CONTACT	PRIMARY CONTACT MAILING ADDRESS	PRIMARY CONTACT EMAIL
Larry Nelso	n	
PRIMARY CONTACT PHONE #	FRIMARI CONTACT FAX #	
<sup>2</sup> ENGINEER CONTACT	ENGINEER WAILING ADDRESS	ENGINEER EMAIL
LITOINELIN CON IACT	ENGINEER MAILING ADDRESS	ENGINEER EMAIL
		10
ENGINEER PHONE #	ENGINEER FAX #	ENGINEER OTHER # (Cell, etc.)
LUNDERSTAND THAT BY S	IGNING THIS FORM, THAT THE PROPER	TV IN OURSTION MAY BE VISITED BY
COUNTY STAFF & BOARD	COMMISSION MEMBERS THROUGHOUT	THE PETITION PROCESS AND THAT
THE PRIMARY CONTACT LI	STED ABOVE WILL BE SUBJECT TO ALL	CORRESPONDANCE ISSUED BY THE
COUNTY.		
I CERTIFY THAT THE INFOR	RMATION AND EXHIBITS SUBMITTED AR	E TRUE AND CORRECT TO THE
BEST OF MY KNOWLEDGE	AND THAT I AM TO FILE THIS APPLICAT	ION AND ACT ON BEHALF OF THE
ABOVE SIGNATURES, THE	APPLICANT ATTESTS THAT THEY ARE	FREE OF DERT OR CURRENT ON
SIGNATURE OF APPLICANT	DALL COUNTY AS OF THE APPLICATIO	
SIGNATURE OF AFFLICAN		DATE
	Tue	2-19-24
	FEE PAID:\$	Post

<sup>&</sup>lt;sup>1</sup>Primary Contact will receive all correspondence from County
<sup>2</sup>Engineering Contact will receive all correspondence from the County's Engineering Consultants



MAIL TO Law Offices of Daniel J Kramer 1107 S Bridge St Ste A Yorkville, IL 60560

NAME & ADDRESS OF TAXPAYER Fox Valley Family YMCA, Inc 3875 Eldamain Rd Plano, IL 60545



201600003525

GILLETTE KENDALL COUNTY, IL

RECORDED: 3/16/2016 11:44 AM ND: 49.88 RHSPS FEE: 10.00 PAGES: 4

THE INDENTURE, made this 24th day of December, 2015 between CDBNA, LLC, a limited hability company created and existing under and by virtue of the laws of Illinois and duly authorized to transact business in the State of Illinois, as Grantor of the first part, and Grantee, Fox Valley Family YMCA, Inc., a not-for-profit corporation duly authorized to transact business in the State of Illinois, WITNESSETH, that Grantor, for and in consideration of the sum of Ten Dollars (\$10 00) in hand paid by Grantee, the receipt whereof is hereby acknowledged, by these presents does GRANT, SELL and CONVEY unto Grantee, and to his heirs and assigns, FOREVER, all the following described real estate, situated in the County of Kendall and State of Illinois known and described as follows, to wit

See Attached Exhibit A

Permanent Index Number 02-10-300-010

Property Address 7 89 Acres Vacant Land, Yorkville, IL 60560

Together with all and singular the hereditaments and appurtenances thereunto belonging there, or in anyway appertaining, and the reversion and reversions, remainder and remainders, rents, issues and profits thereof, and all the estate, right, title, interest, claim or demand whatsoever, of the Grantor, either in law or equity, of, in and to the above described premises, with the hereditaments and appurtenances

TO HAVE AND TO HOLD the said premises as described above, with the appurtenances, unto the Grantees, forever And Grantor, for itself and its successors, does covenant, promise and agree to and with Grantees and its successors that it has not done or suffered to be done, anything whereby the said premises hereby granted are, or may be, in any manner encumbered or charged, except as herein recited, and that it WILL WARRANT AND DEFEND the said premises, against all persons lawfully claiming, or to claim the same, by, through or under it, subject to (a) general real estate taxes not due and payable as of the date hereof, and (b) covenants, conditions and restrictions of record, and building lines and easements, if any, provided they do not interfere with the current use and enjoyment of the real estate

CHICACO TITLE "NOI PRANCE CO. AUTORO/YOU WILLIA OTTICO

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IN WITNESS WHEREOF, said Grantor has caused its name to be signed to the presents by its Manager, this add day of December, 2015

CDBNA, LLC

BY
Timothy E Beasley, Manager

STATE OF ILLINOIS )
ss
COUNTY OF DEKALB )

the undersigned, a Notary Public in and for said County, in the State aforesaid, DO HEREBY CERTIFY that Timothy E Beasley, Manager of CDBNA, LLC, personally known to me to be the same person(s) whose name(s) is(arc) subscribed to the foregoing instrument, appeared before me this day in person, and acknowledged that he/she(they) signed, sealed and delivered the said instrument as his/her(their) free and voluntary act, for the uses and purposes therein set forth, including the release and waiver of the right of homestead

Given under my hand and official seal on December 24, 2015

MOTELA RADIIC

OFFICIAL

JENNIFER L THOMSEN NOTARY PUBLIC, STATE OF ILLINOIS

MY COMMISSION EXPIRES 6/30/2019

Name and Address of Preparer
Katharine M Peterson
Attorney At Law

1985 DeKalb Ave Sycamore, IL 60178

(815) 787-2360

This transaction is exempt upder provisions of Paragraph peder Section 4 of the Real Estate
Dated this day of Signature

### Exhibit A

That part of the Southwest Quarter of Section 10, Township 37 North, Range 7 East of the Third Principal Meridian, in the Township of Bristol, Kendall County, Illinois, described as follows

Commencing at the Southwest corner of the North Half of the Southwest Quarter of Section 10, thence

North along the West line of said Section 2327 17 feet to the centerline of Galena Road (formerly known as Blackberry and Little Rock Road), thence Southeasterly along said centerline to the Northerly extension of the East line of Cannonball Trail per Document Number 99886 for the point of beginning, thence continuing Southeasterly along said centerline, to the East line of the Southwest Quarter of said Section, thence continuing Southeasterly along said centerline, 251 46 feet, thence South parallel with the East line of said Southwest Quarter, to a line parallel with and 385 00 feet Southwesterly of, as measured at right angles to, the center line of Galena Road, thence Northwesterly along said parallel line to the Easterly line of Cannonball Trail per Document Number 99886, thence Northeasterly along said Easterly line and the Northeasterly extension thereof, to the point of beginning,

Except that part falling in the following described property. That part of Section 10, Township 37 North, Range 7 East of the Third Principal Mendian, described as follows. Commencing at the intersection of the West line of the lands conveyed to Jerry W. Rider by Warranty Deed dated October 15,1911, recorded as Document Number 887135 with a line that is 35 feet Southerly and parallel with the centerline of Galena Road, thence South 01 degrees 14 minutes 59 seconds East 380 07 feet along said. West line to the point of beginning, thence South 01 degrees 14 minutes 59 seconds East, 686 83 feet along said. West line, thence South 87 degrees 52 minutes 17 seconds West, 1179 64 feet to a line that is 35 feet Easterly and parallel with the center line of Cannonball Trail, thence North 11 degrees 32 minutes 00 seconds East, 1120 36 feet along said parallel line, thence South 39 minutes 22 seconds East, 1009 05 feet to the point of beginning.

STATE OF ILLINOIS	)
	) 55
COUNTY OF DEKALB	)

### AFFIDAVIT - PLAT ACT

The undersigned, the owner of the property described in the attached deed, being duly sworn on eath, states that the attached deed is not in violation of 765 lllinois Compiled Statutes Section 205/1 for one or more of the following reasons



### The sale or exchange is of an entire tract of land not being a part of a larger tract of land

- The division or subdivision of land is into parcels or tracts of five acres or more in size which does not involve any new streets or easements of access
- 3 The division is of lots or blocks of less than one acre in any recorded subdivision which does not involve any new streets or easements of access
- 4 The sale or exchange of parcels of land is between owners of adjoining and contiguous land
- 5 The conveyance is of parcels of land or interests therein for use as right of way for railroads or other public utility facilities, which does not involve any new streets or easements of access
- 6 The conveyance is of land owned by a railroad or other public utility which does not involve any new streets or easements of access
- 7 The conveyance is of land for highway or other public purposes or grants of conveyances relating to the dedication of land for public use or instruments relating to the vacation of land impressed with a public use
- 8 The conveyance is made to correct descriptions in prior conveyances
- The sale or exchange is of parcels or tracts of land following the division into no more than two parts of a particular parcel or tract of land existing on July 17, 1959 and not involving any new streets or easements of access
- The sale is of a single lot of less than five acres from a larger tract, the dimensions and configurations of said larger tract having been determined by the dimensions and configuration of said larger tract on October 1, 1973, and no sale, prior to this sale, or any lot or lots from said larger tract having taken place since October 1, 1973 and a survey of said single lot having been made by a registered land surveyor

### THE APPLICABLE STATEMENT OR STATEMENTS ABOVE ARE CIRCLED

AFFIANT further states that he/she makes this affidavit for the purpose of inducing the Recorder of DeKaib County, State of Illinois, to accept the attached deed for recording

SUBSCRIBED AND SWORN TO before me this 24 hay of December, 2015

/Notary Hublic

"OFFICIAL SEAL"
JENNIFER L THOMSEN
NOTARY PUBLIC, STATE OF ILLINOIS
MY COMMISSION EXPIRES 8/30/2019

Timothy E Beasley, Manuger, CDBNA, LLC

201600003525 4/4

NOTITO 189 NOTITO 189 NOTITO 189 SPECIAL CORPORATE WARRANTY DEED 201400014303

THE GRANTOR, STANDARD REDEVELOPMENT, INC, an Illinois corporation, for and in consideration of TEN and 00/100THS DOLLARS (\$10 00), and other good and valuable consideration in hand paid, CONVEYS and WARRANTS to GRANTEE, FOX VALLEY FAMILY YMCA, INC, an Illinois Not-for-Profit Corporation, the following described Real Estate situated in the County of Kendall, State of Illinois, to wit

GILLETTE KENDALL COUNTY, IL

RECORDED: 10/15/2014 2:54 PM VD: 50.00 RHSPS FEE: 10.00 PAGES: 5

FOR RECORDER'S USE ONLY

### SEE LEGAL DESCRIPTION ATTACHED HERETO AS EXHIBIT "A"

Permanent Real Estate Index No 02-10-300-014

Address of Real Estate

Vacant land on East Side of Cannonball Trail, South of Galena Road, United City of Yorkville, Illinois

Subject to General taxes for the year 2013 and subsequent years, special taxes or assessments for improvements not yet completed, building lines and building and liquor restrictions of record, zoning and building ordinances, roads and highways, if any, private, public and utility easements of record, rights of way for drainage tiles, ditches, feeders, laterals, and underground pipes, if any, party wall rights and agreements, if any, covenants, conditions and restrictions of record (none of which provide for reverter)

Dated August 29, 2014

GRANTOR·STANDARD REDEVELOPMENT, INC

By

Its Vice President

Page I of 3

CARCAGO ITLE INSURANCE CO

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3-24

(market

b

STATE OF ILLINOIS ) ) SS COUNTY OF COOK )	
CERTIFY that DAINILL ( NAIL	nd delivered the said instrument as his/her and its
Given under my hand and official seal on this	day of August, 2014
OFFICIAL SEAL / Notary Public State of Nimols State of Nimols MARY B SHOMODY Commission #724341 Commission Expression Date: NOV 24, 2013 PREPARED BY:	Notary Public
Bruce E Garner, Esq SCHIROTT, LUETKEHANS & GARNER, LLC 105 E Irving Park Road Itasca, IL 60143 630-773-8500 SEND SUBSEQUENT TAX BILLS TO.	and the training
Fox Valley Family YMCA, Inc 3875 Eldamain Road Plano, IL 60545	. 2-
MAILTO	Exempt under provisions of Paregran Sequen 37-45, Paregran Toron Code
Kelly A Helland, Esq Law Offices of Daniel J Kramer 1107A South Bridge Street Yorkville, IL 60650	Date Buyer Seren, Or Webschen, State

Page 2 of 3

EXHIBIT "A"

### LEGAL DESCRIPTION

THAT PART OF THE NORTH 1/2 OF THE SOUTH 1/2 OF SECTION 10, TOWNSHIP 37 NORTH, RANGE 7 EAST OF THE THIRD PRINCIPAL MERIDIAN, DESCRIBED AS FOLLOWS COMMENCING AT THE NORTHWEST CORNER OF THE SOUTHWEST 1/4 OF SAID SECTION 10, THENCE NORTH 89 DEGREES 04 MINUTES 27 SECONDS EAST ALONG THE NORTH LINE OF SAID SOUTHWEST 1/4 2661 12 FEET TO THE NORTHEAST CORNER OF SAID SOUTHWEST 1/4, THENCE SOUTH 00 DEGREES 03 MINUTES 35 SECONDS EAST ALONG THE EAST LINE OF SAID SOUTHWEST 1/4 117 50 FEET TO THE CENTER LINE OF GALENA ROAD AS MONUMENTED, THENCE SOUTH 67 DEGREES 13 MINUTES 12 SECONDS EAST ALONG SAID CENTER LINE 254 02 FEET TO A POINT ON A MONUMENTED LINE THAT IS 234 10 FEET EASTERLY OF (AS MEASURED PERPENDICULARLY THERETO) AND PARALLEL WITH THE EAST LINE OF SAID SOUTHWEST 1/4, THENCE SOUTH 00 DEGREES 03 MINUTES 35 SECONDS EAST ALONG SAID PARALLEL LINE, 417 75 FEET TO POINT ON A LINE THAT IS 385 00 FEET SOUTHWESTERLY OF (AS MEASURED PERPENDICULARLY THERETO) AND PARALLEL WITH THE CENTER LINE OF GALENA ROAD, FOR THE POINT OF BEGINNING, THENCE CONTINUING SOUTH 00 DEGREES 03 MINUTES 35 SECONDS EAST ALONG SAID MONUMENTED PARALLEL LINE 686 72 FEET TO A POINT ON THE SOUTH LINE OF THE NORTH 1/2 OF THE SOUTHEAST 1/4 OF SECTION 10, THENCE SOUTH 89 DEGREES 03 MINUTES 52 SECONDS WEST ALONG THE SOUTH LINE OF SAID NORTH 1/2, 705 38 FEET, THENCE NORTH 0 DEGREES 56 MINUTES 08 SECONDS WEST, 245 00 FEET, THENCE SOUTH 89 DEGREES 03 MINUTES 52 SECONDS WEST, 414 71 FEET TO THE EASTERLY RIGHT-OF-WAY LINE OF CANNONBALL \*TRAIL PER DOCUMENT NUMBER 99886, THENCE NORTH 12 DEGREES 43 MINUTES 19 SECONDS EAST ALONG SAID EASTERLY RIGHT-OF-WAY LINE, 699 84 FEET, THENCE NORTHEASTERLY ALONG SAID EASTERLY RIGHT-OF-WAY LINE, ALONG A CURVE TO THE RIGHT WITH A RADIUS OF 442 50 FEET, WHICH CHORD BEARS NORTH 20 DEGREES 11 MINUTES 27 SECONDS EAST, AN ARC LENGTH OF 115 73 FEET, THENCE NORTH 12 DEGREES 43 MINUTES 19 SECONDS EAST ALONG SAID EASTERLY RIGHT-OF-WAY PER VACATION DOCUMENT DATED MAY 14, 2001, 51 75 FEET TO A POINT ON A LINE THAT IS 385 00 FEET SOUTHWESTERLY OF (AS MEASURED PERPENDICULARLY THERETO) AND PARALLEL WITH THE CENTER LINE OF SAID GALENA ROAD, THENCE SOUTH 67 DEGREES 57 MINUTES 16 SECONDS EAST ALONG SAID PARALLEL LINE 290 55 FEET TO A BEND POINT IN SAID PARALLEL LINE, THENCE SOUTH 67 DEGREES 13 MINUTES 12 SECONDS EAST ALONG SAID PARALLEL LINE, 703 39 FEET TO THE POINT OF BEGINNING, IN THE TOWNSHIP OF BRISTOL, KENDALL COUNTY, ILLINOIS

PIN 02-10-300-014

### PLAT ACT AFFIDAVIT (Pursuant to 765 ILCS 205/1)

STATE OF ILLINOIS ) COUNTY OF Cook )
Standard Redevelopment, Inc., the grantor or his/her agent, being duly sworn on oath, states that he/she resides at 7800 W 95th St., Hickory Hills, IL 60457
Affiant states that the attached deed is not a violation of 765 ILCS 205/1 for reason given below
A The sale or exchange is of an entire tract of land not being a part of a larger tract of land and described in the same manner as title was taken by the grantor(s),
B One of the following exemptions from 765 ILCS 205/1 (b) applies  1 The division or subdivision of land is into parcels or tracts of five acres or more in size which does not involved any new streets or easements of access
2 The division is of lots or blocks of less than one acre in any recorded subdivision which does
not involve any new streets or easements of access  1 3 The sale or exchange of parcels of land is between owners of adjoining and contiguous land
1 4 The conveyance is of parcels of land or interests therein for use as right of way for railroads or
other public utility facilities, which does not involve any new streets or easements of access
5 The conveyance is of land owned by a railroad or other public utility which does not involve any new streets or easements of access
6 The conveyance is of land for highway or other public purposes or grants of conveyances relating to the dedication of land for public use or instruments relating to the vacation of land impressed with a public use
7 The conveyance is made to correct descriptions in prior conveyances
8 The sale or exchange is of parcels or tracts of land following the division into no more than
two parts of a particular parcels or tract of land existing on July 17, 1959 and not involving any new streets or easements of access
9 The sale is of a single lot of less than five acres from a larger tract, the dimensions and
configurations of said large tract having been determined by the dimensions and configuration of
said larger tract on October 1, 1973, and no sale, prior to this sale, or any lot or lots from said
larger tract having taken place since October 1, 1973 and provided that this exemption does not invalidate any local requirements applicable to the subdivision of land (page 2)
10 The preparation of a plat for wind energy devices under Scc 10-620 of the Property Tax Code
C The division does not meet any of the above criteria and must have county approval (page 2)  Legal description prepared by
AFFIANT further states that he/she makes this affidavit for the purpose of inducing the Recorder of Deeds of Kendall County, State of Illinois, to accept the attached deed for recording
SUBSCRIBED AND SWORN TO before me Debra Anderson
this 29th day of August , 2014
Constant of Natura Public
Signature of Notary Public Signature of Armani
MY COMMINGE SPICES OF ALMOIS WAY COMMINGE SPICES OF THE SP

201400014303 4/5

For exemptions requiring approval		
Plat officer approval is required a	nd attached	
Plat officer approval is not require United City of Yorkville, IL  Agricultural exemption certificate	w	wholly within municipal limits of hich does not require plat office review
	Signatur	of Affiant
For municipal approval		
	at this land division be reviewe (5) business days to review	wed and approved by the participating we deed(s) and return. If the five-day limit
Date submitted to municipality(s)		funicipality jurisdiction county jurisdiction
Municipality (s) with jurisdiction		
Planning official's signature	Printed name	Date
Planning official's signature	Printed name	Date

### KENDALL COUNTY DISCLOSURE OF BENEFICIARIES FORM

1.	Applicant Fox Valley bassily	MCH Inc
	Address 3875 Eldamain Rd	
	0.	zip <b></b> Zip _ <b>054</b> \$
2.	Nature of Benefit Sought	
3.	Nature of Applicant: (Please check one)  Natural Person  Corporation Land Trust/Trustee Trust/Trustee Partnership Joint Venture	
4.	If applicant is an entity other than described in Section 3 applicant:	, briefly state the nature and characteristics of the
5.	If your answer to Section 3 you have checked letter b, c, person or entity who is a 5% shareholder in case of a cortrust, a joint venture in the case of a joint venture, or who profits and losses or right to control such entity:  NAME  ADDRESS	poration, a beneficiary in the case of a trust or land
	See #1 100% pwn	
6.	Name, address, and capacity of person making this disclo	osure on behalf of the applicant:
making read the	V VERIFICATION	first duly sworn under oath that I am the person athorized to make the disclosure, that I have
Subscrib	bed and sworn to before me this 19 day of Feb	, A.D. <b>2024</b>
(seal)		Notary Public



### Illinois Department of Natural Resources

One Natural Resources Way Springfield, Illinois 62702-1271 http://dnr.state.il.us JB Pritzker, Governor

Natalie Phelps Finnie, Director

October 20, 2023

Stephanie Wayne Fox Valley Family YMCA 3875 Eldamain Rd Plano, IL 60545

RE: YMCA East Site Plan Project Number(s): 2405949 County: Kendall

### Dear Applicant:

This letter is in reference to the project you recently submitted for consultation. The natural resource review provided by EcoCAT identified protected resources that may be in the vicinity of the proposed action. The Department has evaluated this information and concluded that adverse effects are unlikely. Therefore, consultation under 17 Ill. Adm. Code Part 1075 is terminated.

This consultation is valid for two years unless new information becomes available that was not previously considered; the proposed action is modified; or additional species, essential habitat, or Natural Areas are identified in the vicinity. If the project has not been implemented within two years of the date of this letter, or any of the above listed conditions develop, a new consultation is necessary.

The natural resource review reflects the information existing in the Illinois Natural Heritage Database at the time of the project submittal, and should not be regarded as a final statement on the site being considered, nor should it be a substitute for detailed site surveys or field surveys required for environmental assessments. If additional protected resources are encountered during the project's implementation, you must comply with the applicable statutes and regulations. Also, note that termination does not imply IDNR's authorization or endorsement of the proposed action.

Please contact me if you have questions regarding this review.

Adam Rawe
Division of Ecosystems and Environment
217-785-5500

### ENGINEERING PLANS **FOR**

### YMCA EAST SITE PLAN

SECTION 10, TOWNSHIP 37 NORTH, RANGE 7 EAST

1520 N CANNONBALL TRAIL BRISTOL, IL 60512 KENDALL COUNTY P.I.N. 02-10-300-019 & 02-10-300-020 MARCH, 2024

PROJECT

## **LOCATION MAP** Trail, Bristol, IL 60512 Bristol Township Bristol Grade School

# Know what's **below**. Call before you dig.

Contractor and or sub-contractors shall verify locations of all underground utilities prior to digging. Contact J.U.L.I.E. (Joint Utility Locating for Excavators) at 1-800-892-0123 or dial 811.

EVIDENCE AL SURVEYOR. UTILITIES SH IN SERVICE WARRANT TH INDICATED, POSSIBLE FR	UTILITY STATEMENT  SHOWN HAVE BEEN LOCATED FROM VISIBLE FIELD DEXISTING DRAWINGS, MAPS AND RECORDS SUPPLIED TO HE SURVEYOR MAKES NO GUARANTEES THAT THE HWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER R ABANDONED. THE SURVEYOR FURTHER DOES NOT THE UTILITIES SHOWN ARE IN THE EXACT LOCATION LITHOUGH THEY ARE LOCATED AS ACCURATELY AS DIM AVAILABLE INFORMATION. THE SURVEYOR HAS LOCATED VISIBLE STRUCTURES; HOWEVER, HE HAS NOT
PHYSICALLY  T  EXISTING TO PREPARED E CONTRACTOR	OPPOGRAPHY STATEMENT  OGRAPHY SHOWN REPRESENTS SITE CONDITIONS AS TEBRUGGE ENGINEERING, SHALL FIELD CHECK EXISTING HORIZONTAL AND VERTICAL SHALL FIELD CHECK EXISTING HORIZONTAL AND VERTICAL SHALL FIELD CHECK EXISTING HORIZONTAL AND NOTIFICAL SHALL FIELD CHECK EXISTING HORIZONTAL SHALL FIELD CHECK EXISTING HORIZONTAL AND NOTIFICAL SHALL FIELD CHECK EXISTING HORIZONTAL SHALL FIELD CHECK EXISTING FIELD CHECK



### INDEX TO SHEETS

- COVER SHEET
- 2. EXISTING CONDITIONS & DEMOLITION PLAN
- STORMWATER POLLUTION & PREVENTION PLAN 1
- 4. STORMWATER POLLUTION & PREVENTION PLAN 2
- CIVIL SITE PLAN OVERALL
- 6. CIVIL SITE PLAN NORTH
- 7. CIVIL SITE PLAN SOUTH
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- 10. GRADING PLAN SOUTH
- 11. GENERAL NOTES & DETAILS
- 12. GENERAL NOTES & DETAILS II

SOURCE BENCHMARK: UNITED CITY OF YORKVILLE SURVEY CONTROL MONUMENT 1 - BERNTSEN MONUMENT CONSISTING OF A 3/4" DIAMETER ALUMINUM ROD WITH A 2-1/2" DOMED ALUMINUM CAP STAMPED "UNITED CITY OF YORKVILLE" AND ENCASED IN A PVC PIPE WITH AN ACCESS COVER STAMPED "UNITED CITY OF YORKVILLE", LOCATED NEAR THE FIRE STATION IN THE NORTHEAST CORNER OF THE INTERSECTION OF GALENA ROAD AND ROSENWINKEL STREET, 21.7 FT EAST OF A CORNER OF A CURB, 16.0 FT EAST OF A LIGHT POLE, AND 72.0 FT SOUTHWEST OF A CORNER OF A CURB.

**BENCHMARKS**:

SITE BENCHMARK 1:

ELEVATION: 661.32 (NAVD 88)

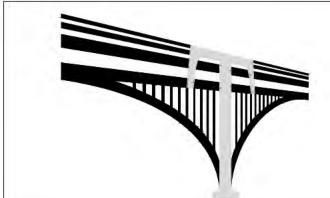
NORTHWESTERLY ARROW TOP FLANGE BOLT ON FIRE HYDRANT NEAR THE NORTHEASTERLY CORNER OF THE SUBJECT SITE, APPROXIMATELY 900 FT EAST OF THE INTERSECTION OF GALENA ROAD AND CANNONBALL TRAIL, 49.0 FT SOUTH OF THE EDGE OF PAVEMENT OF GALENA ROAD, AND 11 FT NORTHWEST OF A WATER VALVE VAULT. ELEVATION: 652.38 (NAVD 88)

SITE BENCHMARK 2:

NORTHEASTERLY ARROW TOP FLANGE BOLT ON FIRE HYDRANT IN THE SOUTHWESTERLY CORNER OF THE INTERSECTION OF GALENA ROAD AND CANNONBALL TRAIL, NEAR THE NORTHWESTERLY CORNER OF THE SUBJECT SITE, APPROXIMATELY 60.0 FT WEST OF THE EDGE OF PAVEMENT OF CANNONBALL TRAIL AND 17.5 FT NORTHWEST OF A WATER VALVE VAULT. ELEVATION: 655.32 (NAVD 88)

### PLANS PREPARED FOR:

FOX VALLEY FAMILY YMCA, INC. 3875 ELDAMAIN RD PLANO, IL 60545 PHONE: (630) 552-4100 EMAIL: SWAYNE@FOXVALLEYYMCA.ORG



### **CIVIL ENGINEER:**

TEBRUGGE ENGINEERING 410 E CHURCH ST - SUITE A SANDWICH, ILLINOIS 60548 (815) 786-0195

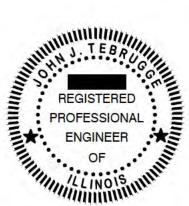
INFO@TEBRUGGEENGINEERING.COM WWW.TEBRUGGEENGINEERING.COM



PROFESSIONAL ENGINEER'S CERTIFICATION STATE OF ILLINOIS, COUNTY OF KENDALL

I JOHN J. TEBRUGGE, A LICENSED PROFESSIONAL ENGINEER OF ILLINOIS, HEREBY CERTIFY THAT THESE PLANS HAVE BEEN PREPARED UNDER MY PERSONAL DIRECTION BASED ON AVAILABLE DOCUMENTS AND FIELD MEASUREMENTS FOR THE EXCLUSIVE USE OF THE CLIENT NOTED HEREON.

GIVEN UNDER MY HAND & SEAL THIS 22ND DAY OF MARCH, 2024.



ILLINOIS REGISTERED PROFESSIONAL ENGINEER EXPIRES NOV. 30, 2025

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KENDALL COUNTY REVIEW LETTER 2.22.24

R.O.W. MONUMENT

PROPERTY PIN

CHISELED MARK

BENCHMARK

HUB & TACK

SOIL BORING

OVERLAND RELIEF

→ FLOW DIRECTION

P.K. NAIL

**LEGEND** 

EXISTING SANITARY SEWER LINE

PROPOSED SILT FENCE

EXISTING SPOT SHOT

PROPOSED SPOT GRADE

B-BOX

HYDRANT

VALVE VAULT

INLET-CURB

CLEANOUT

MANHOLE

GRAVEL

**ASPHALT** 

CONCRETE

□ UTIL CABINET

UTIL PEDESTAL

TRAFFIC SIGNAL

ELECTRIC VAULT

LIGHT POLE

GAS VALVE

VO✓ UTILITY POLE

INLET OR MANHOLE

FLARED END SECTION

VALVE

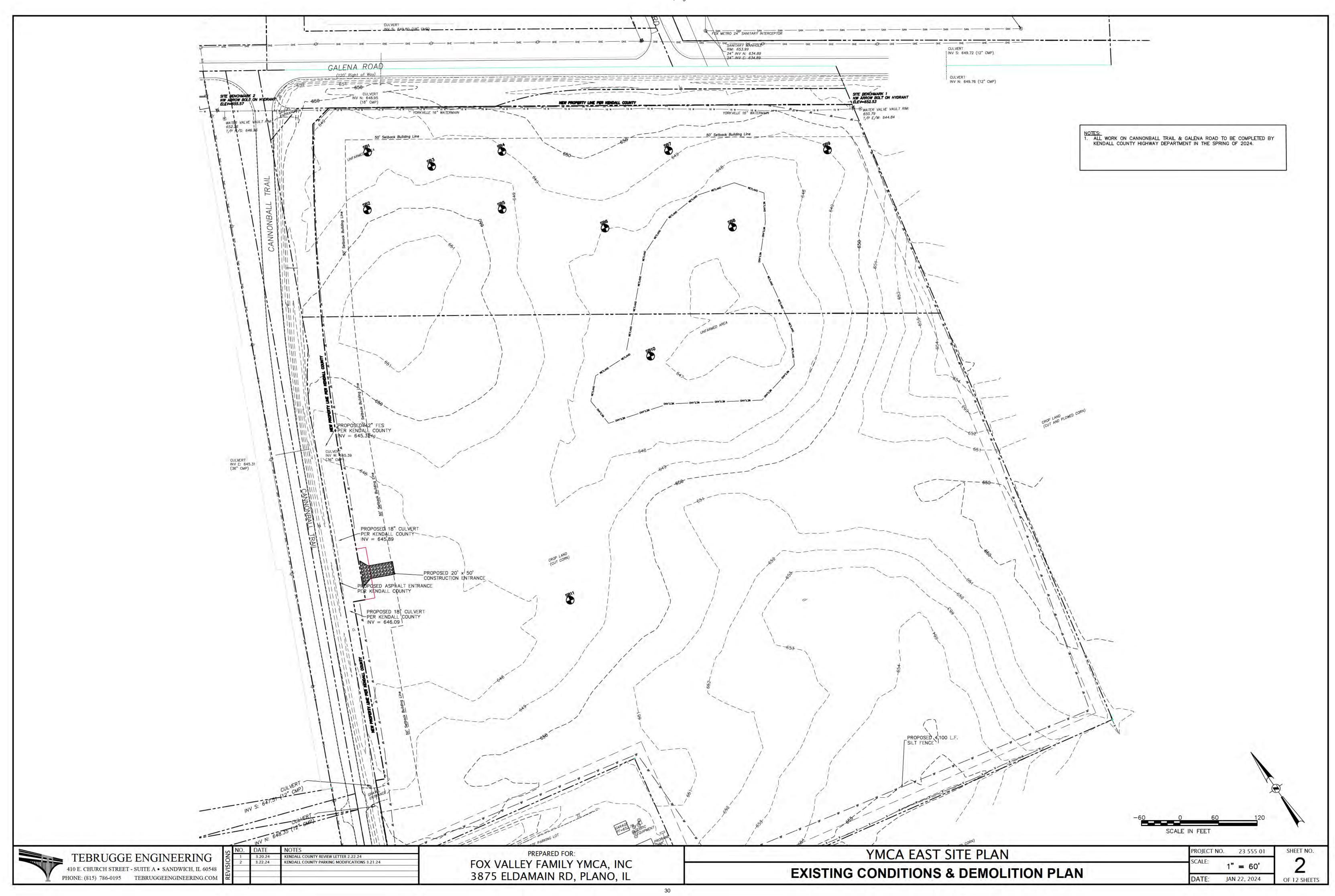
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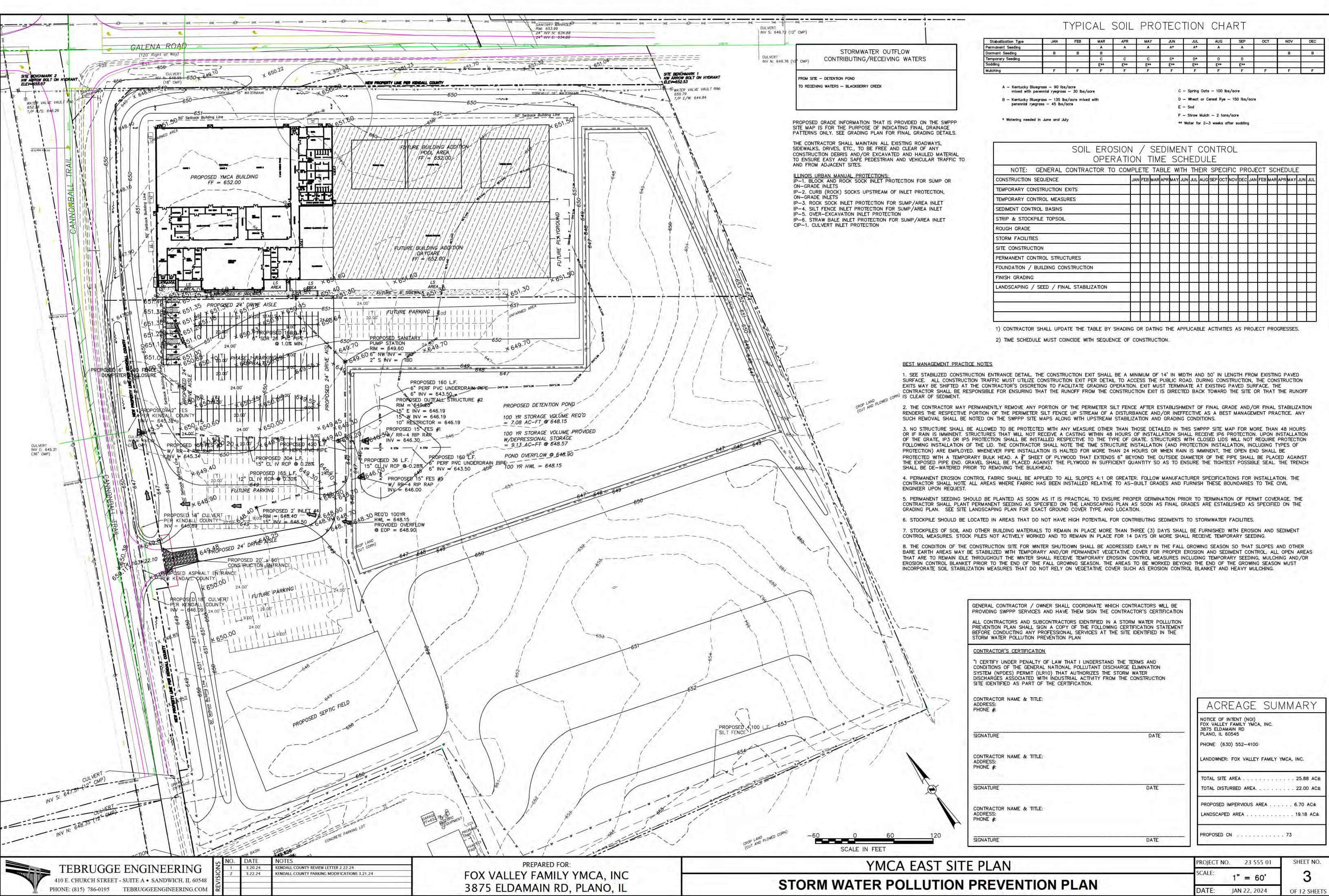
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SANITARY:

PAVEMENT:





### 1. GENERAL NOTES & DESCRIPTIONS

The Storm Water Pollution Prevention Plan (SWPPP) includes, but is not limited to the Erosion and Demolition Plan included in the Engineering Plans with the Detail Sheet, the Notice of Intent, Permit Authorization, General Permit, Notice of Termination. All records of inspection and activities which are created during the course of the project, and other documents as may be included by reference to this SWPPP. Changes, modifications, revisions, additions, o deletions shall become part of this SWPPP as they occur.

 All Contractors and sub-contractors that are responsible for implementing and measure of the SWPPP must be identified and must certify this SWPPP by signing the SWPPP certification in accordance with Part VI.G (Signatory Requirements) of the ILR10 Permit.

All signed certifications must be kept with the SWPPP documents and be available for inspection.

The Contractor and all sub-contractors involved with construction activity that disturbs site soil or who implement pollutant control measure identified in the Storm Water Pollution Prevention Plan must comply with the following requirements of the National Pollutant Discharge Elimination System (NPDES) General Permit, the NPDES Permit No. ILR10 for the State of Illinois and any local governing agency having jurisdiction concerning erosion and sediment

All construction sites that will result in the disturbance of one acre or more must be permitted under the Illinois General NPDES Permit. The Notice of Intent (NOI) has been submitted at the address below. The NOI is for the onsite and offsite improvements . The NPDES Permit will be issued 30 days after the postmark date of the submittal

Permit Information: The Owner has mailed the Owner-signed NOI form and the initial yearly fee of \$500 to the address listed below. The Contractor will be responsible for submitting each subsequent \$500 yearly fee, if applicable. A copy of the signed NOI form will be supplied to the Contractor.

Unless notified by the Illinois Environmental Protection Agency (IEPA) to the contrary, construction activities may begin in accordance with this SWPPP and the ILR10 in 30 days following the post mark date of the NOI.

Transfer Information: If a portion of the property is sold, that new Owner may obtain their own general permit by submitting a separate NOI. The original NOI may then be modified by re—submitting the NOI with update acreage and checking the box "change of information". Also include documentation explaining that a lot has been sold, the acreage difference and the date of sale. There is no fee involved with modifying the NOI.

There are no requirements for a pre-construction meeting from any of the reviewing agencies.

### Illinois Environmental Protection Agency

Division of Water Pollution Control 1021 North Grand Avenue East Springfield, Illinois 62794-9276 Phone: (217) 782-0610

Planning, Building & Zoning 111 West Fox Street Yorkville, Illinois 60560 Phone: (630) 553-414

The following documents will be supplied to the contractor and must be posted on the Entrance Sign in a prominent place for public viewing until termination of permit coverage has been obtained by filling the Notice of

I. Notice of Intent signed in accordance with ILR10. 2. Permit Authorization from the Illinois Environmental Agency (IEPA).

### The location of the SWPPP must be clearly visible.

A complete copy of the SWPPP, including copies of all inspection reports, plan revisions, etc., must be retained at the project site at all times during the duration of the project (until NOT is filed) and kept in the permanent project records of the Contractor for at least three years following submittal of the Notice of Termination (NOT).

The Contractor must provide names and addresses of all sub-cntractors working on this project who will be involved with the major construction activities that disturb site soil. This information must be kept with the SWPPP

E. CONTRACTOR/SUB-CONTRACTOR CERTIFICATION FORM The Contractor and all sub-contractors involved with ground disturbing or installation and maintenance of any

Best Management Practice (BMP) on site must sign a copy of the Contractor Certification that will be supplied to the Contractor. This information must be kept with the SWPPP.

At least once every seven calendar days and with 24 hours of a 0.5 in rainfall event, inspections by documented Contractor Compliance Officer must be made to determine the effectiveness of the SWPPP. If the State or Local agencies have a required inspection form, the both forms must be completed. The SWPPP, including the best management practices implemented on the jobsite, shall be modified as needed to reduce or prevent pollutants from

### An example BMP Inspection Form will be supplied to the Contractor.

A delegation of authority letter authorizing the Contractor Compliance Officer to sign the inspection forms will also

The Inspector must be a person familiar with the site, the nature of major construction activities, and qualified to evaluate both overall system performance and individual component performance. The inspector must either be someone empowered to implement modifications to this SWPPP and the pollutant control devices, if needed, in order to increase effectiveness to an acceptable level, or someone with the authority to cause such things to happen. Additionally, the inspector shall be properly authorized in accordance with the applicable General Permit to conduct

### See Section VII on this sheet for further reporting requirements.

This SWPPP must be updated each time there are significant modifications to the pollution prevention system or a change of Contractors working on the project that disturb site solls. The SWPPP must be amended as necessary during the course of construction in order to keep it current with the pollutant control measures utilized on the site. Amending the SWPPP does not mean that it has to be reprinted. It is acceptable to add addenda, sketches, new sections, and/or revised drawings. The site man showing the locations of all storm water controls must be poste on the site and updated to reflect the progress of construction and changes to the SWPPP. Any control measure that has a hydrologic design component must be updated or amended by the Engineer. Substitution of sediment control BMPs beyond those specified in the SWPPP is considered a hydrologic design component.

### H. DISCHARGE OF PETROLEUM PRODUCTS OR HAZARDOUS SUBSTANCES

Discharge of Petroleum products or other hazardous substances into storm water or the storm water (storm sewer) system is subject to reporting and clean up requirements. See section V.B.8 of this SWPPP for State and local information on reporting spills. Refer to the General Permit for additional information.

I. NOTICE OF TERMINATION Once the site reaches final stabilization as defined in the General Permit, with all permanent erosion and sedimentation controls installed and all temporary erosion and sedimentation controls removed, the Contractor and Owner's representative must complete a final inspection. Upon approval by the Owner's representative, the Owner and Contractor, as applicable, must complete and submit a NOT.

### CONTRACTORS RESPONSIBILITY

This SWPPP intends to control water-bourne and liquid pollutant discharges by some combination of interception sedimentation, filtration, and containment. The Contractor and sub-contractors implementing this SWPPP must remain alert to the need to periodically refine and update the SWPPP in order to accomplish the intended goals. The

### K. LOG OF CONSTRUCTION ACTIVITY

A record of dates when major ground-disturbing activities occur, when construction activities temporarily or permanently cease on a portion of the site, and when stabilization measures are initiated or completed must be maintained until the NOT is filed. A log for keeping such records is included. Controls must be in place down gradient of any ground—disturbing activities prior to the commencement of construction and noted on the Site Map and Record of Stabilization and Construction Activity Dates.

### 2. INTRODUCTION

This SWPPP includes the elements necessary to comply with the natural baseline general permit for construction activities administered by the US Environmental Protection Agency (EPA) under the National Pollutant Discharge Elimination System (NPDES) program, the NPDES Permit No. ILR10 for the State of Illinois, and all Local governing agency requirements. This SWPPP must be implemented at the start of construction.

Construction phase pollutant sources anticipated at the site are disturbed (bare) soil, vehicle fuels and lubricants, chemicals associated with building construction, and building materials. Without adequate control there is a potential for each type of pollutant to be transported by storm water. Project construction will consist primarily of site grading, utility service connections, and site paving to facilitate

### A major goal of pollution prevention efforts during project construction is to control soil and pollutants that originate on the site and prevent them from flowing to surface waters. The purpose of this SWPPP is to provide guidelines for achieving that goal. A successful pollution prevention program also relies upon careful inspection and adjustments during the construction process in order to enhance its effectiveness.

### This SWPPP must be implemented before construction begins on the site. It primarily addresses the impact of storm rainfall and runoff on areas of the ground surface disturbed during the construction process. In addition, there are recommendations for controlling other sources of pollution that could accompany the major construction activities. The SWPPP will terminate when disturbed areas are stabilized, permanent erosion and sedimentation controls are installed, temporary erosion and sedimentation controls are removed, construction activities covered herein have ceased, and a completed Notice of Termination (NOT) is transmitted to the governing agency.

Described below are the major construction activities that are subject of this SWPPP. Also included in the sequence are BMP installation activities that must take place prior to construction activities, NOTE: Down slope protective measures must always be in place before soil is disturbed. Activities are presented in the order (sequence) they are

All activities and time frames (beginning and ending dates) shall be noted on the Site Map. The sequence of

Upon implementation and installation of the following areas: trailers, parking, lay down, porta-poty, wheel wash, concrete washout, mason's area, fuel and material storage containers, solid waste containers, etc., Immediately denote them on the Site Maps and note any changes in location as they occur throughout the construction process Typical Stage of Construction, items shall be added or deleted as needed for each individual project.

### 1. Install stabilized construction entrance and SWPPP Entrance Sign. 2. Install silt fence(s) on the site (clear only those areas necessary to install silt fence).

- 5. Install inlet protection on existing inlets. Prepare temporary parking and storage area.
- Install and stabilize hydraulic control structures (dikes, swales, check dams, etc.). . Begin grading the site. 7. Start construction of building pad and structures.
- Temporarily seed, throughout construction, denuded areas that will be inactive for 14 days or more.
- 3. Install utilities, underdrains, storm sewers, curbs and gutters. ). Install inlet protection at all storm sewer structures as each inlet structure is installed.
- Permanently stabilize areas to be vegetated as they are brought to final grade. . Prepare site for paving.
- i. Install appropriate inlet protection devises for paved areas as work progresse Complete grading and installation or permanent stabilization over all areas including outlots. 5. Call Engineer after the site appears to be fully stabilized for inspection. 6. Remove all temporary erosion and sediment control devices after approval of the Engineer and stabilize any

NOTE: The Contractor may complete construction-related activities concurrently only if all preceding BMPs have been The actual schedule for implementing pollutant control measures will be determined by project construction progress and recorded by the Contractor on the Soil Erosian/Sediment Control Operation Time Schedule on the Erosian and

Sediment Control Plans. Down slope protective measures must always be in place before soil is disturbed.

- Site construction activities consist of general grading of site, construct detention pond, building and parking lot with finish grading and landscaping.
- 2. Total area of site = 25.88 acres Total disturbed area on site = 22.00 acres
- 3. Estimated site runoff coefficient after construction activities are complete: CN=73.
- 4. Site map included indicating existing & proposed slopes across site is included in SWPPP Site drainage is received by Blackberry Creek located south of the development

5. STORM WATER POLLUTION PREVENTION MEASURES AND CONTROLS

A variety of storm water pollutant controls are recommended for this project. Some controls are intended for function temporarily and will be used as needed for pollutant control during the construction period. These include temporary sediment barriers and permanent storm retention ponds (which can also function as temporary sediment basins). Permanent stabilization will be accomplished in all disturbed areas by covering the soil with pavement, building foundation, vegetation, or other forms of soil stabilization.

### A. EROSION AND SEDIMENT CONTROLS

The purpose of soil stabilization is to prevent soil from eroding and leaving the site. In the natural condition, soil is stabilized by native vegetation. The primary technique to be used at this project for stabilizing site soils will be to provide a protective cover of grass, pavement, or building structure.

a) Temporary Seeding or Stabilization - All denuded areas that will be inactive for 14 days or more, must be stabilized temporarily with the use of fast—germinating annual grass/grain varieties, straw/hay mulch, wood cellulose

completion of work in any area. The entire site must have permanent vegetative cover established in all areas not covered by hardscape at the completion of all soil disturbing activities on site. Except for small level spots, seeded areas should generally be protected with mulch or a rolled erosion control product. All areas to be sealed will have topsoil and other soil amendments as specified on the Landscape Plan.

a) Silt Fence - Silt fence is a synthetic permeable woven or non-woven geotextile fabric incorporating metal support stakes at intervals sufficient to support the fence (5—feet maximum distance between posts), water, and sediment retained by the fence. The fence is designed to retain sediment—laden storm water and allow settlement of suspended soils before the storm water flows through the fabric and discharges off-site. Silt fence shall be located on the contour to capture overland, low-velocity sheet flows. The Contractor may utilize triangular silt dike and/or non-wire backed silt fence as intermediate BMPs. Install silt fence at a fairly level grade along the contour with the ends curved uphill to provide sufficient upstream storage volume for the anticipated runoff. Drainage areas shall not exceed  $\frac{1}{2}$  acre per 100 feet of silt fence for slopes less than 2 percent.

construction exit composed of course stone to the dimensions shown on the Existing Conditions and Demolition Plan. The rough texture of the stone helps to remove clumps of soll adhering to the construction vehicles tires through the action of vibration and jarring over the rough surface and the friction of the stone matrix against soils attached

In addition to the stone at the construction exit, it may be necessary to install devices such as pipes (cattle guard) to increase the vibration and jarring. It may also be necessary to install a wheel wash system. If this is done, a sediment trap control must be installed to treat the wash water before it discharges from the site. All site access must be confined to the Construction Exit(s). Barricade, sufficient to prevent use, any ocations other than Construction Exit(s) where vehicles or equipment may access the site.

c) Storm Sewer Inlet Protection — Curb and grated inlets are protected from the intrusion of sediment through a variety of measures as shown on the details included in the Construction drawings. The primary mechanism is to place controls in the path of flow sufficient to slow the sediment—laden water to allow settlement of suspended solls before discharging into the storm sewer. It is possible that as construction progresses from storm sewer installation through paving that the inlet protection devices should change. All inlet protection devices create ponding of storm water. This should be taken into consideration when deciding on which device or devices

d) Inspection and any necessary cleaning of the underground storm system shall be included as part of this

Final site stabilization is achieved when perennial vegetative cover provides permanent stabilization with a density greater than 70 percent over the entire area to be stabilized by vegetative cover. This is exclusive of areas paved,

B. OTHER POLLUTANT CONTROLS

Construction traffic must enter and exit the site at the stabilized construction exit. Water trucks or other dust control agents will be used as needed during construction to reduce dust generated on the site. Dust control must be provided by the Contractor to a degree that is in compliance with applicable Local and State dust control regulations.

No solid materials, including building materials, are allowed to be discharged from the site with storm water. All solid waste, including disposable materials incidental to the major construction activities, must be collected and placed in containers. The containers will be emptied as necessary by a contract trash disposal service and hauled away from the site. Covers for the containers will be provided as necessary to meet State and Local requirements. The location of solid

necessary in order to ensure that they do not discharge from the site. As an example, special care must be exercised during equipment fueling and servicing operations. If a spill occurs, it must be contained and disposed of so that it will not flow from the site or enter groundwater, even if this requires removal, treatment, and disposal of soil. In this regard, potentially polluting substances should be handled in a manner consistent with the impact they represent.

All personnel involved with construction activities must comply with State and Local sanitary or septic regulations. Temporary sanitary facilities will be provided at the site throughout the construction phase. They must be utilized by all construction personnel and will be serviced by a commercial operator. The location of sanitary facilities shall be shown

4. Non-Storm Water Discharge Non-storm water components of site discharges are not permitted under ILR10 except as follows: discharges from fire fighting activities; fire hydrant flushings; water used to wash vehicles where detergents are not used; waters used to control dust; potable water sources including uncontaminated waterline flushings; irrigation drainage; routine external building washdown which does not use detergents; pavement washdowns where spills or leaks of toxic or hazardous materials have not occurred (unless all spilled material has been removed) and where detergents are not used; air conditioning condensate; springs, uncontaminated ground water; and foundation or footing drains where flows are not

5. Concrete Waste from Concrete Ready-Mix Trucks Discharge of excess or waste concrete and/or wash water from concrete trucks will be allowed on the construction site, but only in specifically designated diked areas prepared to prevent contact between the concrete and/or wash water and storm water that will be discharged from the site. Alternatively, waste concrete can be placed into forms to make rip rap or other useful concrete products. The cured residue from the concrete washout diked areas shall be disposed in accordance with applicable State and Federal regulations. The jobsite superintendent is responsible for assuring that these procedures are followed. The location of concrete washout areas shall be shown on the Site Maps.

Contractor shall identify mason's area on the site and indicate location on the Site Map. To the extent practical, all masonry tools, material, including sand and sacked cement or mortar materials, and equipment shall be located within the area identified. Runoff control, such as berms or diversion ditches, silt fence, straw wattles, or other means of containment shall be provided to prevent the migration of storm water pollutants in runoff from the mason's area. Receptacles for debris and trash disposal shall also be provided.

Temporary on-site fuel tanks for construction vehicles shall meet all State and Federal regulations. Tanks shall have approved spill containment with the capacity required by the applicable regulations. The tanks shall be in sound condition free of rust or other damage which might compromise containment. Fuel storage areas will meet all EPA, OSHA and other regulatory requirements for signage, fire extinguisher, etc. Hoses, valves, fittings, caps, filler nozzles, and associated hardware shall be maintained in proper working condition at all times. The location of fuel tanks shall be

A Spill Prevention, Control and Countermeasure (SPCC) Plan must be developed if aboveground oil storage capacity at the construction site exceeds 1,320—gallons. Containers with storage capacity of 55—gallons or less are not included when calculating site storage capacity. The Contractor shall work with the Civil Engineering Consultant to develop and implement a SPCC Plan in accordance with the Oil Pollution Prevention regulation at Title 40 of the Code of Federal Regulations, Part 112, (40 CFR 112).

8. Hazardous Material Management and Spill Reporting Plan Any hazardous or potentially hazardous material that is bought onto the construction site will be handled properly in order to reduce the potential for storm water pollution. All materials used on this construction site will be proper stored, handled, dispensed and disposed of following all applicable label directions. Material Safety Data Sheets (MSDS) information will be kept on site for any and all applicable materials.

In the event of an accidental spill, immediate action will be undertaken by the Contractor to contain and remove the spilled material. All hazardous materials will be disposed of by the Contractor in the manner specified by Federal, State and Local regulations and by the manufacturer of such products. As soon as possible, the spill will be reported to the appropriate agencies. As required under the provisions of the Clean Water Act, any spill or discharge entering waters of the United States will be properly reported. The Contractor will prepare a written record of any spill of petroleum products or hazardous materials in excess of reportable quantities and will provide notice to Owner within 24—hours of

Any spills of petroleum products or hazardous materials in excess of Reportable Quantities as defined by EPA shall be immediately reported to the EPA National Response Center (1-800-424-8802). In addition, 35 III. Adm. Code 750.410 requires notification of IEMA (1—800—782—7860). Reportable chemical spill quantities are those listed for hazardous substances under Superfund, or as extremely hazardous substances under the Superfund Reauthorization and Amendments Act of 1986 (SARA), the emergency planning statute which also establishes threshold planning quantities (29 III. Admin. Code 430.30). Oil spills are reportable if they must be reported under the Federal Water Pollution Control Act. This generally includes spills that are in excess of 25 gallons and or "may be harmful to the public health or welfare" (40 CFR 110). Harmful discharges include those that (1) violate applicable water quality standards, or (2) leave a film on the water or adjoining shorelands or cause a sludge or emulsion to be deposited beneath the water's surface or on adjoining shorelands. The reportable quality for hazardous materials can be found in 40 CFR 302 or by contacting

In order to minimize the potential for a spill of petroleum product or hazardous materials to come in contact with a) All materials with hazardous properties (such as pesticides, petroleum products, fertilizers, detergents, onstruction chemicals, acids, paints, paint solvents, additives for soil stabilization, concrete, curing compounds and

additives, etc.) will be stored in a secure location, under cover, when not in use.

b) The minimum practical quantity of all such materials will be kept on the job site and scheduled for delivery c)A spill control and containment kit (containing for example, absorbent material such as kitty litter or sawdust,

acid neutralizing agent, brooms, dust pans, mops, rags, gloves, goggles, plastic and metal trash containers, etc.) will be d) All of the products in a container will be used before the container is disposed of, All such containers will be triple rinsed, with water prior to disposal. The rinse water used in these containers will be disposed of in a manner in compliance with State and Federal regulations and will not be allowed to mix with storm water discharges.

e) All products will be stored in and used from the original container with the original product label.

f) All products will be used in strict compliance with instructions on the product label.

g) The disposal of excess or used products will be in strict compliance with instructions on the product label.

Storm water pollutant control measures installed during construction, that will also provide storm water management benefits after construction, include turf areas in sufficient quantity so as to provide a site impervious ratio

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C. CONSTRUCTION PHASE "BEST MANAGEMENT PRACTICES" (BMPs) During the construction phase, the Contractor shall implement the following measures:

I. Materials resulting from the clearing and grubbing or excavation operations shall be stockpiled up slope from adequate sedimentation controls. Materials removed to an off-site location shall be protected with appropriate controls

This section includes the controls of pollutants other than sediment and additional requirements of the General Permit.

2. The Contractor shall designate areas on the Site Map for equipment cleaning, maintenance, and repair. The Contractor and sub—contractors shall utilize such designated areas. Cleaning, maintenance, and repair areas shall be protected by a temporary perimeter berm, shall not occur within 150 feet of any waterway, water body or wetland, and

3. Use of detergents for large scale washing is prohibited (i.e. vehicles, buildings, pavement, surfaces, etc.)

4. Chemicals, paints, solvents, fertilizers, and other toxic materials must be stored in waterproof containers. Except during application, the containers, the contents must be kept in trucks or within storage facilities. Runoff containing such material must be collected, removed from the site, treated, and disposed of at an approved solid waste and chemical disposal facility.

D. OFF-SITE FACILITIES IN THE OPERATIONAL CONTROL OF THE CONTRACTOR Whenever dirt, rock, or other materials are imported to the construction site or exported for placement in areas off Substances that have the potential for polluting surface and/or groundwater must be controlled by whatever means of the primary construction site, the Contractor is responsible for determining that all storm water permitting and taken. Prior to the disturbance of any such site, Contractor will confirm that the operators of the site they are importing to or exporting from have properly obtained all required permits, and will comply with all laws, regulations

> At a minimum, each off—site area that provides or receives material or is disturbed by project activities must implement erosion and sediment control measures consisting of perimeter controls on all down slope and side slope boundaries and must also provide for both temporary stabilization and for permanent re—vegetation after all disturbances

In addition to this SWPPP, construction activities associated with this project must comply with any guidelines set forth by Local regulatory agencies. The Contractor shall maintain documents evidencing such compliance in this SWPPP.

### 5. INSPECTIONS AND SYSTEM MAINTENANCE

to material storage areas will be adhered to.

Between the time this SWPPP is implemented and final Notice of Termination has been submitted, all disturbed areas and pollutant controls must be inspected weekly and within 24 hours of the end of a storm event 0.5 inches or equivalent snowfall. The purpose of site inspections is to assess performance of pollutant controls. The inspections will be conducted by the Contractor's Site Superintendent. Based on these inspections, the Contractor will decide whether it is necessary to modify this SWPPP, add or relocate controls, or revise or implement additional Best Management Practices in order to prevent pollutants from leaving the site via storm water runoff. The Contractor has the duty to cause pollutant control measures to be repaired, modified, supplemented, or take additional steps as necessary in order

Examples of specific items to evaluate during site inspections are listed below. This list is not intended to be comprehensive. During each inspection, the inspector must evaluate overall pollutant control system performance as well as particular details of individual system components. Additional factors should be considered as appropriate to the

Locations where vehicles enter and exit the site must be inspected for evidence of off—site sediment tracking. A stabilized construction exit shall be constructed where vehicles enter and exit. Exits shall be maintained or supplemented with additional rock as necessary to prevent the release of sediment from vehicles leaving the site. Any sediment deposited on the roadway shall be swept as necessary throughout the day or at the end of everyday and disposed of in an appropriate manner. Sediment shall NOT be washed into storm sewer systems.

B. SEDIMENT CONTROL DEVICES Sediment barriers, traps and basins must be inspected and they must be cleaned out at such time as their original capacity has been reduced by 50 percent. All material excavated from behind sediment barriers or in traps and basins shall be incorporated into on-site soils or spread out on an upland portion of the site and stabilized. Additional

Inspections shall evaluate disturbed areas and areas used for storing materials that are exposed to rainfall for evidence of, or the potential for, pollutants entering the drainage system or discharging from the site. If necessary, the materials must be covered or original covers must be repaired or supplemented. Also, protective berms must be constructed, if needed, in order to contain runoff from material storage areas. All State and Local regulations pertaining

Grassed areas shall be inspected to confirm that a healthy stand of grass is maintained. The site has achieved final tabilization once all areas are covered with building foundation or pavement, or have a stand of grass with a minimum of 70 percent density or greater over the entire vegetated area in accordance with the General Permit requirements. The vegetative density must be maintained to be considered stabilized. Area must be watered, fertilized, and

All discharge points must be inspected to determine whether erosion and sediment control measures are effective in preventing discharge of sediment from the site or impacts to receiving waters.

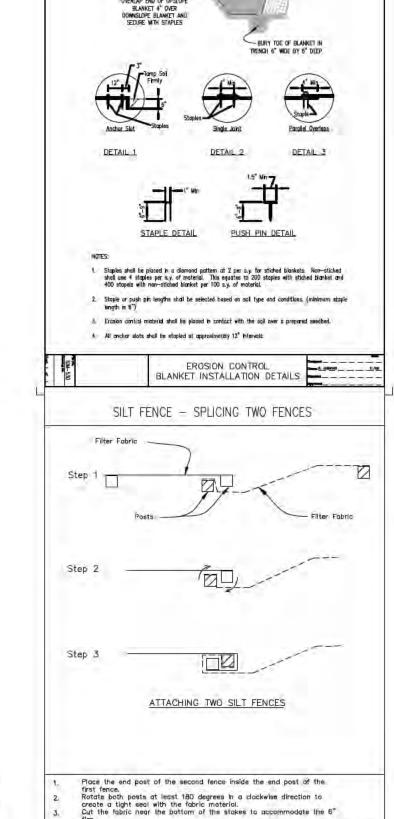
The Inspection Report Form must identify all deficiencies, any corrections, whether they are identified during the current inspection or have occurred since the previous inspection, and any additional comments. Based on inspection results, y modification necessary to increase effectiveness of this SWPPP to an acceptable level must be made immediately but no longer than within 48 hours of inspection. The inspections reports must be complete and additional information should be included if needed to fully describe a situation. An important aspect of the inspection report is the description of additional measures that need to be taken to enhance plan effectiveness. The inspection report must identify whether the site was in compliance with the SWPPP at the time of inspection and specifically identify all incidents of

The Inspection Report Form must summarize the scope of the inspection, name(s) and qualifications of personnel making the inspection, the date(s) of the inspection, major observations relating to the implementation of this SWPPP, and actions taken in accordance with section 4.b shall be made and retained as part of the plan for at least six years after the date of the inspection. The report shall be signed in accordance with Part VI.G of the General Permit.

If any violation of the provisions of this plan is identified during the conduct of the construction work covered by this identified violation. The Contractor's Compliance Officer shall us forms provided by the IEPA and shall include specific information on the cause of noncompliance, actions which were taken to prevent any further causes of noncompliance, and a statement detailing any environmental impact which may have resulted in noncompliance. All reports of noncompliance shall be signed by a responsible authority in accordance with part VI.G of the General Permit. The report

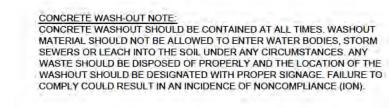
Illinois Environmental Protection Agency Division of Water Pollution Control Attn: Compliance Assurance Section 1021 North Grand East Springfield, IL 62794-9276

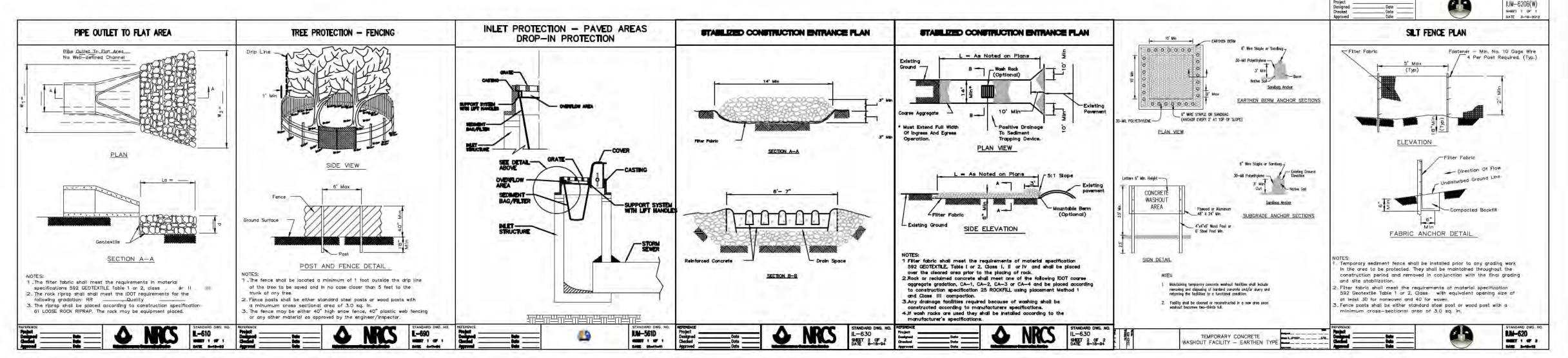
Ultimately, it is the responsibility of the General Contractor to assure the adequacy of site pollutant discharge controls Actual physical site conditions or Contractor practices could make it necessary to install more structural controls than are shown on the plans. For example, Localized concentrations of runoff could make it necessary to install additional sediment barriers. Assessing the need for additional controls and implementing them or adjusting existing controls will be a continuing aspect of this SWPPP until the site achieves final stabilization. Any modifications, additions or deletions of sediment control devices must be approved by the Engineer through written communications.



Drive both posts a minimum of 18 inches into the ground and bury the

Compact backfill (particularly at splices) completely to prevent stormwater piping.







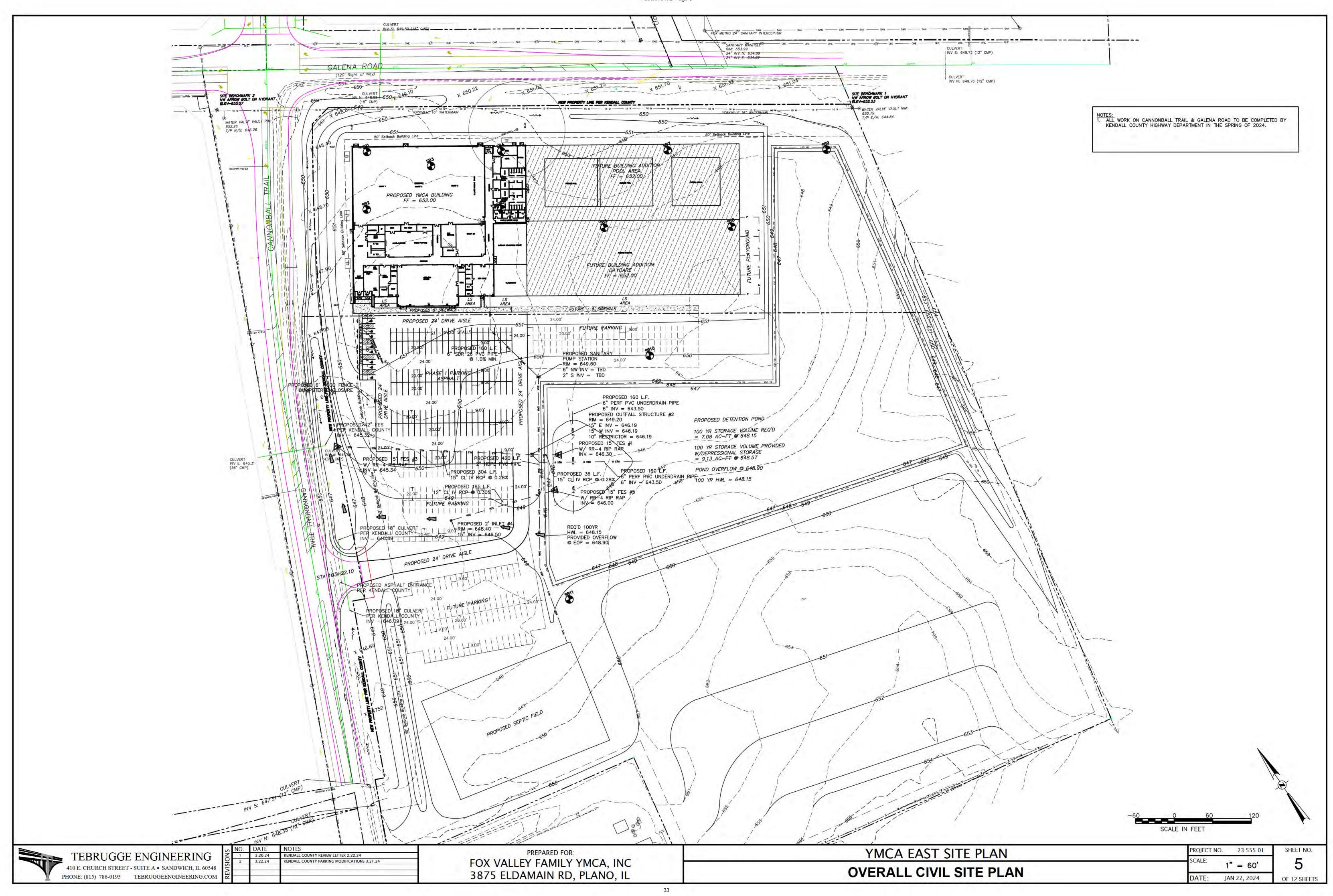
TEBRUGGE ENGINEERING PHONE: (815) 786-0195 TEBRUGGEENGINEERING.COM

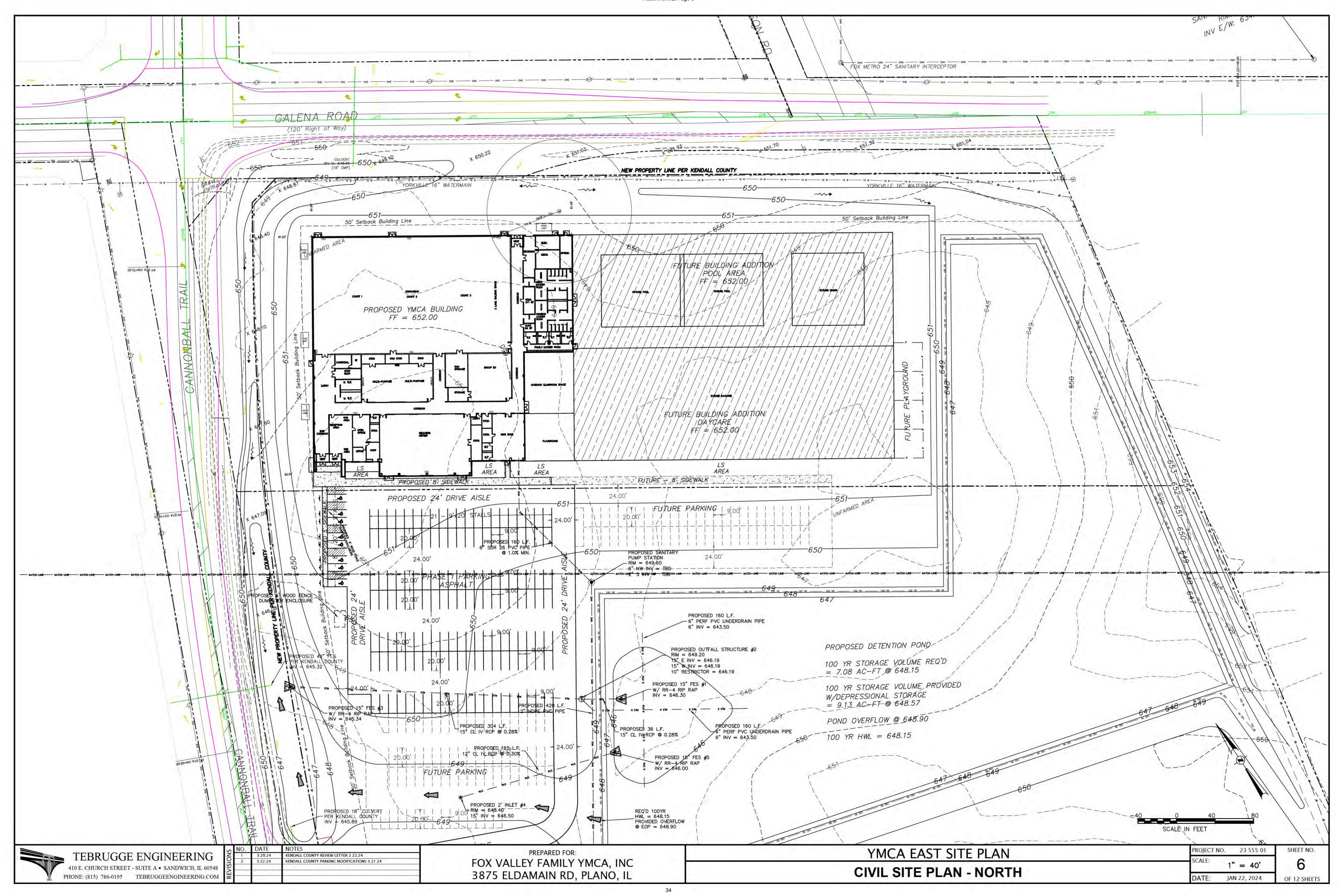
ENDALL COUNTY PARKING MODIFICATIONS 3.21.2

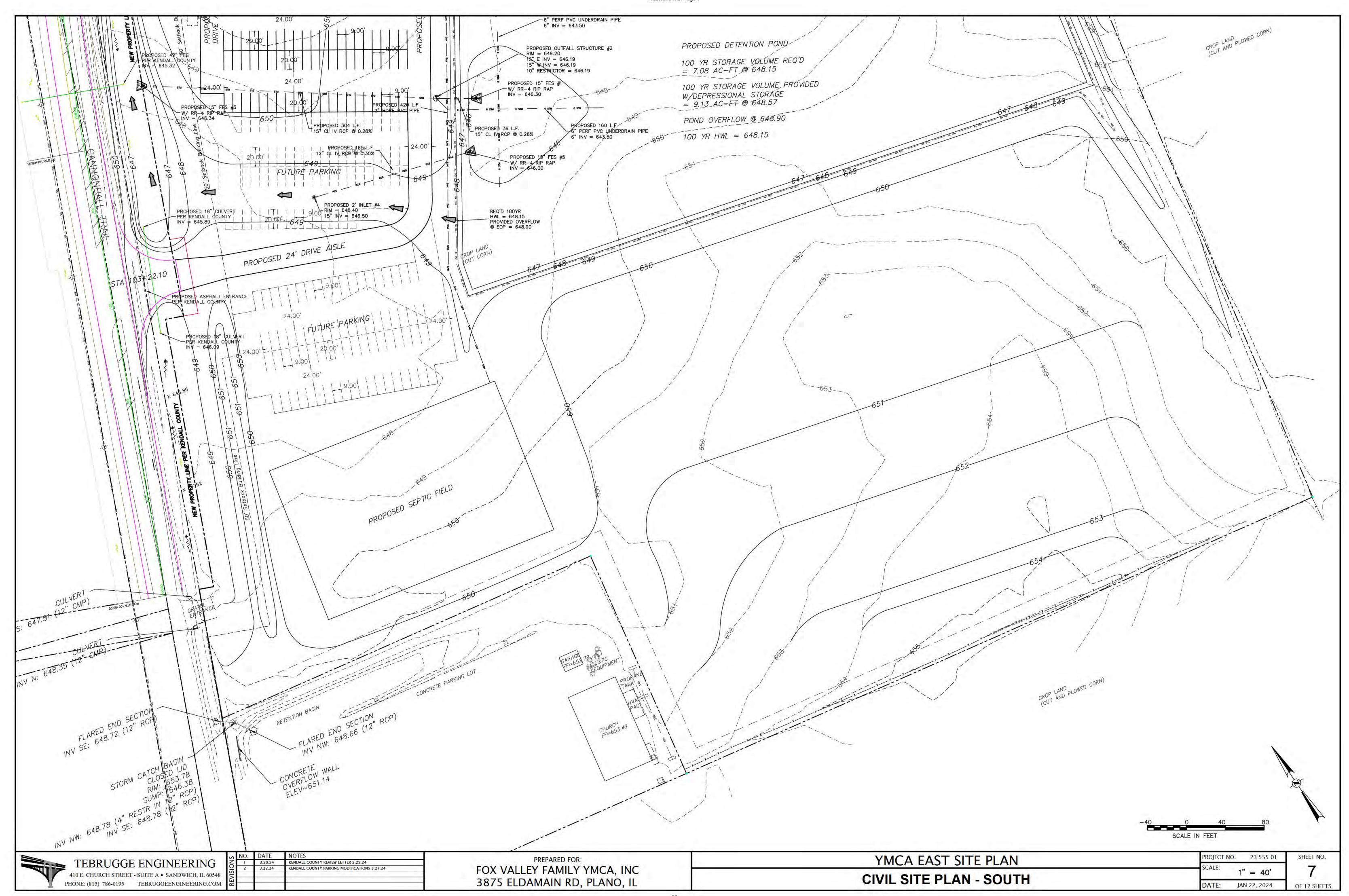
PREPARED FOR: FOX VALLEY FAMILY YMCA, INC 3875 ELDAMAIN RD, PLANO, IL

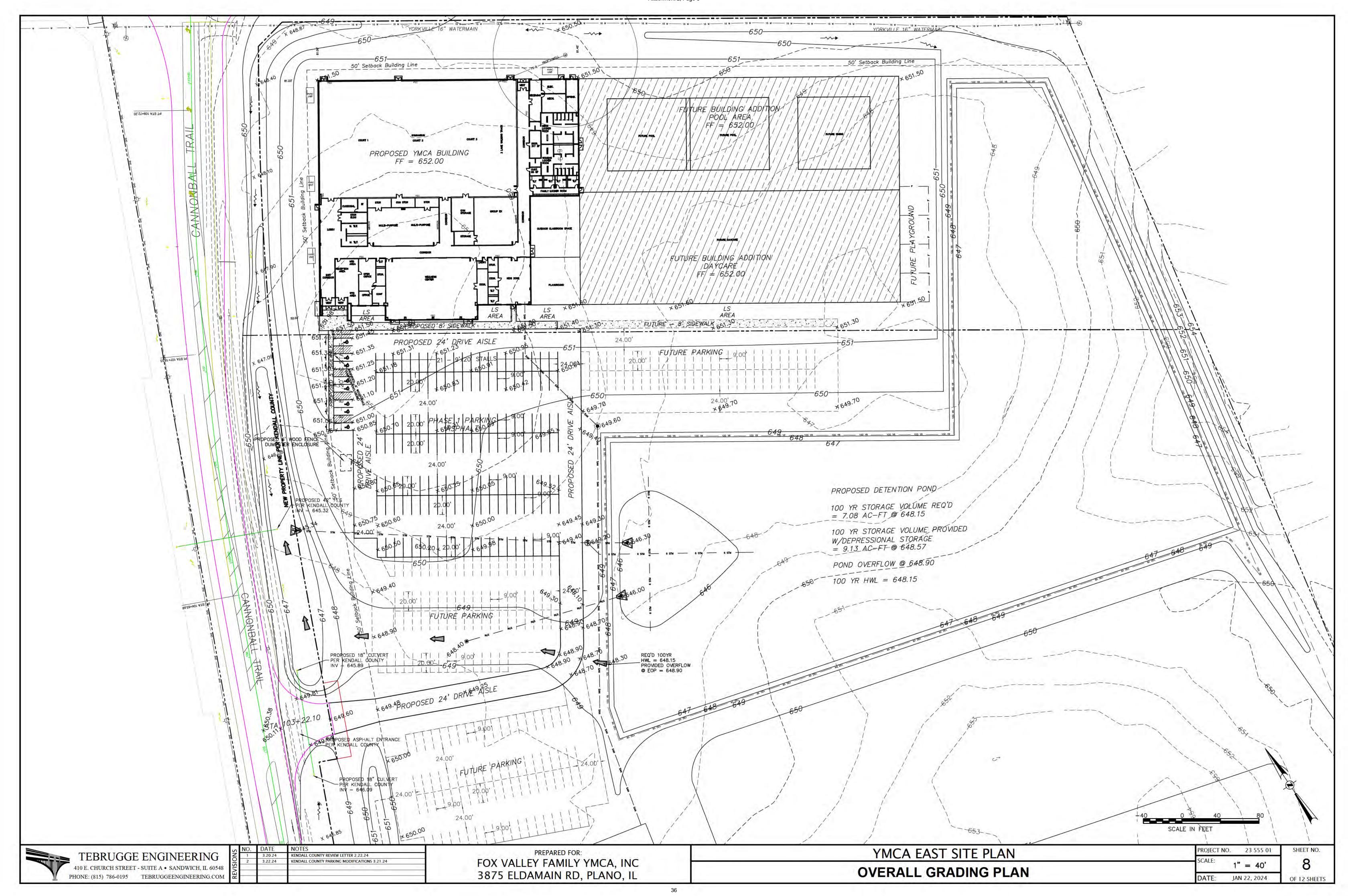
YMCA EAST SITE PLAN STORM WATER POLLUTION PREVENTION PLAN PROJECT NO. 23 555 01 JAN 22, 2024

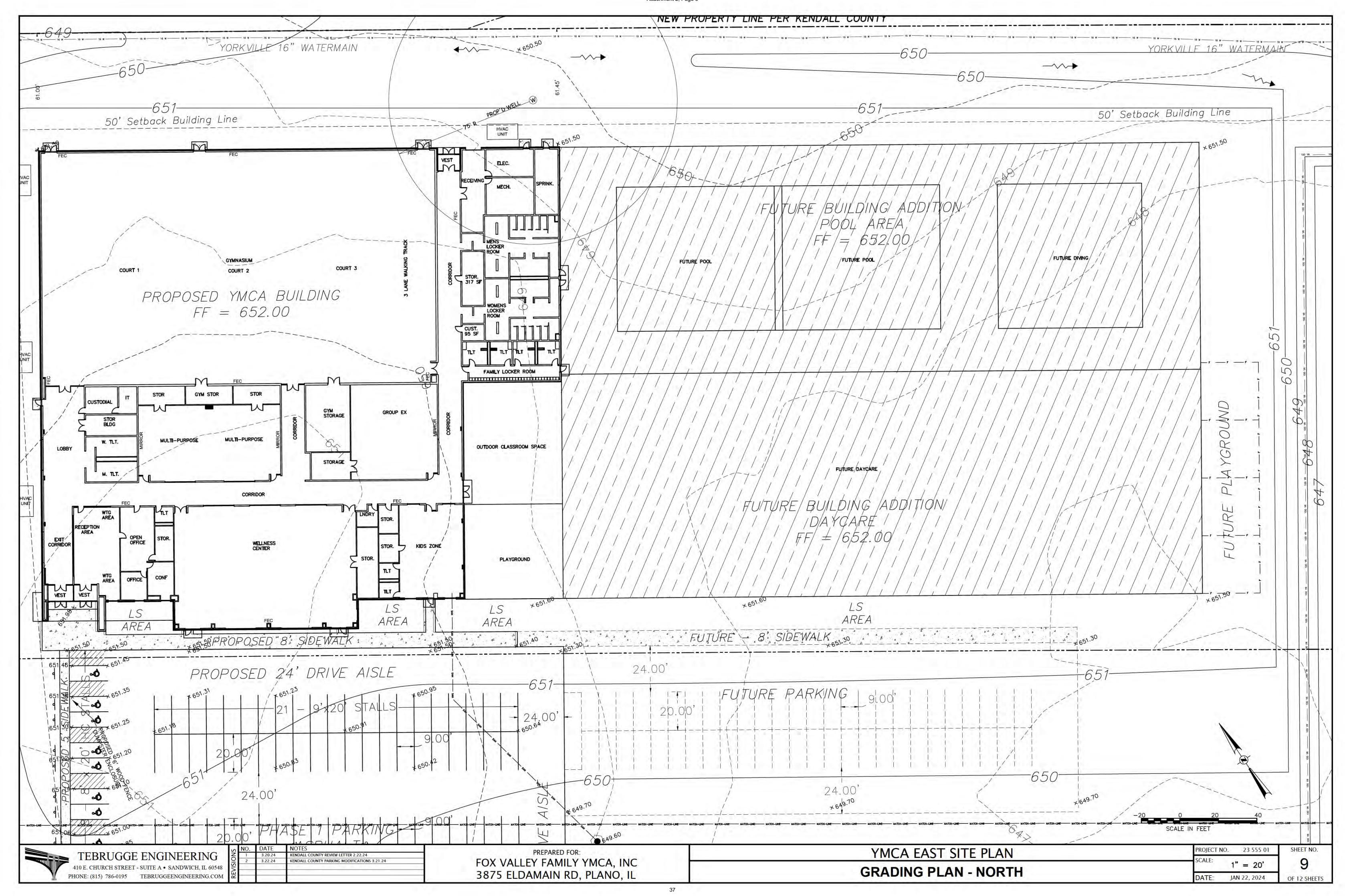
SHEET NO. OF 12 SHEETS











YMCA EAST SITE PLAN PROJECT NO. 23 555 01 SHEET NO. PREPARED FOR: TEBRUGGE ENGINEERING FOX VALLEY FAMILY YMCA, INC 1" = 20' **GRADING PLAN - SOUTH** 3875 ELDAMAIN RD, PLANO, IL PHONE: (815) 786-0195 TEBRUGGEENGINEERING.COM JAN 22, 2024 OF 12 SHEETS 38

ALL EARTHWORK, ROADWAY WORK, DRAINAGE WORK OR STORM SEWER WORK SHALL BE PERFORMED UTILIZING MATERIALS AND METHODS IN STRICT ACCORDANCE WITH THE ILLINOIS DEPARTMENT OF TRANSPORTATION "STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION" LATEST EDITION, AS WELL AS THE STANDARD DETAIL SHEETS ATTACHED TO THESE PLANS. ALL MUNICIPAL, COUNTY, STATE AND FEDERAL REQUIREMENTS AND STANDARDS SHALL BE STRICTLY ADHERED TO IN WORK PERFORMED UNDER THIS CONTRACT.

2. ALL SANITARY SEWER AND WATER MAIN WORK SHALL BE PERFORMED USING METHODS AND MATERIALS IN STRICT ACCORDANCE WITH THE LATEST EDITION OF "STANDARD SPECIFICATIONS FOR WATER AND SEWER MAIN CONSTRUCTION IN ILLINOIS", LATEST EDITION, AS WELL AS THE STANDARD DETAIL SHEETS ATTACHED TO THESE PLANS. ALL MUNICIPAL, COUNTY, STATE AND FEDERAL REQUIREMENTS AND STANDARDS SHALL BE STRICTLY ADHERED TO IN WORK PERFORMED UNDER THIS CONTRACT.

3. ANY SPECIFICATIONS WHICH ARE SUPPLIED ALONG WITH THE PLANS SHALL TAKE PRECEDENCE IN THE CASE OF A CONFLICT WITH THE STANDARD SPECIFICATIONS NOTED IN ITEMS NO. 1 AND 2 ABOVE. THE ABOVE STANDARD SPECIFICATIONS & THE CONSTRUCTION PLANS ARE TO BE CONSIDERED AS PART OF THE CONTRACT DOCUMENTS. INCIDENTAL ITEMS OR ACCESSORIES NECESSARY TO COMPLETE THIS WORK MAY NOT BE SPECIFICALLY NOTED BUT ARE TO BE CONSIDERED A PART OF THE CONTRACT.

4. PRIOR TO COMMENCEMENT OF CONSTRUCTION, THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS AFFECTING THEIR WORK WITH THE ACTUAL CONDITIONS AT THE JOB SITE. IF THERE ARE ANY DISCREPANCIES FROM WHAT IS SHOWN ON THE CONSTRUCTION PLANS, HE MUST IMMEDIATELY REPORT SAME TO THE ENGINEER BEFORE DOING ANY WORK, OTHERWISE THE CONTRACTOR WILL BE CONSIDERED TO HAVE PROCEEDED AT HIS OWN RISK AND EXPENSE. IN THE EVENT OF ANY DOUBT OR QUESTION ARISING WITH RESPECT TO THE TRUE MEANING OF THE CONSTRUCTION PLANS OR SPECIFICATIONS, THE DECISION OF THE ENGINEER SHALL BE FINAL AND CONCLUSIVE.

5. ALL WORK PERFORMED UNDER THIS CONTRACT SHALL BE GUARANTEED AGAINST ALL DEFECTS IN MATERIALS AND WORKMANSHIP OF WHATEVER NATURE BY THE CONTRACTOR AND HIS SURETY FOR A PERIOD OF 12 MONTHS FROM THE DATE OF FINAL ACCEPTANCE OF THE WORK BY THE GOVERNING MUNICIPALITY, OTHER APPLICABLE GOVERNMENTAL AGENCIES, AND THE OWNER.

6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL REQUIRED PERMITS FOR CONSTRUCTION ALONG OR ACROSS EXISTING STREETS OR HIGHWAYS. HE SHALL MAKE ARRANGEMENTS FOR THE PROPER BRACING, SHORING AND OTHER REQUIRED PROTECTION OF ALL ROADWAYS BEFORE CONSTRUCTION BEGINS, ALONG WITH ADEQUATE TRAFFIC CONTROL MEASURES. HE SHALL BE RESPONSIBLE FOR ANY DAMAGE TO THE STREETS OR ROADWAYS AND ASSOCIATED STRUCTURES AND SHALL MAKE REPAIRS AS NECESSARY TO THE SATISFACTION OF THE ENGINEER, AT NO ADDITIONAL COST TO THE OWNER.

7. THE UTILITY LOCATIONS, AND THE DEPTHS SHOWN ON THESE PLANS ARE APPROXIMATE ONLY, AND SHALL BE VERIFIED BY THE CONTRACTOR WITH ALL AFFECTED UTILITY COMPANIES PRIOR TO INITIATING CONSTRUCTION OPERATIONS. THE ENGINEER AND OWNER ASSUME NO RESPONSIBILITY FOR THE ADEQUACY, SUFFICIENCY OR EXACTNESS OF THESE UTILITY REPRESENTATIONS.

8. PRIOR TO STARTING CONSTRUCTION THE CONTRACTOR SHALL CONTACT THE OFFICE OF J.U.L.I.E. AT 1-800-892-0123 FOR EXACT FIELD LOCATION OF ALL UNDERGROUND UTILITIES IN THE PROXIMITY OF, AND ON, THE PROJECT SITE; IF THERE ARE ANY UTILITIES WHICH ARE NOT MEMBERS OF THE J.U.L.I.E. SYSTEM, THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR DETERMINING THIS AND MAKE ARRANGEMENTS TO HAVE THESE UTILITIES FIELD LOCATED.

9. EASEMENTS FOR THE EXISTING UTILITIES, BOTH PUBLIC AND PRIVATE, AND UTILITIES WITHIN PUBLIC RIGHTS-OF-WAY ARE SHOWN ON THE PLANS ACCORDING TO AVAILABLE RECORDS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING THE EXACT LOCATION IN THE FIELD OF THESE UTILITY LINES AND THEIR PROTECTION FROM DAMAGE DUE TO CONSTRUCTION OPERATIONS. IF EXISTING UTILITY LINES OF ANY NATURE ARE ENCOUNTERED WHICH CONFLICT IN LOCATION WITH NEW CONSTRUCTION, THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR RELOCATING THESE FACILITIES AT HIS EXPENSE TO ACCOMMODATE THE NEW CONSTRUCTION.

10. ALL FIELD TILE ENCOUNTERED DURING CONSTRUCTION OPERATIONS SHALL BE CONNECTED TO THE PROPOSED STORM SEWER OR EXTENDED TO OUTLET INTO A PROPOSED DRAINAGE WAY. IF THIS CANNOT BE ACCOMPLISHED, THEN IT SHALL BE REPAIRED WITH NEW PIPE OF SIMILAR SIZE AND MATERIAL TO THE ORIGINA LINE AND PUT IN ACCEPTABLE OPERATIONAL CONDITION. A RECORD OF THE LOCATION OF ALL FIELD TILE FOR ONSITE DRAIN PIPE ENCOUNTERED SHALL BE KEPT BY THE CONTRACTOR AND TURNED OVER TO THE ENGINEER UPON COMPLETION OF THE PROJECT. THE COST OF THIS WORK SHALL BE CONSIDERED AS INCIDENTAL TO THE CONTRACT AND NO ADDITIONAL COMPENSATION WILL BE ALLOWED.

11. IT SHALL BE THE RESPONSIBILITY OF EACH RESPECTIVE CONTRACTOR TO REMOVE FROM THIS SITE ANY AND ALL MATERIALS AND DEBRIS WHICH RESULT FROM HIS CONSTRUCTION OPERATIONS AT NO ADDITIONAL EXPENSE

12. THE ENGINEER AND OWNER ARE NOT RESPONSIBLE FOR THE CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES OR PROCEDURES, TIME OF PERFORMANCE, PROGRAMS OF FOR ANY SAFETY PRECAUTIONS USED BY THE CONTRACTOR. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR EXECUTION OF HIS WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS AND SPECIFICATIONS.

13. THE CONTRACTOR SHALL COMPLY WITH ALL STATE AND FEDERAL SAFETY REGULATIONS AS OUTLINED IN THE LATEST REVISIONS OF THE FEDERAL CONSTRUCTION SAFETY STANDARDS (SERIES 1926) AND WITH APPLICABLE PROVISIONS AND REGULATIONS OF THE OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA) STANDARDS OF THE WILLIAMS STELGER OCCUPATIONAL HEALTH STATE SAFETY ACT OF 1970(REVISED). THE CONTRACTOR, ENGINEERS, AND OWNER SHALL EACH BE RESPONSIBLE FOR HIS OWN RESPECTIVE AGENTS AND EMPLOYEES.

14. THE CONTRACTOR SHALL INDEMNIFY THE OWNER, THE ENGINEER, AND ALL GOVERNING AUTHORITIES, THEIR AGENTS SUCCESSORS AND ASSIGNS FROM ANY AND ALL LIABILITY WITH RESPECT TO THE CONSTRUCTION, INSTALLATION AND TESTING OF THE WORK REQUIRED ON THIS PROJECT. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO PERFORM THE WORK OF THIS CONTRACT IN A MANNER WHICH STRICTLY COMPLIES WITH ANY AND ALL PERTINENT LOCAL, STATE OR NATIONAL CONSTRUCTION AND SAFETY CODES; THE ENGINEER, OWNER, AND GOVERNING AUTHORITIES ARE NOT RESPONSIBLE FOR ENSURING COMPLIANCE BY THE CONTRACTOR WITH SAID CODES AND ASSUME NO LIABILITY FOR ACCIDENTS, INJURIES, OR DEATHS, OR CLAIMS RELATING THERETO WHICH MAY RESULT FROM LACK OF ADHERENCE TO SAID CODES.

# UNDERGROUND UTILITIES

 ALL UTILITY TRENCHES BENEATH PROPOSED OR EXISTING UTILITIES, PROPOSED OR EXISTING PAVEMENT. DRIVEWAYS, SIDEWALKS AND FOR A DISTANCE OF TWO FEET ON EITHER SIDE OF SAME, AND/OR WHEREVER ELSE SHOWN ON THE CONSTRUCTION PLANS SHALL BE BACKFILLED WITH SELECT GRANULAR BACKFILL (CA-7) AND THOROUGHLY COMPACTED IN ACCORDANCE WITH THE EARTHWORK SPECIFICATIONS.

2. UNLESS OTHERWISE INDICATED ON THE PLANS, STORM SEWER PIPE SHALL BE REINFORCED CONCRETE CULVERT PIPE OF THE CLASS AS INDICATED ON THE PLANS, AND CONFORMING TO ASTM C-76. JOINTS SHALL TYPICALLY BE A "TROWEL APPLIED" BITUMINOUS MASTIC COMPOUND IN ACCORDANCE WITH ASTM C-76 (OR C-14 AS MAY BE APPLICABLE OR RUBBER "O"-RING GASKET JOINTS CONFORMING TO ASTM C-443). LOCATIONS WHERE THE STORM SEWER CROSSES WATERMAINS AN "O"-RING JOINT IN ACCORDANCE WITH ASTM C-361 SHALL BE USED.

3. STORM SEWER MANHOLES SHALL BE PRECAST STRUCTURES, WITH THE DIAMETER DEPENDENT ON THE PIPE SIZE AND WITH APPROPRIATE FRAME AND LIDS (SEE CONSTRUCTION STANDARDS). LIDS SHALL BE IMPRINTED "STORM SEWER". ALL FLARED END SECTIONS SHALL HAVE A FRAME & GRATE INSTALLED.

4. THESE FRAME AND GRATES FOR STORM STRUCTURES SHALL BE USED UNLESS OTHERWISE INDICATED ON THE PLAN SET. USE NEENAH R-1712 OPEN LID (OR EQUAL) IN PAVEMENT AREAS, USE NEENAH R-1772-B OPEN OR CLOSED LID (OR EQUAL) IN GRASS AREAS, USE NEENAH R-3015 (OR EQUAL) FOR B6.12 CURB AREAS, AND NEENAH R-3509 (OR EQUAL) FOR DEPRESSED CURB AREAS.

5. STRUCTURES FOR SANITARY AND STORM SEWERS AND VALVE VAULTS FOR WATER SHALL BE IN ACCORDANCE WITH THESE IMPROVEMENT PLANS AND THE APPLICABLE STANDARD SPECIFICATIONS. WHERE GRANULAR TRENCH BACKFILL IS REQUIRED AROUND THESE STRUCTURES THE COST SHALL BE CONSIDERED AS INCIDENTAL AND SHALL BE INCLUDED IN THE CONTRACT UNIT PRICE FOR THE STRUCTURE.

6. ALL STORM SEWERS AND WATERMAINS SHALL HAVE COMPACTED CA-7 GRANULAR BEDDING, A MINIMUM OF 4" BELOW THE BOTTOM OF THE PIPE FOR THE FULL LENGTH. BEDDING SHALL EXTEND TO THE SPRING LINE OF THE

PIPE. COST FOR THE BEDDING SHALL BE INCLUDED WITH THE UNIT PRICE BID FOR THE PIPE. 7. THE UNDERGROUND CONTRACTOR SHALL BE RESPONSIBLE FOR DEWATERING ANY EXCAVATION FOR THE INSTALLATION OF THE SEWER OR WATER SYSTEMS. ANY DEWATERING ENCOUNTERED SHALL BE INCIDENTAL TO THE

8. ALL STRUCTURES SHALL HAVE A MAXIMUM OF 8" OF ADJUSTING RINGS, UNLESS OTHERWISE NOTED.

9. ALL TOP FRAMES FOR STORM AND VALVE VAULT COVERS AND B-BOXES ARE TO BE ADJUSTED TO MEET FINAL FINISH GRADE UPON COMPLETION OF FINISHED GRADING AND FINAL INSPECTIONS. THIS ADJUSTMENT IS TO BE MADE BY THE UNDERGROUND CONTRACTOR AND THE COST IS TO BE INCIDENTAL. THE UNDERGROUND CONTRACTOR SHALL INSURE THAT ALL ROAD AND PAVEMENT INLETS OR STRUCTURES ARE AT FINISHED GRADE. ANY ADJUSTMENTS NECESSITATED BY THE CURB OR PAVING CONTRACTOR TO ACHIEVE FINAL RIM GRADE, RESULTING IN AN EXTRA FOR SAID ADJUSTMENTS, WILL BE CHARGED TO THE UNDERGROUND CONTRACTOR.

10. ALL FLOOR DRAINS AND FLOOR DRAIN SUMP PUMPS SHALL DISCHARGE INTO THE SANITARY SEWER.

11. ALL DOWNSPOUTS, FOOTING DRAINS AND SUBSURFACE STORM WATERS SHALL DISCHARGE INTO THE STORM SEWER OR ONTO THE GROUND AND BE DIRECTED TOWARDS A STORM SEWER STRUCTURE.

12. ANY ANTICIPATED COST OF SHEETING SHALL BE REFLECTED IN THE CONTRACT AMOUNTS. NO ADDITIONAL COST WILL BE ALLOWED FOR SHEETING OR BRACING.

13. THE CONTRACTOR SHALL INSTALL A 2"x4"x8' POST ADJACENT TO THE TERMINUS OF THE SANITARY SERVICE, WATERMAIN SERVICE, SANITARY MANHOLES, STORM STRUCTURES, AND WATER VAULTS. THE POST SHALL EXTEND A MINIMUM OF 4 FT. ABOVE THE GROUND. SAID POST SHALL BE PAINTED AS FOLLOWS: SANITARY-GREEN,

14. IT SHALL BE THE RESPONSIBILITY OF THE UNDERGROUND CONTRACTOR TO REMOVE FROM THE SITE ANY AND ALL MATERIALS AND DEBRIS WHICH RESULT FROM HIS CONSTRUCTION OPERATIONS AT NO ADDITIONAL EXPENSE TO

# EARTHWORK

1. ALL EARTHWORK OPERATIONS SHALL BE IN ACCORDANCE WITH SECTION 200 OF THE I.D.O.T. SPECIFICATIONS. 2. THE CONTRACTOR SHALL PROTECT ALL PROPERTY PINS AND SURVEY MONUMENTS AND SHALL RESTORE ANY WHICH ARE DISTURBED BY HIS OPERATIONS AT NO ADDITIONAL COST TO THE CONTRACT.

3. IT IS THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE ALL MATERIAL QUANTITIES AND APPRISE HIMSELF OF ALL SITE CONDITIONS. THE CONTRACT PRICE SUBMITTED BY THE CONTRACTOR SHALL BE CONSIDERED AS LUMP SUM FOR THE COMPLETE PROJECT. NO CLAIMS FOR EXTRA WORK WILL BE RECOGNIZED UNLESS ORDERED IN

4. PRIOR TO ONSET OF MASS GRADING OPERATIONS THE EARTHWORK CONTRACTOR SHALL FAMILIARIZE HIMSELF WITH THE SOIL EROSION CONTROL SPECIFICATIONS. THE INITIAL ESTABLISHMENT OF EROSION CONTROL PROCEDURES AND THE PLACEMENT OF SILT FENCING, ETC. TO PROTECT ADJACENT PROPERTY SHALL OCCUR BEFORE MASS GRADING BEGINS, AND IN ACCORDANCE WITH THE SOIL EROSION CONTROL CONSTRUCTION

5. THE GRADING OPERATIONS ARE TO BE CLOSELY SUPERVISED AND INSPECTED, PARTICULARLY DURING THE REMOVAL OF UNSUITABLE MATERIAL AND THE CONSTRUCTION OF EMBANKMENTS OR BUILDING PADS, BY THE SOILS ENGINEER OR HIS REPRESENTATIVE. ALL TESTING, INSPECTION AND SUPERVISION OF SOIL QUALITY, UNSUITABLE REMOVAL AND ITS REPLACEMENT AND OTHER SOILS RELATED OPERATIONS SHALL BE ENTIRELY THE

6. THE GRADING AND CONSTRUCTION OF THE SITE IMPROVEMENTS SHALL NOT CAUSE PONDING OF STORM WATER. ALL AREAS ADJACENT TO THESE IMPROVEMENTS SHALL BE GRADED TO ALLOW POSITIVE DRAINAGE.

7. THE PROPOSED GRADING ELEVATIONS SHOWN ON THE PLANS ARE FINISH GRADE. A MINIMUM OF SIX INCHES (6") OF TOPSOIL IS TO BE PLACED BEFORE FINISH GRADE ELEVATIONS ARE ACHIEVED.

8. THE SELECTED STRUCTURAL FILL MATERIAL SHALL BE PLACED IN LEVEL UNIFORM LAYERS SO THAT THE COMPACTED THICKNESS IS APPROXIMATELY SIX INCHES (6"); IF COMPACTION EQUIPMENT DEMONSTRATES THE ABILITY TO COMPACT A GREATER THICKNESS, THEN A GREATER THICKNESS MAY BE SPECIFIED. EACH LAYER

9. EMBANKMENT MATERIAL WITHIN ROADWAY, PARKING LOT, AND OTHER STRUCTURAL CLAY FILL AREAS SHALL BE COMPACTED TO A MINIMUM OF NINETY-FIVE PERCENT (95%) OF MAXIMUM DENSITY IN ACCORDANCE WITH ASTM SPECIFICATION D-1557 (MODIFIED PROCTOR METHOD), OR TO SUCH OTHER DENSITY AS MAY BE DETERMINED APPROPRIATE BY THE SOILS ENGINEER. EMBANKMENT MATERIAL FOR BUILDING PADS SHALL BE COMPACTED TO A MINIMUM OF NINETY-FIVE (95%) OF MAXIMUM DENSITY IN ACCORDANCE WITH ASTM DESIGNATION D-1557 (MODIFIED PROCTOR METHOD) OR TO SUCH OTHER DENSITY AS MAY BE DETERMINED

SHALL BE THOROUGHLY MIXED DURING SPREADING TO INSURE UNIFORMITY.

10. EMBANKMENT MATERIAL (RANDOM FILL) WITHIN NON-STRUCTURAL FILL AREAS SHALL BE COMPACTED TO A MINIMUM OF NINETY PERCENT (90%) OF MAXIMUM DENSITY IN ACCORDANCE WITH ASTM SPECIFICATION D-157

11. THE SUB GRADE FOR PROPOSED STREET AND PAVEMENT AREAS SHALL BE PROOF-ROLLED BY THE CONTRACTOR AND ANY UNSTABLE AREAS ENCOUNTERED SHALL BE REMOVED AND REPLACED AS DIRECTED BY

12. SOIL BORING REPORTS, IF AVAILABLE, ARE SOLELY FOR THE INFORMATION AND GUIDANCE OF THE CONTRACTORS. THE OWNER AND ENGINEER MAKE NO REPRESENTATION OR WARRANTY REGARDING THE INFORMATION CONTAINED IN THE BORING LOGS. THE CONTRACTOR SHALL MAKE HIS OWN INVESTIGATIONS AND SHALL PLAN HIS WORK ACCORDINGLY. ARRANGEMENTS TO ENTER THE PROPERTY DURING THE BIDDING PHASE MAY BE MADE UPON REQUEST OF THE OWNER. THERE WILL BE NO ADDITIONAL PAYMENT FOR EXPENSES INCURRED BY THE CONTRACTOR RESULTING FROM ADVERSE SOIL OR GROUND WATER CONDITIONS.

13. IT SHALL BE THE RESPONSIBILITY OF THE EXCAVATION CONTRACTOR TO REMOVE FROM THE SITE ANY AND ALL MATERIALS AND DEBRIS WHICH RESULT FROM HIS CONSTRUCTION OPERATIONS AT NO ADDITIONAL EXPENSE TO THE OWNER.

# PAVING & WALKS

(MODIFIED PROCTOR METHOD).

1. WORK UNDER THIS SECTION SHALL INCLUDE FINAL SUBGRADE SHAPING AND PREPARATION: FORMING, JOINTING, PLACEMENT OF ROADWAY AND PAVEMENT BASE COURSE MATERIALS AND SUBSEQUENT BINDER AND/OR SURFACE COURSES; PLACEMENT, FINISHING AND CURING OF CONCRETE; FINAL CLEAN-UP; AND ALL RELATED

2. ALL PAVING AND SIDEWALK WORK SHALL BE DONE IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS (I.D.O.T.) AND PER LOCAL REGULATIONS.

3. SUBGRADE FOR PROPOSED PAVEMENT SHALL BE FINISHED BY THE EXCAVATION CONTRACTOR TO WITHIN 0.1 FOOT, PLUS OR MINUS, OF THE PLAN ELEVATION. THE PAVING CONTRACTOR SHALL SATISFY HIMSELF THAT THE SUBGRADE HAS BEEN PROPERLY PREPARED AND THAT THE FINISH TOP SUBGRADE ELEVATION HAS BEEN GRADED WITHIN TOLERANCES ALLOWED IN THESE SPECIFICATIONS. UNLESS THE PAVING CONTRACTOR ADVISES THE OWNER AND ENGINEER IN WRITING PRIOR TO FINE GRADING FOR BASE COURSE CONSTRUCTION, IT IS UNDERSTOOD THAT HE HAS APPROVED AND ACCEPTS THE RESPONSIBILITY FOR THE SUBGRADE. PRIOR TO PLACEMENT OF PAVEMENT BASE MATERIALS, THE PAVING CONTRACTOR SHALL FINE GRADE THE SUBGRADE SO AS TO INSURE THE PROPER THICKNESS OF PAVEMENT COURSES. NO CLAIMS FOR EXCESS BASE MATERIALS DUE TO IMPROPER SUBGRADE PREPARATION WILL BE HONORED.

4. THE PROPOSED PAVEMENT SHALL CONSIST OF THE SUB-BASE COURSE, BITUMINOUS AGGREGATE BASE COURSE, BITUMINOUS BINDER COURSE, AND BITUMINOUS SURFACE COURSE, OF THE THICKNESS AND MATERIALS AS SPECIFIED ON THE CONSTRUCTION PLANS, PRIME COAT SHALL BE APPLIED TO THE SUB-BASE COURSE AT A RATE OF 0.5 GALLONS PER SQUARE YARD. UNLESS SHOWN AS A BID ITEM, PRIME COAT SHALL BE CONSIDERED AS INCIDENTAL TO THE COST OF THE CONTRACT. ALL PAVEMENT SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE "I.D.O.T. STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION," CURRENT EDITION.

5. AFTER THE INSTALLATION OF THE BASE COURSE, ALL TRAFFIC SHALL BE KEPT OFF THE BASE UNTIL THE BINDER COURSE IS LAID. AFTER INSTALLATION OF THE BINDER COURSE AND UPON INSPECTION AND APPROVAL BY GOVERNING AUTHORITY. THE PAVEMENT SHALL BE CLEANED, PRIMED AND THE SURFACE COURSE LAID. ALL DAMAGED AREAS IN THE BINDER, BASE OR CURB AND GUTTER SHALL BE REPAIRED TO THE SATISFACTION OF THE OWNER PRIOR TO LAYING THE SURFACE COURSE. THE PAVING CONTRACTOR SHALL PROVIDE WHATEVER EQUIPMENT AND MANPOWER IS NECESSARY, INCLUDING THE USE OF POWER BROOMS TO PREPARE THE PAVEMENT FOR APPLICATION OF THE SURFACE COURSE. EQUIPMENT AND MANPOWER TO CLEAN PAVEMENT SHALL BE CONSIDERED INCIDENTAL TO THE COST OF THE CONTRACT. PRIME COAT ON THE BINDER COARSE SHALL BE CONSIDERED AS INCIDENTAL TO THE COST OF THE CONTRACT AND SHALL BE APPLIED TO THE BINDER AT A RATE OF 0.5 GALLONS PER SQUARE YARD.

6. CURING AND PROTECTION OF ALL EXPOSED CONCRETE SURFACES SHALL BE IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS.

7. SIDEWALKS SHALL BE OF THE THICKNESS AND DIMENSIONS AS SHOWN IN THE CONSTRUCTION PLANS. ALL SIDEWALK CONCRETE SHALL DEVELOP A MINIMUM OF 3,500-PSI COMPRESSIVE STRENGTH AT 28 DAYS. CONTRACTION JOINTS SHALL BE SET AT 5' CENTERS, AND 3/4" PRE-MOLDED FIBER EXPANSION JOINTS SET AT 50' CENTERS AND WHERE THE SIDEWALK MEETS THE CURB, A BUILDING, OR ANOTHER SIDEWALK, OR AT THE END OF EACH POUR. ALL SIDEWALKS CONSTRUCTED OVER UTILITY TRENCHES SHALL BE REINFORCED WITH THREE NO. 5 REINFORCING BARS (10' MINIMUM LENGTH). ALL SIDEWALKS CROSSING DRIVEWAYS SHALL BE A MINIMUM OF 6" THICK AND REINFORCED WITH 6X6 #6 WELDED WIRE MESH. ALL SIDEWALKS SHALL BE BROOM FINISHED. IF A MANHOLE FRAME FALLS WITHIN THE LIMITS OF A SIDEWALK, A BOX-OUT SECTION SHALL BE PLACED AROUND THE MANHOLE FRAME WITH A 3/4" EXPANSION JOINT.

8. BACKFILLING ALONG PAVEMENT SHALL BE THE RESPONSIBILITY OF THE EARTHWORK CONTRACTOR. 9. IT SHALL BE THE RESPONSIBILITY OF THE PAVING CONTRACTOR TO REMOVE FROM THE SITE ANY AND ALL MATERIAL AND DEBRIS, WHICH RESULTS FROM HIS CONSTRUCTION OPERATIONS AT NO ADDITIONAL EXPENSE TO

10. TESTING OF THE SUB-BASE, BASE COURSE, BINDER COURSE, SURFACE COURSE AND CONCRETE WORK SHALL BE REQUIRED IN ACCORDANCE WITH THE "I.D.O.T. STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION" CURRENT EDITION, AND IN ACCORDANCE WITH THE SPECIFIC REQUIREMENTS OF THE GOVERNING MUNICIPALITY. A QUALIFIED TESTING FIRM SHALL BE EMPLOYED BY THE OWNER TO PERFORM THE REQUIRED

11. PAINTED PAVEMENT MARKINGS AND SYMBOLS SHALL BE INSTALLED IN ACCORDANCE WITH SECTION 1095 OF IDOT STANDARD SPECIFICATIONS, OR THE TYPE AND COLOR AS NOTED ON THE CONSTRUCTION PLANS.

12. PAINTED PAVEMENT MARKINGS AND SYMBOLS SHALL BE INSTALLED ONLY WHEN THE AMBIENT AIR TEMPERATURE IS 40 DEGREES FAHRENHEIT AND THE FORECAST CALL FOR RISING TEMPERATURES.

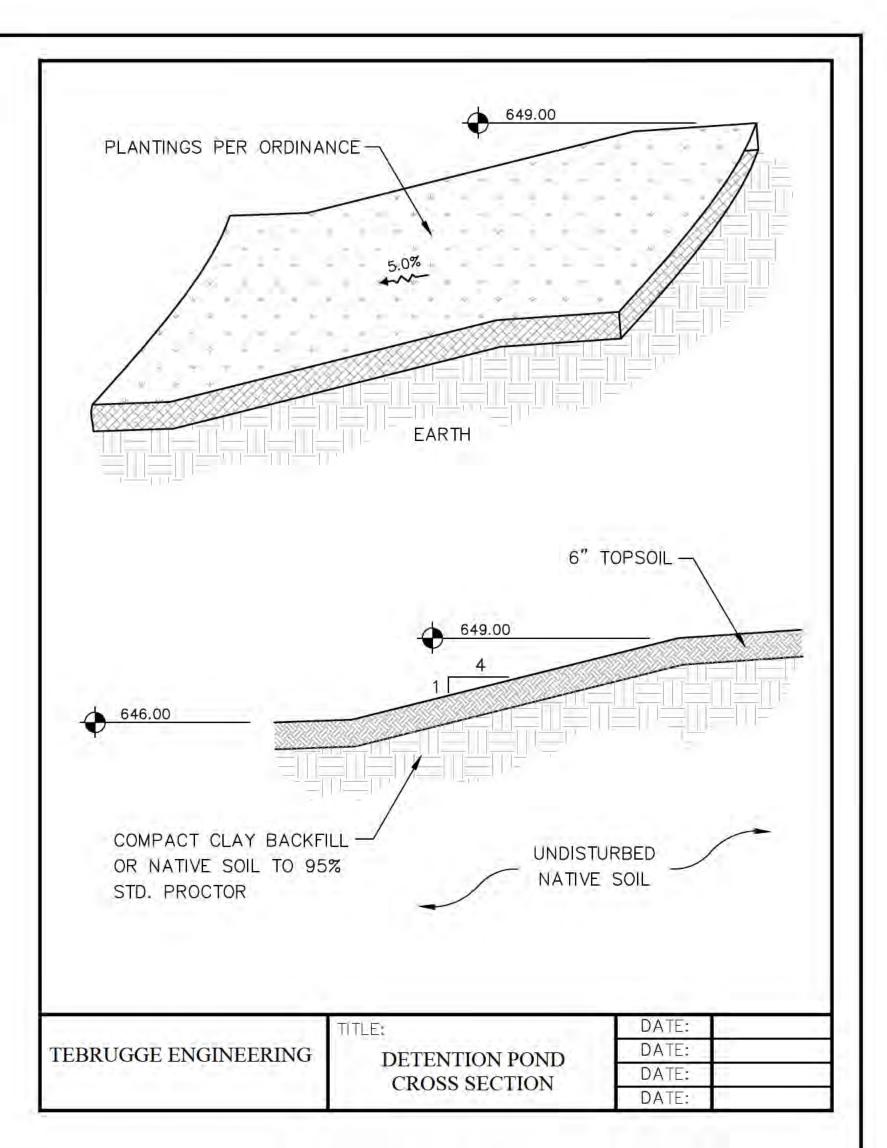
13. ALL EXISTING CURB AND PAVEMENT SHALL BE PROTECT DURING CONSTRUCTION. ANY DAMAGE TO THE

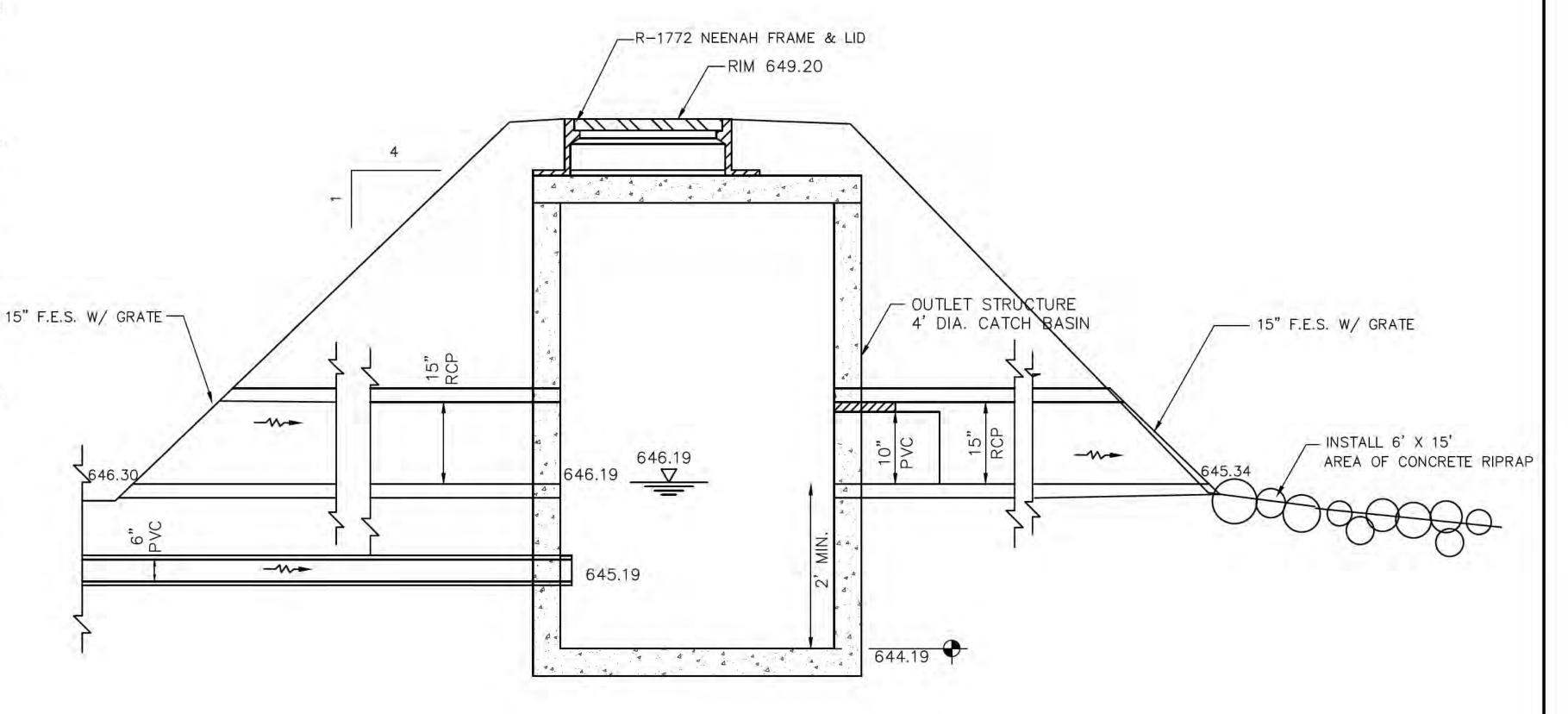
CURB OR PAVEMENT WILL BE REPAIRED OR REPLACED AT NO ADDITIONAL COST TO THE OWNER. 14. ANY SIDEWALK THAT IS DAMAGED OR NOT ADA COMPLIANT, INCLUDING SIDEWALK RAMPS, MUST BE

REPLACED PRIOR TO FINAL INSPECTION APPROVAL.

-FUTURE PAVEMENT AS SHOWN ON SITE GRADING PLAN -GRANULAR BACKFILL (CA-6 OR CA-7) UNDER THE PAVEMENT AND 3' MIN. OUTSIDE EDGE OF PAVEMENT. TRENCH WIDTH (SEE TABLE) -STORM SEWER PIPE (CONCRETE) 6 3'-2" 8 3'-2" 12 3'-4" 15 3'-6" - GRANULAR CRADLE 18 3'-10" CA-6 OR CA-7 21 4'-4" ALL PAVED AREAS 24 4'-8" 27 4'-11" -MOUND SLIGHTLY (TO BE 30 5'-3" FERTILIZED AND SEEDED) 36 6'-4" 42 6'-11" -BACKFILL WITH ORIGINALLY 48 7'-6" EXCAVATED MATERIAL 54 8'-7" 60 9'-2" TRENCH WIDTH 66 9'-9" (SEE TABLE) - STORM SEWER 72 10'-4" PIPE (CONCRETE) 78 10'-11" 84 11'-6" 90 12'-1" 96 12'-8" - GRANULAR CRADLE CA-6 OR CA-7 102 13'-3" 108 13'-10" NON-PAVED AREAS

TRENCH DETAILS - STORM SEWER





OUTFALL STRUCTURE WITH PVC RESTRICTOR

ALL DISTURBED AREAS SHALL BE SEEDED WITH IDOT CLASS 1A SEEDMIX

RESPECTIVE UNDERGROUND UTILITY.

TEBRUGGE ENGINEERING

ENDALL COUNTY REVIEW LETTER 2.22.24 ENDALL COUNTY PARKING MODIFICATIONS 3.21.2

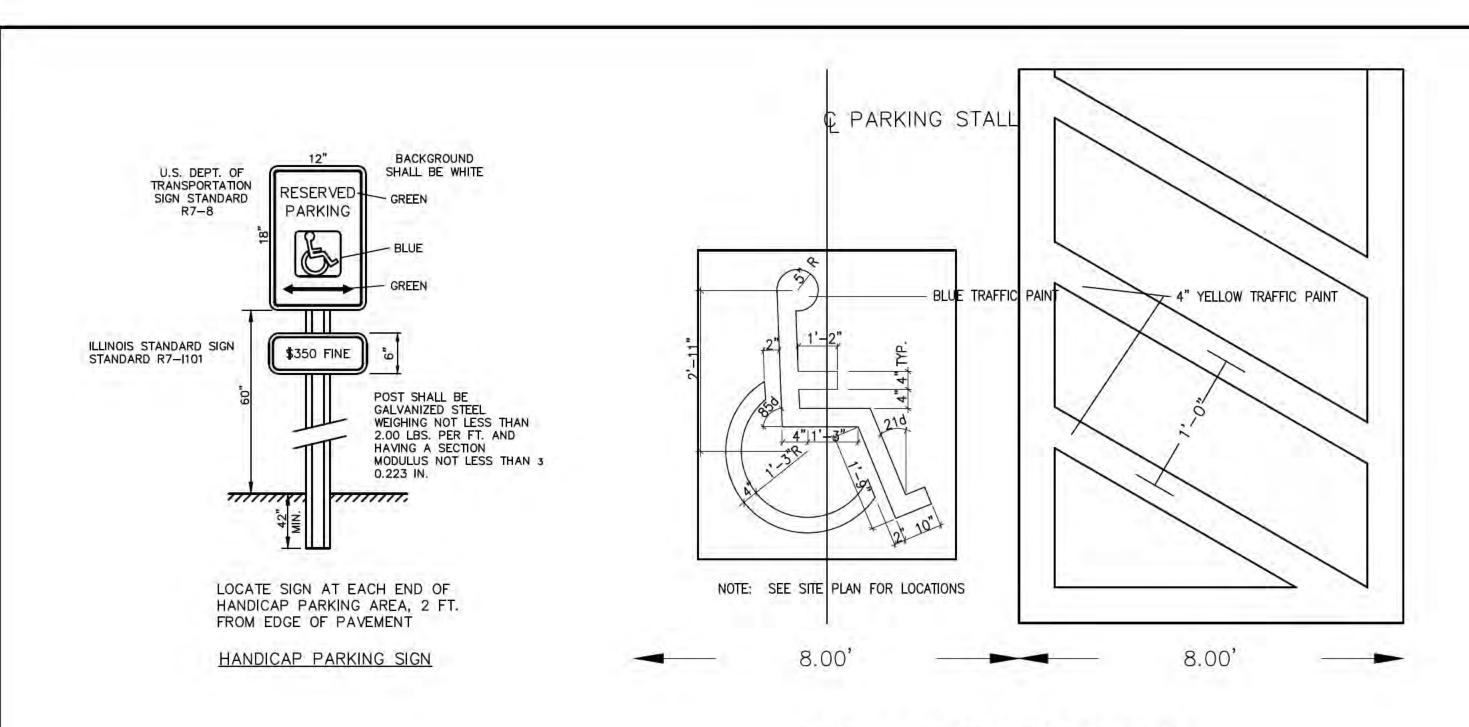
PREPARED FOR: FOX VALLEY FAMILY YMCA, INC

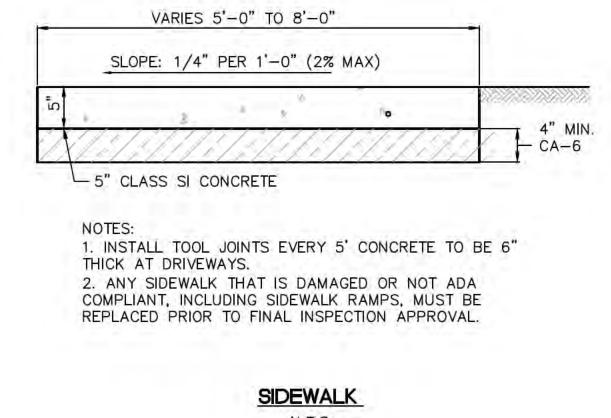
YMCA EAST SITE PLAN **GENERAL NOTES & DETAILS** 

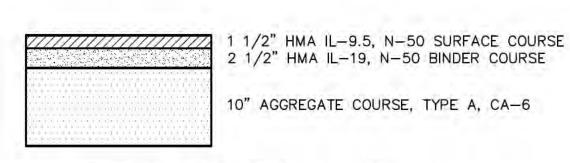
SHEET NO. PROJECT NO. 23 555 01 JAN 22, 2024 OF 12 SHEETS

410 E. CHURCH STREET - SUITE A • SANDWICH, IL 60548 PHONE: (815) 786-0195 TEBRUGGEENGINEERING.COM

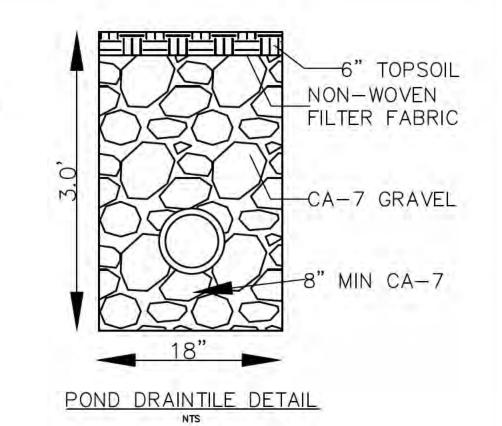
3875 ELDAMAIN RD, PLANO, IL







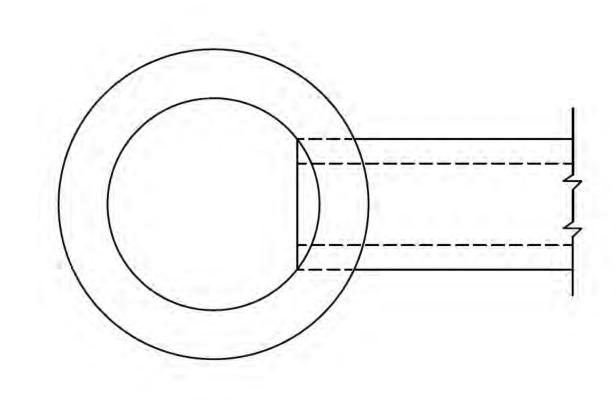
TYPICAL PAVEMENT DETAIL



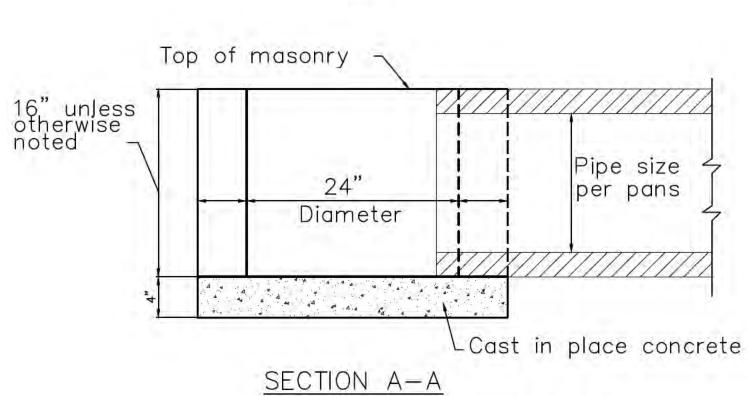
N.T.S.

# HANDICAPPED PARKING DETAIL

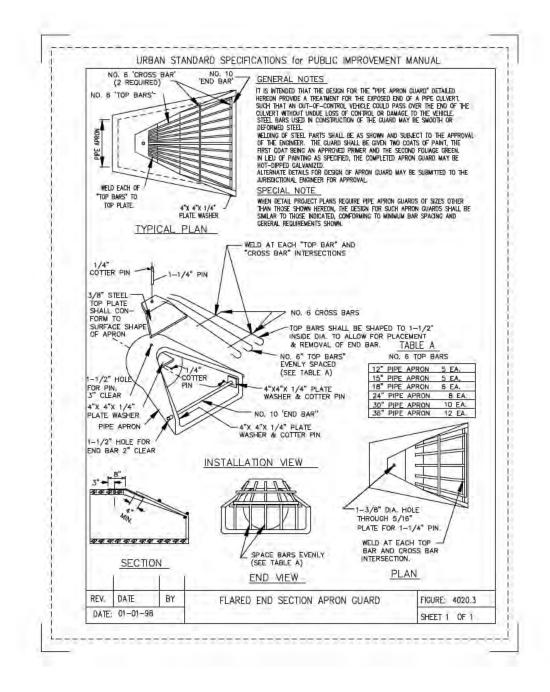
N.T.S.



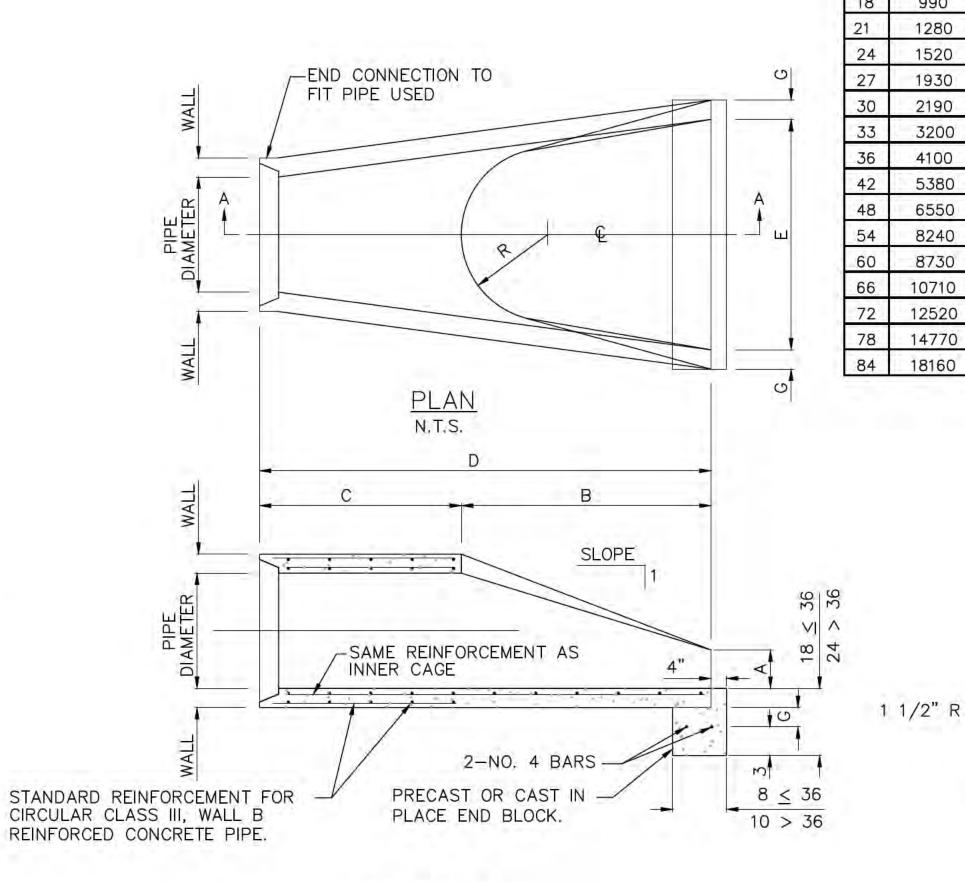
PLAN



TYPE A INLET N.T.S.



# PRECAST REINFORCED CONCRETE FLARED **END SECTION**



SECTION A-A

N.T.S.

DIA.	QTY. LBS.	WALL	Α	В	С	D	E	G	R	SLOPE
12	530	2	4	24	4'-0 7/8"	6'-0 7/8"	24	2	9	1: 2.4
15	740	2 1/4	6	27	3'-10"	6'-1"	30	2 1/4	11	1: 2.4
18	990	2 1/2	9	27	3'-10"	6'-1"	36	2 1/2	12	1: 2.4
21	1280	2 3/4	9	35	38	6'-1"	3'-6"	2 3/4	13	1: 2.4
24	1520	3	9 1/2	3'-7 1/2"	30	6'-1 1/2"	4'-0"	3	14	1: 2.5
27	1930	3 1/4	10 1/2	4'-0"	25 1/2	6'-1 1/2"	4'-6"	3 1/4	14 1/2	1: 2.4
30	2190	3 1/2	12	4'-6"	19 3/4	6'-1 3/4"	5'-0"	3 1/2	15	1: 2.5
33	3200	3 3/4	13 1/2	4'-10 1/2"	39 1/4	8'-1 3/4"	5'-6"	3 3/4	17 1/2	1: 2.5
36	4100	4	15	5'-3'	34 3/4	8'-1 3/4"	6'-0"	4	20	1: 2.5
42	5380	4 1/2	21	5'-3"	35	8'-2"	6'-6"	4 1/2	22	1: 2.5
48	6550	5	24	6'-0"	26	8'-2"	7'-0"	5	22	1: 2.5
54	8240	5 1/2	27	5'-5'	35	8'-4"	7'-6"	5 1/2	24	1: 2.0
60	8730	6	35	5'-0"	39	8'-3"	8'-0"	5	*	1:1.9
66	10710	6 1/2	30	6'-0"	27	8'-3"	8'-6"	5 1/2	*	1:1.7
72	12520	7	36	6'-6"	21	8'-3"	9'-0"	6	*	1:1.8
78	14770	7 1/2	36	7'-6"	21	9'-3"	9'-6'	6 1/2	*	1:1.8
84	18160	8	36	7'-61/2"	21	9'-3 1/2"	10'-0"	6 1/2	*	1:1.6

\* RADIUS AS FURNISHED BY MANUFACTURER

# GENERAL NOTES

ALL SLOPE RATIOS ARE EXPRESSED AS UNITS OF VERTICAL DISPLACEMENT TO UNITS OF HORIZONTAL DISPLACEMENT (V: H).

ALL DIMENSIONS ARE IN INCHES UNLESS OTHERWISE SHOWN.

**END VIEW** N.T.S.

OPTIONAL 24 BAR-DIA. MIN. SPLICE

	TEBRUGGE	ENGINEERING
	410 E. CHURCH STREET	- SUITE A • SANDWICH, IL 60548
A	PHONE: (815) 786-0195	TEBRUGGEENGINEERING.COM

NO.	DATE	NOTES
11	3.20.24	KENDALL COUNTY REVIEW LETTER 2.22.24
2	3.22.24	KENDALL COUNTY PARKING MODIFICATIONS 3.21.24

PREPARED FOR:
FOX VALLEY FAMILY YMCA, INC
3875 ELDAMAIN RD, PLANO, IL

YMCA EAST SITE PLAN	
<b>GENERAL NOTES &amp; DETAILS II</b>	

OJECT NO	. 23 555 01	SHEET NO.
ALE:	NTS	12
ATE:	JAN 22, 2024	OF 12 SHEETS





February 22, 2024

Mr. Matt Asselmeier Kendall County Planning, Building, & Zoning 111 West Fox Street Yorkville, IL 60560-1498

Subject:

Fox Valley Family YMCA (Cannonball and Galena))- WBK Project 19-102.BV

Dear Mr. Asselmeier:

We have received and reviewed the following information for the subject project:

- Stormwater Management Detention Design Computations prepared by Tebrugge Engineering dated December 11, 2023 and received February 5, 2024.
- Engineering Plans for YMCA East Site Plan prepared by Tebrugge Engineering dated January 24, 2024 and received February 5, 2024.
- Tributary Exhibit prepared by Tebrugge Engineering dated October 20, 2023 and received February 5, 2024.

The following comments require resolution prior to plan approval and our recommendation for issuance of a stormwater permit.

# **Stormwater Report**

- 1. Provide documentation on floodplain and wetlands.
- 2. Provide an evaluation of existing conditions.
  - a. Identify all existing site outfalls.
  - b. Identify off-site areas draining on to the site.
  - c. Provide a field tile survey.
  - d. Document existing depressional storage on the site.
  - e. Determine 2 year and 100 year event flows at all existing outfalls utilizing Hydraflow.
- 3. Provide a stormwater management report including a Comparison of 2 year and 100 year event flows at all existing outfalls for existing and proposed conditions.
- 4. Provide storm sewer and inlet capacity calculations.
- 5. The Curve number for impervious areas shall be 98. Verify the Curve number for pervious areas considering hydrologic soil groups.

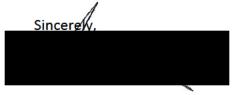
# **Engineering Plans**

1. Reference is made or improvements and plans by Kendall County. Please provide the basis for the information depicted. For example, if you received hard copies please scan

and append as reference materials. If you received CAD or digital files please submit those as well.

- 2. Number all utility structures and end sections.
- 3. Sheet 3 Grade changes are proposed over an existing 16" water main. Verify with the utility owner these changes are acceptable. We take no exception however, request owner verification.
- 4. Sheet 3 Provide a temporary perforated riser on the stormwater basin outfall.
- 5. Sheet 5 Full build out of the site appears to warrant consideration of a second access point. This is only a recommendation and we defer to the emergency response agencies for review and comment.
- 6. Sheet 6 & 7 Provide information on the sanitary sewer pump station and leach field. Although this will be reviewed and approved by the health department, we are seeking verification of locations and sizes.
- 7. Sheet 10 Revise grading so the emergency overflow from the single inlet in the parking lot will be routed to the detention basin and not west away from the detention basin.
- Sheet 11 Verify all areas to be seeded with IDOT Class 1A seed including the stormwater basin. If low maintenance seed mixes are proposed for the stormwater basin please identify those mixes.

The applicant's design professionals are responsible for performing and checking all design computations, dimensions, details, and specifications in accordance with all applicable codes and regulations, and obtaining all permits necessary to complete this work. In no way does this review relieve applicant's design professionals of their duties to comply with the law and any applicable codes and regulations, nor does it relieve the Contractors in any way from their sole responsibility for the quality and workmanship of the work and for strict compliance with the permitted plans and specifications. If you have any questions or comments, please contact us at (630) 443-7755.



WBK Engineering, LLC

# ZONING, PLATTING & ADVISORY COMMITTEE (ZPAC) April 2, 2024 – Unapproved Meeting Minutes

PBZ Chairman Seth Wormley called the meeting to order at 9:00 a.m.

#### Present:

Meagan Briganti – GIS Department David Guritz – Forest Preserve Brian Holdiman – PBZ Department Fran Klaas – Highway Department Commander Jason Langston – Sheriff's Department Alyse Olson – Soil and Water Conservation District Seth Wormley – PBZ Committee Chair

#### Absent:

Matt Asselmeier – PBZ Department Greg Chismark – WBK Engineering, LLC Aaron Rybski – Health Department

#### Audience:

Larry Nelson, Dan Kramer (Attended Remotely), Christina Burns, and Nancy Villa

#### **PETITIONS**

# Petition 24-04 Larry Nelson on Behalf of the Fox Valley Family YMCA, Inc.

Chairman Wormley introduced Petitioner Larry Nelson.

Mr. Nelson explained the current and historic operations of the existing YMCA on Eldamain Road, which is twenty-four acres (24). The proposed site is approximately twenty-six (26) acres. This proposal is an expansion of the existing YMCA operations at other facilities. The proposal consists of three (3) Phases. Stormwater infrastructure and septic system infrastructure was designed for all of the phases. Stormwater will sheet flow to the ponds. He discussed the farmed wetland; they were waiting for a letter from the Corps of Engineers stating the wetland was insignificant. ZPAC approval would be contingent on the letter from the Corps of Engineers. There are two hundred sixteen (216) parking spaces at the current facility on Eldamain Road; they are requesting fifty (50) parking spaces initially at the site. The site will graded for all parking spaces; the overflow parking will be grass.

Chairman Wormley was OK with fifty (50) parking spaces initially. Parking spaces will be added based on donations. Amenities will be added overtime. The project is a Ten (10) Million Dollar project. The parking area would be gravel and not stripped.

Mr. Klaas noted the proximity of water. He asked if municipal sewer was planned for the site. Mr. Nelson said that he was unconcerned about public sewer servicing the site. The current YMCA is served by septic.

There is three-phase electricity around the property, but not presently onsite.

Mr. Guritz made a motion, seconded by Mr. Klaas, to approve the site plan with parking ranging from fifty (50) spaces originally to one hundred fifty-five (155). Handicapped spaces will be hard surfaced and meet federal requirements.

The votes were follows:

Ayes (7): Briganti, Guritz, Holdiman, Klaas, Langston, Olson, and Wormley

Nays (0): None Abstain (0): None

Absent (3): Asselmeier, Chismark, and Rybski

The motion passed.

The proposal goes to the Kendall County Regional Planning Commission on April 24, 2024.

#### PUBLIC COMMENT

None

ZPAC Meeting Minutes 04.02.24

# Attachment 5, Page 2

# **ADJOURNMENT**

Mr. Guritz made a motion, seconded by Commander Langston, to adjourn.

With a voice vote of seven (7) ayes, the motion carried.

The ZPAC, at 9:35 a.m., adjourned.

Respectfully Submitted, Matthew H. Asselmeier, AICP, CFM Director

# Attachment 6, Page 1 KENDALL COUNTY REGIONAL PLANNING COMMISSION

# Kendall County Office Building Rooms 209 and 210 111 W. Fox Street, Yorkville, Illinois

# Unapproved - Meeting Minutes of April 24, 2024 - 7:00 p.m.

Chairman Bill Ashton called the meeting to order at 7:00 p.m.

#### **ROLL CALL**

Members Present: Bill Ashton, Eric Bernacki, Dave Hamman, Karin McCarthy-Lange, Larry Nelson, Ruben

Rodriguez, Claire Wilson, and Seth Wormley Members Absent: Tom Casey and Bob Stewart

Staff Present: Matthew H. Asselmeier, Director, and Wanda A. Rolf, Office Assistant

Others Present: Kelly Helland, Steve Graves, and Steve Grebner

## APPROVAL OF AGENDA

Member Wilson made a motion, seconded by Member McCarthy-Lange, to approve the agenda. With a voice vote of eight (8) ayes, the motion carried.

## APPROVAL OF MINUTES

Member Wilson made a motion, seconded by Member Hamman, to approve the minutes of the February 28, 2024, meeting. With a voice vote of eight (8) ayes, the motion carried.

Member Nelson was excused at this time (7:01 p.m.).

#### **PETITIONS**

# Petition 24-04 Larry Nelson on Behalf of the Fox Valley Family YMCA, Inc.

Mr. Asselmeier summarized the issue.

The Petitioner would like to construct one (1) fifty-nine thousand, two hundred thirty-three (59,233) square foot YMCA building on the subject property as part of Phase I of the project with related parking. Phase II consists of an eighty-nine thousand nine hundred thirty-six (89,936) square foot swimming pool and daycare addition with related parking.

The proposed use is a permitted use in the B-4 zoning district. However, the Petitioner would like a reduction in the screening requirements and a determination in the number of parking spaces is required.

Section 13:10 of the Zoning Ordinance requires site plan review for structures on properties zoned B-4.

The property was de-annexed from Yorkville and zoned B-4 by court order in 2020.

The application materials, revised site plan, and picture of the proposed structure were provided.

The Petitioner indicated that fencing would be installed in the future, but more specific information regarding landscaping was not provided.

Section 11:02.F.8. outlines landscaping requirements; these requirements can be reduced upon approval of the Regional Planning Commission. The landscaping requirements are as follows:

"On each side adjacent to any property situated in a residential district, business district, manufacturing district, or agricultural zoned property with a special use permit unless otherwise approved as part of the special use permit, a wall, fence, or densely planted compact hedge no less than three (3) feet in height across 100% of the length of the parking area is required. However, if the property owner can provide clear evidence indicating that less screening is required, the Regional Planning Commission may approve a reduction in the requirements of this section. Such decisions may be appealed to the Planning Building and Zoning Committee."

On each side across a public right-of-way from any property situated in a residential district, business district, manufacturing district, or agricultural zoned property with a special use permit unless otherwise approved as part of the special use permit, the landscaping shall consist of one of the following options:

- i. A berm that is at least two (2) feet higher than the finished elevation of the parking lot (at the nearest point) and a minimum of one (1) tree and ten (10) shrubs for every thirty feet of frontage shall be provided. Shrubs shall be placed on the property such that parking or vehicular uses are screened from view as seen from the street or neighboring properties. Perennials and groundcovers are encouraged to compliment the site design. All berms shall maintain a ten (10) foot setback from the edge of the existing or future R.O.W. whichever is greater.
- ii. A minimum two foot (2') grade drop from the right-of-way line to the parking lot and a minimum one (1) tree and 10 shrubs 11-6 for every thirty (30) feet of frontage shall be provided. Shrubs shall be placed on the property such that a parking or vehicular areas are screened from view as seen by the street or neighboring properties. Perennials and groundcovers are encouraged to compliment the site design.
- iii. A wall, fence or natural vegetative screening no less than three feet (3') in height along the length of the parking area."

Section 11:04 of the Zoning Ordinance states that the number of parking spaces for community centers shall be determined by the Regional Planning Commission and approved by the County Board.

The site plan shows one hundred fifty-five (155) parking spaces, including eight (8) handicapped accessible spaces in the first phase. An additional one hundred twenty-eight (128) parking spaces are proposed in the second phase.

At their meeting on April 2, 2024, ZPAC approved the proposed site plan and set the number of parking spaces initially at fifty (50). The parking spaces would be gravel except for the required handicapped accessible parking spaces. The minutes of the meeting were provided.

For reference, there are two hundred sixteen (216) parking spaces at the existing YMCA facility on Eldamain Road.

Petition information was sent to Bristol Township on March 20, 2024.

Petition information was sent to the United City of Yorkville on March 20, 2024. They will be reviewing the proposal at their May meetings.

Petition information was sent to the Bristol-Kendall Protection District on March 20, 2024.

ZPAC reviewed the proposal at their meeting on April 2, 2024. ZPAC approved the site plan contingent on Corps of Engineers' determination of the farmed wetland on the property and setting the number of parking

# Attachment 6, Page 3

spaces initially at fifty (50) by a vote of seven (7) in favor and zero (0) in opposition, with three (3) members absent. The minutes of the meeting were provided.

The site plan evaluation criteria were provided.

Staff would like to receive comments from the Regional Planning Commission regarding buffering and parking before issuing a recommendation.

Larry Nelson, Petitioner, stated the YMCA purchased twenty-six acres (26) of land. The land is currently zoned B-4 which is the same as the YMCA on Eldamain in Plano. The first phase will be the parking lot and the landscaping. He discussed the rendering included in the packet; the landscaping and brick will not be installed in the beginning. Improvements will occur as donations occur. During the process of building the first YMCA the funds came from donations. The location of the new YMCA will be at the corner of Cannonball and Galena in Bristol. Dickson Road will be moved and will come in on the north side of Galena. This will be a major intersection. It was noted that the YMCA is a non-profit organization. The stormwater infrastructure was designed for project completion.

Member Wilson asked about the number of parking spaces. Mr. Nelson stated that initially the number of parking spaces will be fifty (50) and that was approved by ZPAC. The future parking lots will be graded and in grass, in the beginning.

Member Wilson asked if the new facility will replace the facility on Eldamain Road. Mr. Nelson stated that it will not replace the replace the facility on Eldamain Road. The current facility is overflowing and, instead of building onto the current facility, the Petitioner wanted to cover a wider geographical area. He stated it would be beneficial to build a new facility which will ease some of the overcrowding at the Plano location. Mr. Nelson also stated that there is a YMCA in Sandwich. The Sandwich location took about twenty percent (20%) of the membership from the Plano YMCA. Once the Bristol facility is built, it will also ease up on the overcrowding at the Plano location.

Member Rodriguez asked about initial landscaping. Mr. Nelson responded that grass will be planted around the building. The location of the future parking lots will also be planted in grass and used for overflow parking, initially.

Member Rodriguez asked how many parking spaces were at the facility in Plano. Mr. Nelson stated there were two hundred sixteen (216) spaces but initially had fifty (50). The first fifty (50) parking spaces would be gravel.

Member Wilson asked if this was a permanent waiver of landscaping. Mr. Nelson explained it was not and that it took two to three (2-3) years and it came in phases. The landscaping is donation based.

Member Bernacki made a motion, seconded by Member Hamman, to recommend parking at fifty (50) spaces originally and the total number of parking spaces of two hundred eighty-three (283) and delaying the installation of the landscaping requirement at subject property.

The votes were as follows:

Ayes (7): Ashton, Bernacki, Hamman, McCarthy-Lange, Rodriguez, Wilson, and Wormley

Nays (0): None

Absent (2): Casey and Stewart

Abstain (1): Nelson

KCRPC Meeting Minutes 4.24.24

Page 3 of 4

The landscaping is approved.

The parking portion of the proposal goes to the Kendall County Planning, Building and Zoning Committee on May 6, 2024.

Member Nelson returned at this time (7:19 p.m.).

# CITIZENS TO BE HEARD/PUBLIC COMMENT

None

## OTHER BUSINESS/ANNOUNCEMENTS

Mr. Asselmeier reported that the following items will be on the May agenda, Seward Township is requesting an amendment to the special use for their Township Building because they want to construct an addition, a landscaping business is proposed at 2142 Wooley Road, someone wants to rezone the property next to TZ Landscaping on Route 52 in order have a contractor's office, a solar farm is proposed on Simons Road, and Seward Township is proposing changes to their Future Land Use Map.

# **ADJOURNMENT**

Member Nelson made a motion, seconded by Member Hamman to adjourn. With a voice vote of eight (8) ayes, the motion carried.

The Kendall County Regional Planning Commission meeting adjourned at 7:58 p.m.

Respectfully submitted by, Wanda A. Rolf, Administrative Assistant



# PLANNING, BUILDING & ZONING DEPARTMENT

111 WEST FOX STREET - ROOM 203 YORKVILLE, ILLINOIS 60560-1498 630/553-4141 • FAX 630/553-4179

www.kendallcountyil.gov

May 21, 2024

Larry Nelson Fox Valley Family YMCA, Inc. 16524 Frazier Road Plano, IL 60545

RE: Site Plan Approval for New YMCA Facility

1520 Cannonball Trail, Bristol, Bristol Township (PIN #s 02-10-300-019 and 02-10-300-020)

# Dear Larry Nelson:

At their meeting on April 4, 2024, the Kendall County ZPAC approved the site plan at the above referenced property for the construction of new YMCA facility and related infrastructure. At their meeting on April 24, 2024, the Kendall County Regional Planning Commission approved a landscaping waiver. At their meeting on May 21, 2024, the Kendall County Board approved the number of parking spaces at the property.

This approval is conditional on the following:

- 1. The site shall be developed substantially in accordance with the attached site plan (Exhibit A) and rendering (Exhibit B), contingent on Corps of Engineers' determination of the farmed wetland on the property.
- 2. Grass shall be planted around the building and the future parking area shall be planted in grass, initially. Landscaping shown on the rendering shall be installed as donations and funding allow.
- 3. The initial number of parking spaces shall be fifty (50). The total number of parking spaces shall be two hundred eight-three (283) as shown on the site plan. Except for the first fifty (50) parking spaces, parking shall be installed as donations and funding allow.
- 4. The site shall be developed in accordance with all applicable federal, state, and local laws related to site development.

Should you have any questions or concerns about this matter, please feel free to me at (630) 553-4139 or masselmeier@kendallcountyil.gov.

Kind Regards,

Matthew H. Asselmeier, AICP, CFM Director

# ENGINEERING PLANS **FOR**

# YMCA EAST SITE PLAN

SECTION 10, TOWNSHIP 37 NORTH, RANGE 7 EAST

1520 N CANNONBALL TRAIL BRISTOL, IL 60512 KENDALL COUNTY P.I.N. 02-10-300-019 & 02-10-300-020 PROJECT MARCH, 2024



Contractor and or sub-contractors shall verify locations of all underground utilities prior to digging. Contact J.U.L.I.E. (Joint Utility Locating for Excavators) at 1-800-892-0123 or dial 811.

EVIDENCE SURVEYOR UTILITIES IN SERVIC WARRANT INDICATED POSSIBLE PHYSICALI	TES SHOWN HAVE AND EXISTING DE AND EXISTING DE AND THE SURVEYOR ABANDONE! THAT THE UTILITE, ALTHOUGH THE FROM AVAILABLE Y LOCATED VISIE Y LOCATED THE	RAWINGS, MARES NO E ALL SUCH D. THE SURVITES SHOWN Y ARE LOCA INFORMATION	APS AND REGULARANTEE UTILITIES IN VEYOR FURTH ARE IN THE ATED AS ACCON. THE SURJEES; HOWEN	CORDS SUPPLIES THAT THE THE AREA, EITHER DOES NOT EXACT LOCATION CURATELY AS EVEYOR HAS	THEF
	ΓOPOGRA	APHY S	STATE	MENT	

NGINEER OF ANY DISCREPANCIES PRIOR TO STARTING CONSTRUCTION





- COVER SHEET
- 2. EXISTING CONDITIONS & DEMOLITION PLAN
- STORMWATER POLLUTION & PREVENTION PLAN 1
- 4. STORMWATER POLLUTION & PREVENTION PLAN 2

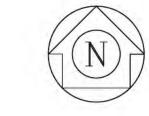
PROFESSIONAL ENGINEER'S CERTIFICATION

EXCLUSIVE USE OF THE CLIENT NOTED HEREON.

GIVEN UNDER MY HAND & SEAL THIS 22ND DAY OF MARCH, 2024.

STATE OF ILLINOIS, COUNTY OF KENDALL

- CIVIL SITE PLAN OVERALL
- 6. CIVIL SITE PLAN NORTH
- 7. CIVIL SITE PLAN SOUTH
- GRADING PLAN OVERALL 9. GRADING PLAN - NORTH
- 10. GRADING PLAN SOUTH
- 11. GENERAL NOTES & DETAILS
- 12. GENERAL NOTES & DETAILS II



Bristol Grade School

Bristol Township

# **BENCHMARKS:**

**LOCATION MAP** 

Trail, Bristol, IL 60512

SOURCE BENCHMARK: UNITED CITY OF YORKVILLE SURVEY CONTROL MONUMENT 1 - BERNTSEN MONUMENT CONSISTING OF A 3/4" DIAMETER ALUMINUM ROD WITH A 2-1/2" DOMED ALUMINUM CAP STAMPED "UNITED CITY OF YORKVILLE" AND ENCASED IN A PVC PIPE WITH AN ACCESS COVER STAMPED "UNITED CITY OF YORKVILLE", LOCATED NEAR THE FIRE STATION IN THE NORTHEAST CORNER OF THE INTERSECTION OF GALENA ROAD AND ROSENWINKEL STREET, 21.7 FT EAST OF A CORNER OF A CURB, 16.0 FT EAST OF A LIGHT POLE, AND 72.0 FT SOUTHWEST OF A CORNER OF A CURB.

# SITE BENCHMARK 1:

ELEVATION: 661.32 (NAVD 88)

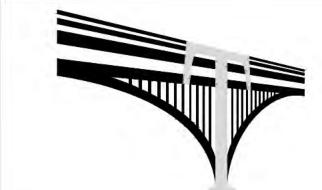
NORTHWESTERLY ARROW TOP FLANGE BOLT ON FIRE HYDRANT NEAR THE NORTHEASTERLY CORNER OF THE SUBJECT SITE, APPROXIMATELY 900 FT EAST OF THE INTERSECTION OF GALENA ROAD AND CANNONBALL TRAIL, 49.0 FT SOUTH OF THE EDGE OF PAVEMENT OF GALENA ROAD, AND 11 FT NORTHWEST OF A WATER VALVE VAULT. ELEVATION: 652.38 (NAVD 88)

# SITE BENCHMARK 2:

NORTHEASTERLY ARROW TOP FLANGE BOLT ON FIRE HYDRANT IN THE SOUTHWESTERLY CORNER OF THE INTERSECTION OF GALENA ROAD AND CANNONBALL TRAIL, NEAR THE NORTHWESTERLY CORNER OF THE SUBJECT SITE, APPROXIMATELY 60.0 FT WEST OF THE EDGE OF PAVEMENT OF CANNONBALL TRAIL AND 17.5 FT NORTHWEST OF A WATER VALVE VAULT. ELEVATION: 655.32 (NAVD 88)

# PLANS PREPARED FOR:

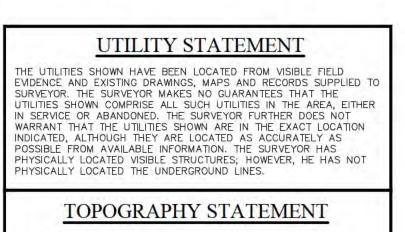
FOX VALLEY FAMILY YMCA, INC. 3875 ELDAMAIN RD PLANO, IL 60545 PHONE: (630) 552-4100 EMAIL: SWAYNE@FOXVALLEYYMCA.ORG



# **CIVIL ENGINEER:**

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INFO@TEBRUGGEENGINEERING.COM WWW.TEBRUGGEENGINEERING.COM



PROFESSIONAL ENGINEER \*

I JOHN J. TEBRUGGE, A LICENSED PROFESSIONAL ENGINEER OF ILLINOIS, HEREBY CERTIFY THAT THESE PLANS HAVE BEEN

PREPARED UNDER MY PERSONAL DIRECTION BASED ON AVAILABLE DOCUMENTS AND FIELD MEASUREMENTS FOR THE

ILLINOIS REGISTERED PROFESSIONAL ENGINEER EXPIRES NOV. 30, 2025

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KENDALL COUNTY REVIEW LETTER 2.22.24

R.O.W. MONUMENT

PROPERTY PIN

CHISELED MARK

BENCHMARK

HUB & TACK

SOIL BORING

OVERLAND RELIEF

→ FLOW DIRECTION

P.K. NAIL

**LEGEND** 

EXISTING SANITARY SEWER LINE

PROPOSED SILT FENCE

EXISTING SPOT SHOT

PROPOSED SPOT GRADE

B-BOX

HYDRANT

VALVE VAULT

INLET-CURB

CLEANOUT

MANHOLE

GRAVEL

**ASPHALT** 

CONCRETE

□ UTIL CABINET

UTIL PEDESTAL

TRAFFIC SIGNAL

ELECTRIC VAULT

LIGHT POLE

GAS VALVE

VO✓ UTILITY POLE

INLET OR MANHOLE

FLARED END SECTION

VALVE

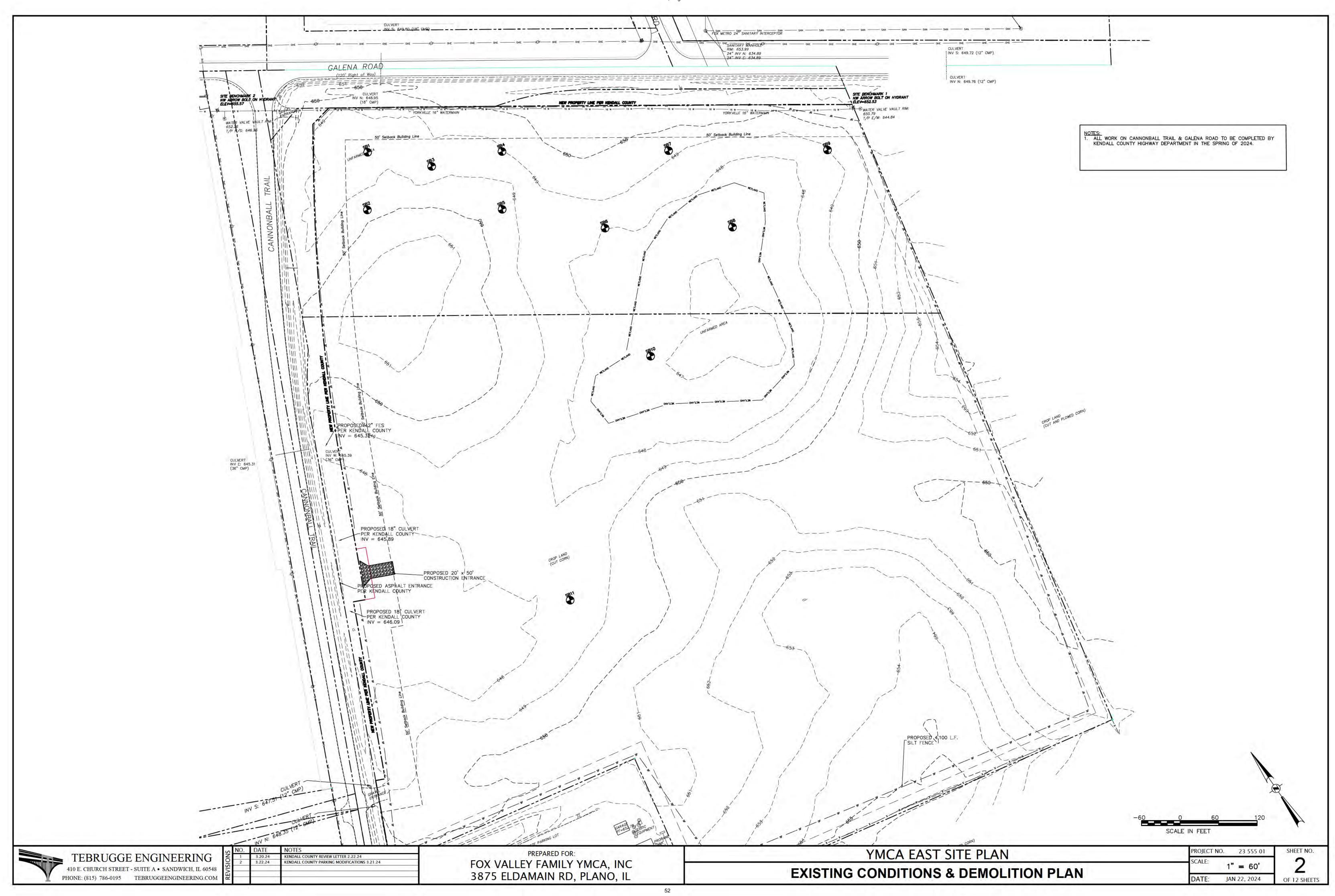
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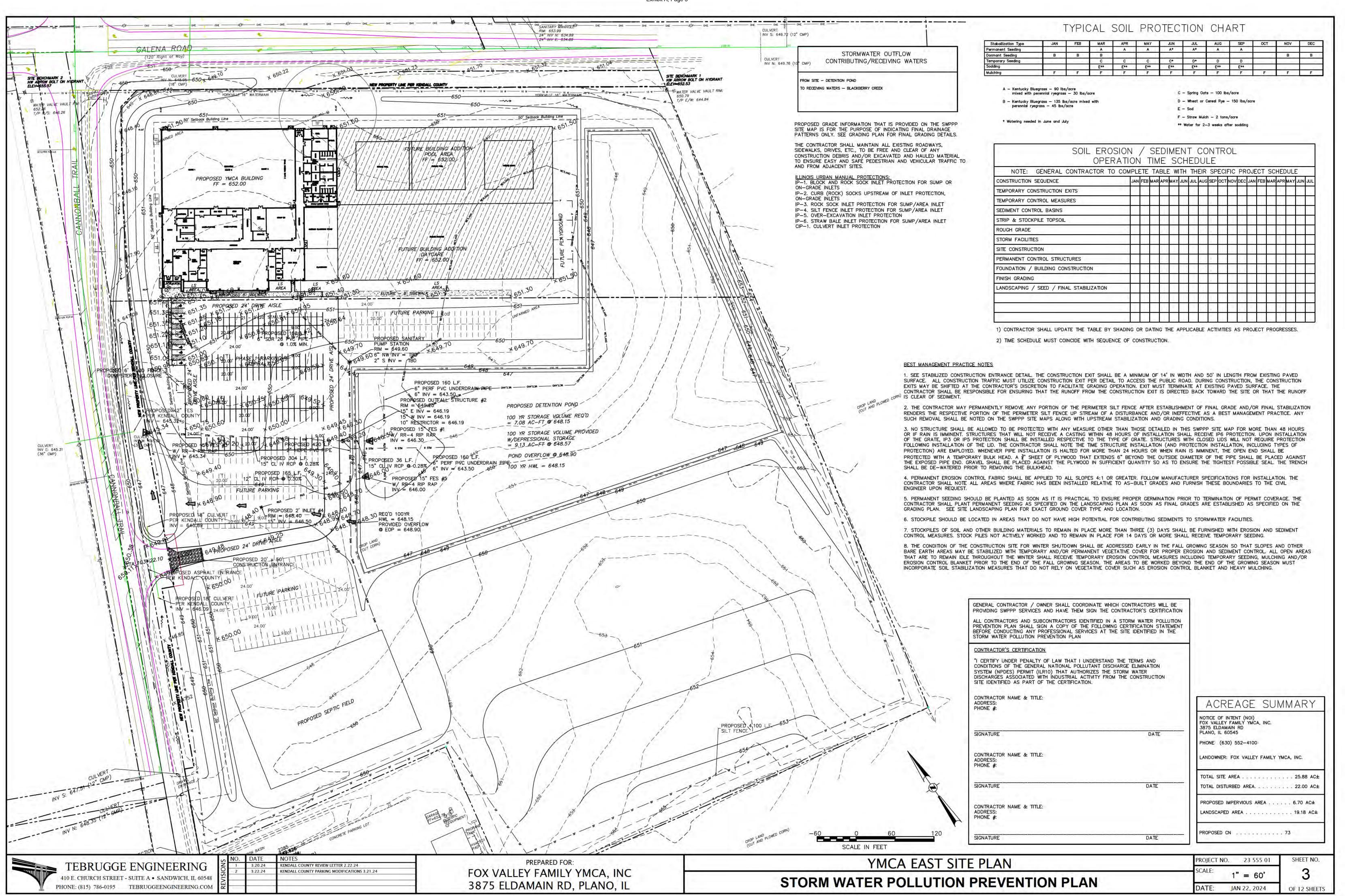
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SANITARY:

PAVEMENT:





# 1. GENERAL NOTES & DESCRIPTIONS

The Storm Water Pollution Prevention Plan (SWPPP) includes, but is not limited to the Erosion and Demolition Plan included in the Engineering Plans with the Detail Sheet, the Notice of Intent, Permit Authorization, General Permit, Notice of Termination. All records of inspection and activities which are created during the course of the project, and other documents as may be included by reference to this SWPPP. Changes, modifications, revisions, additions, o deletions shall become part of this SWPPP as they occur.

 All Contractors and sub-contractors that are responsible for implementing and measure of the SWPPP must be identified and must certify this SWPPP by signing the SWPPP certification in accordance with Part VI.G (Signatory Requirements) of the ILR10 Permit.

All signed certifications must be kept with the SWPPP documents and be available for inspection.

The Contractor and all sub-contractors involved with construction activity that disturbs site soil or who implement pollutant control measure identified in the Storm Water Pollution Prevention Plan must comply with the following requirements of the National Pollutant Discharge Elimination System (NPDES) General Permit, the NPDES Permit No. ILR10 for the State of Illinois and any local governing agency having jurisdiction concerning erosion and sediment

All construction sites that will result in the disturbance of one acre or more must be permitted under the Illinois General NPDES Permit. The Notice of Intent (NOI) has been submitted at the address below. The NOI is for the onsite and offsite improvements . The NPDES Permit will be issued 30 days after the postmark date of the submittal

Permit Information: The Owner has mailed the Owner-signed NOI form and the initial yearly fee of \$500 to the address listed below. The Contractor will be responsible for submitting each subsequent \$500 yearly fee, if applicable. A copy of the signed NOI form will be supplied to the Contractor.

Unless notified by the Illinois Environmental Protection Agency (IEPA) to the contrary, construction activities may begin in accordance with this SWPPP and the ILR10 in 30 days following the post mark date of the NOI.

Transfer Information: If a portion of the property is sold, that new Owner may obtain their own general permit by submitting a separate NOI. The original NOI may then be modified by re—submitting the NOI with update acreage and checking the box "change of information". Also include documentation explaining that a lot has been sold, the acreage difference and the date of sale. There is no fee involved with modifying the NOI.

# There are no requirements for a pre-construction meeting from any of the reviewing agencies.

Illinois Environmental Protection Agency Division of Water Pollution Control 1021 North Grand Avenue East Springfield, Illinois 62794-9276 Phone: (217) 782-0610

Planning, Building & Zoning 111 West Fox Street Yorkville, Illinois 60560 Phone: (630) 553-414

The following documents will be supplied to the contractor and must be posted on the Entrance Sign in a prominent place for public viewing until termination of permit coverage has been obtained by filling the Notice of

I. Notice of Intent signed in accordance with ILR10. 2. Permit Authorization from the Illinois Environmental Agency (IEPA).

# The location of the SWPPP must be clearly visible.

A complete copy of the SWPPP, including copies of all inspection reports, plan revisions, etc., must be retained at the project site at all times during the duration of the project (until NOT is filed) and kept in the permanent project records of the Contractor for at least three years following submittal of the Notice of Termination (NOT).

The Contractor must provide names and addresses of all sub-cntractors working on this project who will be involved with the major construction activities that disturb site soil. This information must be kept with the SWPPP

E. CONTRACTOR/SUB-CONTRACTOR CERTIFICATION FORM The Contractor and all sub-contractors involved with ground disturbing or installation and maintenance of any

Best Management Practice (BMP) on site must sign a copy of the Contractor Certification that will be supplied to the Contractor. This information must be kept with the SWPPP.

At least once every seven calendar days and with 24 hours of a 0.5 in rainfall event, inspections by documented Contractor Compliance Officer must be made to determine the effectiveness of the SWPPP. If the State or Local agencies have a required inspection form, the both forms must be completed. The SWPPP, including the best management practices implemented on the jobsite, shall be modified as needed to reduce or prevent pollutants from

# An example BMP Inspection Form will be supplied to the Contractor.

A delegation of authority letter authorizing the Contractor Compliance Officer to sign the inspection forms will also

The Inspector must be a person familiar with the site, the nature of major construction activities, and qualified to evaluate both overall system performance and individual component performance. The inspector must either be someone empowered to implement modifications to this SWPPP and the pollutant control devices, if needed, in order to increase effectiveness to an acceptable level, or someone with the authority to cause such things to happen. Additionally, the inspector shall be properly authorized in accordance with the applicable General Permit to conduct

# See Section VII on this sheet for further reporting requirements.

This SWPPP must be updated each time there are significant modifications to the pollution prevention system or a change of Contractors working on the project that disturb site solls. The SWPPP must be amended as necessary during the course of construction in order to keep it current with the pollutant control measures utilized on the site. Amending the SWPPP does not mean that it has to be reprinted. It is acceptable to add addenda, sketches, new sections, and/or revised drawings. The site man showing the locations of all storm water controls must be poste on the site and updated to reflect the progress of construction and changes to the SWPPP. Any control measure that has a hydrologic design component must be updated or amended by the Engineer. Substitution of sediment control BMPs beyond those specified in the SWPPP is considered a hydrologic design component.

# H. DISCHARGE OF PETROLEUM PRODUCTS OR HAZARDOUS SUBSTANCES

Discharge of Petroleum products or other hazardous substances into storm water or the storm water (storm sewer) system is subject to reporting and clean up requirements. See section V.B.8 of this SWPPP for State and local information on reporting spills. Refer to the General Permit for additional information.

I. NOTICE OF TERMINATION Once the site reaches final stabilization as defined in the General Permit, with all permanent erosion and sedimentation controls installed and all temporary erosion and sedimentation controls removed, the Contractor and Owner's representative must complete a final inspection. Upon approval by the Owner's representative, the Owner and Contractor, as applicable, must complete and submit a NOT.

# CONTRACTORS RESPONSIBILITY

This SWPPP intends to control water-bourne and liquid pollutant discharges by some combination of interception sedimentation, filtration, and containment. The Contractor and sub-contractors implementing this SWPPP must remain alert to the need to periodically refine and update the SWPPP in order to accomplish the intended goals. The

# K. LOG OF CONSTRUCTION ACTIVITY

A record of dates when major ground-disturbing activities occur, when construction activities temporarily or permanently cease on a portion of the site, and when stabilization measures are initiated or completed must be maintained until the NOT is filed. A log for keeping such records is included. Controls must be in place down gradient of any ground—disturbing activities prior to the commencement of construction and noted on the Site Map and Record of Stabilization and Construction Activity Dates.

# 2. INTRODUCTION

This SWPPP includes the elements necessary to comply with the natural baseline general permit for construction activities administered by the US Environmental Protection Agency (EPA) under the National Pollutant Discharge Elimination System (NPDES) program, the NPDES Permit No. ILR10 for the State of Illinois, and all Local governing agency requirements. This SWPPP must be implemented at the start of construction.

Construction phase pollutant sources anticipated at the site are disturbed (bare) soil, vehicle fuels and lubricants, chemicals associated with building construction, and building materials. Without adequate control there is a potential for each type of pollutant to be transported by storm water. Project construction will consist primarily of site grading, utility service connections, and site paving to facilitate

A major goal of pollution prevention efforts during project construction is to control soil and pollutants that originate on the site and prevent them from flowing to surface waters. The purpose of this SWPPP is to provide guidelines for achieving that goal. A successful pollution prevention program also relies upon careful inspection and adjustments during the construction process in order to enhance its effectiveness.

herein have ceased, and a completed Notice of Termination (NOT) is transmitted to the governing agency.

This SWPPP must be implemented before construction begins on the site. It primarily addresses the impact of storm rainfall and runoff on areas of the ground surface disturbed during the construction process. In addition, there are recommendations for controlling other sources of pollution that could accompany the major construction activities. The SWPPP will terminate when disturbed areas are stabilized, permanent erosion and sedimentation controls are installed, temporary erosion and sedimentation controls are removed, construction activities covered

Described below are the major construction activities that are subject of this SWPPP. Also included in the sequence are BMP installation activities that must take place prior to construction activities, NOTE: Down slope protective measures must always be in place before soil is disturbed. Activities are presented in the order (sequence) they are

All activities and time frames (beginning and ending dates) shall be noted on the Site Map. The sequence of

Upon implementation and installation of the following areas: trailers, parking, lay down, porta-poty, wheel wash, concrete washout, mason's area, fuel and material storage containers, solid waste containers, etc., Immediately denote them on the Site Maps and note any changes in location as they occur throughout the construction process

Typical Stage of Construction, items shall be added or deleted as needed for each individual project. 1. Install stabilized construction entrance and SWPPP Entrance Sign.

2. Install silt fence(s) on the site (clear only those areas necessary to install silt fence). 5. Install inlet protection on existing inlets. Prepare temporary parking and storage area.

Install and stabilize hydraulic control structures (dikes, swales, check dams, etc.). . Begin grading the site. 7. Start construction of building pad and structures.

 Temporarily seed, throughout construction, denuded areas that will be inactive for 14 days or more. 3. Install utilities, underdrains, storm sewers, curbs and gutters.

). Install inlet protection at all storm sewer structures as each inlet structure is installed. Permanently stabilize areas to be vegetated as they are brought to final grade. . Prepare site for paving.

i. Install appropriate inlet protection devises for paved areas as work progresse Complete grading and installation or permanent stabilization over all areas including outlots. 5. Call Engineer after the site appears to be fully stabilized for inspection.

6. Remove all temporary erosion and sediment control devices after approval of the Engineer and stabilize any NOTE: The Contractor may complete construction-related activities concurrently only if all preceding BMPs have been

The actual schedule for implementing pollutant control measures will be determined by project construction progress and recorded by the Contractor on the Soil Erosian/Sediment Control Operation Time Schedule on the Erosian and Sediment Control Plans. Down slope protective measures must always be in place before soil is disturbed.

Site construction activities consist of general grading of site, construct detention pond, building and parking lot with finish grading and landscaping.

2. Total area of site = 25.88 acres Total disturbed area on site = 22.00 acres

3. Estimated site runoff coefficient after construction activities are complete: CN=73.

4. Site map included indicating existing & proposed slopes across site is included in SWPPP Site drainage is received by Blackberry Creek located south of the development

5. STORM WATER POLLUTION PREVENTION MEASURES AND CONTROLS

A variety of storm water pollutant controls are recommended for this project. Some controls are intended for function temporarily and will be used as needed for pollutant control during the construction period. These include temporary sediment barriers and permanent storm retention ponds (which can also function as temporary sediment basins). Permanent stabilization will be accomplished in all disturbed areas by covering the soil with pavement, building foundation, vegetation, or other forms of soil stabilization.

The purpose of soil stabilization is to prevent soil from eroding and leaving the site. In the natural condition, soil is stabilized by native vegetation. The primary technique to be used at this project for stabilizing site soils will be to provide a protective cover of grass, pavement, or building structure.

a) Temporary Seeding or Stabilization - All denuded areas that will be inactive for 14 days or more, must be stabilized temporarily with the use of fast—germinating annual grass/grain varieties, straw/hay mulch, wood cellulose

completion of work in any area. The entire site must have permanent vegetative cover established in all areas not covered by hardscape at the completion of all soil disturbing activities on site. Except for small level spots, seeded areas should generally be protected with mulch or a rolled erosion control product. All areas to be sealed will have topsoil and other soil amendments as specified on the Landscape Plan.

a) Silt Fence - Silt fence is a synthetic permeable woven or non-woven geotextile fabric incorporating metal support stakes at intervals sufficient to support the fence (5—feet maximum distance between posts), water, and sediment retained by the fence. The fence is designed to retain sediment—laden storm water and allow settlement of suspended soils before the storm water flows through the fabric and discharges off-site. Silt fence shall be located on the contour to capture overland, low-velocity sheet flows. The Contractor may utilize triangular silt dike and/or non-wire backed silt fence as intermediate BMPs. Install silt fence at a fairly level grade along the contour with the ends curved uphill to provide sufficient upstream storage volume for the anticipated runoff. Drainage areas shall not exceed 1 acre per 100 feet of silt fence for slopes less than 2 percent.

construction exit composed of course stone to the dimensions shown on the Existing Conditions and Demolition Plan. The rough texture of the stone helps to remove clumps of soll adhering to the construction vehicles tires through the action of vibration and jarring over the rough surface and the friction of the stone matrix against soils attached

In addition to the stone at the construction exit, it may be necessary to install devices such as pipes (cattle guard) to increase the vibration and jarring. It may also be necessary to install a wheel wash system. If this is done, a sediment trap control must be installed to treat the wash water before it discharges from the site. All site access must be confined to the Construction Exit(s). Barricade, sufficient to prevent use, any ocations other than Construction Exit(s) where vehicles or equipment may access the site.

c) Storm Sewer Inlet Protection — Curb and grated inlets are protected from the intrusion of sediment through a variety of measures as shown on the details included in the Construction drawings. The primary mechanism is to place controls in the path of flow sufficient to slow the sediment—laden water to allow settlement of suspended solls before discharging into the storm sewer. It is possible that as construction progresses from storm sewer installation through paving that the inlet protection devices should change. All inlet protection devices create ponding of storm water. This should be taken into consideration when deciding on which device or devices

d) Inspection and any necessary cleaning of the underground storm system shall be included as part of this

Final site stabilization is achieved when perennial vegetative cover provides permanent stabilization with a density greater than 70 percent over the entire area to be stabilized by vegetative cover. This is exclusive of areas paved,

B. OTHER POLLUTANT CONTROLS

Construction traffic must enter and exit the site at the stabilized construction exit. Water trucks or other dust control agents will be used as needed during construction to reduce dust generated on the site. Dust control must be

provided by the Contractor to a degree that is in compliance with applicable Local and State dust control regulations. No solid materials, including building materials, are allowed to be discharged from the site with storm water. All

solid waste, including disposable materials incidental to the major construction activities, must be collected and placed in containers. The containers will be emptied as necessary by a contract trash disposal service and hauled away from the site. Covers for the containers will be provided as necessary to meet State and Local requirements. The location of solid

necessary in order to ensure that they do not discharge from the site. As an example, special care must be exercised during equipment fueling and servicing operations. If a spill occurs, it must be contained and disposed of so that it will not flow from the site or enter groundwater, even if this requires removal, treatment, and disposal of soil. In this regard, potentially polluting substances should be handled in a manner consistent with the impact they represent.

All personnel involved with construction activities must comply with State and Local sanitary or septic regulations. Temporary sanitary facilities will be provided at the site throughout the construction phase. They must be utilized by all construction personnel and will be serviced by a commercial operator. The location of sanitary facilities shall be shown

4. Non-Storm Water Discharge Non-storm water components of site discharges are not permitted under ILR10 except as follows: discharges from fire fighting activities; fire hydrant flushings; water used to wash vehicles where detergents are not used; waters used to control dust; potable water sources including uncontaminated waterline flushings; irrigation drainage; routine external building washdown which does not use detergents; pavement washdowns where spills or leaks of toxic or hazardous materials have not occurred (unless all spilled material has been removed) and where detergents are not used; air conditioning condensate; springs, uncontaminated ground water; and foundation or footing drains where flows are not

5. Concrete Waste from Concrete Ready-Mix Trucks Discharge of excess or waste concrete and/or wash water from concrete trucks will be allowed on the construction site, but only in specifically designated diked areas prepared to prevent contact between the concrete and/or wash water and storm water that will be discharged from the site. Alternatively, waste concrete can be placed into forms to make rip rap or other useful concrete products. The cured residue from the concrete washout diked areas shall be disposed in accordance with applicable State and Federal regulations. The jobsite superintendent is responsible for assuring that these procedures are followed. The location of concrete washout areas shall be shown on the Site Maps.

Contractor shall identify mason's area on the site and indicate location on the Site Map. To the extent practical, all masonry tools, material, including sand and sacked cement or mortar materials, and equipment shall be located within the area identified. Runoff control, such as berms or diversion ditches, silt fence, straw wattles, or other means of containment shall be provided to prevent the migration of storm water pollutants in runoff from the mason's area. Receptacles for debris and trash disposal shall also be provided.

Temporary on-site fuel tanks for construction vehicles shall meet all State and Federal regulations. Tanks shall have approved spill containment with the capacity required by the applicable regulations. The tanks shall be in sound condition free of rust or other damage which might compromise containment. Fuel storage areas will meet all EPA, OSHA and other regulatory requirements for signage, fire extinguisher, etc. Hoses, valves, fittings, caps, filler nozzles, and associated hardware shall be maintained in proper working condition at all times. The location of fuel tanks shall be

A Spill Prevention, Control and Countermeasure (SPCC) Plan must be developed if aboveground oil storage capacity at the construction site exceeds 1,320—gallons. Containers with storage capacity of 55—gallons or less are not included when calculating site storage capacity. The Contractor shall work with the Civil Engineering Consultant to develop and implement a SPCC Plan in accordance with the Oil Pollution Prevention regulation at Title 40 of the Code of Federal Regulations, Part 112, (40 CFR 112).

8. Hazardous Material Management and Spill Reporting Plan Any hazardous or potentially hazardous material that is bought onto the construction site will be handled properly in order to reduce the potential for storm water pollution. All materials used on this construction site will be proper stored, handled, dispensed and disposed of following all applicable label directions. Material Safety Data Sheets (MSDS) information will be kept on site for any and all applicable materials.

In the event of an accidental spill, immediate action will be undertaken by the Contractor to contain and remove the spilled material. All hazardous materials will be disposed of by the Contractor in the manner specified by Federal, State and Local regulations and by the manufacturer of such products. As soon as possible, the spill will be reported to the appropriate agencies. As required under the provisions of the Clean Water Act, any spill or discharge entering waters of the United States will be properly reported. The Contractor will prepare a written record of any spill of petroleum products or hazardous materials in excess of reportable quantities and will provide notice to Owner within 24—hours of

Any spills of petroleum products or hazardous materials in excess of Reportable Quantities as defined by EPA shall be immediately reported to the EPA National Response Center (1-800-424-8802). In addition, 35 III. Adm. Code 750.410 requires notification of IEMA (1-800-782-7860). Reportable chemical spill quantities are those listed for hazardous substances under Superfund, or as extremely hazardous substances under the Superfund Reauthorization and Amendments Act of 1986 (SARA), the emergency planning statute which also establishes threshold planning quantities (29 III. Admin. Code 430.30). Oil spills are reportable if they must be reported under the Federal Water Pollution Control Act. This generally includes spills that are in excess of 25 gallons and or "may be harmful to the public health or welfare" (40 CFR 110). Harmful discharges include those that (1) violate applicable water quality standards, or (2) leave a film on the water or adjoining shorelands or cause a sludge or emulsion to be deposited beneath the water's surface or on adjoining shorelands. The reportable quality for hazardous materials can be found in 40 CFR 302 or by contacting

a) All materials with hazardous properties (such as pesticides, petroleum products, fertilizers, detergents, onstruction chemicals, acids, paints, paint solvents, additives for soil stabilization, concrete, curing compounds and additives, etc.) will be stored in a secure location, under cover, when not in use.

In order to minimize the potential for a spill of petroleum product or hazardous materials to come in contact with

b) The minimum practical quantity of all such materials will be kept on the job site and scheduled for delivery c)A spill control and containment kit (containing for example, absorbent material such as kitty litter or sawdust, acid neutralizing agent, brooms, dust pans, mops, rags, gloves, goggles, plastic and metal trash containers, etc.) will be

d) All of the products in a container will be used before the container is disposed of, All such containers will be triple rinsed, with water prior to disposal. The rinse water used in these containers will be disposed of in a manner in compliance with State and Federal regulations and will not be allowed to mix with storm water discharges.

e) All products will be stored in and used from the original container with the original product label. f) All products will be used in strict compliance with instructions on the product label.

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g) The disposal of excess or used products will be in strict compliance with instructions on the product label. Storm water pollutant control measures installed during construction, that will also provide storm water management benefits after construction, include turf areas in sufficient quantity so as to provide a site impervious ratio

C. CONSTRUCTION PHASE "BEST MANAGEMENT PRACTICES" (BMPs) During the construction phase, the Contractor shall implement the following measures:

. Materials resulting from the clearing and grubbing or excavation operations shall be stockpiled up slope from adequate sedimentation controls. Materials removed to an off-site location shall be protected with appropriate controls

This section includes the controls of pollutants other than sediment and additional requirements of the General Permit.

2. The Contractor shall designate areas on the Site Map for equipment cleaning, maintenance, and repair. The Contractor and sub—contractors shall utilize such designated areas. Cleaning, maintenance, and repair areas shall be protected by a temporary perimeter berm, shall not occur within 150 feet of any waterway, water body or wetland, and

3. Use of detergents for large scale washing is prohibited (i.e. vehicles, buildings, pavement, surfaces, etc.) 4. Chemicals, paints, solvents, fertilizers, and other toxic materials must be stored in waterproof containers. Except

during application, the containers, the contents must be kept in trucks or within storage facilities. Runoff containing such material must be collected, removed from the site, treated, and disposed of at an approved solid waste and chemical disposal facility.

D. OFF-SITE FACILITIES IN THE OPERATIONAL CONTROL OF THE CONTRACTOR Whenever dirt, rock, or other materials are imported to the construction site or exported for placement in areas off Substances that have the potential for polluting surface and/or groundwater must be controlled by whatever means of the primary construction site, the Contractor is responsible for determining that all storm water permitting and taken. Prior to the disturbance of any such site, Contractor will confirm that the operators of the site they are importing to or exporting from have properly obtained all required permits, and will comply with all laws, regulations

> At a minimum, each off—site area that provides or receives material or is disturbed by project activities must implement erosion and sediment control measures consisting of perimeter controls on all down slope and side slope boundaries and must also provide for both temporary stabilization and for permanent re—vegetation after all disturbances

In addition to this SWPPP, construction activities associated with this project must comply with any guidelines set forth by Local regulatory agencies. The Contractor shall maintain documents evidencing such compliance in this SWPPP

# 5. INSPECTIONS AND SYSTEM MAINTENANCE

Between the time this SWPPP is implemented and final Notice of Termination has been submitted, all disturbed areas and pollutant controls must be inspected weekly and within 24 hours of the end of a storm event 0.5 inches or equivalent snowfall. The purpose of site inspections is to assess performance of pollutant controls. The inspections will be conducted by the Contractor's Site Superintendent. Based on these inspections, the Contractor will decide whether it is necessary to modify this SWPPP, add or relocate controls, or revise or implement additional Best Management Practices in order to prevent pollutants from leaving the site via storm water runoff. The Contractor has the duty to cause pollutant control measures to be repaired, modified, supplemented, or take additional steps as necessary in order

Examples of specific items to evaluate during site inspections are listed below. This list is not intended to be comprehensive. During each inspection, the inspector must evaluate overall pollutant control system performance as well as particular details of individual system components. Additional factors should be considered as appropriate to the

Locations where vehicles enter and exit the site must be inspected for evidence of off—site sediment tracking. A stabilized construction exit shall be constructed where vehicles enter and exit. Exits shall be maintained or supplemented with additional rock as necessary to prevent the release of sediment from vehicles leaving the site. Any sediment deposited on the roadway shall be swept as necessary throughout the day or at the end of everyday and disposed of in an appropriate manner. Sediment shall NOT be washed into storm sewer systems.

B. SEDIMENT CONTROL DEVICES Sediment barriers, traps and basins must be inspected and they must be cleaned out at such time as their original capacity has been reduced by 50 percent. All material excavated from behind sediment barriers or in traps and basins shall be incorporated into on-site soils or spread out on an upland portion of the site and stabilized. Additional

Inspections shall evaluate disturbed areas and areas used for storing materials that are exposed to rainfall for evidence of, or the potential for, pollutants entering the drainage system or discharging from the site. If necessary, the materials must be covered or original covers must be repaired or supplemented. Also, protective berms must be constructed, if needed, in order to contain runoff from material storage areas. All State and Local regulations pertaining to material storage areas will be adhered to.

Grassed areas shall be inspected to confirm that a healthy stand of grass is maintained. The site has achieved final tabilization once all areas are covered with building foundation or pavement, or have a stand of grass with a minimum of 70 percent density or greater over the entire vegetated area in accordance with the General Permit requirements. The vegetative density must be maintained to be considered stabilized. Area must be watered, fertilized, and

All discharge points must be inspected to determine whether erosion and sediment control measures are effective in preventing discharge of sediment from the site or impacts to receiving waters.

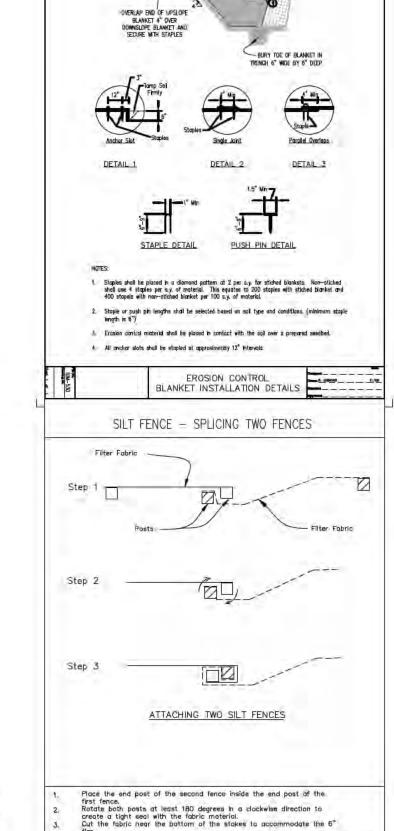
The Inspection Report Form must identify all deficiencies, any corrections, whether they are identified during the current inspection or have occurred since the previous inspection, and any additional comments. Based on inspection results, y modification necessary to increase effectiveness of this SWPPP to an acceptable level must be made immediately but no longer than within 48 hours of inspection. The inspections reports must be complete and additional information should be included if needed to fully describe a situation. An important aspect of the inspection report is the description of additional measures that need to be taken to enhance plan effectiveness. The inspection report must identify whether the site was in compliance with the SWPPP at the time of inspection and specifically identify all incidents of

The Inspection Report Form must summarize the scope of the inspection, name(s) and qualifications of personnel making the inspection, the date(s) of the inspection, major observations relating to the implementation of this SWPPP, and actions taken in accordance with section 4.b shall be made and retained as part of the plan for at least six years after the date of the inspection. The report shall be signed in accordance with Part VI.G of the General Permit.

If any violation of the provisions of this plan is identified during the conduct of the construction work covered by this identified violation. The Contractor's Compliance Officer shall us forms provided by the IEPA and shall include specific information on the cause of noncompliance, actions which were taken to prevent any further causes of noncompliance, and a statement detailing any environmental impact which may have resulted in noncompliance. All reports of noncompliance shall be signed by a responsible authority in accordance with part VI.G of the General Permit. The report

Illinois Environmental Protection Agency Division of Water Pollution Control Attn: Compliance Assurance Section 1021 North Grand East Springfield, IL 62794-9276

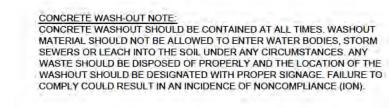
Ultimately, it is the responsibility of the General Contractor to assure the adequacy of site pollutant discharge controls Actual physical site conditions or Contractor practices could make it necessary to install more structural controls than are shown on the plans. For example, Localized concentrations of runoff could make it necessary to install additional sediment barriers. Assessing the need for additional controls and implementing them or adjusting existing controls will be a continuing aspect of this SWPPP until the site achieves final stabilization. Any modifications, additions or deletions of sediment control devices must be approved by the Engineer through written communications.

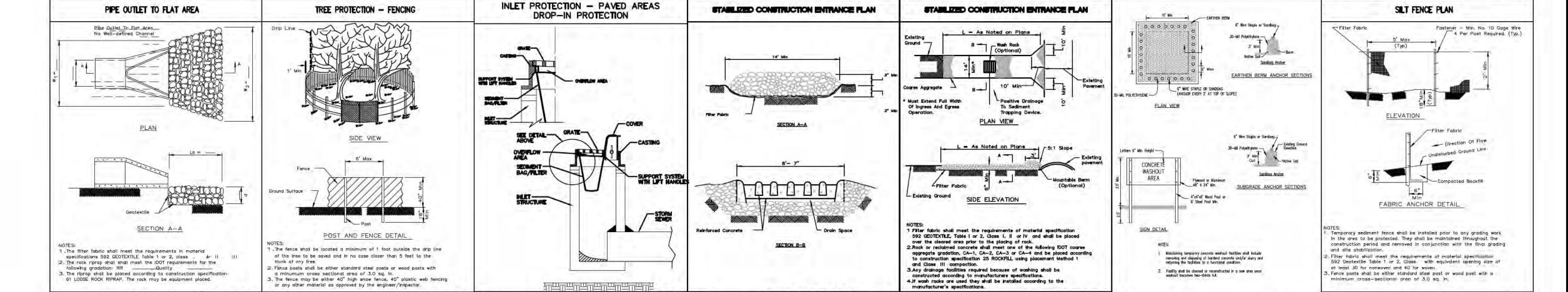


Drive both posts a minimum of 18 inches into the ground and bury the

IUM-620B(W)

Compact backfill (particularly at splices) completely to prevent stormwater piping.







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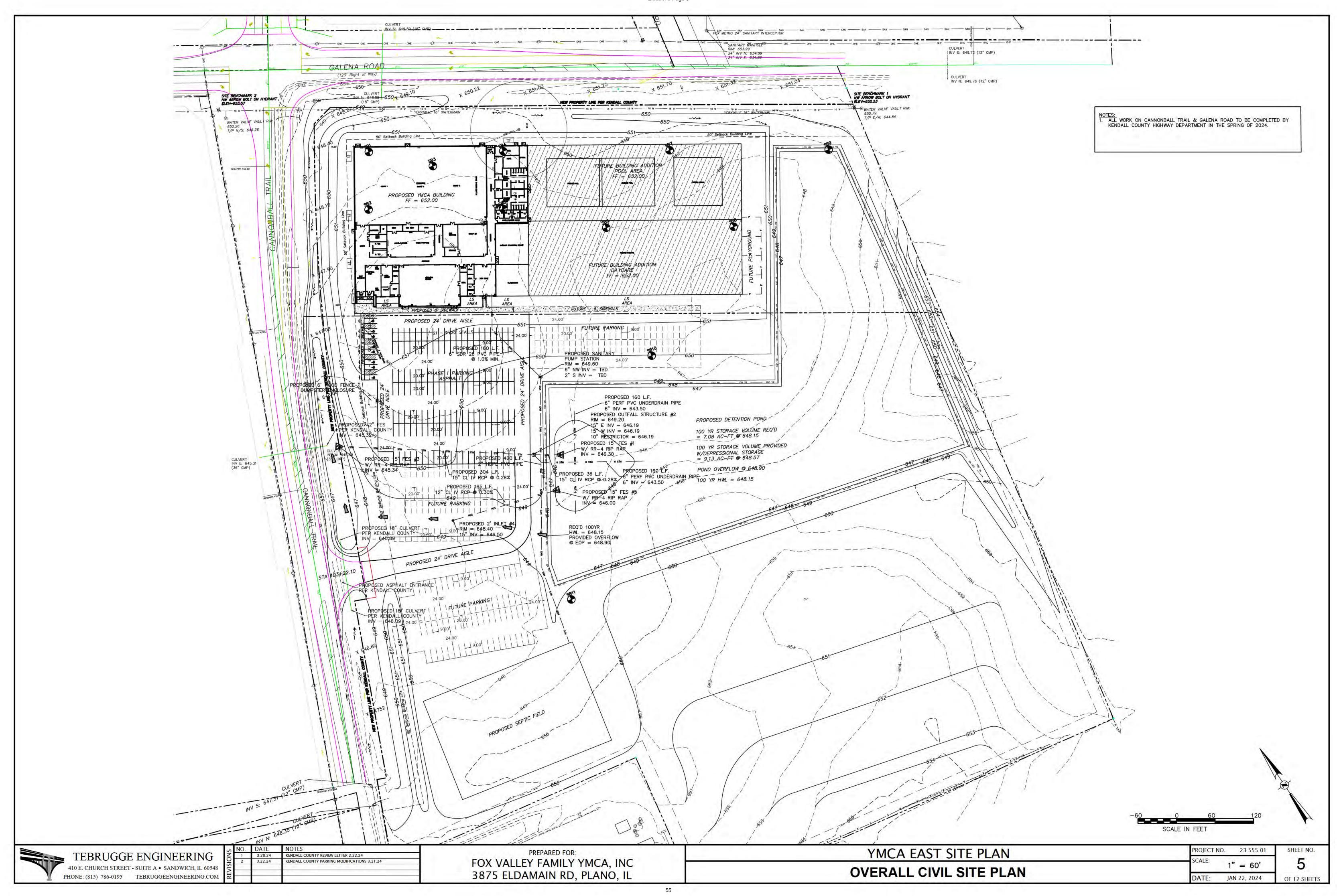
ENDALL COUNTY PARKING MODIFICATIONS 3.21.2

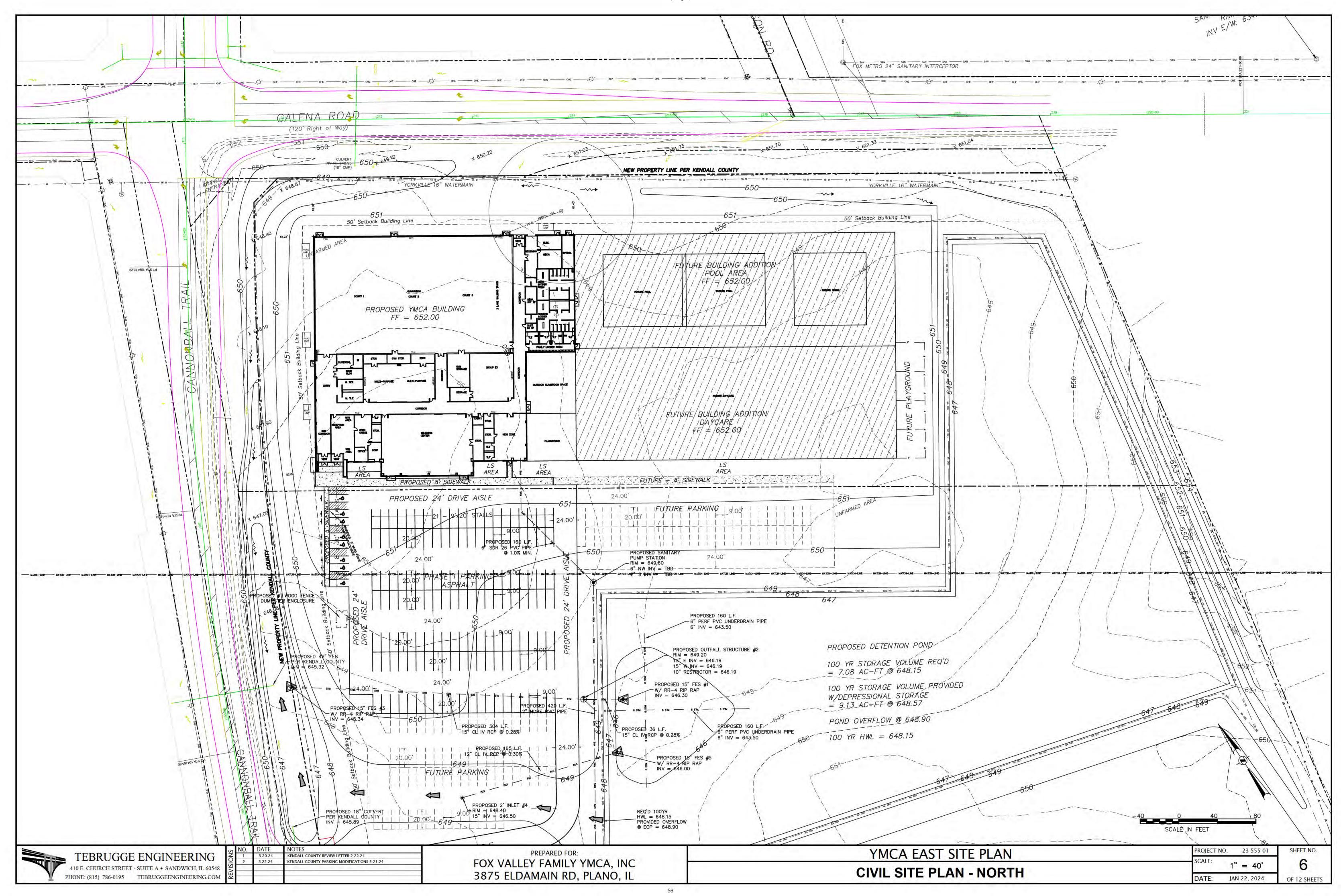
PREPARED FOR: FOX VALLEY FAMILY YMCA, INC 3875 ELDAMAIN RD, PLANO, IL

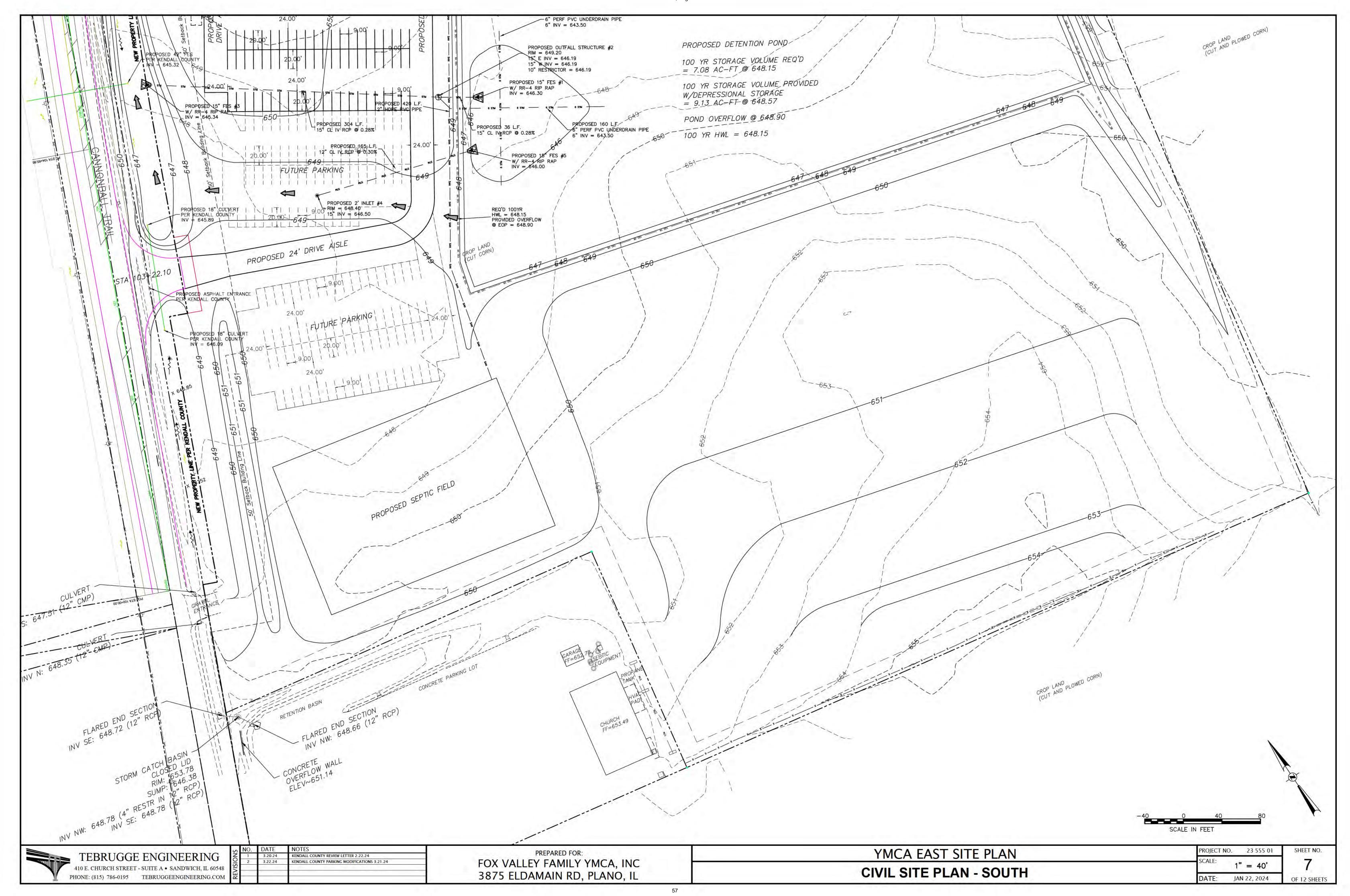
YMCA EAST SITE PLAN STORM WATER POLLUTION PREVENTION PLAN PROJECT NO. 23 555 01 JAN 22, 2024

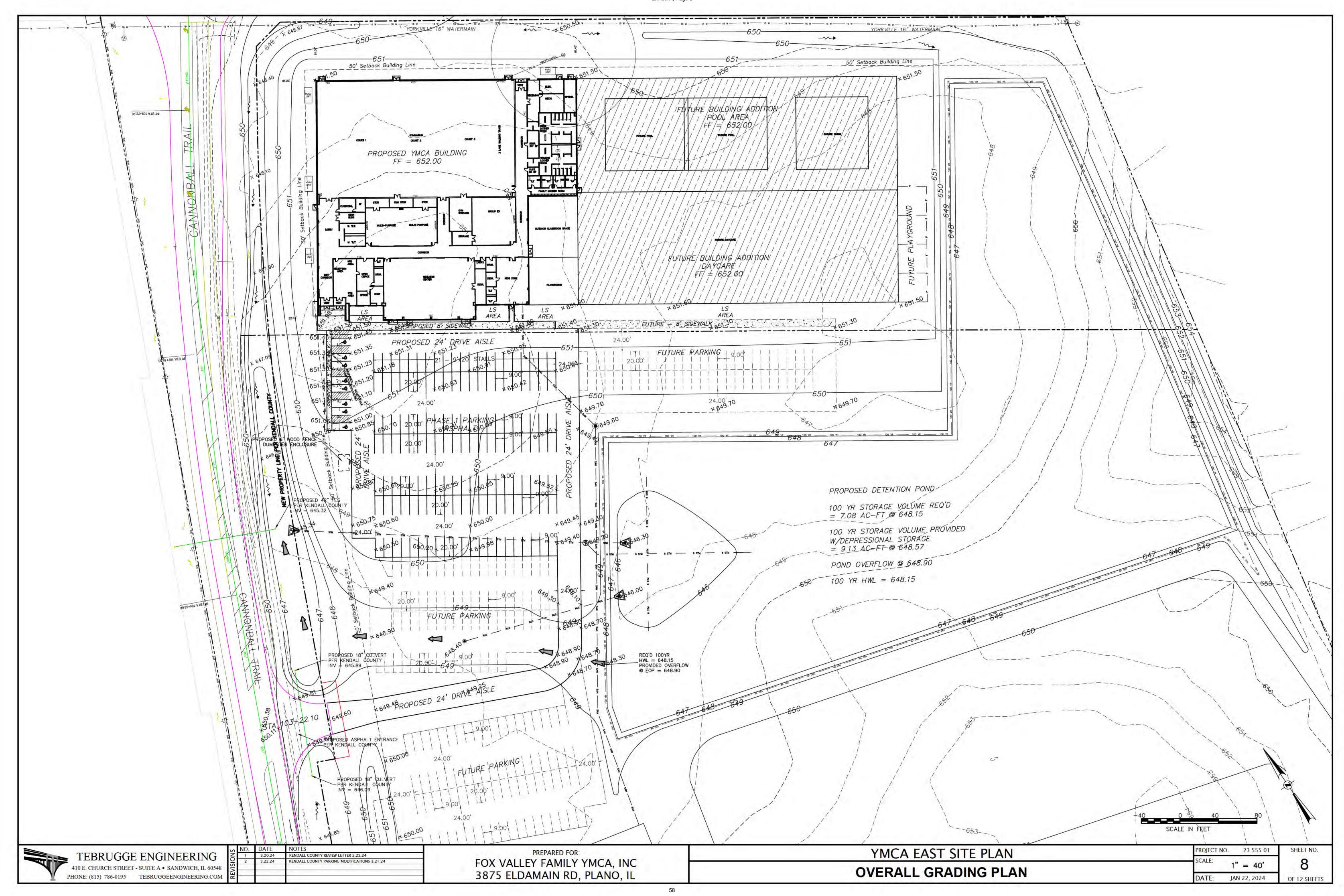
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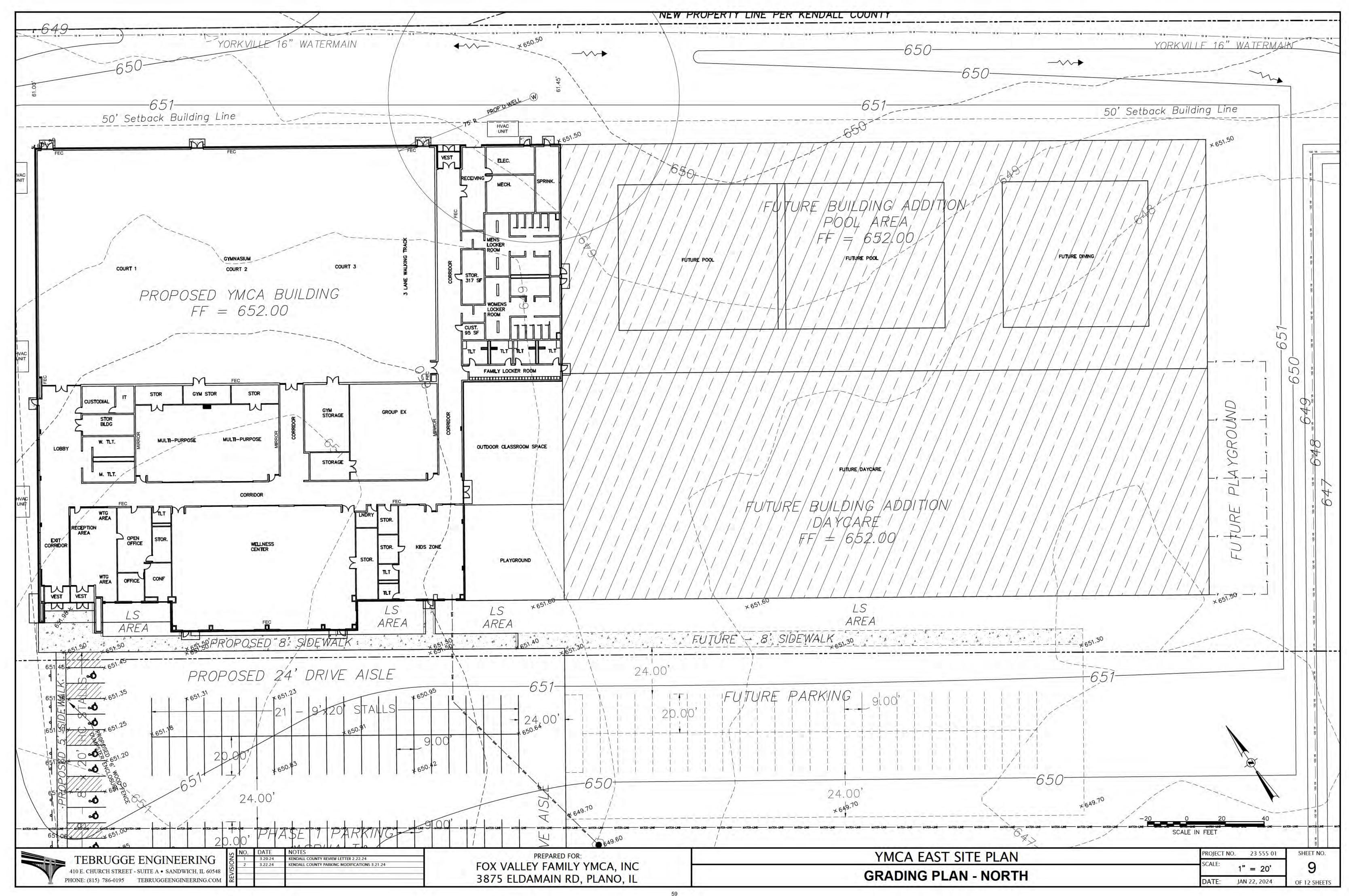
NM-620

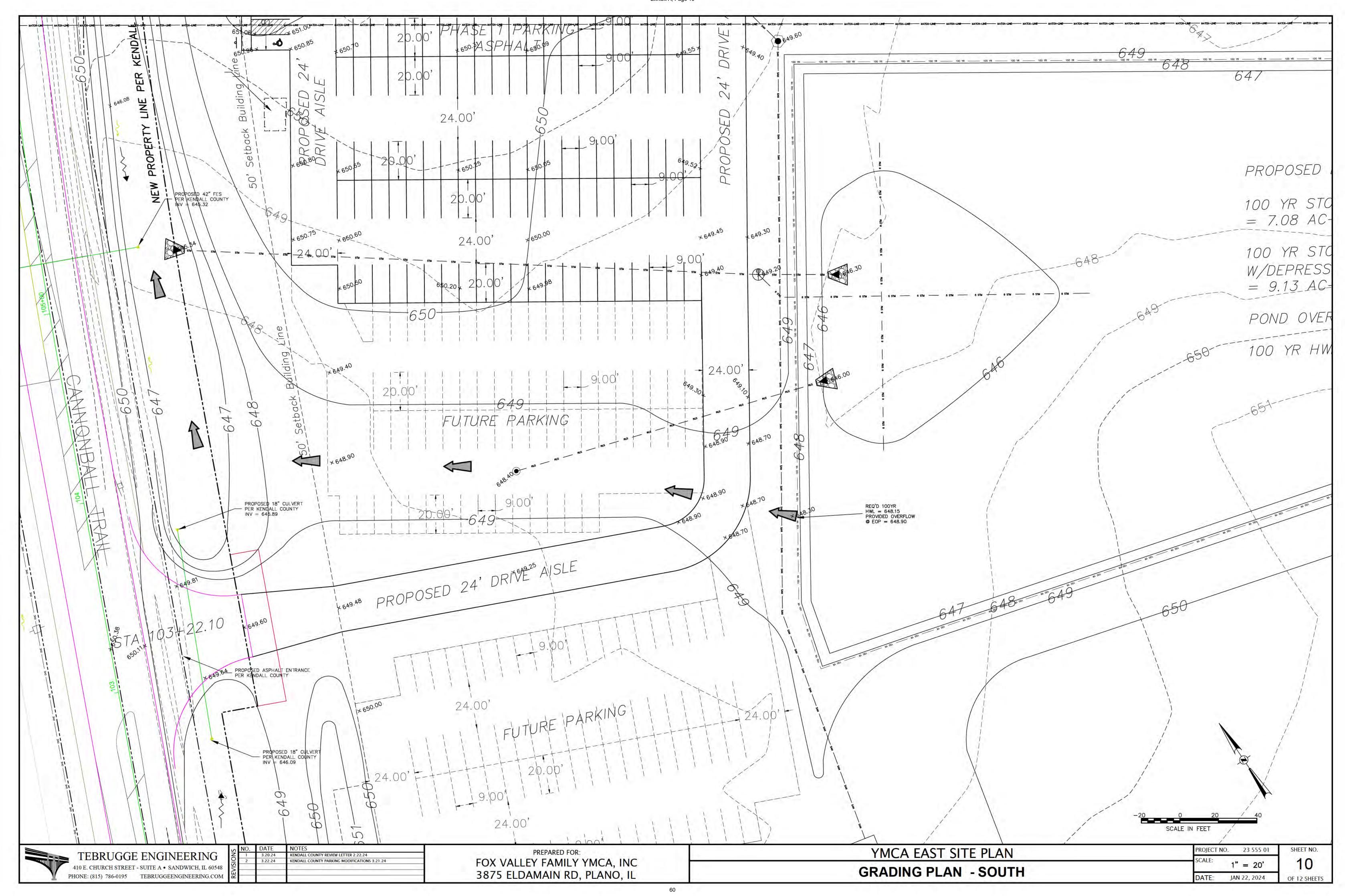












ALL EARTHWORK, ROADWAY WORK, DRAINAGE WORK OR STORM SEWER WORK SHALL BE PERFORMED UTILIZING MATERIALS AND METHODS IN STRICT ACCORDANCE WITH THE ILLINOIS DEPARTMENT OF TRANSPORTATION "STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION" LATEST EDITION, AS WELL AS THE STANDARD DETAIL SHEETS ATTACHED TO THESE PLANS. ALL MUNICIPAL, COUNTY, STATE AND FEDERAL REQUIREMENTS AND STANDARDS SHALL BE STRICTLY ADHERED TO IN WORK PERFORMED UNDER THIS CONTRACT.

2. ALL SANITARY SEWER AND WATER MAIN WORK SHALL BE PERFORMED USING METHODS AND MATERIALS IN STRICT ACCORDANCE WITH THE LATEST EDITION OF "STANDARD SPECIFICATIONS FOR WATER AND SEWER MAIN CONSTRUCTION IN ILLINOIS", LATEST EDITION, AS WELL AS THE STANDARD DETAIL SHEETS ATTACHED TO THESE PLANS. ALL MUNICIPAL, COUNTY, STATE AND FEDERAL REQUIREMENTS AND STANDARDS SHALL BE STRICTLY ADHERED TO IN WORK PERFORMED UNDER THIS CONTRACT.

3. ANY SPECIFICATIONS WHICH ARE SUPPLIED ALONG WITH THE PLANS SHALL TAKE PRECEDENCE IN THE CASE OF A CONFLICT WITH THE STANDARD SPECIFICATIONS NOTED IN ITEMS NO. 1 AND 2 ABOVE. THE ABOVE STANDARD SPECIFICATIONS & THE CONSTRUCTION PLANS ARE TO BE CONSIDERED AS PART OF THE CONTRACT DOCUMENTS. INCIDENTAL ITEMS OR ACCESSORIES NECESSARY TO COMPLETE THIS WORK MAY NOT BE SPECIFICALLY NOTED BUT ARE TO BE CONSIDERED A PART OF THE CONTRACT.

4. PRIOR TO COMMENCEMENT OF CONSTRUCTION, THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS AFFECTING THEIR WORK WITH THE ACTUAL CONDITIONS AT THE JOB SITE. IF THERE ARE ANY DISCREPANCIES FROM WHAT IS SHOWN ON THE CONSTRUCTION PLANS, HE MUST IMMEDIATELY REPORT SAME TO THE ENGINEER BEFORE DOING ANY WORK, OTHERWISE THE CONTRACTOR WILL BE CONSIDERED TO HAVE PROCEEDED AT HIS OWN RISK AND EXPENSE. IN THE EVENT OF ANY DOUBT OR QUESTION ARISING WITH RESPECT TO THE TRUE MEANING OF THE CONSTRUCTION PLANS OR SPECIFICATIONS, THE DECISION OF THE ENGINEER SHALL BE FINAL AND CONCLUSIVE.

5. ALL WORK PERFORMED UNDER THIS CONTRACT SHALL BE GUARANTEED AGAINST ALL DEFECTS IN MATERIALS AND WORKMANSHIP OF WHATEVER NATURE BY THE CONTRACTOR AND HIS SURETY FOR A PERIOD OF 12 MONTHS FROM THE DATE OF FINAL ACCEPTANCE OF THE WORK BY THE GOVERNING MUNICIPALITY, OTHER APPLICABLE GOVERNMENTAL AGENCIES, AND THE OWNER.

6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL REQUIRED PERMITS FOR CONSTRUCTION ALONG OR ACROSS EXISTING STREETS OR HIGHWAYS. HE SHALL MAKE ARRANGEMENTS FOR THE PROPER BRACING, SHORING AND OTHER REQUIRED PROTECTION OF ALL ROADWAYS BEFORE CONSTRUCTION BEGINS, ALONG WITH ADEQUATE TRAFFIC CONTROL MEASURES. HE SHALL BE RESPONSIBLE FOR ANY DAMAGE TO THE STREETS OR ROADWAYS AND ASSOCIATED STRUCTURES AND SHALL MAKE REPAIRS AS NECESSARY TO THE SATISFACTION OF THE ENGINEER, AT NO ADDITIONAL COST TO THE OWNER.

7. THE UTILITY LOCATIONS, AND THE DEPTHS SHOWN ON THESE PLANS ARE APPROXIMATE ONLY, AND SHALL BE VERIFIED BY THE CONTRACTOR WITH ALL AFFECTED UTILITY COMPANIES PRIOR TO INITIATING CONSTRUCTION OPERATIONS. THE ENGINEER AND OWNER ASSUME NO RESPONSIBILITY FOR THE ADEQUACY, SUFFICIENCY OR EXACTNESS OF THESE UTILITY REPRESENTATIONS.

8. PRIOR TO STARTING CONSTRUCTION THE CONTRACTOR SHALL CONTACT THE OFFICE OF J.U.L.I.E. AT 1-800-892-0123 FOR EXACT FIELD LOCATION OF ALL UNDERGROUND UTILITIES IN THE PROXIMITY OF, AND ON, THE PROJECT SITE; IF THERE ARE ANY UTILITIES WHICH ARE NOT MEMBERS OF THE J.U.L.I.E. SYSTEM, THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR DETERMINING THIS AND MAKE ARRANGEMENTS TO HAVE THESE UTILITIES FIELD LOCATED.

9. EASEMENTS FOR THE EXISTING UTILITIES, BOTH PUBLIC AND PRIVATE, AND UTILITIES WITHIN PUBLIC RIGHTS-OF-WAY ARE SHOWN ON THE PLANS ACCORDING TO AVAILABLE RECORDS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING THE EXACT LOCATION IN THE FIELD OF THESE UTILITY LINES AND THEIR PROTECTION FROM DAMAGE DUE TO CONSTRUCTION OPERATIONS. IF EXISTING UTILITY LINES OF ANY NATURE ARE ENCOUNTERED WHICH CONFLICT IN LOCATION WITH NEW CONSTRUCTION, THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR RELOCATING THESE FACILITIES AT HIS EXPENSE TO ACCOMMODATE THE NEW CONSTRUCTION.

10. ALL FIELD TILE ENCOUNTERED DURING CONSTRUCTION OPERATIONS SHALL BE CONNECTED TO THE PROPOSED STORM SEWER OR EXTENDED TO OUTLET INTO A PROPOSED DRAINAGE WAY. IF THIS CANNOT BE ACCOMPLISHED, THEN IT SHALL BE REPAIRED WITH NEW PIPE OF SIMILAR SIZE AND MATERIAL TO THE ORIGINA LINE AND PUT IN ACCEPTABLE OPERATIONAL CONDITION. A RECORD OF THE LOCATION OF ALL FIELD TILE FOR ONSITE DRAIN PIPE ENCOUNTERED SHALL BE KEPT BY THE CONTRACTOR AND TURNED OVER TO THE ENGINEER UPON COMPLETION OF THE PROJECT. THE COST OF THIS WORK SHALL BE CONSIDERED AS INCIDENTAL TO THE CONTRACT AND NO ADDITIONAL COMPENSATION WILL BE ALLOWED.

11. IT SHALL BE THE RESPONSIBILITY OF EACH RESPECTIVE CONTRACTOR TO REMOVE FROM THIS SITE ANY AND ALL MATERIALS AND DEBRIS WHICH RESULT FROM HIS CONSTRUCTION OPERATIONS AT NO ADDITIONAL EXPENSE

12. THE ENGINEER AND OWNER ARE NOT RESPONSIBLE FOR THE CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES OR PROCEDURES, TIME OF PERFORMANCE, PROGRAMS OF FOR ANY SAFETY PRECAUTIONS USED BY THE CONTRACTOR. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR EXECUTION OF HIS WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS AND SPECIFICATIONS.

13. THE CONTRACTOR SHALL COMPLY WITH ALL STATE AND FEDERAL SAFETY REGULATIONS AS OUTLINED IN THE LATEST REVISIONS OF THE FEDERAL CONSTRUCTION SAFETY STANDARDS (SERIES 1926) AND WITH APPLICABLE PROVISIONS AND REGULATIONS OF THE OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA) STANDARDS OF THE WILLIAMS STELGER OCCUPATIONAL HEALTH STATE SAFETY ACT OF 1970(REVISED). THE CONTRACTOR, ENGINEERS, AND OWNER SHALL EACH BE RESPONSIBLE FOR HIS OWN RESPECTIVE AGENTS AND EMPLOYEES.

14. THE CONTRACTOR SHALL INDEMNIFY THE OWNER, THE ENGINEER, AND ALL GOVERNING AUTHORITIES, THEIR AGENTS SUCCESSORS AND ASSIGNS FROM ANY AND ALL LIABILITY WITH RESPECT TO THE CONSTRUCTION, INSTALLATION AND TESTING OF THE WORK REQUIRED ON THIS PROJECT. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO PERFORM THE WORK OF THIS CONTRACT IN A MANNER WHICH STRICTLY COMPLIES WITH ANY AND ALL PERTINENT LOCAL, STATE OR NATIONAL CONSTRUCTION AND SAFETY CODES; THE ENGINEER, OWNER, AND GOVERNING AUTHORITIES ARE NOT RESPONSIBLE FOR ENSURING COMPLIANCE BY THE CONTRACTOR WITH SAID CODES AND ASSUME NO LIABILITY FOR ACCIDENTS, INJURIES, OR DEATHS, OR CLAIMS RELATING THERETO WHICH MAY RESULT FROM LACK OF ADHERENCE TO SAID CODES.

# UNDERGROUND UTILITIES

 ALL UTILITY TRENCHES BENEATH PROPOSED OR EXISTING UTILITIES, PROPOSED OR EXISTING PAVEMENT. DRIVEWAYS, SIDEWALKS AND FOR A DISTANCE OF TWO FEET ON EITHER SIDE OF SAME, AND/OR WHEREVER ELSE SHOWN ON THE CONSTRUCTION PLANS SHALL BE BACKFILLED WITH SELECT GRANULAR BACKFILL (CA-7) AND THOROUGHLY COMPACTED IN ACCORDANCE WITH THE EARTHWORK SPECIFICATIONS.

2. UNLESS OTHERWISE INDICATED ON THE PLANS, STORM SEWER PIPE SHALL BE REINFORCED CONCRETE CULVERT PIPE OF THE CLASS AS INDICATED ON THE PLANS, AND CONFORMING TO ASTM C-76. JOINTS SHALL TYPICALLY BE A "TROWEL APPLIED" BITUMINOUS MASTIC COMPOUND IN ACCORDANCE WITH ASTM C-76 (OR C-14 AS MAY BE APPLICABLE OR RUBBER "O"-RING GASKET JOINTS CONFORMING TO ASTM C-443). LOCATIONS WHERE THE STORM SEWER CROSSES WATERMAINS AN "O"-RING JOINT IN ACCORDANCE WITH ASTM C-361 SHALL BE USED.

3. STORM SEWER MANHOLES SHALL BE PRECAST STRUCTURES, WITH THE DIAMETER DEPENDENT ON THE PIPE SIZE AND WITH APPROPRIATE FRAME AND LIDS (SEE CONSTRUCTION STANDARDS). LIDS SHALL BE IMPRINTED "STORM SEWER". ALL FLARED END SECTIONS SHALL HAVE A FRAME & GRATE INSTALLED.

4. THESE FRAME AND GRATES FOR STORM STRUCTURES SHALL BE USED UNLESS OTHERWISE INDICATED ON THE PLAN SET. USE NEENAH R-1712 OPEN LID (OR EQUAL) IN PAVEMENT AREAS, USE NEENAH R-1772-B OPEN OR CLOSED LID (OR EQUAL) IN GRASS AREAS, USE NEENAH R-3015 (OR EQUAL) FOR B6.12 CURB AREAS, AND NEENAH R-3509 (OR EQUAL) FOR DEPRESSED CURB AREAS.

5. STRUCTURES FOR SANITARY AND STORM SEWERS AND VALVE VAULTS FOR WATER SHALL BE IN ACCORDANCE WITH THESE IMPROVEMENT PLANS AND THE APPLICABLE STANDARD SPECIFICATIONS. WHERE GRANULAR TRENCH BACKFILL IS REQUIRED AROUND THESE STRUCTURES THE COST SHALL BE CONSIDERED AS INCIDENTAL AND SHALL BE INCLUDED IN THE CONTRACT UNIT PRICE FOR THE STRUCTURE.

6. ALL STORM SEWERS AND WATERMAINS SHALL HAVE COMPACTED CA-7 GRANULAR BEDDING, A MINIMUM OF 4" BELOW THE BOTTOM OF THE PIPE FOR THE FULL LENGTH. BEDDING SHALL EXTEND TO THE SPRING LINE OF THE

PIPE. COST FOR THE BEDDING SHALL BE INCLUDED WITH THE UNIT PRICE BID FOR THE PIPE. 7. THE UNDERGROUND CONTRACTOR SHALL BE RESPONSIBLE FOR DEWATERING ANY EXCAVATION FOR THE INSTALLATION OF THE SEWER OR WATER SYSTEMS. ANY DEWATERING ENCOUNTERED SHALL BE INCIDENTAL TO THE

8. ALL STRUCTURES SHALL HAVE A MAXIMUM OF 8" OF ADJUSTING RINGS, UNLESS OTHERWISE NOTED.

9. ALL TOP FRAMES FOR STORM AND VALVE VAULT COVERS AND B-BOXES ARE TO BE ADJUSTED TO MEET FINAL FINISH GRADE UPON COMPLETION OF FINISHED GRADING AND FINAL INSPECTIONS. THIS ADJUSTMENT IS TO BE MADE BY THE UNDERGROUND CONTRACTOR AND THE COST IS TO BE INCIDENTAL. THE UNDERGROUND CONTRACTOR SHALL INSURE THAT ALL ROAD AND PAVEMENT INLETS OR STRUCTURES ARE AT FINISHED GRADE. ANY ADJUSTMENTS NECESSITATED BY THE CURB OR PAVING CONTRACTOR TO ACHIEVE FINAL RIM GRADE, RESULTING IN AN EXTRA FOR SAID ADJUSTMENTS, WILL BE CHARGED TO THE UNDERGROUND CONTRACTOR.

10. ALL FLOOR DRAINS AND FLOOR DRAIN SUMP PUMPS SHALL DISCHARGE INTO THE SANITARY SEWER.

11. ALL DOWNSPOUTS, FOOTING DRAINS AND SUBSURFACE STORM WATERS SHALL DISCHARGE INTO THE STORM SEWER OR ONTO THE GROUND AND BE DIRECTED TOWARDS A STORM SEWER STRUCTURE.

12. ANY ANTICIPATED COST OF SHEETING SHALL BE REFLECTED IN THE CONTRACT AMOUNTS. NO ADDITIONAL COST WILL BE ALLOWED FOR SHEETING OR BRACING.

13. THE CONTRACTOR SHALL INSTALL A 2"x4"x8' POST ADJACENT TO THE TERMINUS OF THE SANITARY SERVICE, WATERMAIN SERVICE, SANITARY MANHOLES, STORM STRUCTURES, AND WATER VAULTS. THE POST SHALL EXTEND A MINIMUM OF 4 FT. ABOVE THE GROUND. SAID POST SHALL BE PAINTED AS FOLLOWS: SANITARY-GREEN,

14. IT SHALL BE THE RESPONSIBILITY OF THE UNDERGROUND CONTRACTOR TO REMOVE FROM THE SITE ANY AND ALL MATERIALS AND DEBRIS WHICH RESULT FROM HIS CONSTRUCTION OPERATIONS AT NO ADDITIONAL EXPENSE TO

# EARTHWORK

1. ALL EARTHWORK OPERATIONS SHALL BE IN ACCORDANCE WITH SECTION 200 OF THE I.D.O.T. SPECIFICATIONS. 2. THE CONTRACTOR SHALL PROTECT ALL PROPERTY PINS AND SURVEY MONUMENTS AND SHALL RESTORE ANY WHICH ARE DISTURBED BY HIS OPERATIONS AT NO ADDITIONAL COST TO THE CONTRACT.

3. IT IS THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE ALL MATERIAL QUANTITIES AND APPRISE HIMSELF OF ALL SITE CONDITIONS. THE CONTRACT PRICE SUBMITTED BY THE CONTRACTOR SHALL BE CONSIDERED AS LUMP SUM FOR THE COMPLETE PROJECT. NO CLAIMS FOR EXTRA WORK WILL BE RECOGNIZED UNLESS ORDERED IN

4. PRIOR TO ONSET OF MASS GRADING OPERATIONS THE EARTHWORK CONTRACTOR SHALL FAMILIARIZE HIMSELF WITH THE SOIL EROSION CONTROL SPECIFICATIONS. THE INITIAL ESTABLISHMENT OF EROSION CONTROL PROCEDURES AND THE PLACEMENT OF SILT FENCING, ETC. TO PROTECT ADJACENT PROPERTY SHALL OCCUR BEFORE MASS GRADING BEGINS, AND IN ACCORDANCE WITH THE SOIL EROSION CONTROL CONSTRUCTION

5. THE GRADING OPERATIONS ARE TO BE CLOSELY SUPERVISED AND INSPECTED, PARTICULARLY DURING THE REMOVAL OF UNSUITABLE MATERIAL AND THE CONSTRUCTION OF EMBANKMENTS OR BUILDING PADS, BY THE SOILS ENGINEER OR HIS REPRESENTATIVE. ALL TESTING, INSPECTION AND SUPERVISION OF SOIL QUALITY, UNSUITABLE REMOVAL AND ITS REPLACEMENT AND OTHER SOILS RELATED OPERATIONS SHALL BE ENTIRELY THE

6. THE GRADING AND CONSTRUCTION OF THE SITE IMPROVEMENTS SHALL NOT CAUSE PONDING OF STORM WATER. ALL AREAS ADJACENT TO THESE IMPROVEMENTS SHALL BE GRADED TO ALLOW POSITIVE DRAINAGE.

7. THE PROPOSED GRADING ELEVATIONS SHOWN ON THE PLANS ARE FINISH GRADE. A MINIMUM OF SIX INCHES (6") OF TOPSOIL IS TO BE PLACED BEFORE FINISH GRADE ELEVATIONS ARE ACHIEVED.

8. THE SELECTED STRUCTURAL FILL MATERIAL SHALL BE PLACED IN LEVEL UNIFORM LAYERS SO THAT THE COMPACTED THICKNESS IS APPROXIMATELY SIX INCHES (6"); IF COMPACTION EQUIPMENT DEMONSTRATES THE ABILITY TO COMPACT A GREATER THICKNESS, THEN A GREATER THICKNESS MAY BE SPECIFIED. EACH LAYER

9. EMBANKMENT MATERIAL WITHIN ROADWAY, PARKING LOT, AND OTHER STRUCTURAL CLAY FILL AREAS SHALL BE COMPACTED TO A MINIMUM OF NINETY-FIVE PERCENT (95%) OF MAXIMUM DENSITY IN ACCORDANCE WITH ASTM SPECIFICATION D-1557 (MODIFIED PROCTOR METHOD), OR TO SUCH OTHER DENSITY AS MAY BE DETERMINED APPROPRIATE BY THE SOILS ENGINEER. EMBANKMENT MATERIAL FOR BUILDING PADS SHALL BE COMPACTED TO A MINIMUM OF NINETY-FIVE (95%) OF MAXIMUM DENSITY IN ACCORDANCE WITH ASTM DESIGNATION D-1557 (MODIFIED PROCTOR METHOD) OR TO SUCH OTHER DENSITY AS MAY BE DETERMINED

SHALL BE THOROUGHLY MIXED DURING SPREADING TO INSURE UNIFORMITY.

10. EMBANKMENT MATERIAL (RANDOM FILL) WITHIN NON-STRUCTURAL FILL AREAS SHALL BE COMPACTED TO A MINIMUM OF NINETY PERCENT (90%) OF MAXIMUM DENSITY IN ACCORDANCE WITH ASTM SPECIFICATION D-157

11. THE SUB GRADE FOR PROPOSED STREET AND PAVEMENT AREAS SHALL BE PROOF-ROLLED BY THE CONTRACTOR AND ANY UNSTABLE AREAS ENCOUNTERED SHALL BE REMOVED AND REPLACED AS DIRECTED BY

12. SOIL BORING REPORTS, IF AVAILABLE, ARE SOLELY FOR THE INFORMATION AND GUIDANCE OF THE CONTRACTORS. THE OWNER AND ENGINEER MAKE NO REPRESENTATION OR WARRANTY REGARDING THE INFORMATION CONTAINED IN THE BORING LOGS. THE CONTRACTOR SHALL MAKE HIS OWN INVESTIGATIONS AND SHALL PLAN HIS WORK ACCORDINGLY. ARRANGEMENTS TO ENTER THE PROPERTY DURING THE BIDDING PHASE MAY BE MADE UPON REQUEST OF THE OWNER. THERE WILL BE NO ADDITIONAL PAYMENT FOR EXPENSES INCURRED BY THE CONTRACTOR RESULTING FROM ADVERSE SOIL OR GROUND WATER CONDITIONS.

13. IT SHALL BE THE RESPONSIBILITY OF THE EXCAVATION CONTRACTOR TO REMOVE FROM THE SITE ANY AND ALL MATERIALS AND DEBRIS WHICH RESULT FROM HIS CONSTRUCTION OPERATIONS AT NO ADDITIONAL EXPENSE TO THE OWNER.

# PAVING & WALKS

(MODIFIED PROCTOR METHOD).

1. WORK UNDER THIS SECTION SHALL INCLUDE FINAL SUBGRADE SHAPING AND PREPARATION: FORMING, JOINTING, PLACEMENT OF ROADWAY AND PAVEMENT BASE COURSE MATERIALS AND SUBSEQUENT BINDER AND/OR SURFACE COURSES; PLACEMENT, FINISHING AND CURING OF CONCRETE; FINAL CLEAN-UP; AND ALL RELATED

2. ALL PAVING AND SIDEWALK WORK SHALL BE DONE IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS (I.D.O.T.) AND PER LOCAL REGULATIONS.

3. SUBGRADE FOR PROPOSED PAVEMENT SHALL BE FINISHED BY THE EXCAVATION CONTRACTOR TO WITHIN 0.1 FOOT, PLUS OR MINUS, OF THE PLAN ELEVATION. THE PAVING CONTRACTOR SHALL SATISFY HIMSELF THAT THE SUBGRADE HAS BEEN PROPERLY PREPARED AND THAT THE FINISH TOP SUBGRADE ELEVATION HAS BEEN GRADED WITHIN TOLERANCES ALLOWED IN THESE SPECIFICATIONS. UNLESS THE PAVING CONTRACTOR ADVISES THE OWNER AND ENGINEER IN WRITING PRIOR TO FINE GRADING FOR BASE COURSE CONSTRUCTION, IT IS UNDERSTOOD THAT HE HAS APPROVED AND ACCEPTS THE RESPONSIBILITY FOR THE SUBGRADE. PRIOR TO PLACEMENT OF PAVEMENT BASE MATERIALS, THE PAVING CONTRACTOR SHALL FINE GRADE THE SUBGRADE SO AS TO INSURE THE PROPER THICKNESS OF PAVEMENT COURSES. NO CLAIMS FOR EXCESS BASE MATERIALS DUE TO IMPROPER SUBGRADE PREPARATION WILL BE HONORED.

4. THE PROPOSED PAVEMENT SHALL CONSIST OF THE SUB-BASE COURSE, BITUMINOUS AGGREGATE BASE COURSE, BITUMINOUS BINDER COURSE, AND BITUMINOUS SURFACE COURSE, OF THE THICKNESS AND MATERIALS AS SPECIFIED ON THE CONSTRUCTION PLANS, PRIME COAT SHALL BE APPLIED TO THE SUB-BASE COURSE AT A RATE OF 0.5 GALLONS PER SQUARE YARD. UNLESS SHOWN AS A BID ITEM, PRIME COAT SHALL BE CONSIDERED AS INCIDENTAL TO THE COST OF THE CONTRACT. ALL PAVEMENT SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE "I.D.O.T. STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION," CURRENT EDITION.

5. AFTER THE INSTALLATION OF THE BASE COURSE, ALL TRAFFIC SHALL BE KEPT OFF THE BASE UNTIL THE BINDER COURSE IS LAID. AFTER INSTALLATION OF THE BINDER COURSE AND UPON INSPECTION AND APPROVAL BY GOVERNING AUTHORITY. THE PAVEMENT SHALL BE CLEANED, PRIMED AND THE SURFACE COURSE LAID. ALL DAMAGED AREAS IN THE BINDER, BASE OR CURB AND GUTTER SHALL BE REPAIRED TO THE SATISFACTION OF THE OWNER PRIOR TO LAYING THE SURFACE COURSE. THE PAVING CONTRACTOR SHALL PROVIDE WHATEVER EQUIPMENT AND MANPOWER IS NECESSARY, INCLUDING THE USE OF POWER BROOMS TO PREPARE THE PAVEMENT FOR APPLICATION OF THE SURFACE COURSE. EQUIPMENT AND MANPOWER TO CLEAN PAVEMENT SHALL BE CONSIDERED INCIDENTAL TO THE COST OF THE CONTRACT. PRIME COAT ON THE BINDER COARSE SHALL BE CONSIDERED AS INCIDENTAL TO THE COST OF THE CONTRACT AND SHALL BE APPLIED TO THE BINDER AT A RATE OF 0.5 GALLONS PER SQUARE YARD.

6. CURING AND PROTECTION OF ALL EXPOSED CONCRETE SURFACES SHALL BE IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS.

7. SIDEWALKS SHALL BE OF THE THICKNESS AND DIMENSIONS AS SHOWN IN THE CONSTRUCTION PLANS. ALL SIDEWALK CONCRETE SHALL DEVELOP A MINIMUM OF 3,500-PSI COMPRESSIVE STRENGTH AT 28 DAYS. CONTRACTION JOINTS SHALL BE SET AT 5' CENTERS, AND 3/4" PRE-MOLDED FIBER EXPANSION JOINTS SET AT 50' CENTERS AND WHERE THE SIDEWALK MEETS THE CURB, A BUILDING, OR ANOTHER SIDEWALK, OR AT THE END OF EACH POUR. ALL SIDEWALKS CONSTRUCTED OVER UTILITY TRENCHES SHALL BE REINFORCED WITH THREE NO. 5 REINFORCING BARS (10' MINIMUM LENGTH). ALL SIDEWALKS CROSSING DRIVEWAYS SHALL BE A MINIMUM OF 6" THICK AND REINFORCED WITH 6X6 #6 WELDED WIRE MESH. ALL SIDEWALKS SHALL BE BROOM FINISHED. IF A MANHOLE FRAME FALLS WITHIN THE LIMITS OF A SIDEWALK, A BOX-OUT SECTION SHALL BE PLACED AROUND THE MANHOLE FRAME WITH A 3/4" EXPANSION JOINT.

8. BACKFILLING ALONG PAVEMENT SHALL BE THE RESPONSIBILITY OF THE EARTHWORK CONTRACTOR. 9. IT SHALL BE THE RESPONSIBILITY OF THE PAVING CONTRACTOR TO REMOVE FROM THE SITE ANY AND ALL MATERIAL AND DEBRIS, WHICH RESULTS FROM HIS CONSTRUCTION OPERATIONS AT NO ADDITIONAL EXPENSE TO

10. TESTING OF THE SUB-BASE, BASE COURSE, BINDER COURSE, SURFACE COURSE AND CONCRETE WORK SHALL BE REQUIRED IN ACCORDANCE WITH THE "I.D.O.T. STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION" CURRENT EDITION, AND IN ACCORDANCE WITH THE SPECIFIC REQUIREMENTS OF THE GOVERNING MUNICIPALITY. A QUALIFIED TESTING FIRM SHALL BE EMPLOYED BY THE OWNER TO PERFORM THE REQUIRED

11. PAINTED PAVEMENT MARKINGS AND SYMBOLS SHALL BE INSTALLED IN ACCORDANCE WITH SECTION 1095 OF IDOT STANDARD SPECIFICATIONS, OR THE TYPE AND COLOR AS NOTED ON THE CONSTRUCTION PLANS.

12. PAINTED PAVEMENT MARKINGS AND SYMBOLS SHALL BE INSTALLED ONLY WHEN THE AMBIENT AIR TEMPERATURE IS 40 DEGREES FAHRENHEIT AND THE FORECAST CALL FOR RISING TEMPERATURES. 13. ALL EXISTING CURB AND PAVEMENT SHALL BE PROTECT DURING CONSTRUCTION. ANY DAMAGE TO THE

14. ANY SIDEWALK THAT IS DAMAGED OR NOT ADA COMPLIANT, INCLUDING SIDEWALK RAMPS, MUST BE REPLACED PRIOR TO FINAL INSPECTION APPROVAL.

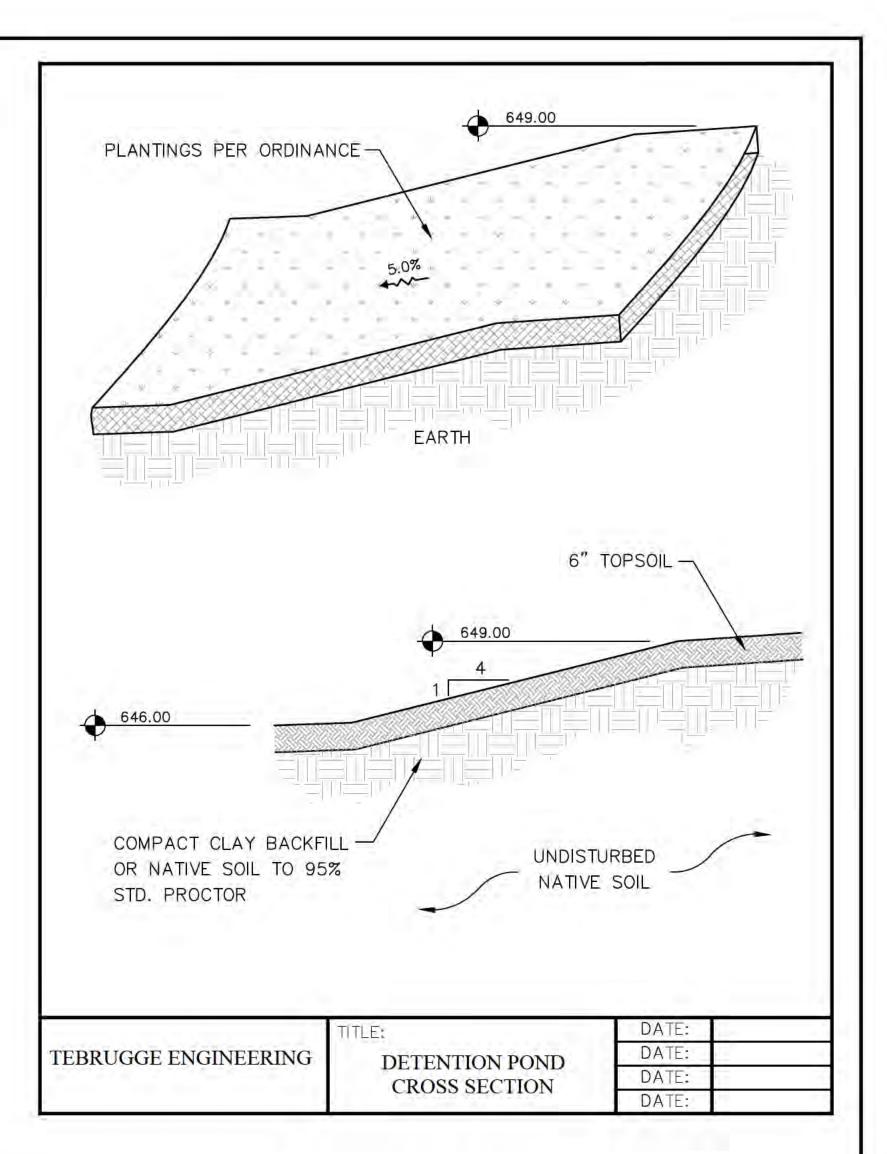
CURB OR PAVEMENT WILL BE REPAIRED OR REPLACED AT NO ADDITIONAL COST TO THE OWNER.

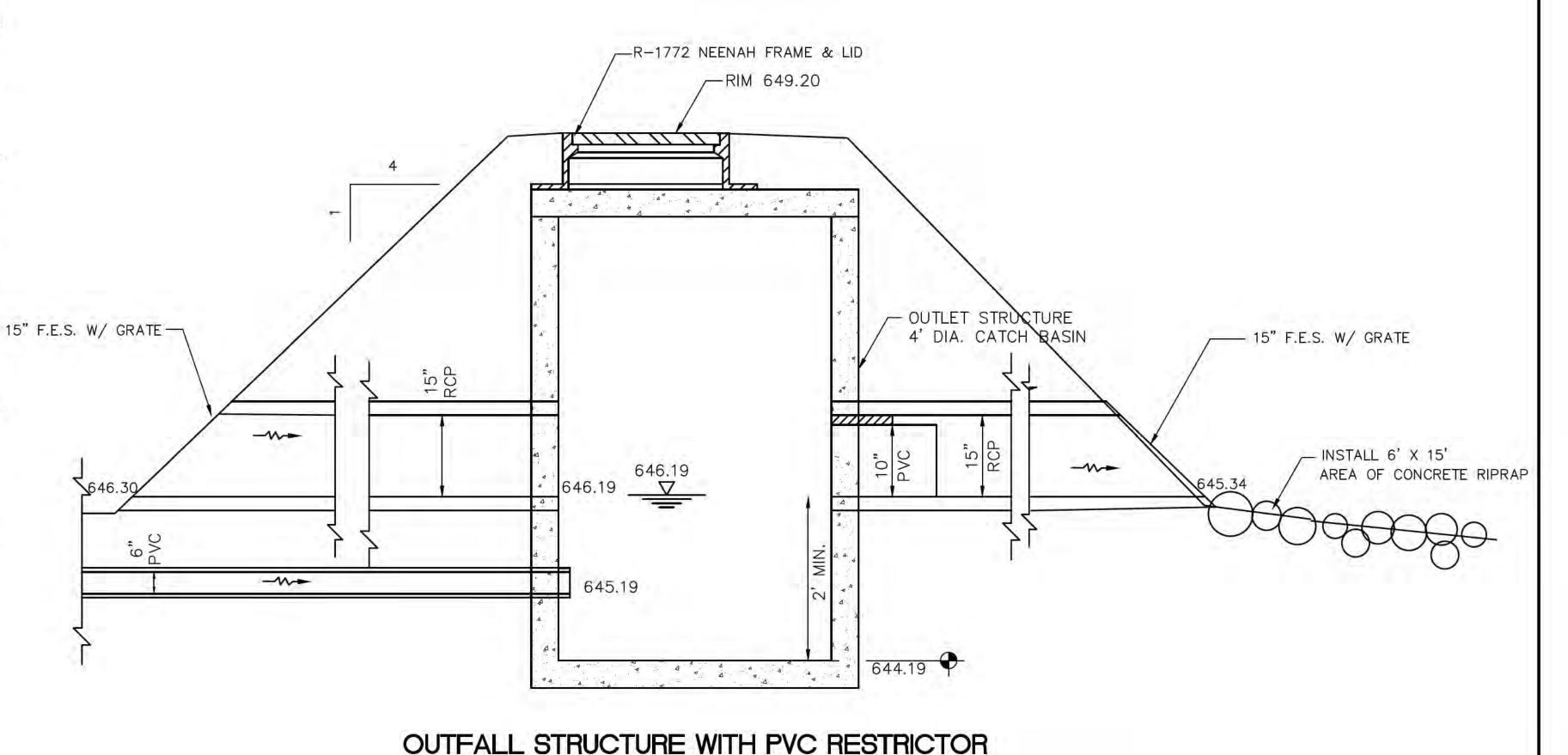
-FUTURE PAVEMENT AS SHOWN ON SITE GRADING PLAN -GRANULAR BACKFILL (CA-6 OR CA-7) UNDER THE PAVEMENT AND 3' MIN. OUTSIDE EDGE OF PAVEMENT. TRENCH WIDTH (SEE TABLE) -STORM SEWER PIPE (CONCRETE) 6 3'-2" 8 3'-2" 12 3'-4" 15 3'-6" - GRANULAR CRADLE 18 3'-10" CA-6 OR CA-7 21 4'-4" ALL PAVED AREAS 24 4'-8" 27 4'-11" -MOUND SLIGHTLY (TO BE 30 5'-3" FERTILIZED AND SEEDED) 36 6'-4" 42 6'-11" -BACKFILL WITH ORIGINALLY 48 7'-6" EXCAVATED MATERIAL 54 8'-7" 60 9'-2" TRENCH WIDTH 66 9'-9" (SEE TABLE) - STORM SEWER 72 10'-4" PIPE (CONCRETE) 78 10'-11" 84 11'-6" 90 12'-1" 96 12'-8" - GRANULAR CRADLE CA-6 OR CA-7 102 13'-3"

TRENCH DETAILS - STORM SEWER

NON-PAVED AREAS

108 13'-10"





ALL DISTURBED AREAS SHALL BE SEEDED WITH IDOT CLASS 1A SEEDMIX

RESPECTIVE UNDERGROUND UTILITY.

TEBRUGGE ENGINEERING 410 E. CHURCH STREET - SUITE A • SANDWICH, IL 60548

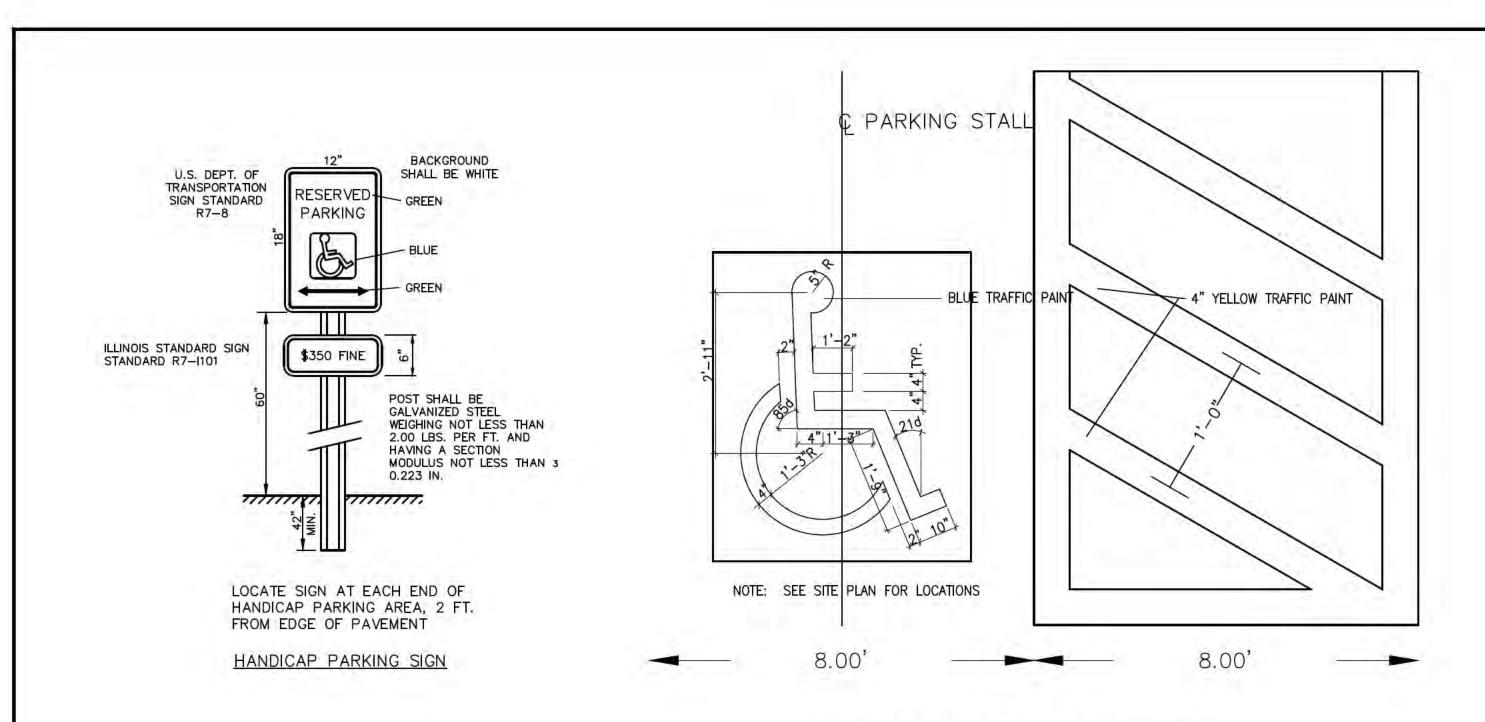
PHONE: (815) 786-0195 TEBRUGGEENGINEERING.COM

ENDALL COUNTY REVIEW LETTER 2.22.24 ENDALL COUNTY PARKING MODIFICATIONS 3.21.

PREPARED FOR: FOX VALLEY FAMILY YMCA, INC 3875 ELDAMAIN RD, PLANO, IL

YMCA EAST SITE PLAN **GENERAL NOTES & DETAILS** 

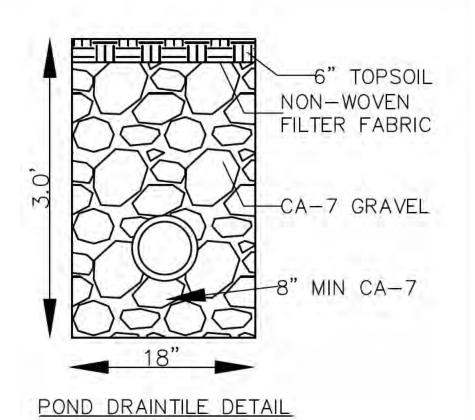
SHEET NO. PROJECT NO. 23 555 01 JAN 22, 2024 OF 12 SHEETS



VARIES 5'-0" TO 8'-0" SLOPE: 1/4" PER 1'-0" (2% MAX) 4" MIN. - CA-6 5" CLASS SI CONCRETE 1. INSTALL TOOL JOINTS EVERY 5' CONCRETE TO BE 6" THICK AT DRIVEWAYS. 2. ANY SIDEWALK THAT IS DAMAGED OR NOT ADA COMPLIANT, INCLUDING SIDEWALK RAMPS, MUST BE REPLACED PRIOR TO FINAL INSPECTION APPROVAL. SIDEWALK N.T.S.

1 1/2" HMA IL-9.5, N-50 SURFACE COURSE 2 1/2" HMA IL-19, N-50 BINDER COURSE 10" AGGREGATE COURSE, TYPE A, CA-6

TYPICAL PAVEMENT DETAIL



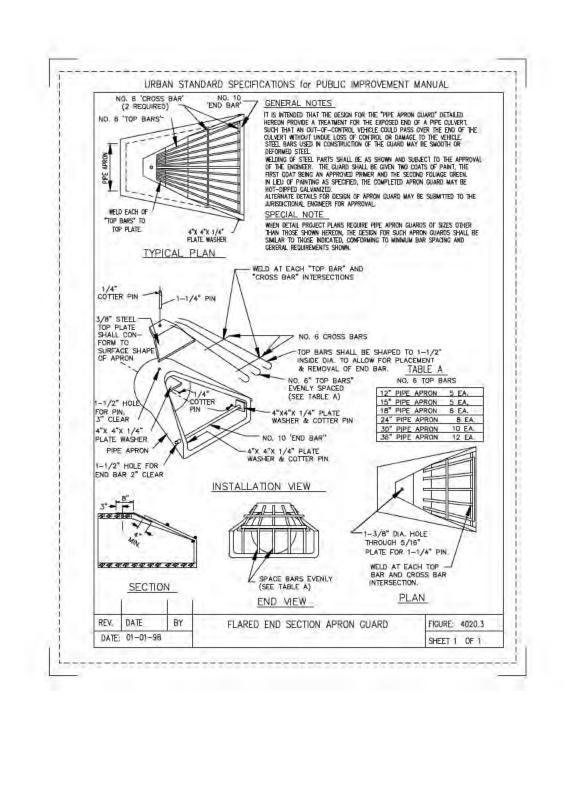
HANDICAPPED PARKING DETAIL

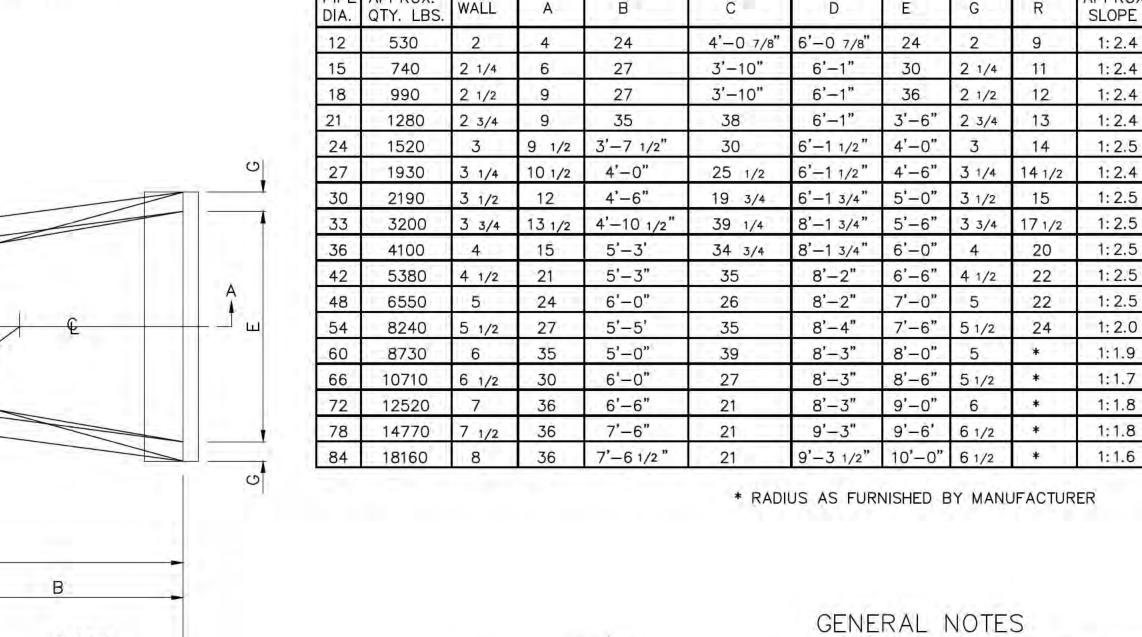
N.T.S.

# PRECAST REINFORCED CONCRETE FLARED **END SECTION**

-END CONNECTION TO

FIT PIPE USED





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OTHERWISE SHOWN.

HORIZONTAL DISPLACEMENT (V: H).

SECTION A-A

STANDARD REINFORCEMENT FOR CIRCULAR CLASS III, WALL B

REINFORCED CONCRETE PIPE.

62

PLAN

-SAME REINFORCEMENT AS INNER CAGE

PRECAST OR CAST IN PLACE END BLOCK.

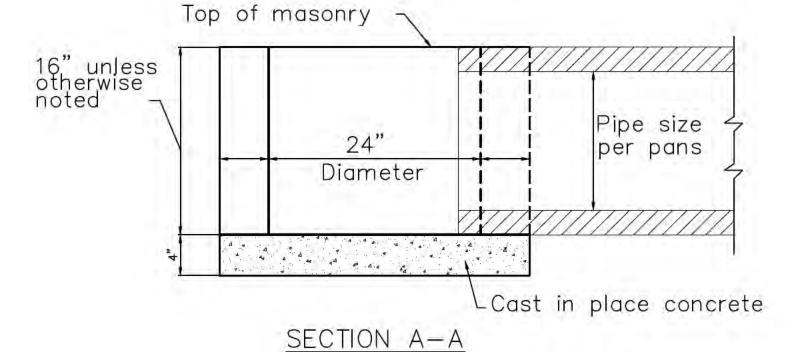
2-NO. 4 BARS -

SLOPE

N.T.S.

**END VIEW** 

OPTIONAL 24 BAR-DIA. MIN. SPLICE



PLAN

TYPE A INLET

TEBRUGGE ENGINEERING 410 E. CHURCH STREET - SUITE A • SANDWICH, IL 60548 PHONE: (815) 786-0195 TEBRUGGEENGINEERING.COM

PREPARED FOR: FOX VALLEY FAMILY YMCA, INC 3875 ELDAMAIN RD, PLANO, IL

YMCA EAST SITE PLAN **GENERAL NOTES & DETAILS II** 

10 > 36

1 1/2" R

23 555 01 PROJECT NO. JAN 22, 2024

SHEET NO. OF 12 SHEETS





# Kendall County Agenda Briefing

Meeting Type: Planning, Building and Zoning

**Meeting Date:** 5/6/2024

**Subject:** Approval of Petition 24-05, Plat of Vacation of Utility and Drainage Easements

at 7709 and 7731 Bentgrass Circle

**Prepared by:** Matthew H. Asselmeier, AICP, CFM

**Department:** Planning, Building and Zoning

\_\_\_\_\_

# **Action Requested:**

Approval of Petition 24-05, A Request from George S. and Heidi R. Oliver for Approval of a Plat of Vacation of a Ten Foot Drainage and Utility Easement at the Common Lot Lines of Lots 223 and 224 of Whitetail Ridge Subdivision also Known as 7709 and 7731 Bentgrass Circle, Yorkville (PINs: 06-07-375-002 and 06-07-375-003) in Na-Au-Say Township; Properties are Zoned RPD-2

## **Previous Board/Committee Review:**

ZPAC-Approval (7-0-3) on April 2, 2024

# **Fiscal impact:**

N/A

# **Background and Discussion:**

The Petitioner would like to vacate the easement between the two (2) properties in order to build a house over the common lot line.

WBK Engineering, the Homeowners' Association and all of the utilities have reviewed the proposal and expressed no opposition.

# **Staff Recommendation:**

**Approval with Conditions** 

#### **Attachments:**

**Draft Ordinance** 

#### ORDINANCE NUMBER 2024-\_\_\_\_

# APPROVING A PLAT OF VACATION OF TWO FIVE FOOT DRAINAGE AND UTILITY EASEMENTS ON THE COMMON BOUNDARY LINES OF LOTS 223 AND 224 OF WHITETAIL RIDGE SUBDIVISION MORE COMMONLY KNOWN AS 7709 AND 7731 BENTGRASS CIRCLE YORKVILLE AND IDENTIFIED BY PARCEL IDENTIFICATION NUMBERS 06-07-375-002 AND 06-07-375-003 IN NA-AU-SAY TOWNSHIP

<u>WHEREAS</u>, Section 7.06 of the Kendall County Subdivision Control Ordinance permits the Kendall County Board to approve plats of vacation and provides the procedure through which plats of vacation are approved; and

<u>WHEREAS</u>, the two five-foot drainage and utility and easements which are the subject of this Ordinance were established by Ordinance 2005-16 which granted approval of a final plat of Whitetail Ridge Subdivision and was approved by the Kendall County Board on March 1, 2005; and

<u>WHEREAS</u>, the final plat of Whitetail Ridge Subdivision was recorded in the Kendall County Recorder of Deeds Office on June 9, 2005; and

<u>WHEREAS</u>, two five-foot drainage and utility easements which are the subject of this Ordinance are located along and parallel to the shared property line of Lots 223 and 224 in Whitetail Ridge Subdivision. The legal descriptions of the easements are set forth in Exhibit A attached hereto and incorporated by reference; and

<u>WHEREAS</u>, on or about January 22, 2024, and January 26, 2024, George S. Oliver and Heidi R. Oliver acquired ownership of Lots 223 and 224 of Whitetail Ridge Subdivision and the property presently identified by Parcel Identification Numbers 06-07-375-002 and 06-07-375-003; and

<u>WHEREAS</u>, on or about March 4, 2024, George S. Oliver and Heidi R. Oliver, hereinafter referred to as "Petitioners," filed a petition for approval of a plat of vacation of two five-foot drainage and utility easements located along the property line of Lots 223 and 224; and

<u>WHEREAS</u>, a registered surveyor or engineer has prepared said plat and the plat meets the requirements listed under Section 7.06.C of the Kendall County Subdivision Control Ordinance; and

<u>WHEREAS</u>, on April 2, 2024, the Kendall County Zoning, Platting and Advisory Committee reviewed this petition and has forwarded to the Kendall County Board a recommendation of approval of the requested plat of vacation; and

<u>WHEREAS</u>, on May 6, 2024, the Kendall County Planning, Building and Zoning Committee of the Kendall County Board reviewed the information presented and recommendation of the Kendall County Zoning, Platting and Advisory Committee, and has forwarded to the Kendall County Board a recommendation of **approval** of the requested plat of vacation; and

<u>WHEREAS</u>, on May 21, 2024, the Kendall County Board considered the recommendation of the Planning, Building and Zoning Committee and the recommendation of the Kendall County Zoning, Platting and Advisory Committee, and has determined that said petition is in conformance with the provisions and intent of the Kendall County Zoning Subdivision Control Ordinance and other applicable Ordinances; and

# <u>NOW, THEREFORE, BE IT ORDAINED, BY THE COUNTY BOARD OF KENDALL COUNTY, ILLINOIS,</u> as follows:

- 1. The Kendall County Board hereby grants approval of Petitioners' petition for a plat of vacation of the easements legally described in Exhibit A attached hereto and shown on the site plan attached hereto as Exhibit B.
- 2. Lots 223 and 224 of Whitetail Ridge Subdivision shall not be sold as individual lots upon the successful recording of Exhibit B. Within ninety (90) days of the effective date of this ordinance, the Petitioners shall submit a parcel consolidation request to Kendall County.
- 3. One (1) single-family residence may be constructed on Lots 223 and 224 of Whitetail Ridge Subdivision combined.
- 4. This vacation shall become effective upon the successful recording of Exhibit B in the timeframe outlined in Section 7.06.H of the Kendall County Subdivision Control Ordinance unless an extension is granted by the Kendall County Board.

<u>IN WITNESS OF</u>, this ordinance has been enacted by a majority vote of the Kendall County Board and is effective this 21<sup>st</sup> day of May, 2024.

Attest:	
Kendall County Clerk	Kendall County Board Chairman
Debbie Gillette	Matt Kellogg

#### LEGAL DESCRIPTION OF

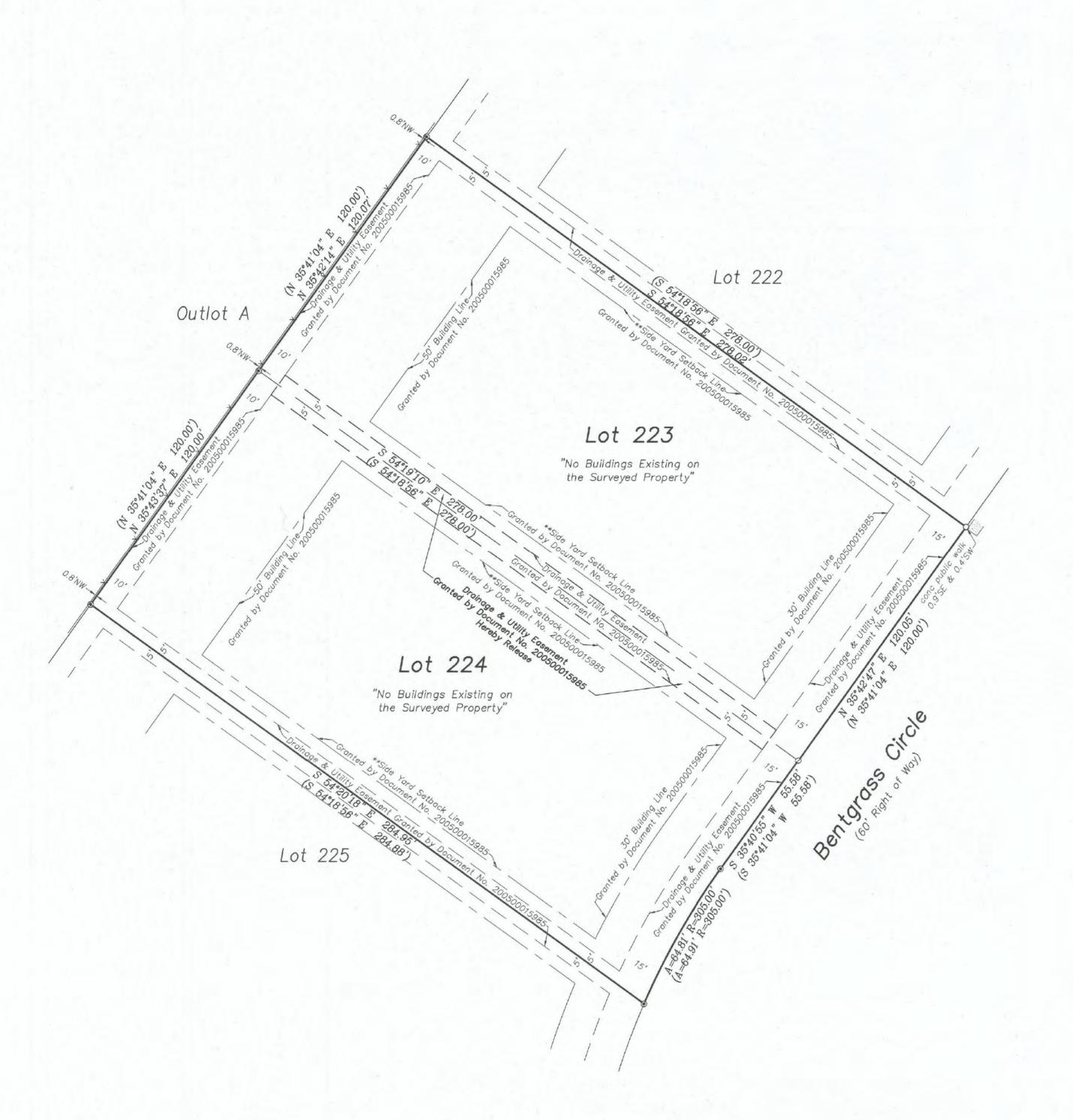
#### EASEMENT TO BE RELEASED:

THE SOUTHERLY 5.0 FEET OF LOT 223 (EXCEPT THE EASTERLY 15. 0 FEET AND WESTERLY 10.0 FEET THEREOF) AND THE NORTHERLY 5.0 FEET OF LOT 224 (EXCEPT THE EASTERLY 15.0 FEET AND THE WESTERLY 10.0 FEET THEREOF) ALL IN WHITETAIL RIDGE SUBDIVISION, BEING A SUBDIVISION OF PART OF SECTION 72, TOWNSHIP 36 NORTH, RANGE 7, PART OF SECTION 7, TOWNSHIP 36, RANGE B, AND PART OF THE FORMER WA/SH-KEE-SHAW RESERVATION, IN KENDALL AND NA-AU-SAY TOWNSHIPS, ACCORDING TO THE PLAT THEREOF RECORDED JUNE 9, 2005 AS DOCUMENT NO. 200500015985, IN KENDALL COUNTY, ILLINOIS.

# PLAT OF EASEMENT RELEASE PART OF LOTS 223 AND 224 WHITETAIL RIDGE KENDALL & NA-AU-SAY TOWNSHIPS KENDALL COUNTY ILLINOIS



PROPERTY LOCATION: PIN: 06-07-375-002 06-07-375-003



OWNER'S CERTIFICATE

THIS DAY OF	4.0.00
THIS DAY OF	, A.D. 20
BY:SIGNA	TURE
BY:	TOKE
PRINT	
TITLE:	
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THE RELEASE OF THE EASEMENTS SH	OWN HEREON ARE APPROVED
AND ACCEPTED,	
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\*\*SURVEYOR'S NOTE: SIDEYARD SETBACK LINES ARE 10' OR 10% OF WIDTH PER DETAIL ON WHITETAIL RIDGE SUBDIVISION PLAT.

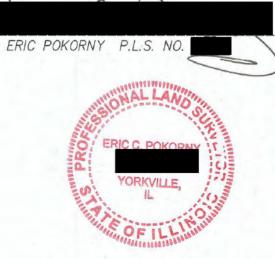
LEGAL DESCRIPTION OF EASEMENT TO BE RELEASED:

THE SOUTHERLY 5.0 FEET OF LOT 223 (EXCEPT THE EASTERLY 15.0 FEET AND THE WESTERLY 10.0 FEET THEREOF) AND THE NORTHERLY 5.0 FEET OF LOT 224 (EXCEPT THE EASTERLY 15.0 FEET AND THE WESTERLY 10.0 FEET THEREOF) ALL IN WHITETAIL RIDGE SUBDIVISION, BEING A SUBDIVISION OF PART OF SECTION 12, TOWNSHIP 36 NORTH, RANGE 7, PART OF SECTION 7, TOWNSHIP 36, RANGE 8, AND PART OF THE FORMER WAISH-KEE-SHAW RESERVATION, IN KENDALL AND NA-AU-SAY TOWNSHIPS, ACCORDING TO THE PLAT THEREOF RECORDED JUNE 9, 2005 AS DOCUMENT NO. 200500015985, IN KENDALL COUNTY, ILLINOIS.

SURVEYOR'S CERTIFICATE STATE OF ILLINOIS ) ) SS COUNTY OF KENDALL )

WE, CORNERSTONE SURVEYING, P.C., AN ILLINOIS PROFESSIONAL DESIGN FIRM LAND SURVEYOR CORPORATION NO. 184.006522, DO HEREBY STATE THAT WE HAVE PREPARED THIS PLAT OF EASEMENT RELEASE FOR THE PROPERTY DESCRIBED HEREON.

DATED AT YORKVILLE, ILLINOIS ON FEBRUARY 29, 2024.



STATE OF ILLINOIS COUNTY OF KENDALL ) THIS IS TO CERTIFY THAT WE, GEORGE S. OLIVER AND HEIDI R. OLIVER ARE THE OWNERS OF THE PROPERTY DESCRIBED HEREON, AND DO WILLINGLY ACCEPT AND APPROVE THE EASEMENT RELEASE DESCRIBED HEREON. DATED AT \_\_\_\_\_, ILLINOIS GEORGE S. OLIVER HEIDI S. OLIVER NOTARY'S CERTIFICATE STATE OF ILLINOIS ) COUNTY OF KENDALL ) \_\_\_\_\_, A NOTARY PUBLIC IN AND FOR THE COUNTY AND STATE AFORESAID, TO HEREBY CERTIFY THAT GEORGE S. OLIVER AND HEIDI R. OLIVER, WHO ARE PERSONALLY KNOWN TO ME TO BE THE SAME PERSONS WHOSE NAMES ARE SUBSCRIBED TO THE FOREGOING OWNER'S CERTIFICATE, APPEARED BEFORE ME THIS DAY, IN PERSON, AND ACKNOWLEDGED THE EXECUTION OF THE ANNEXED PLAT AND ACCOMPANYING INSTRUMENTS FOR USES AND PURPOSES THEREIN SET FORTH AS THEIR FREE AND VOLUNTARY ACT. GIVEN UNDER MY HAND AND NOTARIAL SEAL, THIS \_\_\_\_\_\_, A.D. 20 \_\_\_\_.

STATE OF	ILLINOIS )	
COUNTY OF	)SS KENDALL )	
APPROVED BY	THE COUNTY BOARD OF KENDAL	LL COUNTY, ILLINOIS,
ON THIS	DAY OF	, A.D. 20
	CHAIRMAN OF COUNTY BOA	ARD
	COUNTY CLERK	
COUNTY BEO	ODDER'S CERTIFICATE	
COUNTY REC	ORDER'S CERTIFICATE	
STATE OF	ILLINOIS )	
COUNTY OF	)SS KENDALL )	
	ENT NO RDER'S OFFICE OF KENDALL COU	WAS FILED FOR RECORD
ON THIS	DAY OF	,
	AT O'CLC	OCKM.
A.D. 20,	/// O OLO	

COUNTY BOARD CERTIFICATE

Legend O=Found 3/4" Dia. Iron Pipe ●=Found 1/2" Dia. Iron Rod ⊘=Found 5/8" Dia. Iron Rod (XX.XX')= Record Distance XX.XX'= Measured Distance N= North E= East S= South W= West R= Radius A= Arc Length XXX = Fence = Concrete/Asphalt

Michel C. Ensalaco, P.L.S. Exp. 11/30/2024 Eric C. Pokorny, P.L.S. ■ Exp. 11/30/2024

Professional Land Surveying Services
"Cornerstone Surveying PC"
759 John Street, Suite D Yorkville, IL 60560 Phone: 630-892-1309

NOTARY PUBLIC

MY COMMISSION EXPIRES \_\_\_\_\_\_

George Oliver Book #: sheets Drawn By: ER. JJH Plat #: 7249 Field Work Completed: 01/11/2024 & 02/12/2024 Rev. Date Rev. Description Project Number:

2024-0028 Release

Survey is only valid if original seal is shown in red.



# Kendall County Agenda Briefing

**Meeting Type:** Planning, Building and Zoning

**Meeting Date:** 5/6/2024

**Subject:** Extension to Deadline for Constructing and Occupying Buildings and Installing

Landscaping at 10744 Route 47

**Prepared by:** Matthew H. Asselmeier, AICP, CFM

**Department:** Planning, Building and Zoning

# **Action Requested:**

Approval to Extend the Deadline to Construct and Occupy the Buildings and Install Landscaping at 10744 Route 47

## **Previous Board/Committee Review:**

N/A

# **Fiscal impact:**

N/A

# **Background and Discussion:**

In June 2023, the Planning, Building and Zoning Committee approved a minor amendment to the special use permit granted by Ordinance 2021-23 allowing a landscaping business at 10744 Route 47.

Among other changes to the original proposal, the minor amendment set a deadline of June 1, 2024, to construct and occupy the building shown on the site plan. The minor amendment also set a deadline of June 1, 2024, for the installation of landscaping.

The request is to extend both of the previously listed deadlines to December 1, 2024.

## **Staff Recommendation:**

**Approval** 

#### **Attachment:**

Minor Amendment

# MINOR AMENDMENT TO EXISTING SPECIAL USE

# REPLACING THE SITE PLAN, LANDSCAPING PLAN, AND PHOTOMETRIC PLAN CONTAINED IN ORDINANCE 2021-23 WHICH GRANTED A SPECIAL USE PERMIT FOR A LANDSCAPING BUSINESS AT 10744 ROUTE 47 (PIN: 05-28-400-002) IN KENDALL TOWNSHIP

<u>WHEREAS</u>. Section 13:08 of the Kendall County Zoning Ordinance permits the Kendall County Planning, Building and Zoning Committee of the Kendall County Board to approve minor amendments to existing special use permits and provides the procedure through which minor amendments to existing special use permits are granted; and

<u>WHEREAS</u>, the property which is the subject of this Ordinance has been, at all relevant times, and remains currently located within the B-3 Highway Business District and consists of approximately 13 acres located at 10744 Route 47 (PIN: 05-28-400-002), in Kendall Township. The legal description for the subject property is set forth in Exhibit A attached hereto and incorporated by reference, and this property shall hereinafter be referred to as "the subject property."; and

<u>WHEREAS</u>, on October 19, 2021, the Kendall County Board approved Ordinance 2021-23 which granted a special use permit for a landscaping business at the subject property; and

<u>WHEREAS</u>, several conditions in Ordinance 2021-23 reference a controlling site plan, landscaping plan, and photometric plan; and

WHEREAS, the Illinois Department of Transportation required additional land for the right-of-way expansion of Route 47 at the subject property; and

<u>WHEREAS</u>, the subject property is currently owned by Always Faithful Properties LLC as represented by Robert Velazquez and hereinafter shall be referred to as "Petitioner"; and

<u>WHEREAS</u>, on or about June 5, 2023, Petitioner's representative filed a petition for a minor amendment to several conditions contained in Ordinance 2021-23 by changing the site plan, landscaping plan, and photometric plan associated with the special use permit; and

NOW, THEREFORE, BE IT ORDAINED, BY THE PLANNING, BUILDING AND ZONING COMMITTEE OF THE COUNTY BOARD OF KENDALL COUNTY, ILLINOIS, as follows:

- 1. The Planning, Building and Zoning Committee of the Kendall County Board finds that the requested minor amendment will result in equal or better performance than the original condition imposed and the property will still be in substantial compliance with the previously approved Ordinance 2021-23.
- The Planning, Building and Zoning Committee of the Kendall County Board hereby grants approval of Petitioner's petition for a minor amendment to Ordinance 2021-23 subject to the following conditions and restrictions
  - A. Condition 2.A of Ordinance 2021-23 is deleted in its entirety and is replaced with the following:
    - "The site shall be developed substantially in accordance with the site plan attached hereto as Exhibit B, including allowing for illuminated signage. The gravel parking lot noted on the site plan shall be composed of either limestone or asphalt screenings. The light poles shown on the site plan and mentioned in the photometric plan shall be a maximum twenty feet (20') feet in height. The owner of the business allowed by this special use permit may also install a security gate at the main driveway

entrance. Landscaping display areas may be installed on the property without the need to amend the special use permit unless the landscaping display areas encroach into required setbacks. The description of types of lights contained in Ordinance 2021-23 shall remain effective."

- B. Condition 2.B of Ordinance 2021-23 is deleted in its entirety and is replaced with the following:
  - "All of the structures shown on the site plan attached hereto as Exhibit B shall be constructed and occupied by June 1, 2024. This date may be extended upon approval by the Kendall County Planning, Building and Zoning Committee. The business allowed by this special use permit may commence operations starting upon approval of the special use permit. However, customers shall not be invited onto the property until an occupancy permit has been issued for the office building."
- C. Condition 2.J of Ordinance 2021-23 is deleted in its entirety and is replaced with the following:
  - "The landscaping shown on the landscaping plan attached hereto as Exhibit B shall be installed no later than June 1, 2024. This date may be extended upon approval by the Kendall County Planning, Building and Zoning Committee. The Red Sunset Maples shall be a minimum of two point five inch (2.5") caliber at the time of planting. The Skyline Honeylocusts shall be a minimum of two point five inch (2.5") caliber at the time of planting. Damaged or dead plants that are part of the landscaping plan shall be replaced on a timeframe approved by the Kendall County Planning, Building and Zoning Department. Nursery stock shall be exempt from this provision.
- D. All references to the site plan, landscaping plan, and photometric plan contained in Ordinance 2021-23 shall be amended to refer to Exhibit B attached to this minor amendment.
- E. All of the other conditions and restrictions contained in Ordinance 2021-23 shall remain effective.
- F. If one or more of the above conditions or the conditions contained in Ordinance 2021-23 are declared invalid by a court of competent jurisdiction, the remaining conditions shall remain valid.
- 3. This special use permit and minor to an existing special use permit shall be treated as covenants running with the land and are binding on the successors, heirs, and assigns as to the same special use conducted on the property.

<u>IN WITNESS OF</u>, this minor amendment to an existing special use permit has been enacted by a majority vote of the Planning, Building and Zoning Committee of the Kendall County Board and is effective this 12<sup>th</sup> day of June, 2023.

Attest:

Kendall County Zoning Administrator

Matthew H. Asselmeier

Kendall County PBZ Committee Chairman

Seth Wormley

#### Exhibit A

That part of the Southeast Quarter of Section 28, Township 36 North, Range 7 East of the Third Principal Meridian, described as follows: Commencing at the Southwest corner of said Southeast Quarter; thence North along the West line of said Quarter, 642.65 feet for the point of beginning; thence Easterly at right angles to said West line 647.36 feet; thence Northerly along a line forming an angle of 89 degrees 35 minutes 05 seconds, measured clockwise from the last described course, 1012.69 feet; thence Westerly along a line forming an angle of 89 degrees 56 minutes 12 seconds, measured clockwise from the last described course, 640.04 feet to the West line of said Southeast Quarter thence Southerly along said West line 1007.32 feet to the point of beginning (except that part thereof lying within the right of way of Illinois State Route No. 47 and being described in a Judgment recorded November 13, 1991 as Document No. 917979) in the Township of Kendall, Kendall County, Illinois.

# **ENGINEERING PLANS**

# SEMPER FI LAND SITE PLAN

SECTION 28, TOWNSHIP 36 NORTH, RANGE 7 EAST

LOCATION MAP

**YORKVILLE, IL 60560 10744 US ROUTE 47** KENDALL COUNTY MAY, 2023

# INDEX TO SHEETS

PROJECT LOCATION

- EXISTING CONDITIONS & DEMOLITION PLAN STORMWATER POLLUTION & PREVENTION PLAN 1
  - STORMWATER POLLUTION & PREVENTION PLAN. CIVIL SITE PLANS
    - GENERAL NOTES & DETAILS IDOT DETAILS

INLET OR MANHOLE FLARED END SECTION

SANITARY

HYDRAYT VALVE VALVE VALLT

MIER

JOHN J TERNICIE, A LICENED PROFESSIONAL BAGINER OF ILLINOIS. HEREY CRITEY THAT THESE TAME HAVE BED PARAMED MARKE HAT BEDANAL DIRECTION MADED ON ANALARE DOCUMBITS AND FIELD MEASUREMENTS FOR THE PECLISAFE BES OF THE CLIER IN ANT DIRECTA. GIVEN UNDER MY HAND & SEAL THIS 31<sup>st</sup> DAY OF MAY, 2023. PROFESSIONAL ENGINEER'S CERTIFICATION STATE OF ILLINOIS, COUNTY OF KENDALL

> Know what's below. Call before you dig. Contractor and or sub-contractors shall varify locations differs pror to digging, Contract J.U.L.I.E. (Joint Utility Licenvators) at 1-800-892-0123 or dell 611.

DATED CITY OF YORVAILE - SURVEY CONTROL MONUMENTS # 6 LOCATED AT THE HORTH-WEST CORNER OF SYCAMORE ROAD AND JOHN BLEVATION = 438.64 - (NAVD 88 DATUM )

BENCHMARKS:

**2** 

UNITED CITY OF YORKYILLE - SURVEY CONTROL MONUMENTS # 7 LICANTID IN TRONT OF YORKYILLE CITY HALL ELEVATION = 635.08 - DRAVID 88 DATUM.)





ALWAYS FAITHFUL PROPERTIES, LLC 1215 DEER STREET YORKVILLE, IL 60560 PHONE. (630) 518:8484 PLANS PREPARED FOR

VFO@TEBRUGGEENGINEERING, COM TEBRUCCE ENCINEERING 410 E CHURCH 5T - SUITE A SANDWICH, ILLINOIS 60548 (815) 786-0195 CIVIL ENGINEER:







x 686.00 x 686.00

PROPOSED SAMETARY SEMRE LINE PROPOSED OREASE SERVICE LINE PROPOSED VENT LINE

EXISTING CAS BETWOE EXISTING TELEPHONE ROPOSED CONTOUR LINE

LEGEND

EXISTING FENCELINE PROPOSED SULT FENCE EXISTING SPOT SHOT PROPOSED, SPOT ORAGE

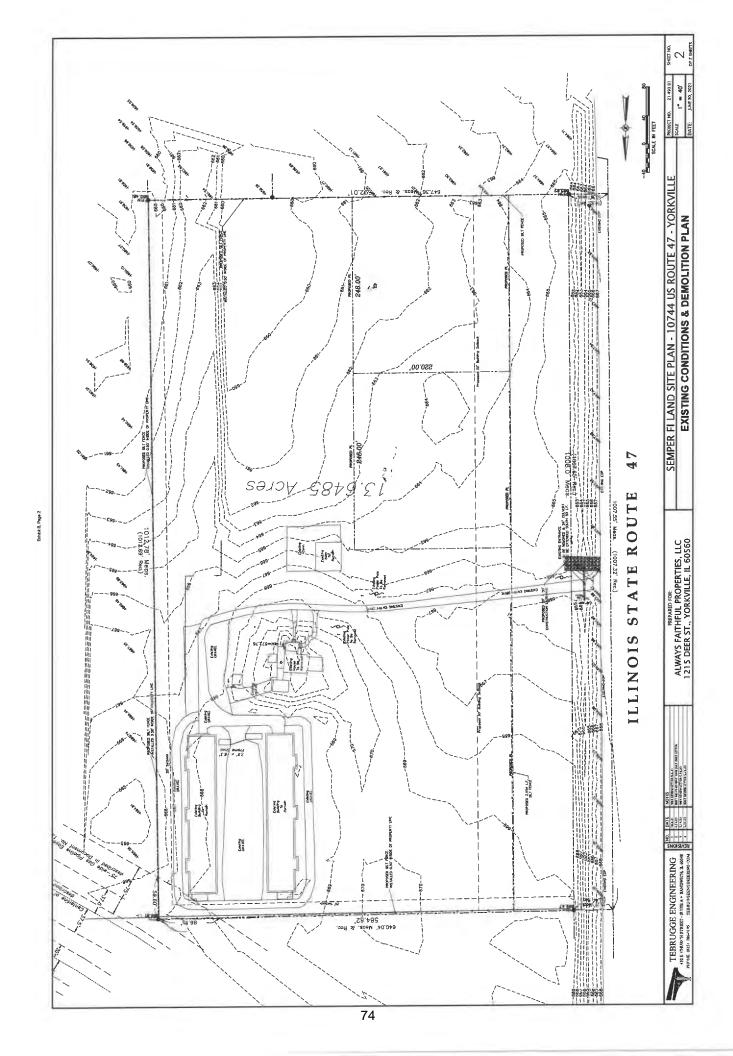
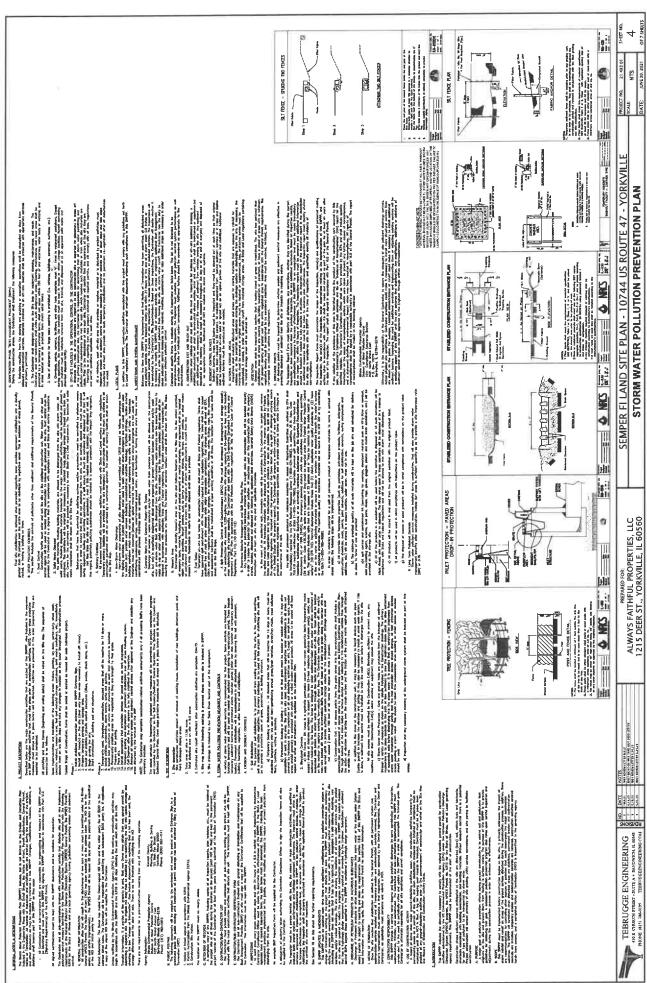
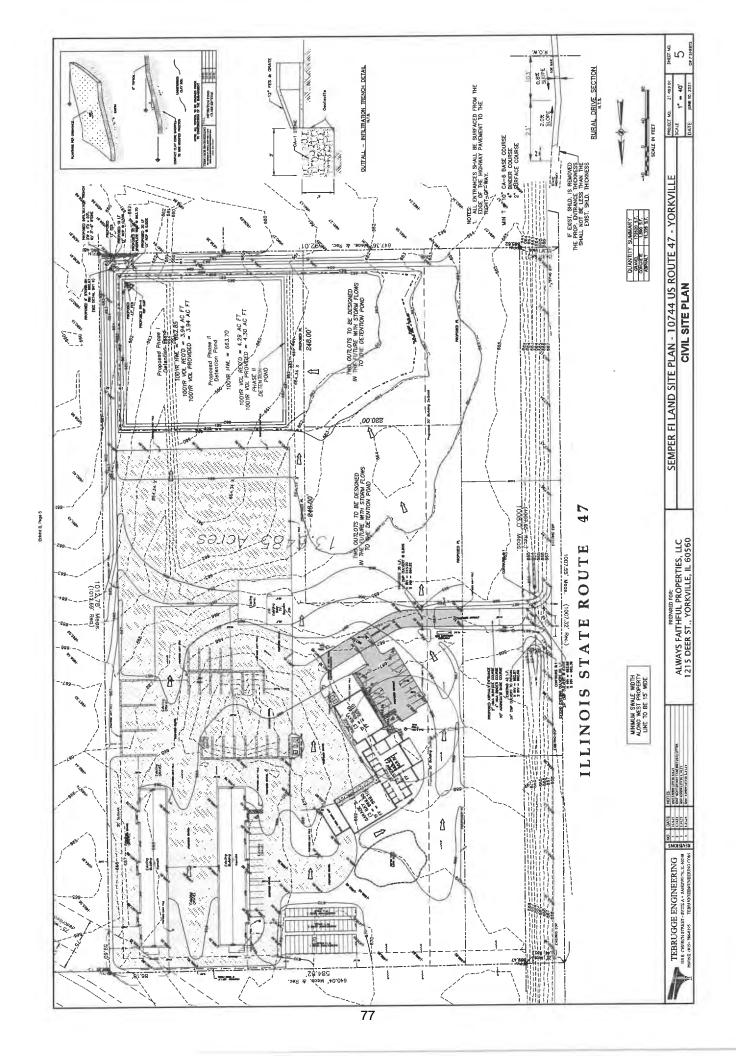
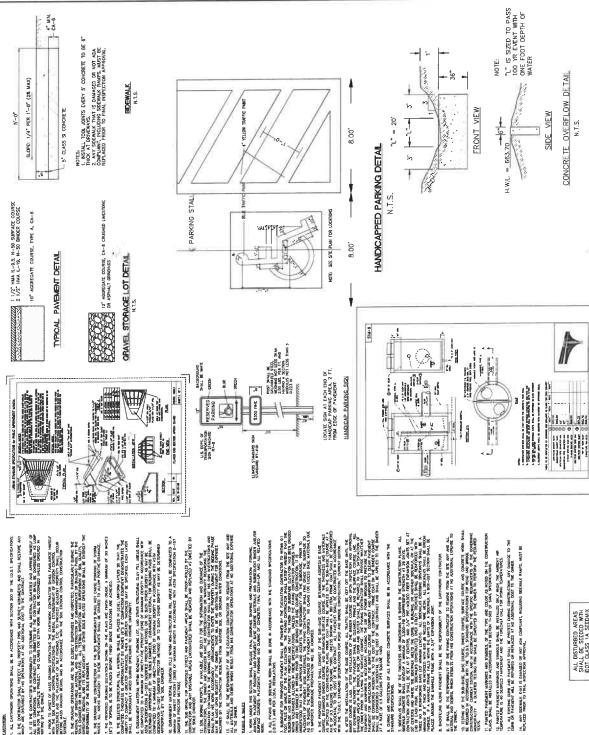


Exhibit B, Page 3







ALL DISTURBED AREAS SHALL BE SEEDED WITH IDOT CLASS 1A SEEDMIX

PREPARED FOR:
ALWAYS FAITHFUL PROPERTIES, LLC
1215 DEER ST., YORKVILLE, IL 60560

9

PROJECT NO. 21 493 01 SCALE NUTS STS

SEMPER FI LAND SITE PLAN - 10744 US ROUTE 47 - YORKVILLE

**GENERAL NOTES & DETAILS** 

DATE:

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12. ANY ANDOPATED DOST OF SMEETING SHALL BE REPLECTED IN THE CONTRACT COST WILL BE ALLOHED FOR SHEETING OR BRACING.

10. ALL PLOCE DRAINS AND FLOOR DRAIN SOMP PUMPS SHALL DISCHARGE INTO THE SAMETARY SEWER.

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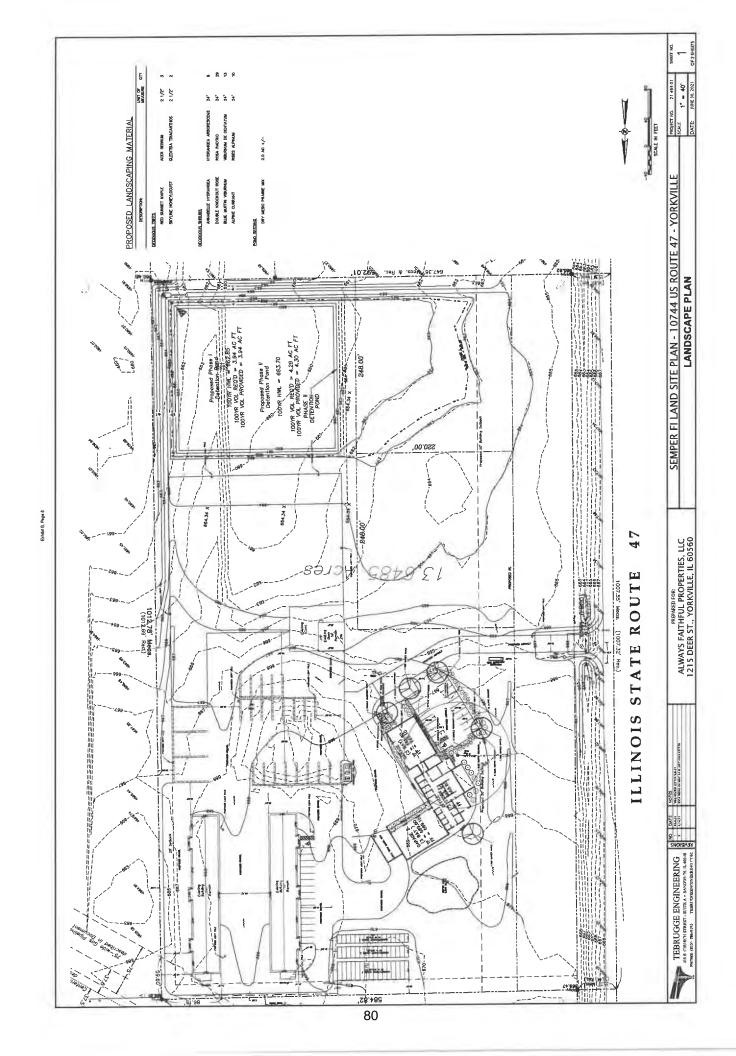
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2 OF 2 SHEETS



### Kendall County Agenda Briefing

Meeting Type: Planning, Building and Zoning

**Meeting Date:** 5/6/2024

**Subject:** Extension to Deadline for Installing Botanicals at 15759 Route 47

**Prepared by:** Matthew H. Asselmeier, AICP, CFM

**Department:** Planning, Building and Zoning

### **Action Requested:**

Approval to Extend the Deadline to Install Botanicals at 15759 Route 47

### **Previous Board/Committee Review:**

N/A

### **Fiscal impact:**

N/A

### **Background and Discussion:**

In July 2022, the County Board approved a special use permit for a governmental building or facility by Ordinance 2022-19 at 15759 Route 47.

Condition 2.B required the installation of botanicals by June 1, 2024.

On May 1, 2024, the Lisbon Township Highway Commissioner submitted a request to extend the deadline for six (6) months to December 1, 2024.

### **Staff Recommendation:**

Approval

### **Attachment:**

Ordinance 2022-19

May 1, 2024, Email from Kevin Kunkel

### ORDINANCE NUMBER 2022-

# GRANTING A SPECIAL USE PERMIT FOR A GOVERNMENTAL BUILDING OR FACILITY (GARAGE) AT 15759 ROUTE 47 AND IDENTIFIED BY PARCEL IDENTIFICATION NUMBERS 08-21-300-002 AND 08-21-300-004 IN LISBON TOWNSHIP

<u>WHEREAS</u>. Section 13:08 of the Kendall County Zoning Ordinance permits the Kendall County Board to issue and revoke special use permits and place conditions on special use permits and provides the procedure through which special use permits are granted and revoked; and

<u>WHEREAS.</u> Section 7:01.D.22 of the Kendall County Zoning Ordinance permits the placement of governmental buildings and facilities as a special use in the A-1 Agricultural Zoning District; and

<u>WHEREAS</u> the property which is the subject of this Ordinance has been, at all relevant times, and remains currently located within the A-1 Agricultural Zoning District and consists of approximately 2.04 +/- acres located at 15759 Route 47 (PINs: 08-21-300-002 and 08-21-300-004), in Lisbon Township. The legal description for the subject property is set forth in Exhibit A attached hereto and incorporated by reference, and this property shall hereinafter be referred to as "the subject property"; and

<u>WHEREAS</u>, the subject property is owned by Lisbon Township as represented by Joe Slivka and Kevin Kunkel; and

<u>WHEREAS</u>, on or about May 24, 2022, Petitioner's representative filed a petition for a special use permit for the placement of a governmental building or facility, specifically a township garage, at the subject property; and

<u>WHEREAS</u>, following due and proper notice by publication in the Kendall County Record on June 9, 2022, the Kendall County Zoning Board of Appeals conducted a public hearing on June 27, 2022, at 7:00 p.m., in the County Board Room of the Kendall County Office Building at 111 W. Fox Street in Yorkville, at which the Petitioner and their representative presented evidence, testimony, and exhibits in support of the requested special use permit and zero members of the public testified in favor or in opposition to the request; and

<u>WHEREAS</u> based on the evidence, testimony, and exhibits, the Kendall County Zoning Board of Appeals has made their findings of fact and recommended approval of the special use permit with conditions as set forth in the Findings of Fact and Recommendation of the Kendall County Zoning Board of Appeals, dated June 27, 2022, a true and correct copy of which is attached hereto as Exhibit B; and

<u>WHEREAS</u>, the Kendall County Planning, Building and Zoning Committee of the Kendall County Board has reviewed the testimony presented at the aforementioned public hearing and has considered the Findings of Fact and Recommendation of the Kendall County Zoning Board of Appeals, and has forwarded to the Kendall County Board a recommendation of approval of the requested special use permit; and

<u>WHEREAS</u>, the Kendall County Board has considered the recommendation of the Planning, Building and Zoning Committee and the Findings of Fact and Recommendation of the Kendall County Zoning Board of Appeals, and has determined that said petition is in conformance with the provisions and intent of the Kendall County Zoning Ordinance; and

<u>WHEREAS</u>, the special use permit shall be treated as a covenant running with the land and is binding on the successors, heirs, and assigns as to the same special use conducted on the property; and

# <u>NOW, THEREFORE, BE IT ORDAINED, BY THE COUNTY BOARD OF KENDALL COUNTY, ILLINOIS,</u> as follows:

- 1. The Findings of Fact and Recommendation of the Kendall County Zoning Board of Appeals attached hereto as Exhibit B is hereby accepted and the Findings of Fact set forth therein are hereby adopted as the Findings of Fact and Conclusions of this Kendall County Board.
- 2. The Kendall County Board hereby grants approval of Petitioner's petition for a special use permit for the placement of a governmental building or facility, specifically a township garage, on the subject property subject to the following conditions:
  - A. The site shall be developed substantially in accordance with the site plan attached hereto as Exhibit C and landscaping plan attached hereto as Exhibit D. Lisbon Township may demolish the one (1) story metal building shown on the site plan without seeking an amendment to this special use permit.
  - B. The botanicals shown on the landscaping plan attached hereto as Exhibit D shall be installed by June 30, 2024. This deadline may be extended upon approval by the Kendall County Planning, Building and Zoning Committee. Damaged or dead botanicals shall be replaced on a timeframe approved by the Kendall County Planning, Building and Zoning Department.
  - C. The seven thousand four hundred eighty-eight (7,488) square foot building shall be developed substantially in accordance with the elevations attached hereto as Exhibit E with a maximum building height of twenty-six feet (26'). On the elevations, South Elevation = East, West Elevation = South, North Elevation = West, and East Elevation = North.
  - D. Any structures constructed, installed, or demolished related to the use allowed by this special use permit on the property shall not be considered for agricultural purposes and must secure applicable building permits.
  - E. One (1) free standing monument sign may be installed in substantially the location shown on the site plan attached hereto as Exhibit C. The sign shall not be illuminated.
  - F. The trash enclosure shall be placed in substantially the location shown on the site plan attached hereto as Exhibit C, upon demolition of the one (1) story metal building. The enclosure shall be screened per the requirements of the Kendall County Zoning Ordinance. The property owners shall ensure that the site is kept free of litter and debris.
  - G. The owners of the uses allowed by this special use permit shall diligently monitor the property for leaks from equipment, vehicles, and materials parked and stored on the subject property and shall promptly clean up the site if leaks occur.
  - H. None of the vehicles or equipment parked or stored on the subject property related to the use allowed by the special use permit shall be considered agricultural vehicles or agricultural equipment.
  - I. The operators of the use allowed by this special use permit acknowledge and agree to follow Kendall County's Right to Farm Clause.
  - J. The property owner and operator of the use allowed by this special use permit shall follow all applicable Federal, State, and Local laws related to the operation of this type of use.
  - K. Failure to comply with one or more of the above conditions or restrictions could result in the amendment or revocation of the special use permit.

- L. If one or more of the above conditions is declared invalid by a court of competent jurisdiction, the remaining conditions shall remain valid.
- 3. This special use permit shall be treated as a covenant running with the land and is binding on the successors, heirs, and assigns as to the same special use conducted on the property.
- 4. The Zoning Administrator and other appropriate County Officials are hereby authorized and directed to amend the Official Zoning Map of Kendall County to reflect this special use permit.

<u>IN WITNESS OF</u>, this ordinance has been enacted by a majority vote of the Kendall County Board and is effective this 19<sup>th</sup> day of July, 2022.

Attest:

Kendall County Clerk

Debbie Gillette

Kendall County Board Chairm

Scott R. Gryder

PROPERTY LEGAL DESCRIPTION:

PARCEL 1:

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A PART OF THE SOUTHWEST QUARTER OF SECTION NUMBER TWENTY ONE (21) OF TOWNSHIP THIRTY FIVE NORTH RANGE SEVEN (7) EAST OF THE THIRD PRINCIPAL MERIDIAN AND DESCRIBED AS FOLLOWS: COMMENCING AT THE QUARTER CORNER ON THE SOUTH LINE OF SECTION TWENTY ONE AND RUNNING THENCE NORTH 1357.3 FEET; THENCE WEST 83 FEET TO THE WEST LINE OF RIGHT OF WAY OF THE FOX AND ILLINOIS UNION RAILWAY; THENCE WEST 165 FEET AS PLACE OF BEGINNING; THENCE SOUTH 264 FEET; THENCE WEST 6 FEET; THENCE NORTH 264 FEET; THENCE EAST 6 FEET TO THE PLACE OF BEGINNING.

PARCEL 2:

A PART OF THE SOUTHWEST QUARTER OF SECTION TWENTY-ONE (21), OF TOWNSHIP THIRTY-FIVE (35) NORTH, RANGE SEVEN (7), EAST OF THE THIRD PRINCIPAL MERIDIAN, AND DESCRIBED AS FOLLOWS: COMMENCING AT THE SOUTHEAST CORNER OF SAID SOUTHWEST QUARTER ON THE SOUTH LINE OF SECTION TWENTY-ONE (21), AND RUNNING THENCE NORTH ALONG THE CENTERLINE OF STATE HIGHWAY 47, 1327.3 FEET; THENCE WEST 83 FEET TO THE WEST LINE OF RIGHT OF WAY OF FOX AND ILLINOIS UNION RAILWAY AS PLACE OF BEGINNING; THENCE NORTH ALONG SAID RIGHT OF WAY 264 FEET; THENCE WEST 165 FEET; THENCE SOUTH 264 FEET; THENCE EAST 165 FEET TO THE PLACE OF BEGINNING AND CONTAINING ONE ACRE MORE OR LESS, SITUATED IN LISBON TOWNSHIP, KENDALL COUNTY, ILLINOIS.

### Exhibit B

The Kendall County Zoning Board of Appeals approved the following Findings of Fact and Recommendation at their meeting on June 27, 2022 by a vote of five (5) in favor and zero (0) in opposition; Member Fox was absent.

### FINDINGS OF FACT-SPECIAL USE PERMIT

That the establishment, maintenance, or operation of the special use will not be detrimental to or endanger the public health, safety, morals, comfort, or general welfare. Provided the site is developed in accordance with the submitted site plan and landscaping plan, the proposed use should not be detrimental or endanger the public health, safety, morals, comfort, or general welfare.

That the special use will not be substantially injurious to the use and enjoyment of other property in the immediate vicinity for the purposes already permitted, nor substantially diminish and impair property values within the neighborhood. The Zoning classification of property within the general area of the property in question shall be considered in determining consistency with this standard. The proposed use shall make adequate provisions for appropriate buffers, landscaping, fencing, lighting, building materials, open space and other improvements necessary to insure that the proposed use does not adversely impact adjacent uses and is compatible with the surrounding area and/or the County as a whole. The subject property is located along a four (4) lane highway with agricultural uses on all sides. Few residential uses are located in the vicinity. Provided the site is developed in accordance with the submitted site plan and landscaping plan, the proposed use will not be substantially injurious to neighboring properties and or adversely impact adjacent uses.

That adequate utilities, access roads and points of ingress and egress, drainage, and/or other necessary facilities have been or are being provided. Adequate utilities, points of ingress/egress, drainage, and other necessary facilities have been or will be provided.

That the special use shall in all other respects conform to the applicable regulations of the district in which it is located, except as such regulations may in each instance be modified by the County Board pursuant to the recommendation of the Zoning Board of Appeals. This is true; no variances are needed.

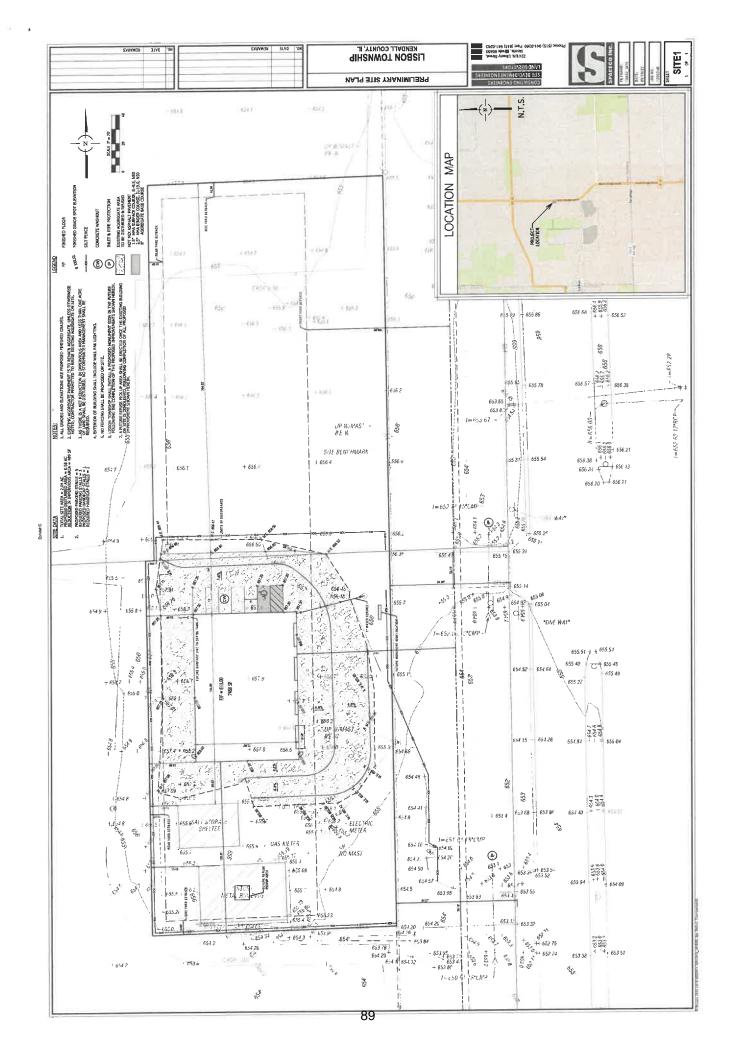
That the special use is consistent with the purpose and objectives of the Land Resource Management Plan and other adopted County or municipal plans and policies. True, the proposal is consistent with a goal found on page 9-20 of the Kendall County Land Resource Management Plan call for "Mutually supportive, non-adversarial team of municipal, township, school, park, county, and other governments working toward the benefit of everyone in Kendall County." Also, land next to an arterial highway is a logical location for a township highway facility.

### RECOMMENDATION

Approval subject to the following conditions and restrictions:

- 1. The site shall be developed substantially in accordance with the site plan and landscaping plan. Lisbon Township may demolish the one (1) story metal building shown on the site plan without seeking an amendment to this special use permit.
- 2. The botanicals shown on the landscaping plan shall be installed by June 30, 2024. This deadline may be extended upon approval by the Kendall County Planning, Building and Zoning Committee. Damaged or dead botanicals shall be replaced on a timeframe approved by the Kendall County Planning, Building and Zoning Department.
- 3. The seven thousand four hundred eighty-eight (7,488) square foot building shall be developed substantially in accordance with the elevations with a maximum building height of twenty-six feet (26'). On the elevations, South Elevation = East, West Elevation = South, North Elevation = West, and East Elevation = North.

- 4. Any structures constructed, installed, or demolished related to the use allowed by this special use permit on the property shall not be considered for agricultural purposes and must secure applicable building permits.
- 5. One (1) free standing monument sign may be installed in substantially the location shown on the site plan. The sign shall not be illuminated.
- 6. The trash enclosure shall be placed in substantially the location shown on the site plan, upon demolition of the one (1) story metal building. The enclosure shall be screened per the requirements of the Kendall County Zoning Ordinance. The property owners shall ensure that the site is kept free of litter and debris.
- 7. The owners of the uses allowed by this special use permit shall diligently monitor the property for leaks from equipment, vehicles, and materials parked and stored on the subject property and shall promptly clean up the site if leaks occur.
- 8. None of the vehicles or equipment parked or stored on the subject property related to the use allowed by the special use permit shall be considered agricultural vehicles or agricultural equipment.
- 9. The operators of the use allowed by this special use permit acknowledge and agree to follow Kendall County's Right to Farm Clause.
- 10. The property owner and operator of the use allowed by this special use permit shall follow all applicable Federal, State, and Local laws related to the operation of this type of use.
- 11. Failure to comply with one or more of the above conditions or restrictions could result in the amendment or revocation of the special use permit.
- 12. If one or more of the above conditions is declared invalid by a court of competent jurisdiction, the remaining conditions shall remain valid.
- 13. This special use permit shall be treated as a covenant running with the land and is binding on the successors, heirs, and assigns as to the same special use conducted on the property.





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KENDALL COUNTY, IL
LISBON TOWNSHIP

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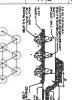
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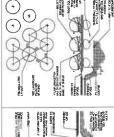
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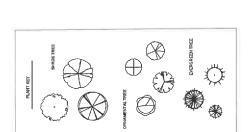
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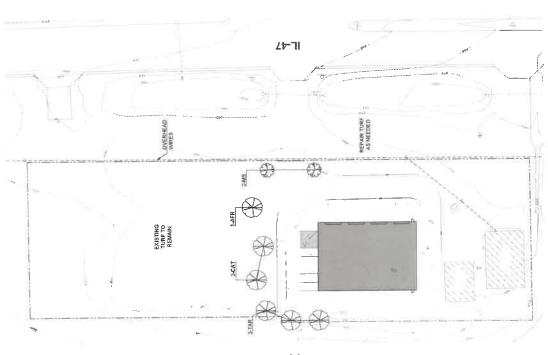
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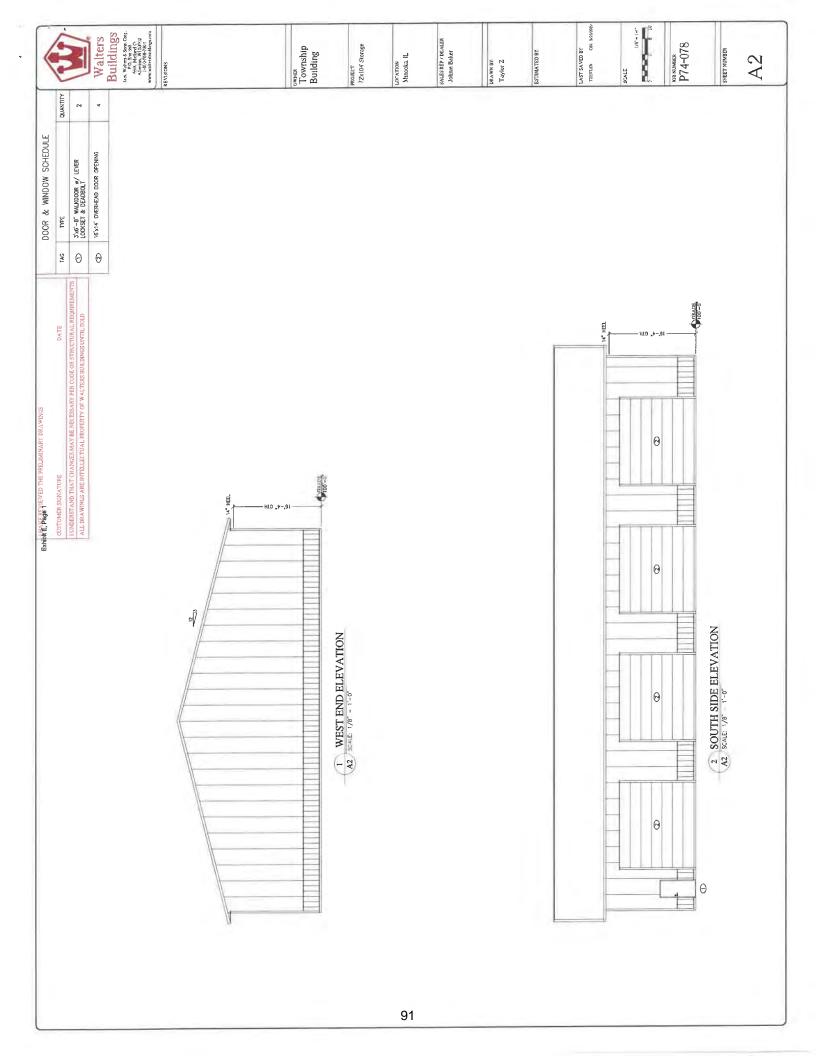
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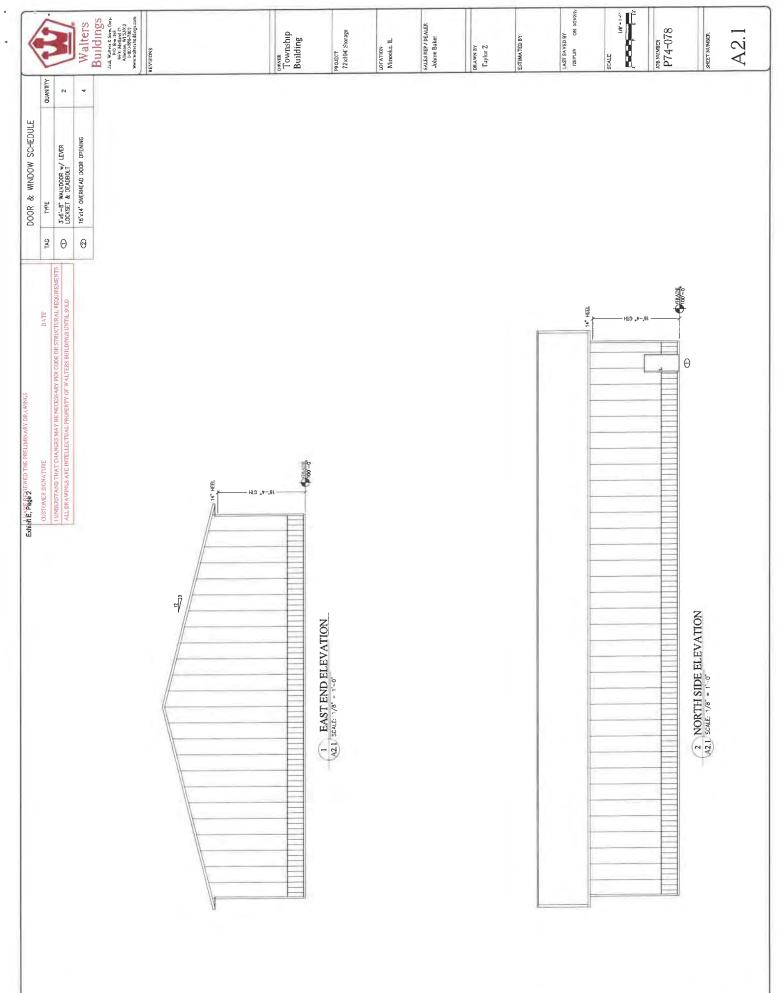
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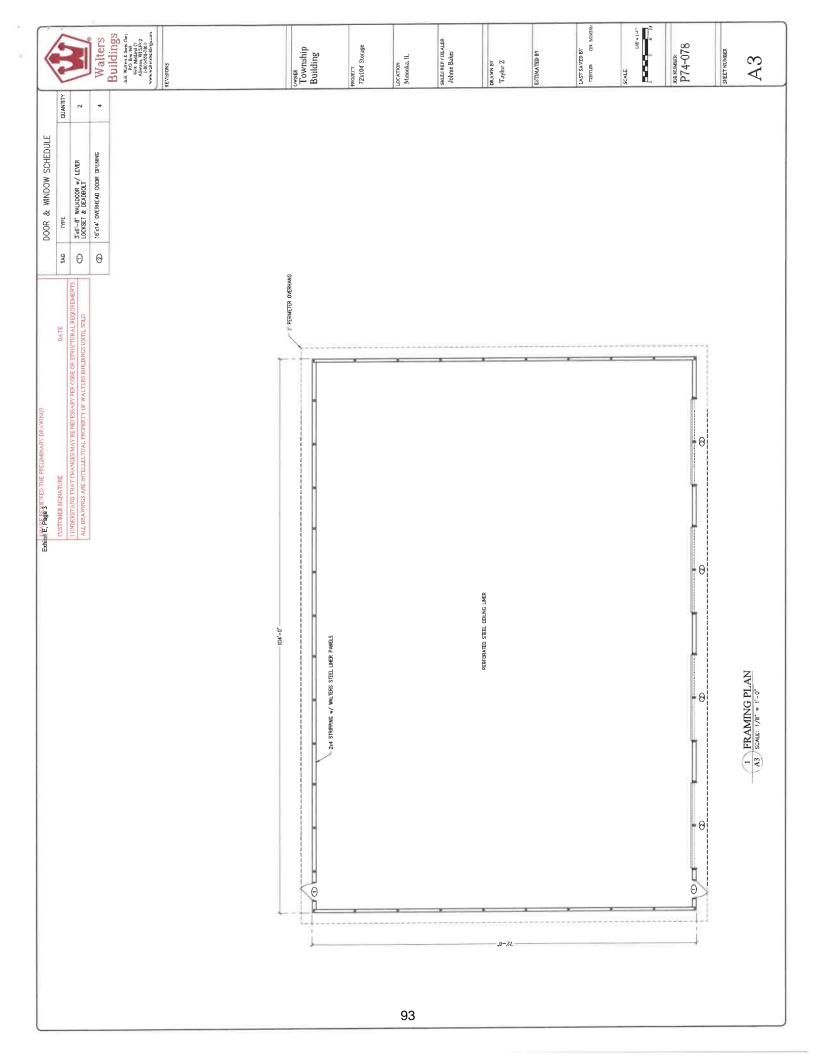
Kathryn Talty











### **Matt Asselmeier**

Kevin Kunkel <bushnellequipment@yahoo.com> From:

Wednesday, May 1, 2024 8:07 AM Sent:

Matt Asselmeier To:

Joe Slivka; Bill Ashton; Seth Wormley; Christina Burns; Darlene Ashton Cc: Re: [External]Re: Lisbon Township Special Use Permit

Six month please Sent from my iPhone

Subject:

On May 1, 2024, at 7:52 AM, Matt Asselmeier <masselmeier@kendallcountyil.gov> wrote:

Do you want a three or six month extension?

Matthew H. Asselmeier, AICP, CFM

Director

Kendall County Planning, Building & Zoning

111 West Fox Street

PH: 630-553-4139

94

Fax: 630-553-4179

Yorkville, IL 60560-1498



### Kendall County Agenda Briefing

**Meeting Type:** Planning, Building and Zoning

**Meeting Date:** 5/6/2024

**Subject:** 2023-2024 National Pollution Discharge Elimination System Report

**Prepared by:** Matthew H. Asselmeier, AICP, CFM

**Department:** Planning, Building and Zoning

### **Action Requested:**

Recommendation on Annual Facility Inspection Report for NPDES Permit for Stormwater Discharges from Separate Storm Sewer Systems (MS4)

### **Previous Board/Committee Review:**

N/A

### **Fiscal impact:**

\$1,000 Permit Application Fee; Paid from PBZ Line Item 11001902-63670

### **Background and Discussion:**

Kendall County is required to submit certain documents annually by June 1st as required by its NPDES Permit.

The 2024 Annual Report is similar to the 2023 Annual Report.

There is a One Thousand Dollar (\$1,000) submittal fee, which has been unchanged for several years.

### **Staff Recommendation:**

Approval

### **Attachments:**

Proposed Annual Report



### Illinois Environmental Protection Agency

Bureau of Water • 1021 N. Grand Avenue E. • P.O. Box 19276 • Springfield • Illinois • 62794-9276

# Division of Water Pollution Control ANNUAL FACILITY INSPECTION REPORT

for NPDES Permit for Storm Water Discharges from Separate Storm Sewer Systems (MS4)

This fillable form may be completed online, a copy saved locally, printed and signed before it is submitted to the Compliance Assurance Section at the above address. Complete each section of this report.

Report Period: From March, 2023 To March,	2024 Permit No. ILR40 0261
MS4 OPERATOR INFORMATION: (As it appears on the	e current permit)
Name: Kendall County	Mailing Address 1: 111 West Fox Street
Mailing Address 2:	County: Kendall
City: Yorkville State	<u>IL</u> Zip: 60560 Telephone: 630-553-4141
Contact Person: Matthew Asselmeier (Person responsible for Annual Report)	Email Address: masselmeier@kendallcountyil.gov
Name(s) of governmental entity(ies) in which MS4 is lo	cated: (As it appears on the current permit)
Kendall County	
	s
THE FOLLOWING ITEMS MUST BE ADDRESSED.	
<ul> <li>A. Changes to best management practices (check appropring regarding change(s) to BMP and measurable goals.)</li> </ul>	ate BMP change(s) and attach information
Public Education and Outreach	. Construction Site Runoff Control
2. Public Participation/Involvement	i. Post-Construction Runoff Control
3. Illicit Discharge Detection & Elimination	. Pollution Prevention/Good Housekeeping
B. Attach the status of compliance with permit conditions, a management practices and progress towards achieving MEP, and your identified measurable goals for each of the status of the	n assessment of the appropriateness of your identified best he statutory goal of reducing the discharge of pollutants to the e minimum control measures.
C. Attach results of information collected and analyzed, inc	uding monitoring data, if any during the reporting period.
D. Attach a summary of the storm water activities you plan implementation schedule.)	
E. Attach notice that you are relying on another governmen	t entity to satisfy some of your permit obligations (if applicable).
F. Attach a list of construction projects that your entity has	
Any person who knowingly makes a false, fictitious, or fraud commits a Class 4 felony. A second or subsequent offense a	ulent material statement, orally or in writing, to the Illinois EPA fter conviction is a Class 3 felony. (415 ILCS 5/44(h))
Owner Signature:	Date:
Matt Kellogg	Kendall County Board Chairman
Printed Name:	Title:

EMAIL COMPLETED FORM TO: epa.ms4annualinsp@illinois.gov

or Mail to: ILLINOIS ENVIRONMENTAL PROTECTION AGENCY

WATER POLLUTION CONTROL

COMPLIANCE ASSURANCE SECTION #19 1021 NORTH GRAND AVENUE EAST

POST OFFICE BOX 19276

SPRINGFIELD, ILLINOIS 62794-9276

This Agency is authorized to require this information under Section 4 and Title X of the Environmental Protection Act (415 ILCS 5/4, 5/39). Failure to disclose this information may result in: a civil penalty of not to exceed \$50,000 for the violation and an additional civil penalty of not to exceed \$10,000 for each day during which the violation continues (415 ILCS 5/42) and may also prevent this form from being processed and could result in your application being denied. This form was been approved by the Forms Management Center.

# Illinois Environmental Protection Agency ANNUAL FACILITY INSPECTION REPORT

for NPDES Permit for Storm Water Discharges from Separate Storm Sewer Systems (MS4)

# Kendall County, Illinois (NPDES Permit No. ILR400261) YEAR 3: March 2023-March 2024

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### Part 1. Changes to Best Management Practices

There are no changes to the Best Management Practices in Year 3 (March 2023-March 2024) for the six minimum control measures as described in the Notice of Intent for Kendall County dated February 16, 2021.

Note: X indicates BMPs performed that were proposed for Year 3 in NOI

+ indicates BMPs performed that were not originally proposed for Year 3 in NOI

A. Public Education and Outreach				
X	A.1 Distributed Paper Material			
Х	A.2 Speaking Engagement			
	A.3 Public Service Announcement			
Х	A.4 Community Event			
	A.5 Classroom Education Material			
Х	A.6 Other Public Education			
В. Р	ublic Participation/Involvement			
	B.1 Public Panel			
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Х	C.3 Detection/Elimination Prioritization			
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Х	C.4 Illicit Discharge Tracing Procedures			
Х	C.5 Illicit Source Removal Procedures			
Х	C.6 Program Evaluation and Assessment			
X	C.7 Visual Dry Weather Screening			
	C.8 Pollutant Field Testing			
	C.9 Public Notification			
	C.10 Other Illicit Discharge Controls			

<u> </u>				
D. (	D. Construction Site Runoff Control			
X	D.1 Regulatory Control Program			
X	D.2 Erosion and Sediment Control BMPs			
X	D.3 Other Waste Control Programs			
X	D.4 Site Plan Review Procedures			
	D.5 Public Information Handling Procedures			
X	D.6 Site Inspection/Enforcement Procedures			
X	D.7 Other Construction Site Runoff Controls			
E. F	Post-Construction Runoff Control			
	E.1 Community Control Strategy			
	E.2 Regulatory Control Program			
X	E.3 Long-Term O&M Procedures			
	E.4 Pre-Construction Review of BMP Designs			
X	E.5 Site Inspections During Construction			
	E.6 Post-Construction Inspections			
X	E.7 Other Post-Construction Runoff Controls			
F. P	Ollution Prevention/Good Housekeeping			
X	F.1 Employee Training Program			
	F.2 Inspection and Maintenance Program			
	F.3 Municipal Operations Storm Water			
	Control			
X	F.4 Municipal Operation Waste Disposal			
X	F.5 Flood Management/Assess Guidelines			
X	F.6 Other Municipal Operations Controls			

### Part 2. Status of Compliance with Permit Conditions

(Provide the status of compliance with permit condition, an assessment of the appropriateness of your identified best management practices and progress towards achieving the statutory goal of reducing the discharge of pollutants to the maximum extent practicable [MEP], and your identified measurable goals for each of the minimum control measures.)

Kendall County submitted a Notice of Intent dated February 16, 2021, which initiated a new 5-year permit cycle. The BMPs listed in the 2021 NOI were selected to meet the requirements of the NPDES Phase II program and reduce nonpoint source pollution in Kendall County.

The status of BMPs and measurable goals performed in Year 3 (March 2023-March 2024) are described below.

### A. Public Education and Outreach

### A.1 Distributed Paper Material

Measurable Goals: 1) Track number of people requesting to see the County's Plan on an annual basis.

Due to the increased preference of electronic documents and the effort to minimize paper waste, Kendall County provides much of their information on the County's website. Kendall County continues to provide links on their website to PDFs of the Stormwater Management Program Plan, the NOI, and Annual Reports. The website also includes materials about sources of stormwater pollution and ways to minimize pollutants. The County's website includes EPA web links, as well as web links to other sites that contain information about the benefits of green infrastructure and rain gardens, impacts of climate change on water resources, and the impacts of climate change on the Midwest.

Kendall County typically tracks the number of views the County website receives annually. In Year 3, the NPDES documents received 80 pageviews.

### A.2 Speaking Engagement

Measurable Goals: Number of annual presentations

The Kendall County Soil and Water Conservation District (SWCD) gave a webinar presentation on June 16<sup>th</sup>, 2023, for a pollinator habitat workshop where attendees learned about establishing pollinator habitat on their properties, the benefits of native vegetation, the importance of pollinators, and they got the opportunity to visit two established pollinator habitat sites in the County. There were about 15 attendees. On March 6, 2024, they hosted their annual Pond Seminar where attendees learned about pond management & maintenance. There were about 30 attendees. On March 21, 2023, Alyse Olson presented the IL Urban Manual at the Kane-DuPage SWCD's annual Winter Soil Erosion & Sediment Control seminar.

### A.4 Community Event

Measurable Goals: Increased interest and attendance in annual workshops/seminars.

The Kendall County Soil and Water Conservation District (SWCD) hosted their annual

used oil drop off recycling event on June 17, 2023. They collected 1,480 gallons of used oil, 30 gallons of used antifreeze, and about 50 used oil filters. This was all recycled by Illinois Recovery Group.

On August 18, 2023, the County hosted a Used Tire Drive. They collected 1,200 passenger tires & 200 truck/tractor tires. The tires were recycled by Liberty Tire Recycling.

The County also offers cover crop seeds for sale year-round for home gardens. They can be purchased by the pound anytime at County offices. Between April 1, 2023, to current, they have sold about 9 pounds of cover crop seeds.

### A.6 Other Public Involvement

Measurable Goals: Inquiries to linked websites and annual increase in hits to website.

Kendall County tracks the number of views the County website receives annually. In Year 3, the NPDES documents received 80 page views, Groundwater information received 233, views and Stormwater received 409 views.

### B. Public Participation/Involvement

### **B.3** Stakeholder Meetings

Measurable Goals: Hold an annual public meeting to establish a positive dialog.

The Kendall County Stormwater Management Oversight Committee held an annual public meeting on October 12, 2023, at 4:00pm in Yorkville, IL. The meeting was held to receive public input regarding stormwater management related regulations and enforcement and to discuss proposed changes to the Kendall County Stormwater Management Ordinance.

At the meeting, 9 of the 10 committee members were present. Also in attendance were Matt Asselmeier, Ryan Zaborowski, Christina Burns, Greg Chismark, and Stasi Brown.

### **B.7** Other Public Involvement

Measurable Goals: Inquiries to linked websites and annual increase in hits to website.

Kendall County tracks the number of views the County website receives annually. In Year 3, the NPDES documents received 80 page views, Groundwater information received 233 views, and Stormwater received 409 views.

### C. Illicit Discharge Detection and Elimination

### **C.1** Storm Sewer Map Preparation

Measurable Goals: Review storm sewer mapping annually.

In Year 3, the Repetitive Loss Properties layer was added to the internal GIS on May 2<sup>nd</sup>. The Stormwater Permit layer was added to the internal GIS on July 24<sup>th</sup>.

### C.3 Detection/Elimination Prioritization Plan

Measurable Goals: Track the number of illicit dischargers discovered and track removal process.

Kendall County continues to work with the Health Department on an Illicit Discharge Detection and Elimination program to identify, trace, and remove illicit discharges and non-stormwater discharges that are significant polluters of the County's MS-4.

There were no illicit discharge investigations during Year 3.

The Highway Department performs stormwater related inspections as necessary throughout the County as they relate to road maintenance.

### **C.4** Illicit Discharge Tracing Procedures

Measurable Goals: Track number of illicit discharges discovered and track removal process annually.

Kendall County continues to work with the Health Department on an Illicit Discharge Detection and Elimination program to identify, trace, and remove illicit discharges and non-stormwater discharges that are significant polluters of the County's MS-4.

There were no illicit discharge investigations during Year 3.

The County has an Outfall Inspection Procedure Flow Chart in their Kendall County Stormwater Management Program Plan for detecting and tracing discharges. There is also an Indirect Illicit Discharge Tracking Form available in Appendix 5.6 of the Kendall County Stormwater Management Program Plan for use by County personnel.

### **C.5** Illicit Source Removal Procedures

Track the number of illicit dischargers discovered and track removal process.

Kendall County continues to work with the Health Department on an Illicit Discharge Detection and Elimination program to identify, trace, and remove illicit discharges and non-stormwater discharges that are significant polluters of the County's MS-4.

There were no illicit discharge investigations during Year 3.

The County has an 8-step protocol in place for ensuring the removal of illicit discharges. This protocol is explained under Section 3.3.D.3 of the Kendall County Stormwater Management Program Plan.

### C.6 Program Evaluation and Assessment

Measurable Goals: Annual evaluation surveys.

Kendall County sent out an annual evaluation survey to all 9 townships within the County in Year 3 to get input on how they can continue to prevent stormwater pollution. Four townships completed the survey. The survey results are included at the end of this report

### in Appendix 1.

### C.7 Visual Dry Weather Screening

Measurable Goals: Track the number of illicit dischargers discovered and track removal process.

Kendall County continues to work on an Illicit Discharge Detection and Elimination program to identify, trace, and remove illicit discharges and non-stormwater discharges that are significant polluters of the County's MS-4.

There were no illicit discharge investigations during Year 3.

The County has a Stormwater Outfall Inspection Data Form available in Appendix 5.3 of the Kendall County Stormwater Management Program Plan for use by County personnel.

### D. Construction Site Runoff Control

### D. 1 Regulatory Control Program

Measurable Goals: Implementation of the Kendall County Stormwater Ordinance.

In Year 3, there were no updates to the Kendall County Stormwater Ordinance. Kendall County continues to implement and comply with the Kendall County Stormwater Ordinance.

Kendall County has been working with a review consultant since 2008 who continues to provide stormwater, engineering, wetland, and Soil Erosion and Sediment Control (SESC) review for proposed developments. The consultant conducted SESC inspections for 3601 Plainfield Road, Heritage Farms, Cornelis Road Interceptor, ANR Plano Subdivision Class Review, O'Brien Road, 8150 Schlapp Road, Go Pro, and 2025 Simons Drive, during the past reporting period on behalf of Kendall County. The table below provides a breakdown of the projects and the number of SESC inspections completed by the consultant in Year 3.

Construction Project	Date SESC Inspections Started	Ongoing Project or Project Completed	# of Inspections Completed in Year 3
3601 Plainfield Road	July 2022	Project Completed	1 inspection
Heritage Farms	May 2023	Project Completed	4 inspections
Cornelis Road Interceptor	May 2023	Ongoing	3 inspections
ANR Plano Subdivision Class Review	April 2023	Ongoing	8 inspections
O'Brien Road	October 2023	Ongoing	5 inspections
8150 Schlapp Road	February 2023	Ongoing	1 inspection
Go Pro	May 2022	Ongoing	8 inspections

2025 Simons Drive	June 2022	Ongoing	4 inspections
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### D.2 Erosion and Sediment Control BMPs

Measurable Goals: Adoption of County ordinance amendments as developed.

The County outlines the Soil Erosion and Sediment Control requirements for construction sites in Article 3 of the Kendall County Stormwater Management Ordinance.

In Year 3, there were no updates to the Kendall County Stormwater Ordinance.

### **D.3** Other Waste Control Program

Measurable Goals: Adoption of County ordinance amendments as developed.

No amendments to the Other Waste Control Program were developed because none were needed this year.

### **D.4** Site Plan Review Procedures

Measurable Goals: Adoption of ordinance amendments as developed.

All construction projects are required to have a Soil Erosion and Sediment Control Plan in place prior to construction as stated in Sec. 301 of the Ordinance. The SESC Plan must be prepared in accordance with the requirements of the Ordinance as well as the standards and specifications contained in the most recent Illinois Urban Manual.

No amendments to the Site Plan Review Procedures were developed because none were needed this year.

### D.6 Site Inspection/Enforcement Procedures

Measurable Goals: Review enforceable procedures for construction site inspections and update as necessary.

Construction site inspections are enforced under Sec. 303 and Sec. 304 of the Kendall County Stormwater Management Ordinance.

If a site is not in compliance with the Ordinance, the property owner has 7 days to correct the issue. If the issue is not corrected in that time frame, a Stop-Work Order will be issued, and the permit may be revoked.

The County will continue working with a consultant who will conduct SESC inspections at Kendall County constructions sites. The County will also continue to work with the Kendall County Soil & Water Conservation District to conduct stormwater inspections as needed.

### **D.7** Other Construction Site Runoff Controls

Measurable Goals: Soil Erosion and Sediment Control (SESC) inspections will be monitored and filed until final site acceptance by Kendall County.

Kendall County evaluates their Construction Site Runoff Control Program by monitoring and recording Construction Site Runoff Control compliance.

The County will continue working with a consultant who will conduct SESC inspections at Kendall County construction sites. The County will also continue to work with the Kendall County Soil & Water Conservation District to conduct stormwater inspections as needed.

### E. Post-Construction Runoff Control

### E.3 Long Term O&M Procedures

Measurable Goals: Review Kendall County Stormwater Management Ordinance and update and necessary.

Kendall County continues to monitor and enforce long term maintenance requirements of the Kendall County Stormwater Management Ordinance. No revisions were made in the past year.

### **E.5** Site Inspections During Construction

Measurable Goals: Implementing ordinance amendments, as necessary.

Kendall County continues to monitor and enforce soil erosion and sediment control requirements of the Kendall County Stormwater Management Ordinance under Sec. 303 and Sec. 304. No amendments were developed in the past year.

Kendall County will update the Kendall County Stormwater Management Ordinance to include enforcement procedures as necessary.

The County will continue working with a consultant who will conduct SESC inspections at Kendall County constructions sites until final stabilization is achieved.

### **E.7** Other Post-Construction Runoff Controls

Measurable Goals: Collaborate with other MS-4's in Kendall County and stakeholders, including the Kendall County Soil and Water Conservation District, to evaluate relevant flood control techniques to determine the potential effects due climate change.

The County will continue to provide an evaluation survey to get feedback about County programs.

### F. Pollution Prevention/Good Housekeeping

### F.1 Employee Training Program

Measurable Goals: Increased participation at workshops.

Kendall County provides links on the County website to EPA's websites about green infrastructure and climate change. They also have EPA information posted on the County website about NPDES and clean water. This information is available to County staff, townships, and the public. The Kendall County SWCD has developed a variety of training

materials which include presentations related to erosion and sediment control, best management practices, and associated regulations. These materials can be requested from the SWCD as needed.

Kendall County's Senior Planner and other county employees participated in several training workshops regarding floodplain management, Ordinance regulation, and NPDES methodology which were hosted by state agencies and private consultants throughout the year.

### F.4 Municipal Operation Waste Disposal

Measurable Goals: Minimize the impact of County operations on stormwater runoff.

Kendall County continues to collect litter and track the amount of material collected. Kendall County collected 6.84 tons of garbage from within County Right-of-Way in Year 3. Kendall County continues to minimize the discharge of pollutants from vehicle washing by treating the wash water by collection in a sediment basin or using an inlet filter prior to discharge. The County continues to store building materials, building products, construction waste, trash, landscape materials, fertilizers, pesticides, herbicides, chemical storage tanks, deicing materials, detergents, and other materials to guard against exposure to precipitation and stormwater.

### F.5 Flood Management/Assess Guidelines

Measurable Goals: Incorporate revised floodplain guidelines and DFIRMs by reference as necessary.

Kendall County's Senior Planner is a Certified Floodplain Manager. This certification will continue to help the County reach its goals listed in the Ordinance by providing the Senior Planner with knowledge to assess and deal with the issues of flooding and its damaging effects.

Kendall County did not revise the Kendall County Stormwater Management Ordinance to incorporate more floodplain guidelines and DFIRMs by reference in Year 3.

### F.6 Other Municipal Operations Controls

Measurable Goals: Evaluation of programs as necessary.

Kendall County sent out an annual evaluation survey to all 9 townships within the County in Year 3 to get input on how they can continue to prevent stormwater pollution. Four townships completed the survey. The survey results are included at the end of this report in Appendix 1.

### Part 3. Information and Data Collection Results

(Provide information and water quality sampling/monitoring data related to illicit discharge detection and elimination collected during the reporting period.)

There were no illicit discharge investigations during Year 3.

### Part 4. Summary of Next Reporting Period Stormwater Activities

(Present a summary of the storm water activities you plan to undertake during the next reporting cycle, including and implementation schedule in the sections following the table.)

The table shown below summarizes the BMPs committed to for Year 4 of the NOI (March 2024-March 2025). Specific BMPs and measurable goals for Year 4 program development activities are presented in the sections following the table.

Note: X indicates BMPs committed to for Year 4 in NOI

Α. Ι	Public Education and Outreach
X	A.1 Distributed Paper Material
X	A.2 Speaking Engagement
	A.3 Public Service Announcement
Х	A.4 Community Event
	A.5 Classroom Education Material
X	A.6 Other Public Education
В. І	Public Participation/Involvement
	B.1 Public Panel
	B.2 Educational Volunteer
Χ	B.3 Stakeholder Meeting
	B.4 Public Hearing
	B.5 Volunteer Monitoring
	B.6 Program Coordination
Х	B.7 Other Public Involvement
C. I	llicit Discharge Detection and Elimination
X	C.1 Storm Sewer Map Preparation
	C.2 Regulatory Control Program
X	C.3 Detection/Elimination Prioritization Plan
Х	C.4 Illicit Discharge Tracing Procedures
X	C.5 Illicit Source Removal Procedures
Х	C.6 Program Evaluation and Assessment
X	C.7 Visual Dry Weather Screening
	C.8 Pollutant Field Testing
	C.9 Public Notification
	C.10 Other Illicit Discharge Controls

D. (	Construction Site Runoff Control
X	D.1 Regulatory Control Program
Х	D.2 Erosion and Sediment Control BMPs
Х	D.3 Other Waste Control Programs
Χ	D.4 Site Plan Review Procedures
	D.5 Public Information Handling Procedures
X	D.6 Site Inspection/Enforcement Procedures
Х	D.7 Other Construction Site Runoff Controls
E. F	Post-Construction Runoff Control
	E.1 Community Control Strategy
	E.2 Regulatory Control Program
Х	E.3 Long-Term O&M Procedures
	E.4 Pre-Construction Review of BMP Designs
Х	E.5 Site Inspections During Construction
	E.6 Post-Construction Inspections
X	E.7 Other Post-Construction Runoff Controls
F. F	Pollution Prevention/Good Housekeeping
Х	F.1 Employee Training Program
	F.2 Inspection and Maintenance Program
	F.3 Municipal Operations Storm Water Control
X	F.4 Municipal Operation Waste Disposal
Х	F.5 Flood Management/Assess Guidelines
X	F.6 Other Municipal Operations Controls

### A. Public Education and Outreach

### A.1 Distributed Paper Material

Measurable Goals: Track number of people requesting to see the County's Plan on an annual basis.

Kendall County will maintain educational links on their website providing information on what residents can do to minimize and reduce stormwater runoff pollution, the benefits of green infrastructure and rain gardens, and the impacts of climate change. The County will add the Year 4 NPDES Annual Report and keep the new NOI posted on their website for public viewing. The County will track the number of people requesting and viewing the Stormwater Management Program Plan, the NOI, and Annual Reports in Year 4.

### A.2 Speaking Engagement

Measurable Goals: Number of annual presentations.

The County will continue to work with the Kendall County Health Department and the Kendall County Soil and Water Conservation District to increase the number of presentations on BMPs.

### A.4 Community Event

Measurable Goals: Increased interest and attendance in annual workshops/seminars.

Kendall County will work with the Kendall County Soil and Water Conservation (SWCD), the Forest Preserve District, and other County departments to co-sponsor workshops and seminars.

### A.6 Other Public Education

Measurable Goals: Inquiries to linked websites on annual increase in hits to website.

Kendall County will maintain the current links on their website and track the number of views on the Kendall County NPDES webpage.

### B. Public Participation/Involvement

### **B.3** Stakeholder Meetings

Measurable Goals: Hold an annual public meeting to establish positive dialogue.

The County is currently making an effort to establish a dialogue with local communities in the County to coordinate stormwater management efforts. Kendall County has completed the Stormwater Management Program Plan and will continue to maintain adherence to the plan. The County will hold an annual public meeting to provide input into the MS4 program and will comply with State and local public notice requirements when implementing public participation and involvement activities. The County will work to identify any environmental justice areas and include the public participation in these issues.

### **B.7** Other Public Involvement

Measurable Goals: Inquiries to linked websites and annual increase in hits to website.

The County will place new links and maintain current links on their website to the websites of local watershed committees and conservation groups to further promote public education. The County will track the number of views on the NPDES website and related links.

### C. Illicit Discharge Detection and Elimination

### **C.1** Storm Sewer Map Preparation

Measurable Goals: Review storm sewer mapping annually.

Kendall County will continue field verifying locations of features in Year 4 and maintain mapping layer of storm sewer systems in GIS.

### C.3 Detection/Elimination Prioritization Plan

Measurable Goals: Track number of illicit dischargers discovered and track removal process.

Kendall County will work with the Kendall County Health Department, the Kendall County Highway Department, and the townships to address illicit discharges and identify, trace, and remove illicit discharges and non-stormwater discharges that are significant polluters of the County's MS-4.

### **C.4** Illicit Discharge Tracing Procedures

Measurable Goals: Track number of illicit dischargers discovered and track removal process annually.

Kendall County will address, identify, trace, and remove illicit discharges and non-stormwater discharges that are significant polluters of the County's MS-4. The County will perform dry and wet weather monitoring as necessary.

### **C.5** Illicit Source Removal Procedures

Measurable Goals: Track number of illicit dischargers discovered and track removal process.

Kendall County will address, identify, trace, and remove illicit discharges and nonstormwater discharges that are significant polluters of the County's MS-4. The County will issue notices to source of illicit discharge discovered under the tracing process for removal of discharge under the Kendall County Stormwater Management Ordinance with compliance dates.

### **C.6** Program Evaluation and Assessment

Measurable Goals: Annual evaluation surveys.

Kendall County will evaluate their Illicit Discharge Detection and Elimination Program by having participants fill out an evaluation for using a tool such as Survey Monkey ™.

### C.7 Visual Dry Weather Screening

Measurable Goals: Track the number of illicit dischargers discovered and track removal process.

Kendall County will identify, trace, and remove illicit discharges and non-stormwater discharges that are significant polluters of the County's MS-4. Kendall County will do periodic visual monitoring of outfalls during dry weather to determine non-stormwater discharges and their significance.

### D. Construction Site Runoff Control

### **D.1** Regulatory Control Program

Measurable Goals: Implementation of the Kendall County Stormwater Ordinance.

Kendall County's Stormwater Management Ordinance includes revised regulations for stormwater management, plan reviews, and long-term maintenance. The County will continue implementation and compliance with the Stormwater Ordinance.

### D.2 Erosion and Sediment Control BMPs

Measurable Goals: Adoption of ordinance amendments as developed.

Although the County currently has a Soil Erosion and Sediment Control (SESC) requirement within the Kendall County Stormwater Management Ordinance, the ordinance will be updated to incorporate additional BMPs and revisions to the Illinois Urban Manual as necessary.

### **D.3** Other Waste Control Program

Measurable Goals: Adoption of ordinance amendments as developed.

Although the County currently has a Soil Erosion and Sediment Control (SESC) requirement within the Kendall County Stormwater Management Ordinance, the ordinance will be updated to include regulations for waste control on construction sites as necessary.

### D.4 Site Plan Review Procedures

Measurable Goals: Adoption of ordinance amendments as developed.

Although the County currently has a Soil Erosion and Sediment Control (SESC) requirement within the Kendall County Stormwater Management Ordinance, the ordinance will be updated to include enforcement procedures and a site inspection checklist as necessary.

### D.6 Site Inspection/Enforcement Procedures

Measurable Goals: Review enforceable procedures for construction site inspections and update as necessary.

Although the County currently has a Soil Erosion and Sediment Control (SESC) requirement within the Kendall County Stormwater Management Ordinance, the ordinance will be

updated to include revised enforcement procedures and a site inspection checklist as necessary.

### **D.7** Other Construction Site Runoff Controls

Measurable Goals: Soil Erosion and Sediment Control (SESC) inspections will be monitored and filed until final site acceptance by Kendall County.

Kendall County will document and enforce SESC requirements in the Kendall County Stormwater Management Ordinance.

The County will continue working with a consultant who will conduct SESC inspections at Kendall County construction sites. The County will also continue to work with the Kendall County Soil & Water Conservation District to conduct stormwater inspections.

### E. Post-Construction Runoff Control

### E.3 Long-Term O&M Procedures

Measurable Goals: Review Kendall County Stormwater Management Ordinance and update as necessary.

The Kendall County Stormwater Management Ordinance will include revised regulations for long term maintenance that will be updated as necessary. The County will monitor and enforce long term maintenance requirements of the Kendall County Stormwater Management Ordinance.

### **E.5** Site Inspections During Construction

Measurable Goals: Implementing ordinance amendments, as necessary.

Although the County currently has a Soil Erosion and Sediment Control (SESC) requirement within the Kendall County Stormwater Management Ordinance, the ordinance will be updated to include revised enforcement procedures and a site inspection checklist, as necessary.

The County will continue working with a consultant who will conduct SESC inspections at Kendall County constructions sites until final stabilization is achieved.

### **E.7** Other Post-Construction Runoff Controls

Measurable Goals: The County will evaluate relevant flood control techniques to determine the potential effects due to climate change.

Kendall County will collaborate with other MS4's in Kendall County and stakeholders, including the Kendall County Soil and Water Conservation District, to evaluate relevant flood control techniques to determine the potential effects due to climate change. In Year 4, the County will begin implementing strategies created by the collaboration effort.

### F. Pollution Prevention/Good Housekeeping

### F.1 Employee Training Program

Measurable Goals: Increased participation at workshops.

The Health, PBZ, SWCD, and Highway Department personnel will participate in annual training programs, as available funding and opportunities allow. Training for County Staff and contractors on methods to prevent and reduce discharge of pollutants to the maximum extent practicable will be offered, as necessary. Training materials will be available to County Staff from the EPA and the State regarding prevention and reduction of stormwater pollution from activities such as park and open space maintenance, fleet and building maintenance and deicing practices. In addition, training materials that explain how flood management projects impact water quality, non-point source pollution control, green infrastructure controls, and aquatic habitat will be made available to employees upon request by employees.

### F.4 Municipal Operation Waste Disposal

Measurable Goals: Minimize the impact of County operations on stormwater run-off.

In order to minimize the impact of County operations on stormwater run-off, the following actions will be taken:

- The Highway Department will continue to collect litter from County highways and track the amount of material collected and disposed.
- The County will minimize discharge of pollutants from County owned vehicle washing by treating the wash water by collection in a sediment basin or using an inlet filter prior to discharge.
- The County will properly store County-owned building materials, building products, construction waste, trash, landscape materials, fertilizers, pesticides, herbicides, chemical storage tanks, deicing materials, detergents, and other materials to guard against exposure to precipitation and stormwater.
- The County has procedures in place to respond to spills and leaks to prevent exposure to stormwater infrastructure on County-owned property.
- The County will perform inspections to maintain the integrity of the County owned stormwater systems.
- The County will continue to store deicing material in the permanent Kendall County Highway Department salt storage facility.

### F.5 Flood Management/Assess Guidelines

Measurable Goals: Incorporate revised floodplain guidelines and DFIRMS by reference, as necessary.

Kendall County will incorporate the revised floodplain guidelines and DFIRMs from FEMA in the Kendall County Stormwater Management Ordinance to assist with flood related issues, as necessary.

### **F.6** Other Municipal Operations Controls

Measurable Goals: Evaluation of program as necessary.

Kendall County will continue to evaluate their Pollution Prevention/Good Housekeeping

program, as necessary.

### Part 5. Notice of Qualifying Local Program

Kendall County does not rely on any other government entity to satisfy permit obligations.

### Part 6. Construction Projects Conducted During Year 3

(Provide a list of construction projects your entity has paid for during the reporting period)

<b>Construction Project</b>	Description
Eldamain Road	Construct ±3.5 miles of concrete pavement and a 1,557' bridge over the Fox
Extension	River.
	Section No. 19-00153-00-BR
Ridge Road	Add southbound lane with CC&G, install traffic signals and street lighting.
Reconstruction -	Section No. 19-00149-00-PW
Theodore St to Caton	
Farm Rd	
Ridge Road - U.S.	Install turning lanes and traffic signals.
Route 52 Intersection	Section No. 19-00152-00-TL
Improvement	
Collins Road Extension	construct ±3.5 miles of concrete pavement and a 1,557' bridge over the Fox
	River.
	Section No. 19-00154-00-FP
Galena Road -Kennedy	Install turning lanes and traffic signals.
Road Intersection	Section No. 20-00159-00-TL
Ridge Road - Holt	Install traffic signals.
Road Intersection	
	Section No. 21-00163-00-TL
Ridge Road - 143rd St.	Install turning lanes and traffic signals.
Intersection	
	Section No. 21-00164-00-TL
Galena Road -	Install turning lanes and traffic signals.
Cannonball Trail	
Intersection	Section No. 22-00169-00-TL
County-Wide	Fox River Drive & Eldamain Road.
Recessed Pavement	
Markings and Markers	Section No. 23-00000-00-GM
Lisbon Road	Hot Mix Asphalt Resurfacing.
	Section No. 23-00000-01-GM
Orchard Road	Hot Mix Asphalt Resurfacing.
	Section No. 23-00000-02-GM
Plainfield Road -	Install traffic signals.
Woolley Road	
Intersection	Section No. 23-00172-00-TL

### **APPENDIX 1**

2023 NPDES ANNUAL EVALUATION SURVEY RESPONSES

### NPDES Annual Evaluation Survey Questions Kendall County

### **Public Education and Outreach**

- 1. What topics are you interested in learning more about that the County could provide information on for the public? Please rank the following list from 1 to 3 with 1 being most interested and 3 being least interested.
  - A. How to properly store and dispose of common household products such as fuel, oil, paint, etc. 1-Kendall and Little Rock 2-Lisbon
  - B. How to incorporate green infrastructure such as rain gardens, rain barrels, or permeable pavement onto my property to improve rainwater runoff. 2-Kendall Lisbon, and Little Rock
  - C. How to compost to reduce the amount of waste my household generates. 1-Oswego 2-Lisbon 3- Kendall and Little Rock
- 2. Do you utilize the stormwater information listed on the County's website at <a href="https://www.kendallcountyil.gov/departments/planning-building-zoning/npdes">https://www.kendallcountyil.gov/departments/planning-building-zoning/npdes</a>?
  - A. Yes (1) Kendall
  - B. No (3) Lisbon, Little Rock, and Oswego
- 3. Do you find the stormwater information listed on the County's website helpful?
  - A. Yes (1) Kendall
  - B. No
  - C. Do not utilize information on County Website (3) Lisbon, Little Rock, and Oswego

### **Public Participation/Involvement**

- 1. Do you think the County offers enough volunteer opportunities for members of the community?
  - A. Yes (1) Kendall
  - B. No
  - C. Not familiar with County volunteer opportunities (3) Lisbon, Little Rock, and Oswego
- 2. Do you utilize the volunteer opportunities information listed on the County's website at <a href="https://www.kendallcountyil.gov/departments/administration-services/volunteer-opportunities">https://www.kendallcountyil.gov/departments/administration-services/volunteer-opportunities</a>?
  - A. Yes (1) Kendall
  - B. No (3) Lisbon, Little Rock, and Oswego
- 3. Do you find the volunteer opportunities information listed on the County's website helpful?
  - A. Yes (1) Kendall
  - B. No (1) Little Rock

Page 1 of 3

- C. Not familiar with County volunteer opportunities (2) Lisbon and Oswego
- 4. What volunteer opportunities would you be interested in in participating in in the future? Please rank the following list from 1 to 3 with 1 being most interested and 3 being least interested.
  - A. River clean-up 3-Kendall and Lisbon
  - B. Electronic recycling 1-Kendall, Lisbon, and Oswego
  - C. Household waste (fuel, oil, paint, etc.) recycling 1-Oswego 2-Kendall and Lisbon No Response (1)-Little Rock

### **Illicit Discharge Detection & Elimination**

- 1. If an illicit discharge is identified by a Township staff member or reported to the Township office, do you work with the County to get it removed?
  - A. Yes (1) Little Rock
  - B. No
  - C. Have not identified illicit discharge. (3) Kendall, Lisbon, and Oswego
- 2. Do you feel the County is doing a sufficient job in identifying, tracking, and removing illicit discharges and non-stormwater discharges that are significant polluters within the County?
  - A. Yes
  - B. No (1) Oswego
  - C. There have not been illicit discharges identified within my Township. (3) Kendall, Lisbon, and Little Rock
- 3. What can the County do to better identify and track illicit discharges?
  - A. Perform more visual inspections at outfalls throughout the County.
  - B. Once an illicit discharge is identified perform more grab samples downstream of the location. (1) Kendall
  - C. Both of the above. (2) Lisbon and Little Rock
  - D. None of the above.
  - E. Other:
    - (1) Not Sure-Oswego

### **Construction and Post-Construction Runoff Control**

- 1. Do you feel that the County does an adequate job inspecting soil erosion and sediment control on construction sites within your township?
  - A. Yes (3) Kendall, Lisbon, and Little Rock
  - B. No
  - C. There have not been construction projects within my Township during the past year. (1) Oswego

construction sites? N/A-Lisbon and Little Rock
Existing permitting process sems to be well administered. Spot checks during other inspection process-Kendall
Pollution Prevention/Good Housekeeping
<ol> <li>Do you have a clear understanding of "Good Housekeeping" under the NPDES regulation?</li> <li>A. Yes (1) Kendall</li> </ol>
B. No (3) Lisbon, Little Rock, and Oswego
<ul><li>2. Do you feel you have adequate resources for training of your staff members to keep them informed on stormwater pollution prevention practices?</li><li>A. Yes (2) Kendall and Little Rock</li></ul>
B. No (2) Lisbon and Oswego
If No, what resources would you like to have available? N/A-Lisbon
3. Do you feel the County is taking necessary measures to mitigate flooding throughout the County?  A. Yes (3) Kendall, Lisbon, and Little Rock B. No (1) Oswego
General comments or questions regarding Stormwater Management and/or NPDES requirements:
Feel information on the site is somewhat dated and updating with more dynamic links could be beneficial (perhaps as part of Hazard Mitigation Exercise) would be good. Increase visibility as information would be helpful as wellKendall
Name of Person Completing Survey (Optional):
Responding Townships: Lisbon (Lisbon Township Board) Kendall (Steve Grebner)
Little Rock (Jo Ann Gryder and Dick Wade)
Oswego Page 3 of 3

### **APPENDIX 2**

**CONTINUING EDUCATION CERTIFICATES** 

### Association of State Floodplain Managers

8301 Excelsior Drive Madison, WI 53717

### CONTINUING EDUCATION CREDIT TRANSCRIPT

### CERTIFIED FLOODPLAIN MANAGER

Matthew H. Asselmeier

US (630) 553-4139



DATE EARNED	EXPIRATION DATE	HOURS	TYPE	PROVIDER	VERIFIED	NOTES
3/1/2024		1.00	Pre-approved Course	ASFPM	True	JTA Validation Survey
11/14/2023		1.00	Virtual Learning (with learning check)	Chapter	True	IL V & Violations
7/26/2023		1.00	Virtual Learning (with learning check)	Federal Other	True	web-Map Changes & Potential Violations
5/31/2023		1.00	Virtual Learning (with learning check)	Federal Other	True	web-NFIP Compliance
5/18/2023	7/31/2024	1.50	Virtual Learning (with learning check)		True	PIE Webinar: The Only Constant is Change May 2023
3/31/2023	7/31/2024	10.00	Conference / Workshop		True	IAFSM Conference 2023
3/29/2023		1.00	Conference / Workshop	FEMA/EMI	True	web-FEMA SI/SD
10/26/2022	7/31/2024	1.00	Pre-approved Course	FEMA/EMI	True	web-Higher Standards
9/28/2022	7/31/2024	1.00	Pre-approved Course	Chapter	True	Resolving Violations



**Certificate of Training** 

attended the training course:

**Enforcing Your Ordinance, Variances, and Violations** 

Conducted by: Marilyn Sucoe, P.E., CFM, NE IL Floodplain Program Coordinator and

Location: Virtual

Date: November 14, 2023

Duration 1.0 hour CEC Credits: 1.0 PDH Credits: 1.0



### **Certificate of Training**

Roger Bonuchi

attended the training course:

### NFIP 101 - Virtual training

Conducted by: Marilyn Sucoe, P.E., CFM, NE IL Floodplain Program Coordinator; Erin Conley, CFM, Illinois NFIP State Coordinator; Michelle Staff, CFM, FEMA Region V Floodplain Management Specialist; James Sink, FEMA Region 5 Regional Flood Insurance Liaison; Christopher Hanstad, P.E., CFM, Senior Hydraulic Engineer Illinois State Water Survey

**Location: Virtual** 

Date: January 23, 2024

Duration 7.0 hour CEC Credits: 7.0 PDH Credits: 7.0



### **Certificate of Training**

Vernon Fatima

attended the training course:

### NFIP 101 - Virtual training

Conducted by: Marilyn Sucoe, P.E., CFM, NE IL Floodplain Program Coordinator; Erin Conley, CFM, Illinois NFIP State Coordinator; Michelle Staff, CFM, FEMA Region V Floodplain Management Specialist; James Sink, FEMA Region 5 Regional Flood Insurance Liaison; Christopher Hanstad, P.E., CFM, Senior Hydraulic Engineer Illinois State Water Survey

Location: Virtual

Date: January 23, 2024

Duration 7.0 hour CEC Credits: 7.0 PDH Credits: 7.0



### **Certificate of Training**

Pam Herber

attended the training course:

### NFIP 101 - Virtual training

Conducted by: Marilyn Sucoe, P.E., CFM, NE IL Floodplain Program Coordinator; Erin Conley, CFM, Illinois NFIP State Coordinator; Michelle Staff, CFM, FEMA Region V Floodplain Management Specialist; James Sink, FEMA Region 5 Regional Flood Insurance Liaison; Christopher Hanstad, P.E., CFM, Senior Hydraulic Engineer Illinois State Water Survey

Location: Virtual

Date: January 23, 2024

Duration 7.0 hour CEC Credits: 7.0 PDH Credits: 7.0

### Certificate of Attendance

This is to certify the attendance of:

### Matthew Asselmeier

At the training course:

The Only Constant is Change: Hazard Mitigation Updates

May 18, 2023

1.5 CECs for CFMs

Chad Berginnis



Kevin Currie

Chad Berginnis, Executive Director

Kevin Currie, Training Coordinator



### Kendall County Agenda Briefing

Meeting Type: Planning, Building and Zoning

**Meeting Date:** 5/6/2024

**Subject:** Permit Extension for 7782 Tanglewood Trails

**Prepared by:** Matthew H. Asselmeier, AICP, CFM

**Department:** Planning, Building and Zoning

### **Action Requested:**

Approval to Extend or Revoke Building Permit 01-2020-146 for a Single-Family Home at 7782 Tanglewood Trails

### Previous Board/Committee Review:

PBZ Committee Granted a 90 Day Extension on January 8, 2024

### Fiscal impact:

N/A

### **Background and Discussion:**

Brian Holdiman conducted another inspection at the property on April 29, 2024, and determined a 60-day extension was necessary. They continue to make progress.

### **Staff Recommendation:**

Approval

### Attachments:

Brian Holdiman Email Dated April 30, 2024

Brian Holdiman Email Dated December 28, 2023

### **Matt Asselmeier**

From: Brian Holdiman

**Sent:** Tuesday, April 30, 2024 8:40 AM

To: Matt Asselmeier

Subject: Re: Building Permit 01-2020-146

An additional 60 day extension is needed. Progress has been made.

Brian Holdiman Kendall County Code Official

From: Matt Asselmeier < masselmeier@kendallcountyil.gov>

Sent: Tuesday, April 30, 2024 8:04:09 AM

To: Brian Holdiman < BHoldiman@kendallcountyil.gov>

Subject: RE: Building Permit 01-2020-146

Any update on this one?

Matthew H. Asselmeier, AICP, CFM Director Kendall County Planning, Building & Zoning 111 West Fox Street Yorkville, IL 60560-1498

PH: 630-553-4139 Fax: 630-553-4179

From: Matt Asselmeier

Sent: Friday, April 26, 2024 11:42 AM

To: Brian Holdiman < BHoldiman@kendallcountyil.gov>

Subject: RE: Building Permit 01-2020-146

Yes.

Matthew H. Asselmeier, AICP, CFM
Director
Kendall County Planning, Building & Zoning
111 West Fox Street
Yorkville, IL 60560-1498

PH: 630-553-4139 Fax: 630-553-4179

From: Brian Holdiman < BHoldiman@kendallcountyil.gov>

Sent: Friday, April 26, 2024 11:42 AM

To: Matt Asselmeier < masselmeier@kendallcountyil.gov>

Subject: Re: Building Permit 01-2020-146

Can I inspect Monday and respond then?

### **Matt Asselmeier**

From:

Brian Holdiman

Sent:

Thursday, December 28, 2023 7:56 AM

To:

Matt Asselmeier

Subject:

RE: Building Permit 01-2020-146

Yes,

Three months

Respectfully,

Brian Holdiman

**Kendall County Code Official** 

From: Matt Asselmeier < masselmeier@kendallcountyil.gov>

Sent: Thursday, December 28, 2023 7:54 AM

To: Brian Holdiman < BHoldiman@kendallcountyil.gov>

Subject: RE: Building Permit 01-2020-146

Is your recommendation that the another continuance be granted? If yes, for how long?

### Thanks,

Matthew H. Asselmeier, AICP, CFM
Director
Kendall County Planning, Building & Zoning
111 West Fox Street
Yorkville, IL 60560-1498

PH: 630-553-4139 Fax: 630-553-4179

From: Brian Holdiman < BHoldiman@kendallcountyil.gov>

Sent: Thursday, December 28, 2023 5:38 AM

To: Matt Asselmeier < masselmeier@kendallcountyil.gov>

Subject: Re: Building Permit 01-2020-146

Progress is continuing Electrical and Plumbing trim is occurring No recent complaints received

Brian Holdiman Kendall County Code Official

From: Matt Asselmeier < masselmeier@kendallcountyil.gov >

Sent: Wednesday, December 27, 2023 9:20:33 AM

To: Brian Holdiman < BHoldiman@kendallcountyil.gov >

Subject: RE: Building Permit 01-2020-146

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### Brian Holdiman Kendall County Code Official

From: Matt Asselmeier < masselmeier@kendallcountyil.gov >

Sent: Monday, April 22, 2024 8:34:43 AM

To: Brian Holdiman < BHoldiman@kendallcountyil.gov>

Cc: Christina Burns <cburns@kendallcountyil.gov>; Vernon Fatima <vFatima@kendallcountyil.gov>; Rob

Delong < rdelong@oswegotownship.com >; Seth Wormley < swormley@kendallcountyil.gov >

Subject: RE: Code Enforcement Open House

Brian:

Approximately how many people attended?

Thanks.

Matthew H. Asselmeier, AICP, CFM Director Kendall County Planning, Building & Zoning 111 West Fox Street Yorkville, IL 60560-1498

PH: 630-553-4139 Fax: 630-553-4179

From: Brian Holdiman < BHoldiman@kendallcountyil.gov>

Sent: Monday, April 22, 2024 5:56 AM

To: Matt Asselmeier < masselmeier@kendallcountyil.gov>

Cc: Christina Burns < cburns@kendallcountyil.gov >; Vernon Fatima < vFatima@kendallcountyil.gov >; Rob

Delong <rdelong@oswegotownship.com>; Seth Wormley <swormley@kendallcountyil.gov>

**Subject:** Code Enforcement Open House

### Matt

Rob, Vernon and I hosted the Code Enforcement event on Saturday at the Oswego Township building from 8AM - 11AM. Turnout was lighter than I desired, but we answered several questions and discussed many topics. I'd say it was a success. I'd like to attend the Boulder Hill neighborhood watch meeting in July and invite Vernon to join me to give citizens an opportunity to ask more questions. Vernon has done a great job working with GIS to update our process for our increased investigations with the goal of becoming more efficient and Rob has been a great asset in providing us with concerns he sees in Oswego Township or receives from citizens.

Brian Holdiman Kendall County Code Official

V24-014	V24-013	V24-013	V24-012	V24-011	V24-010	V24-009	V24-008	V24-007	V24-006	V24-005	V24-004	V24-003	V24-002	V24-001	Violation
Hurtado	Widloe	Widloe	Ortega	Bohr	Leifheit	Oak Plaza Properties LLC	Schuster	Rosier - Ref to V23-015	Silva	Maxson	Nickels	Sanches	Galvan	Gonzalez	Name
03-04-277-023	01-29-351-009	01-29-351-009	01-29-351-008	01-29-351-011	01-29-351-010	02-17-226-004	03-22-400-001	02-35-151-017	03-04-152-013	03-04-378-018	05-04-178-006	03-08-279-007	03-05-430-019	03-09-152-019	Parcel #
2 Afton Dr.	16815 Griswold Springs Rd.	16815 Griswold Springs Rd.	16859 Griswold Springs Rd.	16751 Griswold Springs Rd	16789 Griswold Springs Rd	2215 B Route 47	2142 Woolley Rd.	7821 Route 71	22 Greenbriar rd.	81 Pueblo Rd.	53 Crooked Creek Dr	110 Circle Drive W	42 S Bereman Rd.	14 Ridgefield Rd.	Address
Boulder Hill	Billy R Williams	Billy R Williams	Billy R Williams	Billy R Williams	Billy R Williams				Boulder Hill	Boulder Hill	Crooked Creek	Boulder Hill	Boulder Hill	Boulder Hill	Subdivision
Trailer parked in F/Y setback	Stormwater Violation	Stormwater Violation	Stormwater Violation	Stormwater Violation	Stormwater Violation	Junk & Debris	Landscape Business	Stormwater Violation	Trailer parked in F/Y setback	Trailer parked in F/Y setback	Junk & Debris	Trailer parked in F/Y setback	Trailer parked in F/Y setback	RV/Trailer parked in F/y setback	Description
2/6/2024	7/31/2023	7/31/2023	7/31/2023	7/31/2023	7/31/2023	11/7/2023	1/4/2024	11/6/2023	11/6/2023	11/6/2023	11/15/2023	11/6/2023	12/6/2023	11/6/2023	Opened
4/12/2024	2/28/2024	2/28/2024	2/28/2024	2/28/2024	2/28/2024	4/1/2024	4/24/2024	4/2/2024	1/11/2024	1/11/2024	4/2/2024	1/11/2024	1/11/2024	12/10/2023	Follow up
	MA	MA	MA	MA	MA		MA								PBZ
HOLD SAO						HOLD SAO	HOLD SAO	Court 5/1/2024	Court 5/7/2024		HOLD SAO	COURT 5/7/2024			SAO
								Cont W		2/23/2024			2/22/2024	1/4/2024	Closed

4/15/2024				8/22/2023	MULTIPLE VIOLATIONS	MARINA VILLAGE	31 BOAT LN	03-08-106-014	EXQUIVEL	V23-015
Court 61	Court 5/1/2024			11/7/2023	STORMWATER VIOLATION		7821 ROUTE 71	02-35-151-017	RIVERA/ROSIER	V23-015/V24-007
12/4/2023			2nd Citation coming	6/15/2023	PROHIBITED SIGN		09-24-400-027 15625 COUNTY LINE RD	09-24-400-027	TOSO	V23-014
10/25/2023			10/11/2023	7/19/2023	PROHIBITED PARKING-TRAILER	BOULDER HILL	144 LONGBEACH RD	03-04-430-015	RAMIREZ/RENDON	V23-013
,			4/2/2024	9/12/2023	INOPERABLE VEH/ JUNK & DEBRIS		7701 PLATTVILLE RD	08-11-100-014	FLORES	V23-012
7017	Court 5/1/2024			1/23/2023	LANDSCAPE/PALLET BUSINESS	GASTVILLE ACRES	29 GASTVILLE ST	03-12-203-011	SANCHEZ	V23-011
Comt 6	Court 5/1/2024		MA	8/21/2023	MULTIPLE VIOLATIONS		7821 ROUTE 71	02-35-151-017	RIVERA/ROSIER	V23-010
Re-opened 2/28/24	8/9/2023		3/21/2024	12/8/2023	STORMWATER VIOLATION		8150 S SCHLAPP RD	06-15-100-007	DILLER, JR. LIV TR	V23-009
10/12/2023				6/15/2023	INOPERABLE VEHICLE	BOULDER HILL	17 WYNDHAM DR	03-04-307-005	CRUZ/KOKOSIOULIS	V23-008
	COURT 5/7/2024			5/10/2023	JUNK & DEBRIS	BOULDER HILL	28 SENECA DR	03-05-432-012	OROS	V23-007
1/3/2024			Removed	6/6/2023	INOPERABLE VEHICLE	BOULDER HILL	13 SONORA DR	03-04-282-007	RAMIREZ	V23-006
10/24/2023	10/18/2023		\$500 fine tbp 4/3/24	12/27/2022	PROH. PKG. COMMERCIAL VEHICLE	BOULDER HILL	132 SAUGATUCK RD	03-03-352-001	RUIZ	V23-005
	COURT 5/7/2024			9/8/2022	MULTIPLE VIOLATIONS	BOULDER HILL	16 WYNDHAM DR	03-04-305-023	BUTZ	V23-004
8/6/2023				3/23/2023	PROHIBITED PARKING-TRAILER	BOULDER HILL	90 FERNWOOD RD	03-04-176-006	VANDERBERG	V23-003
10/24/2023	\$2400 Jdgmnt		12/1/2023	10/14/2022	INOPERABLE VEHICLE	BOULDER HILL	44 INGLESHIRE RD	03-04-253-010	HARDEKOPF	V23-002
7/3/2023			MA Stormwater	5/15/2023	Work in Floodplain w/o permit	FOX RIVER GARDENS	34 RIVERSIDE ST	02-34-176-004	MUND/STADLER	V23-001
Closed	SAO	PBZ	Follow up	Opened	Description	Subdivision	Address	Parcel #	Name	Violation

### 2022 VIOLATIONS

<b>Violation</b>	Name	Parcel #	Address	Subdivision	Description	Opened	Opened Follow up	PBZ	SAO	
V22-001	Aguilar	03-07-277-001 20 Shore Ct.	20 Shore Ct.	Marina Village	Parking on Lawn	11/9/2021	1/23/2022			
V22-002	Jones	03-05-279-020 44 Briarcliff Rd.	44 Briarcliff Rd.	Boulder Hill	Illegal fence height	8/6/2021	1/23/2022			
V22-003	Cabrera	03-04-306-027   44 Hampton Rd	44 Hampton Rd.	Boulder Hill	Multiple Violations	8/3/2021	1/23/2022			
V22-004	Lemaster	03-04-253-024 16 Winrock Rd.	16 Winrock Rd.	Boulder Hill	Inoperable Vehicles	8/18/2021	1/23/2022		11/8/2022 11/23/2022	)22
V22-005	Johnson	03-04-477-025	54 Springdale Rd.	Boulder Hill	Trailer parking	11/22/2021	1/23/2022			
V22-006	Haehlen	03-04-277-011	03-04-277-011 235 Fernwood Rd.	Boulder Hill	RV parking	11/24/2021	1/23/2022			
V22-007	Joaquin	03-27-377-015   2543 Simons Rd	2543 Simons Rd		Banquet facility	11/15/2021			5/16/2022	22
V22-008	Bilek	01-34-300-008	01-34-300-008 14824 Millhurst Rd		Air B&B	1/3/2022	3/11/2022			
V22-009	VOID									
V22-010	Faulkner	03-26-100-004	1539 Collins Rd.		Multiple Violations	7/13/2021	8/4/2021			
V22-011	Amstadt	02-35-380-001	7796 Madeline Dr.	FOFC	RV parking	5/24/2022	6/24/2022		9/7/2022 10/18/2022	)22
V22-012	Gomez	09-27-200-004	2511 Wildy Rd.		Stormwater	8/1/2022	4/11/2023 1/17/2024	1/17/2024	5/1/2024	)24
V22-013	<b>Utility Dynamics</b>	03-07-227-002 5327 Light Rd	5327 Light Rd.		Stormwater	9/8/2022	10/11/2022			
										)

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7				Rooster crowing all day - chickens & coup	Shore Heights	109 Dolores St. Oswego	03-08-303-005	4/11/2024
			4/1/2024	Addition to Storage unit - No Permit		1700 Little Rock Rd. Plano	01-10-301-003	3/1/2024
3/4/2024	lin I	Demo Permit to be submitted per email	2/27/2024	Fire - Unsafe structure	Pletchers	11 Pletcher Dr. Yorkville	08-02-451-006	2/28/2024
	3/15/2024 4/30/2024	15 Day Notice for onsite meeting		Conversion of Ag Bldg to single family home		14757 Jughandle Rd. Minooka	09-15-300-001	2/27/2024
of apun		Monitoring per BLH		Addition to South Side of Main post bldg - No permit	Snyder	1700 Little Rock Rd. Plano	01-10-301-003	2/26/2024
_	4/19/2024 4/23/2024	30 Day Warning Notice Reg-Cert	2/23/2024	Driveway expansion - No permit	Boulder Hill	93 Circle Dr. E Montgomery	03-04-354-013	2/23/2024
1/26/2024	4/25/2024 4/26/2024	30 Day-Applied for permit on 3/25/2024	2/23/2024	Parking in grass	Lynwood	29 Charles St. Oswego	02-14-428-006	2/23/2024
1/12/2024	3/23/2024 3/12/2024	30 Day Warning Notice Reg-Cert	2/23/2024	Parking in grass	Boulder Hill	40 Marnel Rd. Montgomery	03-04-303-029	2/23/2024
1/25/2024	4/1/2024 4/25/2024	30 Day Warning Notice Reg-Cert - V	2/23/2024	Trailer parked in Front yard setback	Boulder Hill	6 Pembrooke Rd. Montgomery	03-04-155-044	2/23/2024
1/21/2024	3/23/2024 3/21/2024	30 Day Warning Notice Reg-Cert	2/23/2024	Parking in grass	Boulder Hill	24 Whitney Way Montgomery	03-04-328-015	2/22/2024
return 5	3/16/2024	Monitoring per BLH		Rooster	Boulder Hill	24 Greenfield Rd. Montgomery	03-05-429-011	2/21/2024
1/10/2024	4/13/2024 4/10/2024	30 Day Warning Notice Reg-Cert	2/16/2024	Accessory Building - Gazebo No permit	FOFC	7694 Madeline Dr. Yorkville	02-35-380-015	2/16/2024
/21/2024	3/16/2024 3/21/2024	30 Day Warning Notice Reg-Cert	2/16/2024	Vehicle Sales Business	Boulder Hill	5 Codorus Rd. Mongtomery	03-05-453-003	2/13/2024
V24-014	3/26/2024	30 Day Warning Notice Reg-Cert	2/23/2024	Trailer parked in Side yard setback	Boulder Hill	2 Afton Dr. Montgomery	03-04-277-023	2/6/2024
/11/2024	3/11/2024 3/11/2024	30 Day Warning Notice Reg & Cert	2/9/2024	Vehicles parked on non approved surface		8304 Fox River Dr. Millbrook	04-16-253-005	2/6/2024
	6/1/2024	30 Day Warning Notice Reg-Cert	2/16/2024	Unit C - Possible living quarters	Riverview Heights	5462 Route 34 Oswego	03-18-451-002	1/30/2024
3/8/2024	4/1/2024 3	Follow up 30 Days	1/29/2024	Semi Truck business		13916 McKanna Rd. Minooka	09-09-300-009	1/29/2024
1/29/2024	1,	Not a violation - Nursery	1/29/2024	Illegal Landscaping business		63 Scotch Rd Plainfield	03-24-400-008	1/25/2024
	4/7/2024	Compliant	1/25/2024	Confirming compliance with Sp Use	Prospect Villa	1626 Route 31 Oswego	03-08-326-001	1/24/2024
3/21/2024	4/1/2024 3/	Monitor - Follow up 30 Days	1/29/2024	Possible living quarters in storage unit		2015 Route 34 Oswego		1/23/2024
	4/1/2024	30 Day Warning Notice Reg-Cert	1/11/2024	Prohibited Trailer in required F/Yard setback	Boulder Hill	32 Seneca Dr. Montgomery	03-05-430-014	1/18/2024
2/23/2024	2/19/2024 2/	30 Day Warning Notice Reg-Cert	1/11/2024	Prohibited Trailer in required F/Yard setback	Boulder Hill	32 N Bereman Rd. Montgomery	03-05-276-008	1/18/2024
/22/2024	2/19/2024 1/22/2024	30 Day Warning Notice Reg-Cert	1/11/2024	Inoperable Vehicle	Boulder Hill	43 N Bereman Rd. Montgomery	03-05-253-012	1/18/2024
2/25/2024	2/19/2024 2/	30 Day Warning Notice Reg-Cert	1/11/2024	Prohibited Trailer in required F/Yard setback	Boulder Hill	12 Wyndham Dr. Montgomery	03-04-305-021	1/18/2024
/26/2024	2/19/2024 2/26/2024	30 Day Warning Notice Reg-Cert	1/11/2024	3 Trailers - Exceeds # allowed	Boulder Hill	44 S Bereman Rd. Montgomery	03-05-430-020	1/18/2024
2/26/2024	2/19/2024 2/	30 Day Warning Notice Reg-Cert	1/11/2024	Prohibited Trailer in required F/Yard setback	Boulder Hill	33 Surrey Rd. Montgomery	03-04-327-009	1/18/2024
4/25/2024	4/25/2024 4/	BLH-spoke with owner-30 Day Reg-Cert 3/25	1/18/2024	Junk & Debris / Inoperable Vehicle	Boulder Hill	13 Pomeroy Rd. Montgomery	03-04-451-051	1/17/2024
1/18/2024	1/1	No Visible Violations-Emailed complaintant	1/18/2024	Occupied Acc Bidg & Addition-No permit		17660 Sedgewick Rd. Plano	09-19-200-009	1/8/2024
V24-008	2/23/2024 \	30 Day Warning Notice Reg-Cert	1/11/2024	Landscape Business		2142 Woolley Rd Oswego	03-22-400-001	1/4/2024
Closed	F/Up C	Comments	Inspection Date	Description of Complaint	Subdivision	Address	Parcel #	Date Opened

New pre-violety a connet be included due to GIS issue - cont generate report

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	No Evidence	1/4/2024	Semi Parking	Boulder Hill	20 Longbeach Rd. Montgomery	03-04-307-018	12/22/2023
	No Evidence	1/4/2024	Semi Parking	Boulder Hill	49 Briarcliff Rd. Montgomery	03-05-280-005	12/22/2023
	No Evidence	1/4/2024	Semi Parking	Boulder Hill	24 Greenbriar Rd. Montgomery	03-04-152-012	12/22/2023
	Roofing / Construction business in R3 zoning	1/4/2024	Roofing Business	Condon Acres	902 E Plainfield Rd. Oswego	06-01-100-008	12/13/2023
Ť	Horse not observed-bldg has permit/Permit n/a		Horse in R-3 zoning & illegal building		9630 Route 71 Yorkville	05-04-300-032	12/12/2023
	BLH met with owner	12/8/2023	Addition - No Permit	Oswego Plains/County Clerks	1551 Cherry Rd. Oswego	06-02-177-007	12/7/2023
	30 Day Warning Notice Reg & Cert	12/8/2023	Trailer parked in F/Yard setback	Boulder Hill	42 S Bereman Rd. Montgomery	03-05-430-019	12/6/2023
	Not enough evidence	12/8/2023	Added 3 car garage - no permit		13237 McKanna Rd. Minooka	09-09-100-020	12/1/2023
	2 coops - not able to determine #	12/1/2023	# of chickens on property and No coop in cold temps	Douglas Hills	5020 Douglas Rd. Oswego	03-34-201-001	11/27/2023
7/1/2024		12/1/2023	Dirt piles high along road		6410 Minkler Rd. Yorkville	05-02-200-008	11/21/2023
	Demo Completed		Fire Investigation 11/18 - Pole Barn	Arrowhead Hills	79 Timberlake Trail E. Oswego	06-05-153-005	11/18/2023
12/22/2023	30 Day Warning Notice Reg & Cert	11/21/2023	Illegal Business / Junk & Debris	Crooked Creek	53 Crooked Creek Dr. Yorkville	05-04-178-006	11/15/2023
12/22/2023	30 Day Warning Notice Reg & Cert	11/21/2023	Addition without permit	Boulder Hill	128 Circle Drive W Montgomery	03-09-154-014	11/14/2023
4	deeting 11/30 - 8:30am/Applied for permit 1.4.24	11/12/2023	Fire Investigation	Boulder Hill	48 Hubbard Way Montgomery	03-04-378-022	11/14/2023
	Letter requesting onsite meeting sent	11/10/2023	Illegal Towing /Mechanic Business in R-3 zoning		2 South St. Bristol	02-15-302-001	11/8/2023
12/22/2023	30 Day Warning Notice Reg & Cert	11/10/2023	Junk & Debris		2215 B Rt 47	02-17-226-004	11/7/2023
5/1/24-COURT	30 Day Warning Notice Reg - MA		Fill in excess of 1 acre without permit		7821 Route 71 Yorkville	02-35-151-017	11/6/2023
			Trailer/RV parked in req front yard setback	Boulder Hill	22 Greenbriar Rd. Montgomery	03-04-152-013	11/6/2023
	Trailer Removed	11/10/2023	Trailer/RV parked in reg front yard setback	Boulder Hill	102 Circle Drive W Montgomery	03-08-278-010	11/6/2023
	30 Day Warning notice sent Reg & Cert	11/10/2023	Trailer/RV parked in req front yard setback	Boulder Hill	110 Circle Drive W Montgomery	03-08-279-007	11/6/2023
	Violation found - photos taken	11/10/2023	Trailer/RV parked in req front yard setback	Boulder Hill	14 Ridgefield Rd. Montgomery	03-09-152-019	11/6/2023
	Trailer not present	11/10/2023	Trailer/RV parked in reg front yard setback	Boulder Hill	230 Boulder Hill Pass Montgomery	03-09-152-006	11/6/2023
	30 Day Warning notice sent Reg & Cert	11/10/2023	Trailer/RV parked in req front yard setback	Boulder Hill	81 Pueblo Rd. Montgomery	03-04-378-018	11/6/2023
4/15/2023	Re-opened 8/28 file - Reg Letter sent MA	10/27/2023	Noxious Weeds	Lisbon Township	NW corner Rt 47 & Newark Rd.	08-04-100-017	10/25/2023
12/15/2023	30 Day Warning Notice Reg & Cert	10/27/2023	Trailer parked in F/Yard setback	Boulder Hill	72 Eastfield Rd. Montgomery	03-04-478-031	10/25/2023
	Pool existing	10/25/2023	Pool - no Permit & too close to property line	Boulder Hill	22 Circle Dr E Montgomery	03-05-426-011	10/13/2023
	MA		Stormwater-fill- diesel tank location		13039 McKanna Rd. Minooka	09-09-100-002	10/10/2023
11/10/2023	Occupied RV in R-1 zoning	10/5/2023	Occupied Camping Trailer	Southfield Estates	2017 Devonshire Ct. Oswero	06-03-251-002	10/4/2023
11/13/2023	30 Day Warning Notice Reg & Cert	10/5 & 10/11/23	Junk & Debris		1101 McHugh Rd. Yorkville	02-28-252-006	10/4/2023
	Not enough evidence	10/5/2023	Change in Occupancy w/o permit		991 Harvey Rd. Oswego	03-01-351-009	10/3/2023
	Removed	10/3/2023	Inop Vehicle/Parking in Grass	Boulder Hill	84 Sheffield Rd. Montgomery	03-04-453-033	10/2/2023
	Not enough evidence	10/2/2023	Building w/o permit / Multiple units	Boulder Hill	66 Hubbard Way Montgomery	03-04-378-031	9/29/2023
	Sent to Yorkville		Construction without permit	Babbit	2560 Cannonball Trail Bristol	02-16-426-006	9/27/2023
	30 Day Warning Notice Reg & Cert	9/26/2023	Junk & Debris, Inoperable Vehicles		10141 Church Rd. Yorkville	05-26-200-006	9/26/2023
	Referred to KCHD-not a PBZ violation	9/26/2023	Excessive Farm Animals		9155 Kennedy Rd.		9/26/2023
	No evidence of violations	9/26/2023	Chickens & Roosters	Boulder Hill	74 Fernwood Rd. Montgomery	03-04-151-016	9/26/2023
			Rooster, multiple chickens & ducks	Gastville Acres	17 Gastville St Aurora	03-12-203-009	9/26/2023
	No evidence of violation	9/20/2023	Possible business	Neieneber Acres	23/3 Douglas Rd. Uswego	C00-C01-C1-C0	9/26/2023

### PRE VIOLATION REPORT

10/4/2022	9/10/2022	30 Day warning - reg & cort	8/4/2022	Multiple Violations	Owners	E2001 IE 1111 21 00022	03-19-439-005	0/1/2022
11/15/2022	11/5/2022	BO Day Warning 2 addresses - reg & cer	7/29,9/22.9/27	Commercial Vehicle (Semi Tractor)	Boulder Hill	39 Surrey Rd. Montgomery	03-04-327-012	8/1/2022
10/20/2022	11/5/2022	30 Day Warning Notice Reg & Cert	9/22, 9/27/2022	Commercial Vehicle (Semi Tractor)	Boulder Hill	132 Boulder Hill Pass Montgomery	03-05-404-016	8/1/2022
10/24/2022	9/6/2022	15 day notice to contact office	8/2/2022	Structure roofed - pergola	Rosehill	6018 Audrey Ave. Yorkville	05-02-202-002	7/28/2022
10/4/2023		Business in R-3 Zoning	See notes	Business in R-3 Zoning	Gastville Acreage	26 Gastville Aurora	03-12-204-005	7/28/2022
8/30/2023	8/30/2023		re-opened	Chickens - Weeds	Boulder Hill	45 Fernwood Rd. Montgomery	03-04-152-004	7/28/2022
7/26/2022	3/1/2023	No chickens-no permit req for rubbermald shed	7/26/2022	Chickens - Weeds	Boulder Hill	45 Fernwood Rd. Montgomery	03-04-152-004	7/26/2022
Monitoring	10/13/2023	30 Day warning notice	4/14/2023	Structure-no permit/Junk&Debris/Business		11850 Fox River Dr. Newark	04-31-452-008	7/26/2022
10/21/2022		Removed all violations	10/21/2022	Multiple Violations		15919 Route 52 Newark	07-21-300-001	7/26/2022
8/31/2022	8/27/2022	30 Day warning notice	7/25/2022	Parking on non approved surface	Boulder Hill	24 Hampton Rd. Montgomery	03-04-302-004	7/25/2022
9/23/2022	10/3/2022	30 Day warning notice	7/26/2022 GIS	Junk & Debris	Boulder Hill	32 Sonora Dr. Montgomery	03-04-428-015	7/25/2022
8/23/2022		No Violation	8/4/2022	Noise - Disco club or trucking company		1250 Route 34 Oswego	03-02-400-003	7/25/2022
8/2/2022	8/27/2022	30 Day warning notice	7/26/2022	Trailer in F/yard setback	Boulder Hill	8 Circle Dr East Montgomery	03-05-402-008	7/20/2022
11/15/2022	11/5/2022	30 Day Warning Notice Reg & Cert	9/27/2022	Commercial Vehicle - Semi	Boulder Hill	4 Knollwood Dr. Montgomery	03-05-279-010	7/20/2022
11/15/2022	11/5/2022	30 Day Warning Notice Reg & Cert	9/22/2022	Commercial Vehicle - Semi	Boulder Hill	20 Hampton Rd. Montgomery	03-05-428-020	7/20/2022
8/31/2022		Owner changed - Removed	8/31/2022	Commercial Vehicle - Semi	Boulder Hill	39 Longbeach Rd. Montgomery	03-04-377-019	7/20/2022
10/28/2022	10/26/2022	30 Day Warning Notice Reg & Cert	9/22/2022	Commercial Vehicle - Semi	Boulder Hill	106 Tealwood Rd. Montgomery	03-04-408-003	7/20/2022
9/22/2022		Not on site	9/22/2022	Commercial Vehicle - Semi	Boulder Hill	45 Whitney Way Montgomery	03-04-329-019	7/20/2022
9/22/2022		Not on site	9/22/2022	Commercial Vehicle - Semi	Boulder Hill	52 Marnel Rd. Montgomery	03-04-326-005	7/20/2022
1/20/2023	1/20/2023			Commercial Vehicle - Semi	Boulder Hill	59 Circle Dr. E Montgomery	03-04-306-005	7/20/2022
9/22/2022		No Semi Truck	9/22/2022	Commercial Vehicle - Semi	Boulder Hill	14 Wyndham Dr. Montgomery	03-04-305-022	7/20/2022
7/20/2022		KCHHD is investigating	7/20/2022	Business - Tamale stand	Boulder Hill	44 Hampton Rd. Montgomery	03-04-306-027	7/20/2022
V22-012	6/27/2023	Matt- email - Brian notes -Court	7/19/2022	Fill in Floodplain		2511 Wildy Rd. Minooka	09-27-200-004	7/20/2022
8/2/2022	8/27/2022	30 Day warning notice	7/28/2022	Trailer in F/yard setback	FOFC	330 Austin Ct. Yorkville	02-35-301-001	7/18/2022
11/29/2022	11/28/2022	30 Day Warning Notice Reg & Cert	10/21/2022	Box Truck-Commercial Vehicle	Boulder Hill	34 Longbeach Rd. Montgomery	03-04-307-025	7/15/2022
10/25/2022		Remodel - cosmetic only	7/15/2022	Fire on 7/12/2022	Shore Heights	105 Dolores St Oswego	03-08-303-007	7/13/2022
8/31/2022	8/27/2022	30 Day warning notice	7/20/2022	Boat in F-yard setback	Boulder Hill	136 Boulder Hill Pass Montgomery	03-05-404-018	7/12/2022
8/31/2022	8/27/2022	30 Day warning notice	7/20/2022	Rec Trailer in F/Y setback	Boulder Hill	170 Boulder Hill Pass Montgomery	03-04-352-020	7/12/2022
7/20/2022		No Evidence	7/20/2022	Tattoo business	Boulder Hill	51 Circle Drive E Montgomery	03-04-306-001	7/12/2022
1/17/2023	1/9/2023	Eviction process started	8/3/2022	Multiple Violations	Boulder Hill	57 Circle Dr. E Montgomery	03-04-306-004	7/12/2022
10/28/2022		Hobby Shop-not residence		Residence in Barn	Aux Sable Oaks	15100 Jughandle Rd. Minooka	09-22-200-004	7/11/2022
12/28/2022	12/1/2022	Incorrect PIN#	10/28/2022	Tree Business - R-1 zoning	Fran-Shir Acres	2325 Bell Rd. Minooka	09-22-200-016/ 030	7/11 &10/31/2022
10/28/2022		A-1 Home occupation-see notes		Residence in Barn		14565 Jughandle Rd. Minooka	09-15-300-016	7/11/2022
7/11/2022		Not able to find evidence of rooster		Roosters in R-3 zoning		43 West St. Bristol	02-16-228-012	7/11/2022
8/12/2022	8/15/2022	30 Day Warning Notice	7/13/2022	Trailer in F/yard setback	FOFC	317 Fields Dr. Yorkville	05-02-102-002	7/8/2022
11/29/2022	11/28/2022	30 Day Warning Notice	7/7/2022	Multiple Violations	Boulder Hill	59 Circle Dr. E Montgomery	03-04-306-005	7/7/2022
7/8/2022	2202/11/0	No ovidence	7/7/7022	landscape business in B-6 zoning	Boulder Hill	10 Indistrice Bd Montgomery	03-04-177-020	7/5/2022
7707/71/0	2202/11/8	30 Day warning notice	2/2/2022	Grass Parking	Boulder Hill	29 Pickford Kd. Montgomery	4	7/1/2022
2202/2/8	0/44/2022			Landscape business	Boulder Hill	10 Ingleshire Rd. Montgomery	03-04-177-020	7/1/2022
8/2/2022	8/11/2022	Change of Occupancy - No Permit	7/7/2022	Change of Occupancy	Boulder Hill	67 Boulder Hill Pass Montgomery	03-05-401-003	7/1/2022
7/7/2022		No grass parking observed	7/7/2022	Grass Parking	Boulder Hill	31 Pickford Rd. Montgomery	03-09-153-015	7/1/2022
8/2/2022	8/27/2022	30 Day warning notice	7/26/2022	Landscape Business	Boulder Hill	22 Greenbriar Rd. Montgomery	03-04-152-013	7/1/2022
8/2/2022	8/19/2022	Vehicle operable/RV not occupied	7/19/2022	Repair-Used car business	Vil of Millbrook	8 N Hudson St. Millbrook	04-16-129-001	7/1/2022
4/12/2023	5/1/2023	Letter to disuss conditions/undable to det violation	8/3/2022	Condition 10 Special Use		3428 Roth Rd. Oswego	03-23-277-004	7/1/2022
9/12/2022	9/12/2022	10 day final warning	6/24/2022	Porch addition w/o permit	Vil of Huntsville	8 Grove St. Bristol	02-15-157-003	6/24/2022
8/3/2022	7/23/2022	30 Day Warning	6/24/2022	Sheds - No Permit	Boulder Hill	45 Fernwood Rd. Montgomery	03-04-152-004	6/23/2022
6/28/2022		Fence being installed	6/27/2022	Pool- fence still not finished	FOFC	324 Austin Ct. Yorkville	05-02-101-002	6/24/2022
6/17/2022		Referred to Bristol Township		Tall grass		3416 N Route 47 Yorkville	02-21-178-001	6/16/2022
7/17/2022	7/13/2022	30 Day warning notice	5/10/2022	RV parked in F-yard setback	Boulder Hill	102 Circle Drive W Montgomery	03-04-376-023	6/13/2022
1/17/2023	1/9/2023	Letter to contact for Fire Rest. Permit	6/13/2022	Fire - 2 apartments & out building	Herrens Riverview Add	2245 Route 31 Oswego	03-17-102-011	6/12/2022
8/2/2022	8/27/2022	2nd notice 7/27/2022		Chickens/Rooster in R-6	Boulder Hill	65 Sierra Rd. Montgomery	03-04-377-010	6/10/2022
6/15/2022		Dirt fill placed-SW permit not required		Fill / Debris		Brisbin Rd. Minooka	09-18-300-017	6/7/2022
6/21/2022		Unable to see or hear rooster	6/21/2022	Rooster	Boulder Hill	4 Culver Rd. Montgomery	03-08-278-009	6/6/2022
//13/2022	7/6/2022	30 day warning notice	5/25/2022	Multiple Violations	Boulder Hill	80 Springdale Rd. Montgomery	03-04-4//-038	6/6/2022



### PRE VIOLATION REPORT 2022

0/22/2022		Addition added 2014-16-Ag Exempt - No Violation	9/22/2022	Construction w/o permit		13349 A Faxon Rd. Plano	01-23-200-028	9/21/2022
10/28/2022	10/27/2022	30 Day Warning Notice Reg & Cert	9/22/2022	Inoperable Vehicle	Woods of Blackberry oaks	23 N Royal Oaks Dr. Bristol	02-15-251-006	9/20/2022
9/23/2022		Debris has been removed	9/22/2022	Junk & Debris	Boulder Hill	63 Circle Dr W Montgomery	03-08-201-012	9/20/2022
10/28/2022	10/26/2022	30 Day Warning Notice Reg & Cert	9/22/2022	Junk & Debris	Boulder Hill	82 Saugatuck Rd. Montgomery	03-04-456-004	9/19/2022
10/4/2022		No permit required at this time		Possible remodel w/o permit		4160 Steam Mill Ct. Oswego		9/19/2022
	MA 5/1/2024	MA 30 Day Warning Notice Reg & Cert MA 5/1/2024	9/16/2022	Site Dev in Floodplain&wetlands-No Permit		5505 Route 71 Oswego	03-19-176-004	9/19/2022
11/2/2022	10/30/2022	30 Day Warning Notice Reg & Cert	9/22 & 9/27	Multiple Violations	FOFC	5703 Fields Dr. Yorkville	02-35-380-006	9/19/2022
10/14/2022	latt A 10/14/2	30 Day Warning Notice Reg & Cert Matt A 10/14/2	9/16/2022	Fill being placed in creek	County Clerks	1210 Plainfield Rd. Oswego	06-02-226-001	9/16/2022
10/28/2022	10/23/2022	30 Day Warning Notice Reg & Cert	9/19/2022	Boat in F/Y setback	Boulder Hill	128 Tealwood Rd. Montgomery	03-04-408-014	9/16/2022
2/7/2023	1/13/2023	30 Day Warning Notice Reg & Cert	9/19/2022	Junk & Debris	Boulder Hill	76 Circle Dr E. Montgomery	03-04-376-003	9/16/2022
12/21/2022	12/16/2022	30 Day Warning Notice Reg & Cert	9/19/2022	Trailer in F/Y setback	Boulder Hill	28 Fernwood Rd. Montgomery	03-05-229-006	9/16/2022
10/23/2022	10/23/2022	30 Day Warning Notice Reg & Cert	9/19/2022	Trailer in F/Y setback	Boulder Hill	24 Fernwood Rd. Montgomery	03-05-229-004	9/16/2022
10/23/2022	10/23/2022	30 Day Warning Notice Reg & Cert	9/19/2022	RV in F/Y setback	Boulder Hill	28 N Bereman Rd. Montgomery	03-05-276-010	9/16/2022
10/25/2022	10/22/2022		9/19/2022	Multiple Violations	Rosehill	6111 Audrey Ave Yorkville	05-02-201-005	9/15/2022
Closed MA	MA 10/21/2022		9/7/2022	Stormwater - MA		Route 52-Lisbon Rd Newark	08-19-300-005	9/14/2022
2/7/2023	1/13/2023	30 Day Warning Notice Reg & Cert	10/7 & 10/18	Inoperable Vehicle	Boulder Hill	62 Circle Dr. E Montgomery	03-04-307-001	9/14/2022
10/23/2022	10/23/2022	30 Day Warning Notice Reg & Cert	9/19/2022	Inoperable Vehicle	Boulder Hill	13 Pomeroy Dr. Montgomery	03-04-451-015	9/14/2022
9/21/2022	9/21/2022	Certified letter sent 9/14/2022		No Silt fence or Vegetation filter	Whitetall Ridge	7437 Clubhouse Dr. Yorkville	05-12-276-001	9/14/2022
10/17/2022		Certified letter sent 9/14/2022		No Silt fence or Vegetation filter	Whitetail Ridge	7461 Clubhouse Dr. Yorkville	05-12-276-002	9/14/2022
10/17/2022		Certified letter sent 9/14/2022		No Silt fence or Vegetation filter	Whitetail Ridge	7485 Clubhouse Dr. Yorkville	05-12-276-003	9/14/2022
10/17/2022		Certified letter sent 9/14/2022		No Silt fence or Vegetation filter	Whitetall Ridge	7509 Clubhouse Dr. Yorkville	05-12-276-004	9/14/2022
10/17/2022		Certified letter sent 9/14/2022		No Silt fence or Vegetation filter	Whitetail Ridge	5537 Whitetail Ridge Dr.	06-06-450-004	9/14/2022
11/2/2022	10/31/2022	Certified letter sent 9/14/2022		No Silt fence or Vegetation filter	Whitetall Ridge	7221 Clubhouse Dr. Yorkville	05-12-227-005	9/14/2022
10/17/2022		Certified letter sent 9/14/2022		No Silt fence or Vegetation filter	Whitetail Ridge	7372 Clubhouse Dr. Yorkville	05-12-277-004	9/14/2022
10/17/2022		Certified letter sent 9/14/2022		No Silt fence or Vegetation filter	Whitetail Ridge	7102 Golfview Ct. Yorkville	06-07-130-019	9/14/2022
10/17/2022		Certified letter sent 9/14/2022		No Silt fence or Vegetation filter	Whitetail Ridge	7386 Fairway Dr. Yorkville	06-07-228-007	9/14/2022
10/17/2022		Certified letter sent 9/14/2022		No Silt fence or Vegetation filter	Whitetail Ridge	5753 Whitetail Ridge Dr.	06-07-129-007	9/14/2022
10/28/2022	10/26/2022	30 Day Warning Notice Reg & Cert	9/22/2022	Commercial Vehicle	Boulder Hill	39 Hampton Rd. Montgomery	03-04-351-006	9/13/2022
9/23/2022		MA		Possible AirBnB	Willmans	33 Bonnie Lane Yorkville	05-09-152-001	9/13/2022
10/1/2022	1	+	9/27/2022	Trucking Business		6909 Schlapp Rd. Oswego	06-04-400-005	9/12/2022
Com	Court 4/24/24	30 Day Warning Notice Reg & Cert	9/8/2022	link & Debris	Boulder Hill	16 Wyndham Dr. Monteomery	03-04-305-023	9/8/2022
1/13/2023	1/13/2023			Inonerable Vehicle	Boulder Hill	62 Circle Dr. E Montgomery	03-04-307-001	9/8/2022
9/27/2022		Cars not parked in ROW	1 1 1	Cars parked in setback		9513 Walker Rd. Yorkville	05-21-300-006	9/7/2022
Closed MA	10/16/2022	30 Day Warning Notice Reg & Cert	9/8/2022	lilegal Training facility Business		7344 Route 47 Yorkville	05-09-154-001	9/7/2022
10/20/2022	10/16/2022	30 Day Warning Notice Reg & Cert	9/14/2022	Illegal Pool Business		3842 Grove Rd. Oswego	03-20-400-018	9/7/2022
9/8/2022		Removed		Junk & Debris	Boulder Hill	Braeburn Montgomery	No address - blh	9/7/2022
9/8/2022		Not a violation		Possible AirAna	Boulder Hill	12 Greenbriar Rd. Montgomery	03-05-280-017	9/7/2022
9/14/2022				Dump Truck, trailer & bobcat in FY & junk	Rosehill	6111 Audrey Ave Yorkville		8/29/2022
9/14/2022		No Evidence of construction	9/14/2022	Building w/o Permit	Sugar Brook	157 Woodland Dr. Plano	01-29-101-003	8/29/2022
8/31/2022		Referred to HHs	47 - 47 - 47 - 47 - 47 - 47 - 47 - 47 -	Trash	Boulder Hill	51 Circle Drive E Montgomery	03-04-306-001	8/26/2022
8/30/2022	of not tour	Did not observe any PBZ violations	8/26/2022	Construction	Fox Bend Estates	Wolfs Crossing Rd. Oswego	03-16-176-006	8/25/2022
9/22/2022	0/30/2022	Determined not be a violation	9/20/2022	Shod - Bornodal to living other	Boulder Hill	14 Barriay Ct Montgomery	03-08-280-032	8/24/2022
2202/22/8		Did not observe any PBZ violations	2202/62/9	Abandoned property	Blackhaurk Springs	70 Blackhauk Springs Dr. Plano	01-35-430-003	8/24/2022
9/6/2022	9/30/2022	30 Day Warning Notice Reg & Cert	8/30/2022	Boat in FY & on non approved surface	Boulder Hill	10 Greenfield Rd. Montgomery	03-05-429-004	8/23/2022
11/23/2022	11/21/2022	Met wi owner-agreed to apply BP & HC		Poss Business & Building w/o permit		23 Coffman Ln. Plano	01-09-428-003	8/23/2022
9/21/2022	9/30/2022	30 Day Warning Notice Reg & Cert	8/30/2022	Trailer in F/Y setback	Boulder Hill	37 S Bereman Rd. Montgomery	03-05-429-031	8/23/2022
8/31/2022		No Truck	8/31/2022	Semi tractor trailer	Shore Heights	177 Dolores St. Oswego	03-07-403-006	8/23/2022
8/29/2022		Did not observe any PBZ violations	8/29/2022	Multiple Violations	Meyerbrook	N Linden Dr. Plano	01-16-427-001	8/22/2022
9/16/2022		Void-Not a violation of stormwater		Dirt Piles	County Clerks	1210 Plainfield Rd. Oswego	06-02-226-001	8/16/2022
8/29/2022		Did not observe any PBZ violations	8/29/2022	Poss Garage reno to living quarters	Meyerbrook	31 S. Linden Dr. Plano	01-16-476-004	8/12/2022
8/8/2022		Unable to confirm chickens	8/8/2022	Chickens	Boulder Hill	31 Chatham Pl. Montgomery	03-04-328-008	8/5/2022
10/4/2023	9/5/2022	30 Day warning notice-reg & cert	8/5/2022	4 Violations	Gastville Acreage	26 Gastville Aurora	03-12-204-005	8/5/2022
8/8/2022		Unable to confirm business	8/8/2022	Auto Repair business	Shore Heights	168 Dolores St. Oswego	03-07-402-014	8/4/2022
8/31/2022	9/5/2022	30 Day warning notice-reg & cert	8/5/2022	Building w/o permit		13524 C Hale Rd. Plano	01-35-100-003	8/3/2022
8/2/2022		Fence - debris	8/2/2022	Fence	Boulder Hill	62 Fernwood Rd. Montgomery	03-04-151-010	8/2/2022

### **Permit Summary by Category Kendall County**

Permit Category	Count	<b>Estimated Cost</b>	Permit Fees	Land Cash
House	2	\$1,102,950	\$9,712	\$5,962
Garage	1	\$45,924	\$200	\$0
Accessory Buildings	12	\$878,625	\$2,108	\$0
Additions	3	\$219,193	\$709	\$0
Remodeling	3	\$331,415	\$460	\$0
Barns/Farm Buildings	1	\$40,000	\$0	\$0
Signs	1	\$0	\$0	\$0
Swimming Pools Decks	3	\$35,646	\$600	\$0
Decks	1	\$1,300	\$0	\$0
Electrical Upgrades	1	\$3,602	\$150	\$0
Electrical Opgrades Driveway	3	\$21,231	\$400	\$0
Oriveway Patio	2	\$4,000	\$50	\$0
Solar	12	\$7,712,488	\$8,950	\$0
*	45	\$10,396,374	\$23,339	\$5,962

April 2023- 4 Houses 45 Total YTD 2023 9 Houses

### Permit Summary by Category by Month Kendall County

Permit Category	Total	Jan	Feb	Mar	Apr	May	Jun	Jul	Aug	Sep	Oct	Nov	Dec
House	11	3	1	5	2	0	0	0	0	0	0	0	0
Garage	3	0	0	2	1	0	0	0	0	0	0	0	0
Accessory Buildings	24	2	4	6	12	0	0	0	0	0	0	0	0
Additions	4	0	0	1	3	0	0	0	0	0	0	0	0
Remodeling	10	3	1	3	3	0	0	0	0	0	0	0	0
Commercial - B Zone	1	0	1	0	0	0	0	0	0	0	0	0	0
Barns/Farm Buildings	5	0	3	1	1	0	0	0	0	0	0	0	0
Signs	1	0	0	0	1	0	0	0	0	0	0	0	0
Swimming Pools	7	0	0	4	3	0	0	0	0	0	0	0	0
Decks	3	0	0	2	1	0	0	0	0	0	0	0	0
Demolitions	2	0	1	1	0	0	0	0	0	0	0	0	0
Electrical Upgrades	3	1	0	1	1	0	0	0	0	0	0	0	0
Change in Occupancy	2	0	0	2	0	0	0	0	0	0	0	0	0
Driveway	5	0	0	2	3	0	0	0	0	0	0	0	0
Fire Restoration	1	1	0	0	0	0	0	0	0	0	0	0	0
Patio	2	0	0	0	2	0	0	0	0	0	0	0	0
Generator	2	1	0	1	0	0	0	0	0	0	0	0	0
Solar	20	2	2	4	12	0	0	0	0	0	0	0	0
	106	13	13	35	45	0	0	0	0	0	0	0	0

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	Contractor Name	REVOLUTION CUSTOM HOMES		REVOLUTION BUILDERS	IMPERIAL CONSTRUCTION -	DWELL HOMES, INC.		KINGS COURT BUILDERS INC.	MCCUE BUILDERS INC.		CL DESIGN BUILD INC	
	Subdivision	WHITETAIL RIDGE		ESTATES OF MILLBROOK UNIT 3	ESTATES OF MILLBROOK UNIT 1	WHITETAIL RIDGE		WHITETAIL RIDGE	ESTATES OF MILLBROOK MCCUE BUILDERS INC. UNIT 3	ESTATES OF MILLBROOK UNIT 1	TANGLEWOOD TRAILS	
	Property Address	5946 CHAMPIONSHIP CT YORKVILLE, IL 60560-	3400 ROUTE 52 MINOOKA, IL 60447-	9204 CHATHAM PL NEWARK, ESTATES OF MILLBROOK IL 60541-	15681 COBB CT NEWARK, IL 60541-	7605 CLUBHOUSE DR YORKVILLE, IL 60560-	4518 ELDAMAIN RD PLANO, IL. 60545	6112 LEGACY CIR YORKVILLE, IL 60560-	15536 PROSPECT HILL DR NEWARK, IL 60541-	8982 WILCOX CT MILLBROOK, IL 60536-	8019 WILSON COURT YORKVILLE, IL. 60560	14918 BRISBIN RD MINOOKA, IL 60447-
Parcel Number	Owner Name	06-07-374-008 REVOLUTION INVESTMENTS, LLC	09-16-400-010 AGUILAR MIGUEL & IDOLINA	04-21-125-032 BRATLAND JAY S & MICHELLE J	04-21-125-018 AVERY JOHN R & LAUREN J	05-12-276-008 DIAZ JOSEPH & PATRICIA	02-30-300-009 BECK RYAN & SHANNON	05-12-278-002 CALDWELL JODI J & BRAD A	04-21-252-002 YENTER KELLI & CHRIS	04-16-351-008 SPENCER JOHN & WENDY	05-18-228-003 DOLIN JULIE A	09-18-300-019 QUEZADA IRMA LOYA
Permit ID	Permit Category	012024060 01 House	012024031 01 House	012024094 01 House	012024059 01 House	012024068 01 House	012024058 01 House	012024077 01 House	012024023 01 House	012024041 01 House	012024022 01 House	012024095 01 House
SSUE	Date	3/18/2024	4/25/2024	4/12/2024	3/18/2024	4/1/2024	4/12/2024	3/27/2024	1/23/2024	2/21/2024	1/11/2024	4/15/2024

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Permit Category         Owner Name           022024089         02-34-202-014           02 Garage         MAJCHEREK PETER & KAREN GRIDLEY           022024073         08-18-300-009           02 Garage         MILLER JORDAN & KATE           022024082         04-16-176-011           02 Garage         TECKENBROCK LEANN           M         032024092           03 Accessory Buildings         05-18-300-006           03 Accessory Buildings         DYSON JAMES R & CONNIE R           032024070         09-22-200-004           03 Accessory Buildings         HAASE DOUGLAS           03 Accessory Buildings         MURILLO OMAR & ELIZABETH EULALIA           032024067         05-35-200-013           03 Accessory Buildings         BOYD ROBERT J           03 Accessory Buildings         BOYD ROBERT J           03 Accessory Buildings         BOYD ROBERT J
07-24-200-003 COOSE RONALD

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				NOIL	NOIL						
				BOB LEE CONSTRUCTION	BOB LEE CONSTRUCTION						
	TANGLEWOOD TRAILS	BOULDER HILL UNIT 17			RIVER WOOD FARMS		IL BRISTOL LAKE SUB	WENDLING SUB	O, MARINA TERRACE	FIELDS OF FARM COLONY UNIT 3	FIELDS OF FARM COLONY UNIT 3
Section A Subsection of Control o	8019 WILSON COURT YORKVILLE, IL. 60560	9 FIELDPOINT RD MONTGOMERY, IL 60538-	4187 WHITEWILLOW RD MINOOKA, IL 60447-	9025 KENNEDY RD YORKVILLE, IL 60560-	21 RIVERWOOD CT OSWEGO, IL 60543-	11143 ASHLEY RD YORKVILLE, IL 60560-	90 LILLIAN LN YORKVILLE, IL BRISTOL LAKE SUB 60560-	7807 VAN EMMON RD YORKVILLE, IL 60560-	37 W ANCHOR RD OSWEGO, MARINA TERRACE IL 60543-	7694 MADELINE DR YORKVILLE, IL 60560-	7694 MADELINE DR YORKVILLE, IL 60560-
Parcel Number	05-18-228-003 DOLIN JULIE A	03-08-277-020 MYLES VICTORIA & KENNY	09-32-200-010 ZABEL KENNETH & ARIAS JASMINE	02-21-200-015 DENARDO WARREN C & JACLYNN M	02-24-103-001 ARROYO OSVALDO E & JOSE E	05-34-200-003 COBBLE JEFFERY & ERIN	02-15-353-002 STEINWAY BRIAN & KIMBERLY	02-35-103-013 HATHAWAY BRADFORD L &	8.4.07-231-002 03-07-231-002 RAJU RAJIV LUKE & RAJU SHANTA & RAJU	02-35-380-015 ANDERSON LAUREN S	02-35-380-015 ANDERSON LAUREN S
Permit ID	032024027 03 Accessory Buildings	032024069 03 Accessory Buildings	032024037 03 Accessory Buildings	032024053 03 Accessory Buildings	032024109 03 Accessory Buildings	032024102 03 Accessory Buildings	032024021 03 Accessory Buildings	032024036 03 Accessory Buildings	032024123 03 Accessory Buildings	032024081 03 Accessory Buildings	032024080 03 Accessory Buildings
Issue	2/2/2024	3/20/2024	2/21/2024	3/6/2024	4/22/2024	4/18/2024	1/2/2024	2/13/2024	4/29/2024	4/8/2024	4/8/2024

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	Contractor Name	METRONET INFRASTRUCTURE			BOB LEE CONSTRUCTION						TRANQUILITY BUILDERS INC.	
	Subdivision	,	FOXHURST UNIT 6		WILLOWBROOK UNIT 3	HIGHLAND SUB			FOX RIVER GARDENS	. HATTNER SUB	OLD RESERVE HILLS UNIT TRANQUILITY 1	
	Property Address	3651 CANNONBALL TRL YORKVILLE, IL 60560-	45 SHAGBARK LN MILLBROOK, IL 60536-	12452 MCKANNA RD MINOOKA, IL 60447-	83 E LARKSPUR LN BRISTOL, IL 60512-	66 OSAGE CT OSWEGO, IL 60543-	1022 INDEPENDENCE BLVD YORKVILLE, IL 60560-	4552 WHITEWILLOW RD MINOOKA, IL 60447-	61 RIVERSIDE DR YORKVILLE, IL 60560-	9 SETTLERS LN OSWEGO, IL HATTNER SUB 60543-	5380 OLD RESERVE RD OSWEGO, IL 60543-	338 SCOTCH RD OSWEGO, IL 60543-
Parcel Number	Owner Name	02-20-401-001 ULNER GREG	04-16-101-011 ZARCONE CHRISTOPHER S &	MARDATET 09-04-100-013 SALINAS RAFAEL & MARIA M	02-11-101-005 SPARTO MARIO & KAY LEIGH	03-18-401-009 SMITH MARTY E & CONSTANCE M	02-29-130-019 SCHLAPP GARY D & BEVERLY	09-32-100-004 ASCENCIO VICTOR H & DIAZ MAYRA K	02-27-380-002 BAILEY JASON A	03-31-302-002 HER TAO & PANG	03-32-131-002 MAGO MICHAEL J	03-25-200-004 BROSSMAN LARRY &
Permit ID	Permit Category	032024029 03 Accessory Buildings	032024086 03 Accessory Buildings	032024039 03 Accessory Buildings	032024106 03 Accessory Buildings	032024038 03 Accessory Buildings	042024122 04 Additions	042024111 04 Additions	042024114 04 Additions	052024046 05 Remodeling	052024035 05 Remodeling	052024116 05 Remodeling
Ssue	Date	1/11/2024	4/9/2024	2/20/2024	4/19/2024	2/16/2024	4/26/2024	4/22/2024	4/24/2024	2/28/2024	2/1/2024	4/25/2024

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Issue	Permit ID	Parcel Number			
Date 1/29/2024	Permit Category 052024032 05 Remodeling	Owner Name 02-29-426-009 HANSON WILLIAM J & LORI ANNE	Property Address 216 GEORGEANNA ST YORKVILLE, IL 60560-	Subdivision COUNTRYSIDE SUB UNIT 3	Contractor Name HOGAN DESIGN & CONSTRUCTION
3/7/2024	052024057 05 Remodeling	02-14-277-002 URBON TANYAL	10 ANNA MARIA LN OSWEGO, IL 60543-	LYNWOOD EXTENSION 4	Luis Camarena - Contact
4/17/2024	052024104 05 Remodeling	02-13-354-004 MUSSER BRETT R & AUBREY B	145 RIVERWOOD DR OSWEGO, IL 60543-	RIVER WOOD FARMS	MWK CONSTRUCTION INC.
3/28/2024	052024083 05 Remodeling	09-04-300-018 BURNS JOSHUA MICHAEL & LINDSEY	12478 MCKANNA RD MINOOKA, IL 60447-		Acculevel
4/16/2024	052024066 05 Remodeling	ANNIE 01-35-477-008 EDELMAN DAVID R & JILL A	5900 D RED GATE LN YORKVILLE, IL 60560-	THE BLUFF AT SILVER SPRINGS	WATCHMEN MAINTENANCE &
1/29/2024	052024033 05 Remodeling	03-06-200-006 MONTERO, ANGELICA & ORTIZ, MIGUEL A	5132 BASELINE RD OSWEGO, IL 60543-		
3/1/2024	072024042 05-28-400-002 07 Commercial - B Zone ALWAYS FAITHFUL PROPERTIES 1074	05-28-400-002 ALWAYS FAITHFUL PROPERTIES 10744	10744 ROUTE 47 YORKVILLE, IL 60560-		
4/9/2024	082024088 08-15-200-007 08 Barns/Farm Buildings JANKE RICHARD DELORIS	08-15-200-007 s JANKE RICHARD & DELORIS	14151 ASHLEY RD MINOOKA, IL 60447-		
3/20/2024	082024072 04-31-300-005 08 Barns/Farm Buildings DUNCAN JOHN   NANCY M	04-31-300-005 s DUNCAN JOHN P & NANCY M	2999 N 4201st RD SHERIDAN, IL. 60551		
2/28/2024	082024048 05-02-300-010 08 Barns/Farm Buildings REES GINGER	05-02-300-010 s REES GINGER	6611 MINKLER RD YORKVILLE, IL. 60560		
2/26/2024	082024047 07-17-400-002 08 Barns/Farm Buildings FRANK SANTORO	07-17-400-002 s FRANK SANTORO	14515 ROODS RD NEWARK, IL 60541-		

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Issue	ם	Parcel Number			
Date	Permit Category	Owner Name	Property Address	Subdivision	Contractor Name
2/21/2024	082024045 08 Barns/Farm Buildings	082024045 08-14-300-008 08 Barns/Farm Buildings JOHNSON JANINE RAE	ASHLEY RD. MINOOKA, IL. 60447		
4/26/2024	122024121 12 Swimming Pools	01-25-461-002 BERRIOS LAURIE ANN & WILLIAM	12156 MITCHELL DR PLANO, IL 60545-	SCHAEFER WOODS SOUTH UNIT 1	10X POOLS
4/24/2024	122024117 12 Swimming Pools	05-07-253-003 BECKET CHARLES & SUSAN B	11300 ROUTE 71 YORKVILLE, IL 60560-		
4/22/2024	122024096 12 Swimming Pools	02-28-452-004 SHUE CHRISTOPHER DAVID & SKOWRON	610 MCHUGH RD YORKVILLE, IL 60560-	HIGHLAND TERRACE SUB	
4/3/2024	122024076 12 Swimming Pools		4447 TUMA RD YORKVILLE, IL 60560-	BATSONS SUB	JG SWIMMING POOLS INC.
3/22/2024	122024064 12 Swimming Pools	09-23-300-026 RESENDIZ PHILIP AND JENNIFER	15801 HARE RD MINOOKA, IL 60447-		DESROCHES BACKYARD POOLS
3/7/2024	122023357 12 Swimming Pools	01-29-452-007 HANSON KIMBERLY	16267 GRISWOLD SPRINGS RD PLANO, IL 60545-		
3/19/2024	122024062 12 Swimming Pools	02-35-410-005 FORTIER FAMILY REV TRUST	7692 COLE CT YORKVILLE, IL 60560-	FIELDS OF FARM COLONY PARADISE POOLS, INC. UNIT 3	PARADISE POOLS, INC.
3/6/2024	122024056 12 Swimming Pools	01-35-100-009 KEOUGH JOHN & MARGARET	13524 B HALE RD PLANO, IL 60545-		SIGNATURE POOLS & SPAS INC.
3/22/2024	132024065 13 Decks	02-13-428-002 BOON CHRISTOPHER	6149 ROUTE 34 OSWEGO, IL 60543-		WARNER'S DECKING
3/8/2024	132023356 13 Decks	01-29-452-007 HANSON KIMBERLY	16267 GRISWOLD SPRINGS RD PLANO, IL 60545-		

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Contractor Name		OTTERBACH DEMOLITION		QUALITY INTEGRATED SOLUTIONS	JACOB B LAZANO	RENE AGUILERA	Tenant: All City Plumbing	Tenant: Lawn Squad of Aurora		CEMENTRIX CONCRETE
Subdivision		PLETCHERS C		G W	BOULDER HILL UNIT 23 J	BOULDER HILL UNIT 20 F	L		BOULDER HILL UNIT 7	WORMLEYS CENTURY C
Property Address	1996 CANNONBALL TRL BRISTOL, IL 60512-	12 PLETCHER DR YORKVILLE, IL 60560-	FOX RIVER DRIVE NEWARK, IL. 60541	10701 RIVER RD PLANO, IL 60545-	53 SPRINGDALE RD MONTGOMERY, IL 60538-	15 CAYMAN DR MONTGOMERY, IL 60538-	43 OAK ST BRISTOL, IL 60512-	43 OAK ST BRISTOL, IL 60512-	93 CIRCLE DR EAST MONTGOMERY, IL 60538-	35 CENTURY DR OSWEGO, IL 60543-
Parcel Number Owner Name	02-15-101-003 VELAZQUEZ ROBERT	08-02-452-007 CLASSIC INVESTMENTS LLC	04-31-300-011 GARY AND SHERRY UNDERHILL	02-32-100-019 YOUTH CAMP ASSOC DIST 12 & 13 PNA	03-04-478-006 MOLINA TRACI A & FLORES JASHIA	03-08-228-016 BASTIDA LAUREN E	02-15-176-001 <sup>3</sup> BRISTOL PARK PROPERTIES LLC	02-15-176-001 BRISTOL PARK PROPERTIES LLC	03-04-354-013 SANCHEZ OSCAR HERNANDEZ &	O3-08-326-005 PIERCE SYLVANUS H II
Permit ID Permit Category	132024084 13 Decks	142024055 14 Demolitions	142024043 14 Demolitions	152024103 15 Electrical Upgrades	152024028 15 Electrical Upgrades	152024078 15 Electrical Upgrades	172024051 02-15-176-001 17 Change in Occupancy BRISTOL PARK PROPERTIES LLC	172024050 02-15-176-001 17 Change in Occupancy BRISTOL PARK PROPERTIES L	182024115 18 Driveway	182024113 18 Driveway
Issue Date	4/8/2024	4/25/2024	2/26/2024	4/17/2024	1/10/2024	3/27/2024	3/18/2024	3/18/2024	4/24/2024	4/25/2024

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29 CHARLES ST OSWEGO, IL LYNWOOD EXTENSION 6 60543-

SPAARGAREN RODGERS BRENT

18 Driveway 182024079

3/27/2024

02-14-428-006

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diag	Permit ID	Parcel Number			
Date	Permit Category	Owner Name	Property Address	Subdivision	Contractor Name
3/6/2024	182024052 18 Driveway	09-18-300-019 QUEZADA IRMA LOYA	14918 BRISBIN RD MINOOKA, IL 60447-		
1/10/2024	192024024 19 Fire Restoration	03-04-378-022 PEREZ MISAEL	48 HUBBARD WAY MONTGOMERY, IL 60538-	BOULDER HILL UNIT 10	
4/29/2024	202024124 20 Patio	03-07-231-002 RAJU RAJIV LUKE & RAJU SHANTA & RAJU	37 W ANCHOR RD OSWEGO, MARINA TERRACE IL 60543-	, MARINA TERRACE	
3/19/2024	232024063 23 Generator	02-33-201-001 SMITH DONALD S II & CLARK EMILY R	505 E SPRING ST YORKVILLE, IL 60560-	DECKERS SUB	LEE LEGLER CONSTRUCTION &
1/10/2024	232024025 23 Generator	01-20-352-008 CRAWFORD WILLIAM J & VICKI L	168 WOODLAND DR PLANO, IL 60545-	SUGAR BROOK ESTATES UNIT 3	BAKER ELECTRIC & GENERATORS
3/27/2024	242024075 24 Solar	03-04-251-003 GUERRERO ALVARO	120 FERNWOOD RD MONTGOMERY, IL 60538-	BOULDER HILL UNIT 33	BRIGHT PLANET SOLAR
1/2/2024	242024020 24 Solar	07-29-300-003 FARIAS MICHAEL DAVID & JENNIFER	16627 STEPHENS RD NEWARK, IL 60541-		LGCY INSTALLATION SERVICES., LLC
3/25/2024	242024074 24 Solar	04-13-201-003 BROWN DARREL J & LISA	8262 W HIGHPOINT RD YORKVILLE, IL 60560-	HIGHPOINT VIEW	
3/19/2024	242024061 24 Solar	06-13-126-003 CURLESS WILLIAM B & VICTORIA M	16 VIKING BLVD PLAINFIELD, IL 60586-	EVERGREEN GROVE UNIT SUNRUN 1 INSTALLA	SUNRUN INSTALLATION
3/4/2024	242024049 24 Solar	05-08-301-001 WOODWARD JOHN	7595 E HIGHPOINT RD YORKVILLE, IL 60560-		PERMIT COORDINATOR - ZENA GRAY
2/26/2024	242024044 24 Solar	01-14-126-002 BLACKWELL TONYA & GAGE	2050 ROCK CREEK RD PLANO, IL 60545-	ROCK CREEK ESTATES UNIT 1	SUNRUN INSALLATION SERVICES INC.

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Issue	Permit ID	Parcel Number			
Date	Permit Category	Owner Name	Property Address	Subdivision	Contractor Name
2/7/2024	242024001 24 Solar	03-08-277-024 LAMBERTY MATTHEW	17 FIELDPOINT RD MONTGOMERY, IL 60538-	BOULDER HILL UNIT 17	FREEDOM FOREVER IL. LLC
1/30/2024	242024034 24 Solar	05-17-121-005 PISANO MARCOS	85 ETHEL CT YORKVILLE, IL 60560-	RONHILL ESTATES	VANTAGE HOME SOLAR LLC
4/30/2024	242024126 24 Solar	07-05-400-003 HARAZIN NANCY	16300 NEWARK RD. NEWARK, IL. 60541		PEPPER ENERGY % DEREK HUMMEL
4/25/2024	242024119 24 Solar	05-02-201-003 PAVILIONIS RITAS JON	6069 AUDREY AVE YORKVILLE, IL 60560-	ROSEHILL	SUNRUN INSTALLATION
4/25/2024	242024118 24 Solar	03-04-179-017 RETTERER EDWARD G & JOAN	29 PEMBROOKE RD MONTGOMERY, IL 60538-	BOULDER HILL UNIT 29	PAOLA PEREZ/BRIGHT PLANET SOLAR
4/25/2024	242024112 24 Solar	03-02-227-009 U STOR IT #2 (OSWEGO) LLC	184 ROUTE 30 AURORA, IL 60503-		OPAL ENERGY GROUP LLC
4/22/2024	242024110 24 Solar	06-14-200-016 EICHELBERGER EDWARD & NANCY S	8405 OLD RIDGE RD PLAINFIELD, IL 60586-		LEGACY SOLAR LLC
4/19/2024	242024105 24 Solar	09-07-200-027 PARKS THEODORE	13315 A GROVE RD MINOOKA, IL 60447-	HIGHGROVE	LEGACY SOLAR LLC
4/17/2024	242024100 24 Solar	01-16-427-004 BURROUGHS ERIC B & BROOKE N	41 N LINDEN DR PLANO, IL 60545-	MEYERBROOK UNIT 1	BRIGHT PLANET SOLAR
4/17/2024	242024099 24 Solar	03-07-276-005 HUNT JEFFREY H & DAWN M	9 SHELL CT OSWEGO, IL 60543-	MARINA TERRACE	SUNPOWER CORPORATION
4/12/2024	242024097 24 Solar	03-04-476-027 LOPEZ JUAN M & YESINIA	66 PADDOCK ST MONTGOMERY, IL 60538-	BOULDER HILL UNIT 22	BRIGHT PLANET SOLAR

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Contractor Name	BRIGHT PLANET SOLAR	BRIGHT PLANET SOLAR	BRIGHT PLANET SOLAR
Subdivision		BOULDER HILL UNIT 17	45 E LYNCLIFF DR OSWEGO, LYNWOOD EXTENSION 1 IL 60543-
Property Address	1226 ROUTE 126 PLAINFIELD, IL 60586-	15 OLD POST RD MONTGOMERY, IL 60538-	45 E LYNCLIFF DR OSWEG( IL 60543-
Parcel Number Owner Name	06-14-200-002 VIDMAR JOHN E & WILHELMINE	03-08-227-032 BRAVO LORENZO H	02-23-228-004 GROB MATTHEW M & FU LAURA
Permit ID Permit Category	242024087 24 Solar	242024085 24 Solar	242024026 24 Solar
Issue Date	4/9/2024	3/29/2024	1/10/2024

# **PLANNING BUILDING & ZONING RECEIPTS 2024**

	BUILDING	ZONING	LAND-	OFFSITE	MONTHLY	TOTAL	MONTHLY	TOTAL
DATE	FEES	FEES	CASH	ROADWAY	FY 2024	FY 2024	FY 23	FY 23
December	\$5,266.96	\$1,329.00	\$3,163.48	\$1,000.00	\$10,759.44	\$10,759.44	\$16,054.06	\$16,054.06
January	\$4,575.44	\$1,553.00	\$0.00	\$0.00		\$16,887.88	\$8,592.98	\$24,647.04
February	\$8,660.00	\$212.50	\$3,577.05	\$0.00	\$12,449.55	\$29,337.43	\$3,080.00	\$27,727.04
March	\$9,538.48	\$848.00	\$4,155.98	\$1,000.00	\$15,542.46	\$44,879.89	\$12,669.20	\$40,396.24
April	\$16,582.32	\$124.00	\$17,703.84	\$2,000.00	\$36,410.16	\$81,290.05	\$33,177.45	\$73,573.69
May							\$25,324.74	\$98,898.43
June							\$10,040.93	\$108,939.36
July							\$33,287.13	\$142,226.49
August							\$24,052.37	\$166,278.86
September							\$19,970.02	\$186,248.88
October							\$14,908.42	\$201,157.30
November							\$9,846.20	\$211,003.50
YR END TOTAL								