

KENDALL COUNTY
PLANNING, BUILDING & ZONING COMMITTEE MEETING
111 West Fox Street • Room 209 and 210 • Yorkville, IL • 60560
(630) 553-4141 Fax (630) 553-4179

AGENDA

Monday, October 7, 2019 – 6:30 p.m.

CALL TO ORDER:

ROLL CALL: Elizabeth Flowers, Scott Gengler, Judy Gilmour, Matt Kellogg (Vice-Chairman), and Matthew Prochaska (Chairman)

APPROVAL OF AGENDA:

APPROVAL OF MINUTES: Approval of Minutes from September 9, 2019 Meeting (Pages 3-10)
Approval of Minutes from September 10, 2019 Special Meeting (Pages 11-16)

PUBLIC COMMENT:

EXPENDITURE REPORT: Review of Expenditures from the Prior Month (Pages 17-18)

PETITIONS:

1. **19-32 – John and Erin Sharkey and Theodore Parks (Pages 19-48)**
Request: Request to Relocate a Ten Foot Public Utility and Drainage Easement from the Northern Boundary Line of Lots 1 and 4 of Highgrove Subdivision to the Northern Property Lines of Parcels 09-07-200-034 and 09-07-200-033 and Extend a Public Utility and Drainage Easement Along the Eastern Side of Parcel 09-07-200-033 in Seward Township
Purpose: Petitioners Would Like the Easement to Run Along the Northern Boundaries of Their Zoning Lots Instead of the Northern Boundary of the Highgrove Subdivision

NEW BUSINESS:

1. Approval of Fiscal Year 2019-2020 Meeting Calendar (Page 49)
2. Approval of Request from Michael Isadore to Renew a Special Use Permit for Swimming Lessons Granted by Ordinance 1982-02 at 15331 Burr Oak Road, Plano (Pages 50-52)
3. Recommendation on 2020 Comprehensive Noxious Weed Work Plan (Pages 53-54)
4. Approval to Request that the State's Attorney Office Prepare an Amendment to the Kendall County Zoning Ordinance Pertaining to Citation Authority; Committee Could Initiate a Text Amendment to the Kendall County Zoning Ordinance Regarding Citation Authority
5. Approval of the Part-Time Code Enforcement Officer Job Description (Pages 55-59)
6. Approval of the Code Official Job Description (Pages 55, 60-63)

OLD BUSINESS:

1. Discussion and Possible Amendment to Petition 19-21 Request from the Kendall County Planning, Building and Zoning Committee for Amendments to the Kendall County Land Cash Ordinance (Page 64)

2. Discussion of 1983 Recreational Vehicle and Campground Regulations (Pages 65-69)
3. Zoning Ordinance Project Update

REVIEW VIOLATION REPORT (Pages 70-77):

REVIEW NON-VIOLATION COMPLAINT REPORT (Pages 78-80):

UPDATE FROM HISTORIC PRESERVATION COMMISSION:

REVIEW PERMIT REPORT (Pages 81-103):

REVIEW REVENUE REPORT (Page 104):

CORRESPONDENCE:

1. September 27, 2019 and September 6, 2019 Emails from Fran Klaas Regarding Highgrove Subdivision (Pages 105-106)

COMMENTS FROM THE PRESS:

EXECUTIVE SESSION:

1. Review of Minutes of Meetings Lawfully Closed Under the Illinois Open Meetings Act (5 ILCS 120/2(c)(21))

NEW BUSINESS:

1. Approval to Release the Executive Session Minutes of October 7, 2019

ADJOURNMENT: Next Meeting November 12, 2019 (Tuesday)

If special accommodations or arrangements are needed to attend this County meeting, please contact the Administration Office at 630-553-4171, a minimum of 24-hours prior to the meeting time.

KENDALL COUNTY PLANNING, BUILDING & ZONING COMMITTEE
Kendall County Office Building
Rooms 209 & 210
111 W. Fox Street, Yorkville, Illinois
6:30 p.m.

Meeting Minutes of September 9, 2019 – Unofficial until approved

CALL TO ORDER

The meeting was called to order by Chairman Prochaska at 6:30 p.m. Chairman Prochaska led the attendees in the Pledge of Allegiance.

ROLL CALL

Committee Members Present: Scott Gengler, Judy Gilmour, Matt Kellogg (Vice-Chairman), and Matthew Prochaska (Chairman)

Committee Members Absent: Elizabeth Flowers

Also Present: Matt Asselmeier (Senior Planner), Dan Kramer, Andy Nicoletti, Willie Cade, Patrick McCrimmon, and Katie Finlon

APPROVAL OF AGENDA

Member Gilmour made a motion, seconded by Member Gengler, to approve the agenda with the amendments of moving New Business to after Old Business and removing the agenda item pertaining to 26 Marnel Road. With a voice vote of four (4) ayes, the motion carried unanimously.

APPROVAL OF MINUTES

Member Kellogg made a motion, seconded by Member Gengler, to approve the minutes of the August 26, 2019, meeting. With a voice vote of four (4) ayes, the motion carried unanimously.

PUBLIC COMMENT

None

EXPENDITURE REPORT

Review of Expenditures from the Prior Month

The Committee reviewed the Expenditure Report. Member Kellogg made a motion, seconded by Member Gengler to forward the bills to the Finance Committee. With a voice vote of four (4) ayes, the motion carried unanimously.

Planning, Building and Zoning Department Quarterly Expenditure Update

The Committee reviewed the report. Discussion occurred about possibly increasing the amount of funds budgeted for postage and training in the next fiscal year.

PETITIONS

19 – 27 – Matthew Prombo

Dan Kramer explained the site plan. No right-of-way dedication will occur and the driveway cut will occur off of Sheridan Road. There is a triangular portion of the site outlined on the site plan showing where a house could be placed without requiring any variances. The Petitioner has no objections to the conditions proposed by Staff.

Mr. Asselmeier summarized the request.

Matthew Prombo submitted a request to construct a house on the property at the corner of Route 71 and Sheridan Road. The property is zoned A-1 Agricultural. The property is on the south side of Sheridan Road and is west of Route 71. The property is approximately five point eight (5.8) acres in size. The parcel identification number is 07-07-100-015.

At their meeting on August 12, 2019, the Planning, Building and Zoning Committee agreed to the Petitioner's request to construct one (1) house on the property provided a site plan was provided. On August 30, 2019, the Petitioner submitted a site plan with two (2) potential housing locations, which was provided.

Staff prepared a proposed conditional use permit which was also provided. The proposed conditions are:

1. There can only be one (1) single-family housing unit located on the parcel.
2. The parcel must remain at least one hundred thirty thousand (130,000) square feet in size.
3. Well and septic system must receive applicable permits from the Kendall County Health Department.
4. The new home shall be constructed in substantially one (1) of the locations shown on the site plan.
5. The property owner may construct accessory structures normally and customarily found on residentially used properties.
6. None of the structures constructed on the property shall be considered agricultural purposes. Accordingly, the property owner shall secure all applicable permits for the construction of structures on the property.
7. Failure to abide by the above conditions could result in the revocation of the conditional use permit.

Member Kellogg made a motion, seconded by Member Gengler, to approve the conditional use permit with conditions proposed by Staff.

The votes were as follows:

Yeas (4): Gengler, Gilmour, Kellogg, and Prochaska
Nays (0): None
Abstain (0): None
Absent (1): Flowers

The motion carried.

OLD BUSINESS

Update on 45 Cheyenne Court-Committee Could Approve Forwarding the Violation to the State's Attorney's Office

Mr. Asselmeier provided an updated picture of the property taken September 9, 2019.

Member Kellogg made a motion, seconded by Member Gengler, to forward the case to the State's Attorney's Office. With a voice vote of four ayes, the motion carried unanimously.

Discussion and Possible Amendment to Petition 19-21 Request from the Kendall County Planning, Building and Zoning Committee for Amendments to the Kendall County Land Cash Ordinance

Following the August 2019 Committee of the Whole meeting, this proposal was referred back to the Planning, Building and Zoning Committee to discuss the possibility of having multiple fair market values similar to Will and DuPage Counties. A copy of Will and DuPage Counties' information was provided.

In Will County, the school district determines whether land is donated or cash is paid. The Supervisor of Assessments works with the local township to determine the fair market value. The appeals process and timeline for paying are outlined in the ordinance.

In DuPage County, the donation amount is determined by agreement between the developer and the County based on a density table. The Regional Superintendent of Schools may file an objection.

Both Will and DuPage Counties only collect donations for developed lots in subdivisions.

Enrollment figures will be available in October.

Discussion occurred about having a fair market value on a township basis. Andy Nicoletti expressed concerns about breaking up school districts by townships. Mr. Nicoletti also expressed concerns about the differences in valuation between townships. Discussion occurred regarding the impact of land values on the land cash amount.

The consensus of the Committee was to examine fair market values on a school district basis. Mr. Nicoletti will do a three (3) year average evaluation of value by school district inside and outside municipalities and everything combined. He will provide this information for the October Planning, Building and Zoning Committee meeting.

Discussion of Bed and Breakfast and AirBnB Related Zoning Regulations-Committee Could Initiate a Text Amendment to the Kendall County Zoning Ordinance Regarding These Uses

Mr. Asselmeier summarized the issue.

Following the July Planning, Building and Zoning Committee on this topic, Staff was instructed to draft changes to the Kendall County Zoning Ordinance pertaining to bed and breakfast establishments and short-term rentals. Bed and breakfast establishments are special uses in the A-1, R-1, RPDs, and R-2 zoning districts. The proposed changes are as follows:

Amendment to Section 3.02

~~BED AND BREAKFAST ESTABLISHMENTS - A lodging establishment, generally in a single-family dwelling and/or detached guesthouse, primarily engaged in providing overnight or otherwise temporary lodging for the general public and may provide meals for compensation. An operator-occupied residence providing accommodations for a charge to the public with no more than five (5) guest rooms for rent, in operation for more than ten (10) nights in a twelve (12) month period. Breakfast may be provided to the guests only. Bed and breakfast establishments shall not include motels, hotels, boarding houses, or food service establishments. Bed and bed breakfast establishments shall meet the criteria set forth in the Illinois Bed and Breakfast Act.~~

~~HOTEL, MOTEL, OR INN OR AUTO COURT.~~ An establishment containing lodging

accommodations designed for use by transients, or travelers or temporary guests. Facilities provided may include maid service, laundering of linen used on the premises, telephone and secretarial desk service, restaurants, cocktail lounges, meeting rooms, and ancillary retain uses provided access to such uses are from the exterior of the principal use. Short-term rentals of a maximum thirty (30) days in a dwelling, one family or dwelling, two family or accessory structures with residentially allowed occupancy permits shall not be considered hotels.

Section 7.01.D.11 is amended by the following:

1. Bed and breakfast establishments are permitted subject to the following conditions:
 - a. Shall have no more than five (5) guest rooms for rent.
 - b. Shall be in operation for not less than six (6) nights in a six (6) month period. ten (10) nights in a twelve (12) month period.
 - c. Shall maintain a guest register which shall be available at all times for inspections.
 - d. Shall be located in a single family detached dwelling, not an accessory building or garage.
 - e. Shall satisfy all requirements of the Kendall County Health Department in accordance with the requirements set forth in the most recent version of the Kendall County Food Establishment Sanitation Ordinance and Building Department prior to the issuance of occupancy permits.
 - f. In addition to the parking requirements for a single family detached dwelling, the bed and breakfast establishment shall provide one (1) additional space for each guest room. The off-street parking for a bed and breakfast establishment shall not be located in any required yard, but it shall be screened from adjacent properties by a landscape screen of at least fifty (50) percent capacity.
 - g. Only one (1) sign shall be permitted for each bed and breakfast establishment. The maximum size of such sign shall be four (4) square feet per sign face.
 - h. Each guest room may have its own private bath. No guest room shall have any kitchen facilities.
 - i. Guest room shall mean sleeping room intended to serve no more than two (2) adult transient guests per night.
 - j. Accommodations shall be provided in guest rooms only. The length of stay in a bed and breakfast establishment shall be a maximum of One (1) week.
 - k. Any application for a special use shall include, in addition to all other documents required for a special use application, floor plans drawn to scale accurately showing the guest rooms in relation to the rest of the single family detached dwelling.

Sections 8.02.C.4. and Section 8.03.H.2.b are amended to have the same language as Section 7.01.D.11.

Staff recommends that any changes to the bed and breakfast regulations be included as part of the larger Zoning Ordinance project.

Alex Finke provided additional information regarding AirB&B regulations and their impacts in Batavia.

The Committee reviewed the information from Willie Cade. Mr. Cade explained why he lists his

property on AirB&B. He suggested having a registration number.

Patrick McCrimmon was in agreement with Mr. Cade and the idea of annual registration provided that the information about the registration be made more accessible to the public. Mr. McCrimmon contacted the Village of Montgomery prior to starting on AirB&B instead of contacting the County. The suggestion was made to notify the municipalities of the County's regulations and post information on the County's website.

The consensus of the Committee was to have the definition of bed and breakfast be more in line with State law and not to initiate a text amendment; the text amendment should occur as part of the Zoning Ordinance overhaul. The Committee did not want many regulations, but they did want AirB&Bs to register for free annually with the County. Mr. Cade and Mr. McCrimmon may post their ads on AirB&B.

Zoning Ordinance Project Update

Mr. Asselmeier provided an update.

The Comprehensive Land Plan and Ordinance Committee has reviewed Sections 3, 4, 5, 6, 7, 8, and part of 12. They continue to discuss various definitions. Each Section will be separate petitions.

NEW BUSINESS

Approval to Initiate an Amendment to Section 104 (Definitions) of the Kendall County Stormwater Management Ordinance by Updating the Edition of Bulletin 70 Referenced in the Ordinance

Mr. Asselmeier summarized the request.

Bulletin 70 is a document used by the Illinois State Water Survey (ISWS) to evaluate rainfall frequency in Illinois.

The 1989 version of Bulletin 70 is referenced in the Kendall County Stormwater Management Ordinance. In March 2019, Bulletin 70 was updated.

Accordingly, Staff requests that the definition of Bulletin 70 contained in Section 104 of the Kendall County Stormwater Management Ordinance be updated from "Frequency Distributions and Hydroclimatic Characteristics of Heavy Rainstorms in Illinois' by Floyd Huff and James Angel of the Illinois State Water Survey (1989)" to "Frequency Distributions of Heavy Precipitation in Illinois: Updated Bulletin 70' by James Angel and Momcilo Markus (2019)."

If the County does not update to the most current version of Bulletin 70, then the County would be utilizing outdated rainfall figures when designating and evaluating stormwater infrastructure. A copy of the update version of Bulletin in 70 was provided.

Pursuant to Section 808 of the Kendall County Stormwater Management Ordinance, no amendments to the Stormwater Management Ordinance can occur without a public hearing by the County Board.

Member Kellogg made a motion, seconded by Member Gengler, to start the adoption process for this amendment. With a voice vote of four (4) ayes, the motion carried unanimously. This matter will go to the County Board on October 15th.

Discussion of 1983 Recreational Vehicle and Campground Regulations

The Committee reviewed the regulations.

There are four (4) campgrounds in the County.

Member Gilmour made a motion, seconded by Member Kellogg, to ask the State's Attorney's Office what can the County change and what can't the County change in this Ordinance and will these changes apply to the existing campgrounds. With a voice vote of four (4) ayes, the motion carried unanimously.

If the County can make changes, then the Committee would like to review the Ordinance in more detail.

REVIEW VIOLATION REPORT

The Committee reviewed the Violation Report.

Chairman Prochaska noted that Fields of Farm Colony expressed opposition to the County's increased enforcement activities.

REVIEW NON-VIOLATION COMPLAINT REPORT

The Committee reviewed the report.

UPDATE FROM HISTORIC PRESERVATION COMMISSION

Mr. Asselmeier reported the Illinois Historic Preservation Agency hired a new person to review Certified Local Government applications and they will be reviewing the County's Historic Preservation Ordinance.

REVIEW PERMIT REPORT

The Committee reviewed the report.

REVIEW REVENUE REPORT

The Committee reviewed the report.

CORRESPONDENCE

None

COMMENTS FROM THE PRESS

None

EXECUTIVE SESSION

None

ADJOURNMENT

Member Kellogg made a motion, seconded by Member Gengler, to adjourn. With a voice vote of four (4) ayes, the motion carried unanimously. Chairman Prochaska adjourned the meeting at 7:24 p.m.

Minutes prepared by Matthew H. Asselmeier, AICP, Senior Planner

Enc.

**KENDALL COUNTY
PLANNING, BUILDING, & ZONING COMMITTEE
SEPTEMBER 9, 2019**

IF YOU WOULD LIKE TO BE CONTACTED ON FUTURE MEETINGS REGARDING THIS TOPIC, PLEASE PROVIDE YOUR ADDRESS OR EMAIL ADDRESS

NAME	ADDRESS (OPTIONAL)	EMAIL ADDRESS (OPTIONAL)
Willie CASE	[REDACTED]	[REDACTED]
Patrick McCrimmon	[REDACTED]	[REDACTED]

Testimony Before the Kendall County Building & Zoning Committee

By Willie Cade, Sept 9th, 2019

Mr. Chairman and Members of the Committee, thank you for this opportunity to speak this evening on the discussion of Bed and Breakfast and Short-term Rentals (Airbnb) Related Zoning Ordinance changes as recommended by the Committee's staff.

I have had the opportunity to review and discuss the proposed changes with Mr. Asselmeier. It is my understanding that these changes would allow me to relist my vacation home, a Pullman Train Car on 5 ½ acres zoned A1 in Plano, on Airbnb. The listing on Airbnb offers us both exposure and security because of their policies and practices. I support the suggested changes.

Our train car is named Constitution. When it was on the tracks it was used by Presidents Harding and Wilson to travel around the United States. Over 70 years ago my family purchased the Constitution from Pullman. They brought the car to Plano and took the car off the trucks (wheels) and placed it on the foundation where it now sits on a bluff overlooking Rock Creek. The history of the car and the idyllic location is a great place to retreat.

I understand that the process to make these changes will take time. I would appreciate your guidance on moving forward in the interim.

I would be happy to answer any questions that you have of me at this time.

KENDALL COUNTY PLANNING, BUILDING & ZONING COMMITTEE

Kendall County Office Building

Rooms 209 & 210

111 W. Fox Street, Yorkville, Illinois

6:30 p.m.

Special Meeting Minutes of September 10, 2019 – Unofficial until approved

CALL TO ORDER

The meeting was called to order by Chairman Prochaska at 6:33 p.m.

ROLL CALL

Committee Members Present: Elizabeth Flowers, Scott Gengler, Judy Gilmour, Matt Kellogg (Vice-Chairman), and Matthew Prochaska (Chairman)

Committee Members Absent: None

Also Present: Matt Asselmeier (Senior Planner), Bill Ashton, Roger Bledsoe, Tom Casey, Dave Hamman, Karin McCarthy-Lange, Larry Nelson, Ruben Rodriguez, Claire Wilson, Scott Koeppel, Commander Jason Langston, Amy Cesich, Randy Cesich, Robyn Vickers, Dr. Amaal Tokars, Jackie Kowalski, Steve Gengler, Brad Blocker, and Katie Finlon

APPROVAL OF AGENDA

Member Kellogg made a motion, seconded by Member Gengler, to approve the agenda as presented. With a voice vote of five (5) ayes, the motion carried unanimously.

PUBLIC COMMENT

None

NEW/OLD BUSINESS

Discussion and Possible Amendment to Petition 19-31-Request from the Kendall County Planning, Building and Zoning Committee for Text Amendments to the Kendall County Zoning Ordinance Pertaining to Recreational and Medical Cannabis Uses

Mr. Asselmeier summarized the request.

On June 25, 2019, the Governor signed the Cannabis Regulation and Tax Act (Public Act 101-027). This Act legalized certain recreational cannabis uses and allowed County to enact reasonable zoning regulations related to these uses.

On August 9, 2019, the Governor signed an Act related to Banking-Cannabis Businesses (Public Act 101-363). Among other actions, this Act amended the Compassionate Use of Medical Cannabis Pilot Program Act by removing the expiration deadline of medical cannabis related uses and changing the location where medical cannabis dispensary may locate.

On August 26, 2019, the Kendall County Planning, Building and Zoning Committee voted to initiate text amendments to the Kendall County Zoning Ordinance pertaining to medical and recreational cannabis uses. The Committee wanted medical cannabis related use to be regulated similarly as recreational cannabis uses from a zoning perspective. The Committee also wanted to have these regulations in place by January 1, 2020.

In summary the changes are as follows:

1. The previously adopted zoning regulations for medical cannabis uses are repealed in their entirety.
2. Definitions of Adult-Use Cannabis Business Establishment, Adult-Use Cannabis Craft Grower, Adult-Use Cannabis Cultivation Center, Adult-Use Cannabis Dispensing Organization, Adult-Use Cannabis Infuser Organization or Infuser, Adult-Use Cannabis Processing Organization or Processor, Adult-Use Cannabis Transporting Organization or Transporter, Medical Cannabis Cultivation Center or Cultivation Center, and Medical Cannabis Dispensing Organization or Dispensing Organization or Dispensary were added to the Zoning Ordinance. These definitions come from the Cannabis Regulation and Tax Act and the Compassionate Use of Medical Cannabis Program Act.
3. Adult-Use Cannabis Craft Growers are proposed to be special uses in the A-1, M-1, M-2 Zoning Districts. They are to be at minimum one thousand feet (1,000') from the property lines of pre-existing public or private nursery schools, preschools, primary or secondary schools, day care centers, day care homes, residential care homes, pre-existing properties zoned or used for residential purposes, pre-existing forest preserves, public parks, and places of worship. This distance requirement is the same distance requirement for outdoor shooting ranges.
4. Adult-Use Cannabis Cultivation Centers and Medical Cannabis Cultivation Centers are proposed to be special uses in the M-1 and M-2 Zoning Districts and will be minimum two thousand five hundred feet (2,500') from the protected uses listed in number 3 previously. Medical Cannabis Cultivation Centers are currently special uses in the M-1 and M-2 Zoning Districts. The distance requirement was set by the Compassionate Use of Medical Cannabis Program Act.
5. Adult-Use Cannabis Dispensing Organizations and Medical Dispensing Organizations are proposed to be special use in the B-3, M-1, and M-2 Zoning Districts and will be at least one thousand feet (1,000') from the uses listed in number 3 previously except pre-existing properties used or zoned residentially. They can be at minimum two hundred fifty feet (250') from residentially used or zoned property. Public Act 101-363 removed the distance requirements for Medical Dispensing Organizations. Onsite consumption of cannabis by the public is not allowed. Hours of operation will be from 6:00 a.m. until 8:00 p.m.
6. Adult-Use Cannabis Infuser Organizations are proposed to be special use in the B-3, M-1, and M-2 Zoning Districts and will be at least one thousand five hundred feet (1,500') from the uses listed in number 3 previously except pre-existing properties used or zoned residentially. They can be at minimum two hundred fifty feet (250') from residentially used or zoned property.
7. Adult-Use Cannabis Processing Organizations are proposed to be special use in the B-3, M-1, and M-2 Zoning Districts and will be at least one thousand five hundred feet (1,500') from the uses listed in number 3 previously except pre-existing properties used or zoned residentially. They can be at minimum two hundred fifty feet (250') from residentially used or zoned property.
8. Adult-Use Cannabis Transporting Organizations are proposed to be special use in the M-1 and M-2 Zoning Districts and will be at least one thousand five hundred feet (1,500') from the uses listed in number 3 previously except pre-existing properties used or zoned residentially. They can be at minimum two hundred fifty feet (250') from residentially used

or zoned property. They can only transport cannabis unless allowed by the special use permit.

9. The proposal updates Appendix 9 to reflect the addition of cannabis related uses and correct citation errors caused by adding these uses to the Zoning Ordinance.

At least one (1) Planning, Building and Zoning Committee member favored having cannabis uses in stand-alone buildings.

Maps showing the potential location of cannabis uses were provided.

Townships were notified of this proposal and the September 10th meeting on August 28, 2019.

ZPAC met on this proposal on September 3, 2019. ZPAC issued a neutral recommendation and requested that information regarding surveillance, security, and security related structural requirements be added to the proposed amendment. ZPAC also requested that cannabis uses not be allowed in the B-3 District. The vote was five (5) in favor and one (1) in opposition. Fran Klaas said the County should not create zoning regulations for cannabis because it is illegal federally.

Planning, Building and Zoning Committee Chairman Prochaska emphasized the importance of having some type of zoning in place by January 1, 2020, and the implications of not having zoning regulations in place by that date.

Member Kellogg explained the purpose of this meeting and that the proposal was intended to be a working document. Changes to the proposal are anticipated.

Commissioner Nelson suggested having a more restrictive regulation at the beginning because the difficulties of taking a use away at a later date. He expressed concerns regarding the ability of a cannabis related use going anywhere in the County, if no zoning regulations are in place. The regulations could be modified in the future

Member Flowers expressed agreement with Commissioner Nelson's suggestions. She expressed opposition to co-location of cannabis uses.

Member Gilmour favor a minimum of distance of one thousand five hundred feet (1,500') from cannabis uses to other protected uses. Planning, Building and Zoning Committee Chairman Prochaska and Member Kellogg favored a one thousand foot (1,000') distance.

It was noted that Planning, Building and Zoning Committee members did not agree on a stand-alone building requirement for cannabis uses. Discussion occurred regarding potential odors and odors from other types of businesses.

Regional Planning Commission Chairman Ashton if there was any update from the State regarding regulations. Mr. Asselmeier responded that the Department of Agriculture has not released any information regarding its rule-making progress.

County Administrator Koeppel stated that infuser and transporter applications will not be available until January 1, 2020. Growing applications will be available October 1, 2019.

Discussion occurred regarding enforcement. Commission Hamman asked who was going to be oversee these regulations. Mr. Asselmeier responded that the Zoning Inspector will be

responsible for enforcing Kendall County's specific zoning regulations and that the Sheriff's Department and other law enforcement agencies will be responsible for those enforcement areas assigned to them. The two (2) main areas of zoning regulations were zoning districts where the uses might be allowed and distances from protected uses as determined by the local government.

Mr. Asselmeier summarized that ZPAC did not want cannabis uses in the B-3 district, they wanted greater security information, and they wanted the Sheriff's Department to have access to the security system of cannabis related uses. Commander Langston explained the Illinois regulations as they relate to security system access. The law uses the phrase "upon request" as it relates to access to security systems. Security systems would not be live feed. Facial recognition use was discussed, but was not specifically required in State law. Commander Langston explained that video records must be retained for ninety (90) days and as long as necessary in cases of loss or theft. The Sheriff's Department is not responsible for dictating where security cameras must be placed.

Discussion occurred about placing cannabis uses in the B-3 District and the impact of odors on neighboring retail businesses. Discussion occurred about placing a cannabis related business in the former Caterpillar property; this property is zoned M-2. Commander Langston explained the Sheriff's Department's concerns about placement of cannabis uses in the B-3 District.

Commissioner Wilson asked why the setback distances were different for each use. Mr. Asselmeier explained that the distances related to craft growers were based on the distance used for outdoor shooting ranges. For cultivation centers, the distance came from State law. For dispensing organizations, the distance from schools was from State law and the distance from residential uses was from the Illinois Municipal League's template ordinance. For the remaining cannabis uses, the distances came from the Illinois Municipal League's template ordinance.

Brad Blocker, Na-Au-Say Township Supervisor, pointed out that the special use reference section for A-1 was incorrect; it should be Section D and not Section C. He noted that craft growers cannot co-locate with dispensing organizations and infuser organizations in the A-1 because only craft growers were allowed in the A-1 and the two (2) uses were not allowed in the A-1. He questioned the logic of using the distance measurement for gun ranges; he favored using the distance requirement for craft breweries. Member Kellogg said one thousand feet (1,000') was used by counties in Colorado; gun ranges were not the reason the distance was proposed at one thousand feet (1,000').

Member Kellogg suggested adding setbacks from halfway houses and correctional facilities to the proposal.

Commissioner Wilson expressed concerns regarding a medical dispensing organization locating within two hundred fifty feet (250') from residential uses and residential zoned property.

Commissioner Wilson asked about the definition of adult and the possibility of having a business license revoked similar to a liquor license. According to State law, the legal age to buy cannabis products is twenty-one (21). Discussion has occurred at the County level of an ordinance similar to the Liquor Control Ordinance that restricts the number of cannabis related businesses in the County and establishes a license similar to a liquor license. Discussion occurred about the difficulty and amount of time necessary to revoke a special use permit compared to revoking a liquor license. There was uncertainty about whether or not the Sheriff's Department would do compliance checks with cannabis businesses similar to the checks they do for liquor

establishments. The consensus of both the Planning, Building and Zoning Committee and the Regional Planning Commission was to ask the State's Attorney's Office for an opinion whether or not a County can designate a person with similar powers as the liquor commissioner but for cannabis related business and if the County can restrict the number of cannabis businesses similar to the way the County restricts the number of liquor establishments.

The State will put licenses out for the first seventy-five (75) dispensaries on October 1, 2019. If someone is awarded a license on January 1, 2020, they will pursue securing necessary zoning permits at their property after the preliminary award. If they secure applicable zoning permits, then the State will grant final licensure in May 2020. The licenses will be awarded on a points system. A medical dispensary can be awarded a recreational license on January 1, 2020. There will be a total of three hundred (300) dispensary licenses by the end of 2021.

Dispensaries can sell paraphernalia. The special use permit can restrict the other products sold at the establishment.

Randy Cesich explained the procedure for entering a cannabis dispensary in Colorado, the layout of the store, and the visible security presence inside the facility.

Discussion occurred regarding the interconnection of dispensaries regarding cannabis purchases.

Discussion occurred regarding using credit cards to purchase cannabis. Cash was not the way to purchase cannabis.

Discussion occurred regarding increased crime in Colorado since the legalization of cannabis.

Member Flowers asked Dr. Tokars if the new regulations will assist with addressing the opioid crisis. Dr. Tokars responded that the new law does not add anything to existing medical cannabis availability.

Planning, Building and Zoning Committee Chairman Prochaska asked Dr. Tokars about second hand smoke from cannabis uses. Dr. Tokars responded that little research exists about the impact of second hand THC.

Commissioner Wilson asked about tests that law enforcement can use to identify people under the influence of cannabis similar to an alcohol breathalyzer test. Commander Langston responded that no tests were currently available in Illinois.

Discussion occurred regarding fencing requirements; barbed wire is not required in State law.

Steve Gengler, Kendall Township Supervisor, agreed with the Sheriff's Department regarding the B-3 District. They did not foresee cannabis uses in the B-3 District; they favored cannabis uses in the M-1 and M-2 Districts.

Commissioner Wilson asked about the impact of legalization of cannabis businesses on the black market. Commander Langston responded that the black market did not pay taxes for sales of cannabis and still existed.

Discussion occurred regarding the intergovernmental agreements for zoning and the potential of those municipalities to opt-out. Mr. Asselmeier responded that a municipality could still opt-out in the same way that the County's zoning might allow alcohol in a specific zoning district, but the

township where a given property is located is dry. Townships cannot opt-out.

Discussion occurred regarding the procedures to opt-out and potentially opt-in at some point in the future.

Discussion occurred regarding the potential tax revenue. The County can levy a sales tax at a maximum three point seven five percent (3.75%) in the unincorporated areas and a maximum three percent (3%) in municipalities. Municipalities can impose a three percent (3%) sales tax. A dispensary would have to pay six percent (6%) sales tax if they located inside a municipality and both the municipality and the County levied the maximum sales tax. Commissioner Nelson asked if the County could still collect taxes on cannabis sales inside a municipality if the County opted-out. County Administrator Koepfel thought the County could collect sales tax, but he did not have a legal opinion on the subject. The consensus of both the Planning, Building and Zoning Committee and the Regional Planning Commission was to ask the State's Attorney's Office if the County can still levy a tax on cannabis related business inside a municipality if the County opted-out.

Mr. Asselmeier presented the timeline for adoption. The proposal goes to the Regional Planning Commission on September 25th, the Zoning Board of Appeals hearing on September 30th, the townships would have the month of October to review and file objections, the matter would go to the Planning, Building and Zoning Committee and County Board in November. There is a one (1) month space for leeway.

The opt-out question will be at the Committee of the Whole on September 12, 2019.

COMMENTS FROM THE PRESS

None

ADJOURNMENT

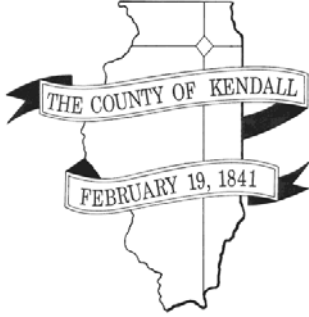
Member Flowers made a motion, seconded by Member Gengler, to adjourn. With a voice vote of five (5) ayes, the motion carried unanimously. Chairman Prochaska adjourned the meeting at 7:54 p.m.

Minutes prepared by Matthew H. Asselmeier, AICP, Senior Planner

Vendor#	Name	Invoice #	Description	Date	Budget #	Account Description	Dist Amount
BUILDING AND ZONING							
1 020541	BUILDING & ZONING PETTY CASH	8/20/19	IACZO LUNCH	09/03/19	01020026204	CONFERENCES	16.85
2 091474	INTERNATIONAL CODE COUNCIL, IN	1001081657	BUILDING PERMIT LEGA	09/03/19	01020026206	TRAINING	49.00
3 220620	VERIZON	9836493134	CELL PHONE - CODE OF	09/03/19	01020026207	CELLULAR PHONE	56.20
4 110531	KENDALL CO HIGHWAY DEPT	AUGUST 2019	PBZ TRUCK FUEL - AUG	09/04/20	01020026217	VEHICLE MAINT/REPAIRS	135.20
5 261005	RANDY ERICKSON	AUGUST 2019	AUGUST 2019 PLUMBING	09/04/20	01020026361	PLUMBING INSPECTIONS	1,820.00
6 120542	LEO'S	1428	RPC NAME PLATE	09/03/19	01020026380	REGIONAL PLAN COMMISSION	10.00

Total BUILDING AND ZONING 2,087.25*
GRAND TOTAL 2,087.25**

Vendor#	Name	Invoice #	Description	Date	Budget #	Account Description	Dist Amount
BUILDING AND ZONING							
1 110565	KENDALL PRINTING	19-00906	RECEIPTS & ENVELOPES	09/17/19	01020026200	OFFICE SUPPLIES	169.05
2 191522	SOURCE ONE OFFICE PRODUCTS	536986	OFFICE SUPPLIES	09/17/19	01020026200	OFFICE SUPPLIES	63.42
							232.47*
3 190816	SHAW MEDIA	081910101009	ZBA LEGAL NOTICE	09/17/19	01020026209	LEGAL PUBLICATIONS	102.30
							102.30*
4 160189	PARADISE CAR WASH	223962	PBZ TRUCK WASHES	09/17/19	01020026217	VEHICLE MAINT/REPAIRS	37.00
							37.00*
5 110545	KENDALL COUNTY RECORDER	114	AUGUST 2019 RECORDIN	09/17/19	01020026370	RECORDING EXPENSE	164.00
							164.00*
							535.77*
ENGINEERING/CONSULTING ESCROW ACCT							
6 230933	WBK ENGINEERING, LLC	20525	FOX METRO EXPANSION	09/17/19	59020000046	FOX METRO WATER REC DIST	378.27
							378.27*
7 230933	WBK ENGINEERING, LLC	20534	FOX METRO O&M BUILDI	09/17/19	59020000065	FOX METRO O&M BUILDING	353.49
							353.49*
8 230933	WBK ENGINEERING, LLC	20544	ERRD - CHICAGO RD	09/17/19	59020000070	ENBRIDGE ENERGY PROJECT C	237.76
							237.76*
9 230933	WBK ENGINEERING, LLC	20533	ENBRIDGE ERRD - MILL	09/17/19	59020000071	ENBRIDGE ENERGY PROJECT M	97.00
							97.00*
							1,066.52*
							1,602.29**



DEPARTMENT OF PLANNING, BUILDING & ZONING

111 West Fox Street • Room 203

Yorkville, IL • 60560

(630) 553-4141

Fax (630) 553-4179

Petition 19-32

**John and Erin Sharkey and Theodore Parks
Plat of Vacation of a Stormwater and Utility Easement in
Highgrove Subdivision**

INTRODUCTION

John and Erin Sharkey and Theodore Parks would like to vacate the ten foot (10') public utility and drainage easement that runs along and parallel the northern lot lines of Lots 1 and 4 in Highgrove Subdivision. The Petitioners own the property immediately north of the subdivision and would like to construct buildings inside the current easement.

After submitting the application to vacate the easement in question, the Petitioners agreed to relocate the easement to the northern boundary of PINs 09-07-200-034 and 09-07-200-033.

SITE INFORMATION

PETITIONERS John and Erin Sharkey (Lot 4) and Theodore Parks (Lot 1)

ADDRESS 13315D and 13315A Grove Road

LOCATION West side of Grove Road, Approximately One (1) mile north of U.S. Route 52



TOWNSHIP Seward Township

PARCEL #s 09-07-200-030 and 09-07-200-027 (For Vacation); 09-07-200-034 and 09-07-200-033 (For Relocation)

LOT SIZE 0.2 +/- Acres

EXISTING LAND USE Residential

ZONING R-2 One Family Residential

LRMP	Current Land Use	One-Family Residential
	Future Land Use	Rural Residential (Max 0.60 Du/Acre)
	Roads	Grove Road is a County Road classified as a Major Collector Roadway
	Trails	Proposed Multi-Use Trail on West side of Grove Road per City of Joliet's Comprehensive Plan
	Floodplain/Wetlands	None

REQUESTED ACTION Relocate a Ten Foot (10') Public Utility and Drainage Easement

APPLICABLE REGULATIONS Section 7.06 (Subdivision Control Ordinance)

SURROUNDING LAND USE

Location	Adjacent Land Use	Adjacent Zoning	Land Resource Management Plan	Zoning within ½ Mile
North	Agricultural/Farmstead/Park	A-1 and RPD-2	Rural Residential (Max 0.60 DU/Acre)	N/A
South	Single Family Residential	R-2	Rural Residential	N/A
East	Agricultural	A-1	Rural Residential	N/A
West	Park	RPD-2	Rural Residential	N/A

ACTION SUMMARY

SEWARD TOWNSHIP

Seward Township was emailed information on September 23, 2019.

GENERAL

The application materials are included as Attachment 1 with the original plat of vacation. The plat for Highgrove Subdivision is included as Attachment 2.

The Petitioners originally wanted to vacate the ten foot (10') public utility and drainage easement that runs along and parallel the northern lot lines of Lots 1 and 4 in Highgrove Subdivision. The Petitioners own the property immediately north of the subdivision and would like to construct buildings inside the current easement.

On September 6, 2019, Fran Klaas sent an email expressing no opposition to the proposal on the condition that no public utilities were located in the easement and that the easement be relocated to the north portion of the Petitioners' respective properties (09-07-200-034 and 09-07-200-033).

Also on September 6, 2019, Greg Chismark submitted comments concurring with Fran Klaas. Mr. Chismark also requested that the easement be extended north along the eastern property line of Lot 1 to the new

easement location.

The emails from Fran Klaas and Greg Chismark are included as Attachment 3.

The Petitioners contacted JULIE to determine no utilities would be impacted by vacating the easement. The JULIE information is included as Attachment 4.

On September 9, 2019, the Petitioners agreed to the requests of the County and a revised plat was prepared.

ZPAC met on this proposal on September 30, 2019, and unanimously recommended approval. The minutes of this meeting are included as Attachment 5.

RECOMMENDATION

Staff recommends that the easement be relocated and extended per the recommendations of Fran Klaas and Greg Chismark.

ATTACHMENTS

1. Application Materials (Including Original Plat of Vacation)
2. Plat of Highgrove Subdivision
3. September 6, 2019 Emails from Greg Chismark and Fran Klaas
4. JULIE Information
5. September 30, 2019 ZPAC Meeting Minutes
6. Draft Ordinance (Including Corrected Plat of Vacation and Relocation)



DEPARTMENT OF PLANNING, BUILDING & ZONING

111 West Fox Street • Yorkville, IL • 60560
 (630) 553-4141 Fax (630) 553-4179

APPLICATION

PROJECT NAME Sharkey Vacation FILE #: 19-32

NAME OF APPLICANT <u>JOHN/ERIN SHARKEY/THEODORE PARKS</u>		
CURRENT LANDOWNER/NAME(S) <u>ERIN SHARKEY/THEODORE PARKS</u>		
SITE INFORMATION ACRES <u>3.14</u>	SITE ADDRESS OR LOCATION <u>13315 D GROVE RD</u>	ASSESSOR'S ID NUMBER (PIN) <u>09-07-200-000</u> <i>or ↓ 09-08-200-027</i>
EXISTING LAND USE <u>RES</u>	CURRENT ZONING <u>R-2</u>	LAND CLASSIFICATION ON LRMP
REQUESTED ACTION (Check All That Apply): <input type="checkbox"/> SPECIAL USE <input type="checkbox"/> MAP AMENDMENT (Rezone to <input type="checkbox"/>) <input type="checkbox"/> VARIANCE <input type="checkbox"/> ADMINISTRATIVE VARIANCE <input type="checkbox"/> A-1 CONDITIONAL USE for: _____ <input type="checkbox"/> SITE PLAN REVIEW <input type="checkbox"/> TEXT AMENDMENT <input type="checkbox"/> RPD (<input type="checkbox"/> Concept; <input type="checkbox"/> Preliminary; <input type="checkbox"/> Final) <input type="checkbox"/> ADMINISTRATIVE APPEAL <input type="checkbox"/> PRELIMINARY PLAT <input type="checkbox"/> FINAL PLAT <input checked="" type="checkbox"/> OTHER PLAT (Vacation, Dedication, etc.) AMENDMENT TO A SPECIAL USE (<input type="checkbox"/> Major; <input type="checkbox"/> Minor)		
¹ PRIMARY CONTACT <u>JOHN SHARKEY</u>	PRIMARY CONTACT MAILING ADDRESS [REDACTED]	PRIMARY CONTACT EMAIL [REDACTED]
PRIMARY CONTACT PHONE # [REDACTED]	PRIMARY CONTACT FAX # [REDACTED]	PRIMARY CONTACT OTHER # (Cell, etc.) [REDACTED]
² ENGINEER CONTACT <u>Phillip D young</u>	ENGINEER MAILING ADDRESS <u>1107B South bridge st</u>	ENGINEER EMAIL
ENGINEER PHONE # <u>630-553-1580</u>	ENGINEER FAX #	ENGINEER OTHER # (Cell, etc.)
I UNDERSTAND THAT BY SIGNING THIS FORM, THAT THE PROPERTY IN QUESTION MAY BE VISITED BY COUNTY STAFF & BOARD/ COMMISSION MEMBERS THROUGHOUT THE PETITION PROCESS AND THAT THE PRIMARY CONTACT LISTED ABOVE WILL BE SUBJECT TO ALL CORRESPONDANCE ISSUED BY THE COUNTY.		
I CERTIFY THAT THE INFORMATION AND EXHIBITS SUBMITTED ARE TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND THAT I AM TO FILE THIS APPLICATION AND ACT ON BEHALF OF THE ABOVE SIGNATURES.		
SIGNATURE OF APPLICANT [REDACTED]	DATE <u>8/15/19</u>	

FEE PAID: \$ 500
 CHECK #: 2085

¹Primary Contact will receive all correspondence from County
²Engineering Contact will receive all correspondence from the County's Engineering Consultants

Last Revised: 9.18.12
 Map Amendment

RECEIVED
 SEP 09 2019
 Date Stamp Here,
 Checklist Is Complete
**KENDALL COUNTY
 PLANNING, BUILDING
 & ZONING**

Exhibit A

LEGAL DESCRIPTION OF EASEMENT TO BE VACATED:

The North 10.0 feet of Lots 1 and 4 of "HighGrove, Seward Township, Kendall County, Illinois", according to the Plat thereof recorded November 1, 2016 as Document 201600017256.



201700012769

WARRANTY DEED

DEBBIE
GILLETTE
KENDALL COUNTY, IL

AFTER RECORDING MAIL TO:
✓ Donald J Gould, Attorney
860 Center Court, Unit D
Shorewood, IL 60404

RECORDED: 8/11/2017 2:00 PM
WD: 146.50 RHSPS FEE: 10.00
PAGES: 4

MAIL TAX BILL TO:
Erin Sharkey



THE GRANTOR, MARK L. HANSEN, a married person, of [REDACTED], for and in consideration of Ten Dollars (\$10 00) and other good and valuable consideration in hand paid, CONVEYS and WARRANTS to ERIN SHARKEY, married to John Sharkey, of [REDACTED], all interest in the following described Real Estate situated in the County of Kendall, in the State of Illinois, to-wit

SEE LEGAL DESCRIPTIONS ATTACHED HERETO

SUBJECT TO real estate taxes for the year 2016 and subsequent years

ALSO SUBJECT TO easements, covenants and restrictions of record

THIS PROPERTY IS NOT THE GRANTOR'S HOMESTEAD PROPERTY

hereby releasing and waiving all rights under and by virtue of the Homestead Exemption Laws of the State of Illinois

DATED this 7 day of August, 2017

COUNTY OF KENDALL
REAL ESTATE TRANSFER TAX
\$ 32,500

[REDACTED]
Mark L Hansen

w



# 0000012639	REAL ESTATE TRANSFER TAX
	0006500
	FP326656

1

Chicago Title Insurance Co
124 E Jefferson St
Morris, IL 60450

1700508 4

PARCEL 1 LOT 4 IN HIGHGROVE, BEING A SUBDIVISION OF PART OF THE NORTHEAST QUARTER OF SECTION 7, TOWNSHIP 35 NORTH, RANGE 8 EAST OF THE THIRD PRINCIPAL MERIDIAN ACCORDING TO THE PLAT THEREOF RECORDED NOVEMBER 1, 2016 AS DOCUMENT NUMBER 201600017256, IN SEWARD TOWNSHIP, KENDALL COUNTY, ILLINOIS

PARCEL 2 THAT PART OF THE NORTHEAST QUARTER OF SECTION 7, TOWNSHIP 35 NORTH, RANGE 8 EAST OF THE THIRD PRINCIPAL MERIDIAN, DESCRIBED AS FOLLOWS COMMENCING AT THE SOUTHEAST CORNER OF SAID NORTHEAST QUARTER, THENCE NORTH 00°35'24" WEST, ALONG THE EAST LINE OF SAID NORTHEAST QUARTER, 1376 0 FEET, BEING THE NORTHEAST CORNER OF "HIGHGROVE, SEWARD TOWNSHIP, KENDALL COUNTY, ILLINOIS", THENCE SOUTH 89°24'36" WEST, ALONG A NORTHERLY LINE OF SAID "HIGHGROVE", 50 0 FEET TO A NORTHWESTERLY CORNER OF SAID "HIGHGROVE" BEING A POINT ON A LINE 50 0 FEET (NORMALLY DISTANT) WESTERLY OF AND PARALLEL WITH THE CENTERLINE OF GROVE ROAD, THENCE CONTINUING SOUTH 89°24'36" WEST, 391 18 FEET TO A SOUTHEASTERLY CORNER OF A TRACT CONVEYED TO THE JOLIET PARK DISTRICT BY WARRANTY DEED RECORDED JANUARY 23, 2014 AS DOCUMENT 201400001104, THENCE NORTH 89°49'29" WEST, 50 81 FEET TO THE NORTHERLY EXTENSION OF THE EAST LINE OF LOT 4 OF SAID "HIGHGROVE" FOR THE POINT OF BEGINNING, THENCE NORTH 89°49'29" WEST, 442 02 FEET TO A SOUTHEASTERLY CORNER OF SAID JOLIET PARK DISTRICT TRACT, THENCE SOUTH 00°35'24" EAST, ALONG AN EASTERLY LINE OF SAID JOLIET PARK DISTRICT TRACT, 85 93 FEET TO THE NORTHWEST CORNER OF LOT 4 OF SAID "HIGHGROVE", THENCE SOUTH 89°49'29" EAST, ALONG THE NORTH LINE OF LOT 4 OF SAID "HIGHGROVE", 442 02 FEET TO THE NORTHEAST CORNER OF LOT 4 OF SAID "HIGHGROVE", THENCE NORTH 00°35'24" WEST, ALONG THE NORTHERLY EXTENSION OF THE EAST LINE OF LOT 4 OF SAID "HIGHGROVE", 85 93 FEET TO THE POINT OF BEGINNING IN SEWARD TOWNSHIP, KENDALL COUNTY, ILLINOIS

Permanent Index Number Part of 09-07-200-024
Property Address Lot 4 and vacant land to the north, Highgrove,
Seward Township

RECORDER OF DEEDS
AFFIDAVIT - METES AND BOUNDS

STATE OF ILLINOIS) SS
COUNTY OF GRUNDY)

Mark L. Hansen, being duly sworn on oath, deposes and states that he resides at [REDACTED]

That the attached deed is not in violation of Chap 765 ILCS par 205/1 subsection (b) for one of the following reasons

- 1 The sale or exchange is of an entire tract of land not being a part of a larger tract of land
- 2 The division or subdivision of land into parcels or tracts of 5 acres or more in size which does not involve any new streets or easements of access
- 3 The division is of lots or blocks of less than 1 acre in any recorded subdivision which does not involve any new streets or easements of access
- 4 The sale or exchange of parcels of land between owners of adjoining and contiguous land
- 5 The conveyance is of parcels of land or interests therein for use as right-of-way for railroads or other public utility facilities which does not involve any new streets or easements of access
- 6 The conveyance of land owned by a railroad or other public utility which does not involve any new streets or easements of access
- 7 The conveyance of land for highway or other public purposes or grants or conveyances relating to the dedication of land for public use or instruments relating to the vacation of land impressed with a public use
- 8 The conveyance is made to correct descriptions in prior conveyances
- 9 The sale or exchange of parcels or tracts of land following the division into no more than 2 parts of a particular parcel or tract of land existing on July 17, 1959 and not involving any new streets or easements of access
- 10 The sale of a single lot of less than 5 acres from a larger tract when a survey is made by a registered surveyor, provided, that this exemption shall not apply to the sale of any subsequent lots from the same larger tract of land, as determined by the dimensions and configuration of the larger tract on October 1, 1973, and that all local requirements applicable to the subdivision of land are met by the attached deed and the tract described therein

CIRCLE NUMBER ABOVE WHICH IS APPLICABLE TO ATTACHED DEED

Affiant further states that he makes this affidavit for the purpose of inducing the Recorder of Deeds of Kendall County, Illinois to accept the attached deed for recording

[REDACTED]
Mark L. Hansen

Subscribed and sworn to before me this 7 day of August, 2017

[REDACTED]
Notary Public





201700017529

DEBBIE GILLETTE
RECORDER - KENDALL COUNTY, IL

WARRANTY DEED

AFTER RECORDING MAIL TO:
Chris Montgomery, Attorney
1717 Sierra Highlands Drive
Plainfield, IL 60586

RECORDED: 11/3/2017 09:42 AM
WD: 39.00 RASPS FEE: 10.00
STATE TAX: 72.50
COUNTY TAX: 36.25
PAGES: 4

MAIL TAX BILL TO:
Theodore Parks

THE GRANTOR, MARK L. HANSEN, a married person, of [REDACTED],
[REDACTED], for and in consideration of Ten Dollars
(\$10.00) and other good and valuable consideration in hand paid,
CONVEYS and WARRANTS to THEODORE PARKS, a married person, of [REDACTED],
[REDACTED], all interest in the following
described Real Estate situated in the County of Kendall, in the State
of Illinois, to-wit:

SEE LEGAL DESCRIPTIONS ATTACHED HERETO

SUBJECT TO real estate taxes for the year 2017 and subsequent years.

ALSO SUBJECT TO easements, covenants and restrictions of record.


THIS PROPERTY IS NOT THE GRANTOR'S HOMESTEAD PROPERTY

hereby releasing and waiving all rights under and by virtue of the
Homestead Exemption Laws of the State of Illinois.

DATED this 2nd day of November, 2017.

[REDACTED]

Mark L. Hansen

STATE TAX  REAL ESTATE TRANSFER TAX DEPARTMENT OF REVENUE	STATE OF ILLINOIS	REAL ESTATE TRANSFER TAX
	NOV.-3.17	0007250 <i>Jm</i>
	# 0000013504	FP326656

COUNTY OF KENDALL
REAL ESTATE TRANSFER TAX
\$ 36.25 *Jm*

1

Chicago Title Insurance Co.
124 E. Jefferson St.
Morris, IL 60450

1700818 *J*

STATE OF ILLINOIS)
 : SS
COUNTY OF GRUNDY)

I, the undersigned, a Notary Public, in and for said County, in the State aforesaid, DO HEREBY CERTIFY that Mark L. Hansen, personally known to me to be the person whose name is subscribed to the foregoing instrument, appeared before me this day in person, and acknowledged that he signed, sealed and delivered the said instrument as his free and voluntary act, for the uses and purposes therein set forth, including the release and waiver of the right of homestead.

Given under my hand and Notarial Seal this 2ND day of November, 2017.



Notary Public



THIS DOCUMENT WAS PREPARED BY:

David J. Bzdill, Attorney
105 W. Main Street
P.O. Box 685
Morris, IL 60450

PARCEL 1: LOT 1 IN HIGHGROVE, BEING A SUBDIVISION OF PART OF THE NORTHEAST QUARTER OF SECTION 7, TOWNSHIP 35 NORTH, RANGE 8 EAST OF THE THIRD PRINCIPAL MERIDIAN ACCORDING TO THE PLAT THEREOF RECORDED NOVEMBER 1, 2016 AS DOCUMENT NUMBER 201600017256, IN SEWARD TOWNSHIP, KENDALL COUNTY, ILLINOIS.

PARCEL 2: THAT PART OF THE NORTHEAST QUARTER OF SECTION 7, TOWNSHIP 35 NORTH, RANGE 8 EAST OF THE THIRD PRINCIPAL MERIDIAN, DESCRIBED AS FOLLOWS: COMMENCING AT THE SOUTHEAST CORNER OF SAID NORTHEAST QUARTER; THENCE NORTH 00°35'24" WEST, ALONG THE EAST LINE OF SAID NORTHEAST QUARTER, 1376.0 FEET, BEING THE NORTHEAST CORNER OF "HIGHGROVE, SEWARD TOWNSHIP, KENDALL COUNTY, ILLINOIS"; THENCE SOUTH 89°24'36" WEST, ALONG A NORTHERLY LINE OF SAID "HIGHGROVE", 50.0 FEET TO A NORTHWESTERLY CORNER OF SAID "HIGHGROVE" BEING A POINT ON A LINE 50.0 FEET (NORMALLY DISTANT) WESTERLY OF AND PARALLEL WITH THE CENTERLINE OF GROVE ROAD FOR THE POINT OF BEGINNING; THENCE CONTINUING SOUTH 89°24'36" WEST, 391.18 FEET TO A SOUTHEASTERLY CORNER OF A TRACT CONVEYED TO THE JOLIET PARK DISTRICT BY WARRANTY DEED RECORDED JANUARY 23, 2014 AS DOCUMENT 201400001104; THENCE NORTH 89°49'29" WEST, 50.81 TO THE NORTHERLY EXTENSION OF THE WESTERLY LINE OF LOT 1 OF SAID "HIGHGROVE"; THENCE SOUTH 00°35'24" EAST, ALONG SAID NORTHERLY EXTENSION, 85.93 FEET TO THE NORTHWEST CORNER OF LOT 1 OF SAID "HIGHGROVE"; THENCE SOUTH 89°49'29" EAST, ALONG THE NORTH LINE OF LOT 1 OF SAID "HIGHGROVE", 442.02 FEET TO THE NORTHEAST CORNER OF LOT 1 OF SAID "HIGHGROVE", BEING A POINT ON A LINE 50.0 FEET (NORMALLY DISTANT) WESTERLY OF AND PARALLEL WITH THE CENTERLINE OF GROVE ROAD; THENCE NORTH 00°35'24" WEST, PARALLEL WITH SAID CENTERLINE, 91.16 FEET TO THE POINT OF BEGINNING IN SEWARD TOWNSHIP, KENDALL COUNTY, ILLINOIS.

Permanent Index Number: Part of 09-07-200-024
Property Address: Lot 1 and vacant land to the north, Highgrove,
Seward Township



Debbie Gillette
Kendall County Clerk & Recorder

PLAT ACT AFFIDAVIT OF METES AND BOUNDS

STATE OF ILLINOIS)
) SS
COUNTY OF KENDALL)

ANGELA R WAGNER, being duly sworn on oath, And further states that: (please check the appropriate box)

A. That the attached deed is not in violation of 765 ILCS 205/1(a), in that the sale or exchange is of an entire tract of land not being a part of a larger tract of land; or
B. That the attached deed is not in violation of 765 ILCS 205/1(b) for one of the following reasons: (please circle the appropriate number)

1. The division or subdivision of land into parcels or tracts of 5.0 acres or more in size which does not involve any new streets or easements of access;
2. The division of lots or blocks of less than on (1) acre in any recorded subdivision which does not involve any new streets or easements of access;
3. The sale or exchange of parcels of land between owners of adjoining and contiguous land;
4. The conveyance of parcels of land or interests therein for use as right of way for railroads or other public utility facilities and other pipe lines which does not involve any new streets or easements of access;
5. The conveyance of land owned by a railroad or other public utility which does not involve any new streets or easements of access;
6. The conveyance of land for highway or other public purposes or grants or conveyances relating to the dedication of land for public use or instruments relating to the vacation of land impressed with a public use;
7. Conveyances made to correct descriptions in prior conveyances;
8. The sale or exchange of parcels or tracts of land following the division into not more than two (2) parts of a particular parcel or tract of land existing on July 17, 1959 and not involving any new streets or easements of access;
9. The sale of a single lot of less than 5.0 acres from a larger tract when a survey is made by an Illinois Registered Land Surveyor; provided, that this exemption shall not apply to the sale of any subsequent lots from the same larger tract of land, as determined by the dimensions and configuration of the larger tract on October 1, 1973, and provided also that this exemption does not invalidate any local requirements applicable to the subdivision of land;
10. The conveyance is of land described in the same manner as title was taken by grantor(s).

AFFIANT further states that She makes this affidavit for the purpose of inducing the Recorder of Deeds of Kendall County, Illinois, to accept the attached deed for recording.

SUBSCRIBED AND SWORN TO BEFORE ME

This 3rd day of November, 2017.

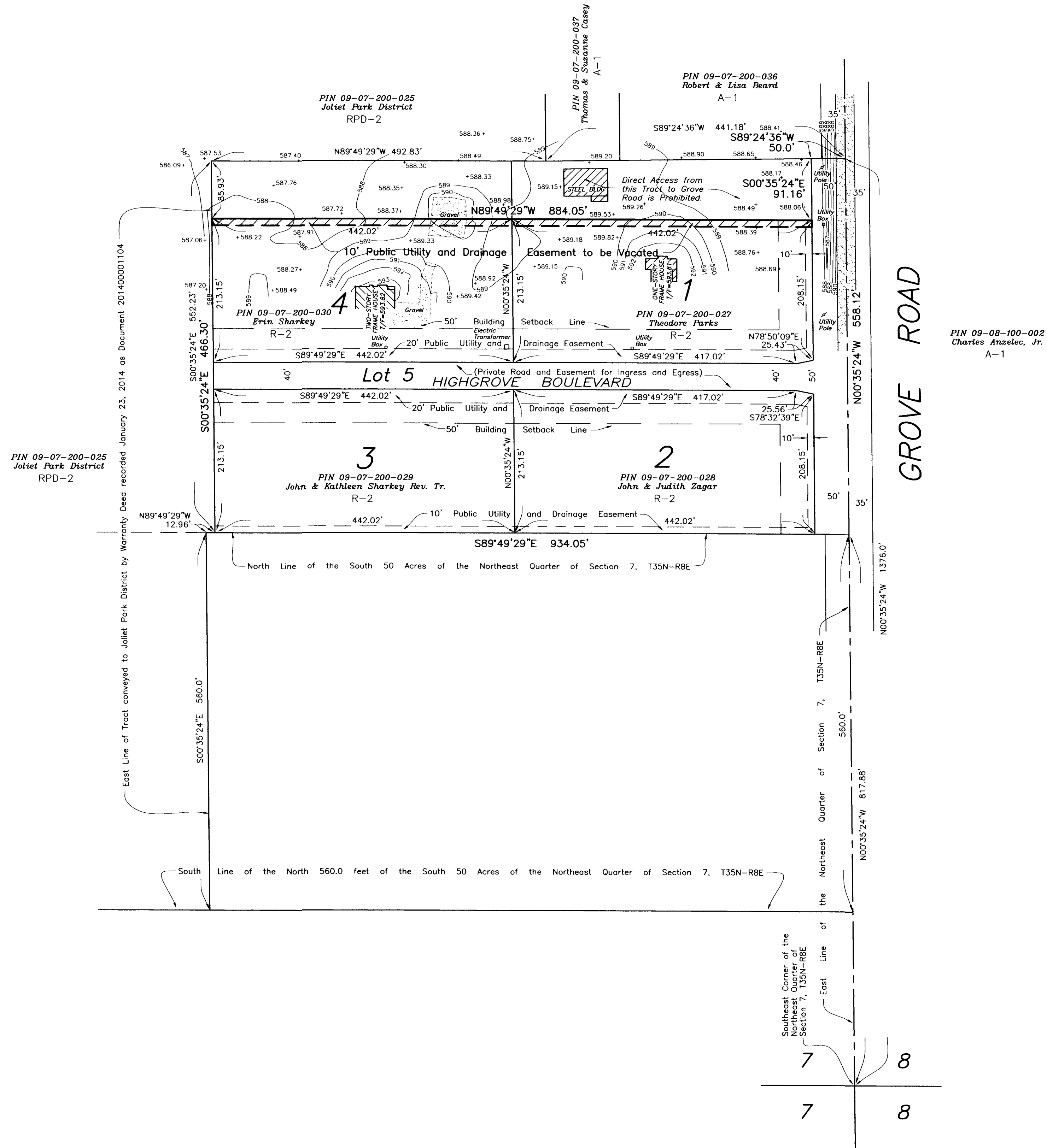
[Signature]
Signature of Affiant



[Signature]
Signature of Notary Public

111 W. Fox Street, Marshall, IL 62439

PLAT OF EASEMENT VACATION PART OF LOTS 1 AND 4 HIGHGROVE SEWARD TOWNSHIP KENDALL COUNTY ILLINOIS



DEVELOPERS:
Erin Sharkey
13315 D Grove Road
Minooka, Illinois 60447

Theodore Parks
13315 A Grove Road
Minooka, Illinois 60447

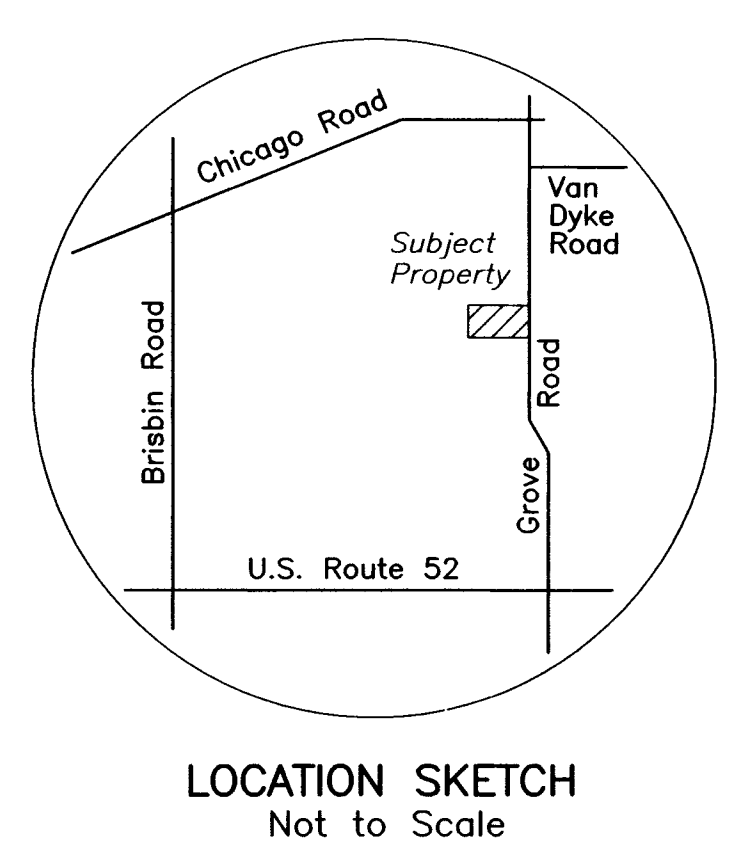
AREA TO BE VACATED:
8840.50 Sq.Ft. = 0.2029 Acre

PRESENT ZONING:
R-2 (Residential District)

P.I.N.
09-07-200-030
09-07-200-027

FLOODPLAIN STATEMENT:
The Subject Property is located in Zone X (areas determined to be outside the 0.2% annual chance floodplain) as depicted on FEMA Flood Insurance Rate Map Number 17093C0140H with an effective date of January 8, 2014.

WETLANDS STATEMENT:
The National Wetlands Inventory Map depicts no wetlands on the Subject Property.



SCALE 1"=100'

- Indicates Iron Stake Found
- Indicates Iron Stake Set
- Indicates Line of Fence
- +588.33 Indicates Spot Elevation
- 588— Indicates Contour Elevation

BENCHMARKS -- (NAVD 88)

Control BM - Kendall County Highway Dept. Benchmark #908 - Brass Tablet on Southeast Wingwall of Grove Road Bridge over West Aux Sable Creek south of Van Dyke Road. Elev = 583.45

Site BM#3 - Magnail at edge of pavement at Southwest Corner of Lot 4. Elevation = 590.69

Site BM#2 - Magnail at edge of pavement at Southeast Corner of Lot 4. Elevation = 592.64

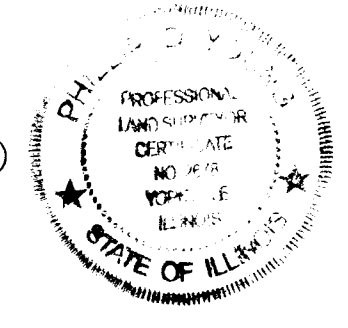
LEGAL DESCRIPTION:
The North 10.0 feet of Lots 1 and 4 of "HighGrove, Seward Township, Kendall County, Illinois", according to the Plat thereof recorded November 1, 2016 as Document 201600017256.

State of Illinois }
County of Kendall } SS

I, Phillip D. Young, an Illinois Professional Land Surveyor and an officer of Phillip D. Young and Associates, Inc., state that I have plotted the above described property for the purpose of vacating a Public Utility and Drainage Easement as shown hereon.

Dated August 7, 2019 at Yorkville, Illinois

Phillip D. Young
Phillip D. Young
Illinois Professional Land Surveyor No. 2678 (Expires 11/30/20)



State of Illinois }
County of Kendall } SS

This is to certify that I, Erin Sharkey, am the owner of Lot 4 of "HighGrove, Seward Township, Kendall County, Illinois", and have caused the same to be plotted as shown on the annexed plat for the uses and purposes therein set forth, and do hereby acknowledge and adopt the same under the style and title aforesaid.

Dated at _____, Illinois this ____ day of _____, 20__.

Erin Sharkey
Address: _____

State of Illinois }
County of Kendall } SS

I, _____, a Notary Public in and for the County and State aforesaid, do hereby certify that Erin Sharkey, who is personally known to me to be the same person whose name is subscribed to the foregoing Owner's Certificate, appeared before me this day, in person, and acknowledged that she signed and delivered the annexed plat as her own free and voluntary act for the uses and purposes therein set forth.

Given under my hand and notarial seal this ____ day of _____, 20__.

My commission expires _____
Notary Public

State of Illinois }
County of Kendall } SS

This is to certify that I, Theodore Parks, am the owner of Lot 1 of "HighGrove, Seward Township, Kendall County, Illinois", and have caused the same to be plotted as shown on the annexed plat for the uses and purposes therein set forth, and do hereby acknowledge and adopt the same under the style and title aforesaid.

Dated at _____, Illinois this ____ day of _____, 20__.

Theodore Parks
Address: _____

State of Illinois }
County of Kendall } SS

I, _____, a Notary Public in and for the County and State aforesaid, do hereby certify that Theodore Parks, who is personally known to me to be the same person whose name is subscribed to the foregoing Owner's Certificate, appeared before me this day, in person, and acknowledged that he signed and delivered the annexed plat as his own free and voluntary act for the uses and purposes therein set forth.

Given under my hand and notarial seal this ____ day of _____, 20__.

My commission expires _____
Notary Public

COMMONWEALTH EDISON COMPANY hereby consents to said vacation of easement this ____ day of _____, 20__.

By: _____ Attest: _____
Agent for Commonwealth Edison Company

SBC-AMERITECH hereby consents to said vacation of easement this ____ day of _____, 20__.

By: _____ Attest: _____
Agent for SBC-Ameritech

NICOR hereby consents to said vacation of easement this ____ day of _____, 20__.

By: _____ Attest: _____
Agent for NICOR

CABLE TELEVISION FRANCHISE hereby consents to said vacation of easement this ____ day of _____, 20__.

By: _____ Attest: _____
Agent for Cable Television Franchise

COUNTY BOARD CERTIFICATE
State of Illinois }
County of Kendall } SS
Approved by the County Board of Kendall County, Illinois, this ____ day of _____, 20__.

Chairman of County Board

County Clerk

COUNTY RECORDER CERTIFICATE
State of Illinois }
County of Kendall } SS
This instrument No. _____ was filed for record in the Recorder's Office of Kendall County, aforesaid, on the ____ day of _____, 20__ at _____ o'clock ____M.

Kendall County Recorder

August 7, 2019

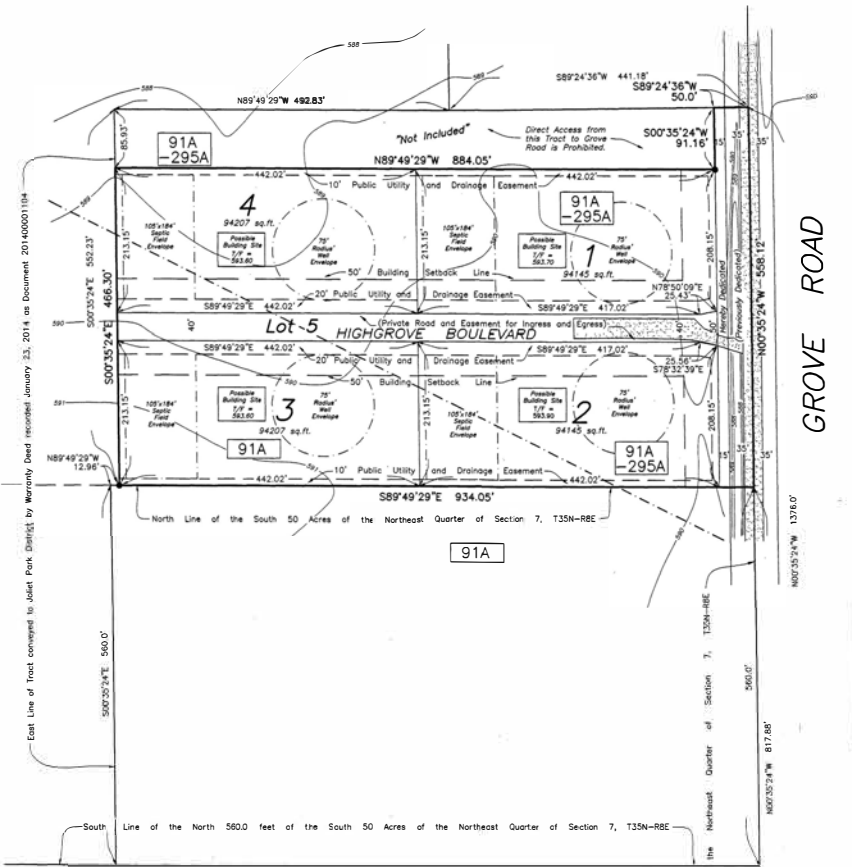
1107B South Bridge Street
Yorkville, Illinois 60560
Telephone (630)553-1580

 Phillip D. Young and Associates, Inc.
LAND SURVEYING - TOPOGRAPHIC MAPPING - Lic.#184-002775

 JOB NO. 16157
JOB NAME SHARKEY
DWG FILE 16157D
REVISION DATE 08/07/19

HIGHGROVE SEWARD TOWNSHIP KENDALL COUNTY ILLINOIS

SCALE
1"=100'



ACCESS RESTRICTIONS
NOTE: Direct access from Lots 1 and 2 to Grove Road is prohibited. Lots 1 and 2 may only access Grove Road through Lot 5 (Private Road and Easement for Ingress and Egress).

Indicates Concrete Monument Set
3/4"x 24" Iron Pipe set at all other Lot Corners, Angle Points and Points of Curvature.
--- Indicates Scils Boundary
--- Indicates Contour Elevation
NOTE: Bearings are based on a local coordinate system.

P.I.N. 09-07-200-024

**Soil Type -- USDA/NRCS
(Putnam Soil Testing 09/29/2016)**

- 91A Swyget Silty Clay Loam, 0%-2% slopes
Drainage: Somewhat Poorly
Septic Field Limitations: Severe
- 295A Molena Silty Loam, 0%-2% slopes
Drainage: Poorly
Septic Field Limitations: Severe

AREA TABLE

Lot 1	94145 sq.ft. = 2.1613 acres
Lot 2	94145 sq.ft. = 2.1613 acres
Lot 3	94207 sq.ft. = 2.1627 acres
Lot 4	94207 sq.ft. = 2.1627 acres
Lot 5	35483 sq.ft. = 0.8145 acres
Road	27889 sq.ft. = 0.6403 acres
Total	440078 sq.ft. = 10.1028 acres

LOT 5 (HIGHGROVE BOULEVARD) EASEMENT
Owners/Developers hereby reserve onto itself and its successors and assigns as Owners of Lots 1 - 4 of HighGrove, the right of ingress to and egress from each of said Lots onto Lot 5 of HighGrove (o/k/a HighGrove Boulevard) for purposes of ingress and egress, drainage, and utility extensions.
Said reservation shall be considered a covenant running with the land and binding on the successors and assigns of Owners/Developers and Joliet Park District and its assigns and successors.

NOTICE OF FEES:
All Lots as delineated in the above Plat are subject to payments of fees pursuant to the Land Cash Ordinance of Kendall County as administered by the Kendall County Building and Zoning Office, and is a covenant running with the land. A recordable receipt will be issued upon payment of such fees. The building permit applicant shall pay the Land Cash contribution and the Kendall County Highway Fee at the time of applying for each building permit.

KENDALL COUNTY RIGHT-TO-FARM STATEMENT
Kendall County has a long, rich tradition in agriculture and respects the role that farming continues to play in shaping the economic viability of the county. Property that supports this industry is indicated by a zoning indicator -- A-1 or Ag Special Use. Anyone instructing a residence or near this zoning should be aware that normal agricultural practices may result in occasional smells, dust, sights, noise and unique hours of operations that are not typical in other zoning areas.

PLAT AND ZONING COMMITTEE CERTIFICATE
State of Illinois } SS
County of Kendall }
Approved by the Plat and Zoning Committee, this 28 day of October, 2016
Sean Galt
Plat and Zoning Committee, Chairman

COUNTY BOARD CERTIFICATE
State of Illinois } SS
County of Kendall }
Approved by the County Board of Kendall County, Illinois, this 28 day of October, 2016
Sean Galt
Chairman of County Board

County Clerk }
7 8
7 8

OWNER'S AND SCHOOL CERTIFICATE
State of Illinois } SS
County of Kendall }
This is to certify that I, Suzanne J. Beane Cooney am the manager of Beane Homestead, LLC, which is the owner of the property described in the attached Surveyor's Certificate have caused the same to be surveyed and subdivided as indicated for the uses and purposes therein set forth, and do hereby acknowledge and adopt the same under the style and title of "HighGrove, Seward Township, Kendall County, Illinois". I also certify that all of the property herein described is located within the boundaries of Minooka Community Consolidated School District 201.
Dated at Yorkville, Illinois this 28 day of October, 2016
Suzanne J. Beane Cooney
Beane Homestead, LLC, y, manager
13217 Grove Road
Minooka, Illinois 60447

COUNTY RECORDER CERTIFICATE
State of Illinois } SS
County of Kendall }
This instrument No. 2016001104, was filed for record in the Recorder's Office of Kendall County, Illinois, on the 7 day of November, 2016 at 11:00 o'clock A.M.
Debbie Gillette
Kendall County Recorder
Suzanne J. Beane Cooney
COUNTY HEALTH DEPARTMENT
State of Illinois } SS
County of Kendall }
Issuance of building permits shall be subject to lot soil testing and site evaluation, demonstrating the ability to construct and operate a sewage disposal system capable of meeting or exceeding applicable state and local rules and regulations.
Approved this 28 day of October, 2016
Debbie Gillette
Kendall County Health Department

NOTARY PUBLIC CERTIFICATE
State of Illinois } SS
County of Kendall }
I, Robin E. Guzman, a Notary Public in and for the County and State aforesaid, to hereby certify that Suzanne J. Beane Cooney, who is personally known to me to be the same person whose name is subscribed to the foregoing Owner's and School Certificate, appeared before me this day, in person, and acknowledged that she signed and delivered the annexed plat as her own free and voluntary act for the uses and purposes therein set forth.
Given under my hand and notarial seal this 28 day of October, 2016
Robin E. Guzman
Notary Public
My commission expires _____

COUNTY CLERK CERTIFICATE
State of Illinois } SS
County of Kendall }
This is to certify that I, Debbie Gillette, County Clerk for the County aforesaid, do hereby certify that there are no delinquent general taxes, no unpaid current taxes, no unpaid forfeiture taxes and no redeemable tax sales against any of the real estate described in the foregoing certificates.
Dated this 31 day of October, 2016
Debbie Gillette
County Clerk

PLAT OFFICER CERTIFICATE
State of Illinois } SS
County of Kendall }
Approved this 31 day of October, 2016
Debbie Gillette
Plat Officer

PUBLIC UTILITY EASEMENT PROVISIONS:
An easement for serving the subdivision and other property with natural gas, electric and communications service is hereby reserved for and granted to COMMERCE BANCORP, SBC-AMERICA CABLE TELEVISION FRANCHISE, NICOIR AND GRANITE, their respective successors and assigns, jointly and severally, to install, operate, maintain and remove, from time to time, facilities used in conjunction with underground transmission and distribution of natural gas, electric and communications services, across, along and upon the surface of the property shown within the dashed lines on the plat and marked "Public Utility Easement", the property designated in the Declaration of Condominium and/or on this plat as "Common Elements", and the property designated on the plat for streets and alleys, whether public or private, together with the right to install required service connections over or under the surface of each lot and common area or area to serve improvements, thereon, or on adjacent lots, and common areas or areas, the right to cut, trim or remove trees, bushes and roots as may be reasonably required incident to the herein given, and the right to enter upon the subdivided property for all such purposes. Obstructions shall not be placed over or across the facilities or on, upon or over the property within the dashed lines marked "Public Utility Easement" without the prior written consent of grantor. After installation of any such facilities, the grade of the subdivided property shall not be altered in a manner so as to interfere with proper operation and maintenance thereof. The term "Common Elements" shall have the meaning set forth for such term in the "Condominium Property Act", Chapter 785 ILCS 605/2e, as amended from time to time. The term "common area or area" is defined as a lot, parcel or area of real property, the beneficial use and enjoyment of which is reserved in whole or in part to the separately owned lots, parcels or areas within the planned development, even though such access across the property for utility systems is not "access to common areas, open spaces", "open area", "common ground", "parking and common area". The terms "common area or area" and "Common Elements" includes real property physically occupied by a building, service business, district or structures such as a pool or retention pond, or mechanical equipment.
Relocation of facilities will be done by Grantee at cost of Grantor/Lot Owner, upon written request.

DRAINAGE EASEMENT AND DETENTION EASEMENT PROVISIONS
An easement is hereby reserved for and granted to the County of Kendall, Illinois, and its successors or assigns over all of the area marked "Drainage Easement" and "Detention Easement" for the purpose of the person shown on the plat to install, construct, reconstruct, repair, inspect, maintain, and operate storm sewers and the storm water detention ponds, together with any and all necessary manholes, catch basins, connectors, ditches, swales and other structures and appurtenances as may be determined necessary by said County upon, along, under or through said indicated easement, together with the right of access across the property for utility systems such as "access to common areas, open spaces", "open area", "common ground", "parking and common area". The right is also granted to cut, trim or remove any trees, shrubs or other plants on the easement that interfere with the operation of the sewer or other utilities. No permanent buildings shall be placed on said easement. No changes to the topography or storm water management structures within the easement area shall be made without the express written consent of said County but the same may be used for the purposes that do not harm or later interfere with the aforesaid right. The owner of the property shall remain responsible for the maintenance of the storm water detention pond and appurtenances.

Attachment 2

SURVEYOR'S CERTIFICATE
State of Illinois } SS
County of Kendall }

This is to certify that I, Phillip D. Young, an Illinois Professional Land Surveyor and an officer of Phillip D. Young and Associates, Inc., at the request of the administrator of the land described herein, have surveyed, subdivided and plotted the land shown hereon to be hereinafter known as "HighGrove, Seward Township, Kendall County, Illinois", being a Subdivision of Part of the Northeast Quarter of Section 7, Township 35 North, Range 8 East of the Third Principal Meridian in Seward Township, Kendall County, Illinois, more particularly described as follows:

That Part of the Northeast Quarter of Section 7, Township 35 North, Range 8 East of the Third Principal Meridian, described as follows: Commencing at the Southeast Corner of said Northeast Quarter; thence North 00°35'24" West, along the East Line of said Northeast Quarter, 817.88 feet to the Northeast Corner of the South 50 Acres of said Northeast Quarter (as monumented) for the point of beginning; thence North 00°35'24" West, along said East Line, 558.12 feet to a point which is 1376.00 feet Northerly of the Southeast Corner of said Northeast Quarter; thence South 89°49'29" West, perpendicular to said East Line, 500 feet; thence South 00°35'24" East, parallel with said East Line, 91.16 feet; thence North 89°49'29" West, 884.05 feet to the East Line of a Tract conveyed to the Joliet Park District by Warranty Deed recorded January 23, as Document 20140001104; thence South 00°35'24" East, along said East Line, 446.30 feet to said North Line of the South 50 Acres of the Northeast Quarter (as monumented); thence South 89°49'29" East, along said North Line, 934.05 feet to the point of beginning in Seward Township, Kendall, County, Illinois.

I do certify that the above described property lies within 1-1/2 miles of the corporate limits of the Village of Platville and the City of Joliet, both of which have adopted and properly filed an Official Plan and are exercising the special powers authorized by Division 12 of Article 11 of the Illinois Municipal Code as Amended.

I also certify that no part of the property above described lies within a special flood hazard area as identified by the Federal Emergency Management Agency based on Flood Insurance Rate Map Panel No. 17093C0140H with an effective date of January 8, 2014.

I also certify that the attached plat is in compliance with Chapter 109 of the Illinois Revised Statutes, that all subdivision exterior monuments have been set, that all interior monuments will be set within 12 months of the recordation of this plat, and that all dimensions are shown in feet and decimal parts thereof.

This professional service conforms to the current Illinois minimum standard for a boundary survey.

Dated October 25, 2016 at Yorkville, Illinois
Phillip D. Young
Phillip D. Young
Illinois Professional Land Surveyor No. 2678 (Expires 11/30/16)



COUNTY ENGINEER CERTIFICATE
State of Illinois } SS
County of Kendall }
I, FRANCIS C. KLAAS, County Engineer of Kendall County, do hereby certify that the annexed plat has been examined by me and found to comply with the highway requirements as set forth in the regulations governing plats adopted by the County Board of Kendall County, insofar as they pertain to the annexed plot, has been complied with.
Dated this 31 day of October, 2016
Francis C. Klaas
Kendall County Engineer

TOWNSHIP HIGHWAY COMMISSIONER CERTIFICATE
State of Illinois } SS
County of Kendall }
I, Raymond L. Vickery, do hereby certify that all matters pertaining to the highway requirements as described in the regulations governing plats adopted by the County Board of Kendall County, insofar as they pertain to the annexed plot, has been complied with.
Dated this 29 day of October, 2016
Raymond L. Vickery
Seward Township Highway Commissioner

PLAT OFFICER CERTIFICATE
State of Illinois } SS
County of Kendall }
Approved this 31 day of October, 2016
Debbie Gillette
Plat Officer



Matt Asselmeier

From: Greg Chismark <gchismark@wbkengineering.com>
Sent: Friday, September 6, 2019 3:20 PM
To: Fran Klaas; Matt Asselmeier
Cc: Scott Koeppel; Matthew G. Prochaska
Subject: [External]RE: Request for Easement Vacation in Highgrove Subdivision

I am in agreement with Fran.

My first question was why they want or need to vacate the easement. Fran's response identifies property ownership that includes the "Not Included" parcel and I believe that answers the question. I agree entirely with Fran that the easement should be relocated to the new north property / ownership (10' PU & DE). It also appears there is an easement adjacent to Grove Road on lot 1. That should get extended north across the "not Included" parcel to the new north property easement.

I also agree that verification of utilities should occur prior to the vacation of the easement.

Let me know if there is anything else needed at this time.

Thanks,

Greg

Greg Chismark P.E.

President / Municipal Practice Principal

WBK Engineering, LLC

116 West Main Street, Suite 201, St. Charles, Illinois 60174
P: 630.443.7755 D: 630.338.8527

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From: Fran Klaas [mailto:FKlaas@co.kendall.il.us]

Sent: Friday, September 6, 2019 2:32 PM

To: Matt Asselmeier <masselmeier@co.kendall.il.us>; Greg Chismark <gchismark@wbkengineering.com>

Cc: Scott Koeppel <skoeppeel@co.kendall.il.us>; Matthew G. Prochaska <mprochaska@co.kendall.il.us>

Subject: RE: Request for Easement Vacation in Highgrove Subdivision

I am not opposed to this vacation under the following conditions:

1. There are currently no public utilities located within this easement.
2. The owners of Lots 1 and 4 record a new 10' Public Utility and Drainage Easement along the "new" north boundary of their properties. The recorded plat shows a "Not Included" parcel north of Lots 1 and 4. I'm not exactly sure how that not-included-lot got divided / acquired by Lots 1 and 4... but it did. Their new northern property line is about 90' north of what is shown in the plat. We don't know exactly what will happen in the future; and I think it would be a good idea to keep some kind of a drainage / utility easement along the north line, especially considering those lots are having an argument about drainage with the property owner to the north.

Fran

Matt Asselmeier

From: John <[REDACTED]>
Sent: Tuesday, September 10, 2019 6:51 AM
To: Matt Asselmeier
Subject: [External]Fwd: Ticket A2521636 - Response To Dig Request

Matt, directly from Julie

Sent from my iPhone

Begin forwarded message:

From: <agt_comm@irth.com>
Date: September 10, 2019 at 6:13:10 AM CDT
To: <[REDACTED]>
Subject: Ticket A2521636 - Response To Dig Request

To: HOMEOWNER **Attn:** JOHN SHARKEY
Voice: [REDACTED] **Fax:**
Re: Response To Dig Request
This is an important message from Enbridge Energy

Ticket: A2521636
County: KENDALL
Place: SEWARD
Address: 13315 GROVE RD

LHPL1A:
Enbridge Liquid Pipelines, Underground utilities are not in conflict within the proposed excavation area. If there is any change in scope of work contact us and the One Call center.

Thank you.

This message was generated by an automated system. Please do not reply to this email.

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This email was Malware checked by UTM 9. <http://www.sophos.com>

Matt Asselmeier

From: John <[REDACTED]>
Sent: Monday, September 9, 2019 10:34 AM
To: Matt Asselmeier
Subject: [External]Fwd: JULIE CONFIRMATION PLEASE REVIEW 2019/09/09 A2521636-00A NORM LREQ

Matt, Julie will be our before wensday at 11 am. Here is the confirmation I have from them. Let me know exactly what you need from them or me once completed.

Sent from my iPhone

Begin forwarded message:

From: <OCARS_Pro@Julie1Call.com>
Date: September 9, 2019 at 10:32:10 AM CDT
To: <[REDACTED]>
Subject: JULIE CONFIRMATION PLEASE REVIEW 2019/09/09 A2521636-00A NORM LREQ

EMLCFM 00673 JULIEa 09/09/19 10:32:10 A2521636-00A NEW NORMAL NOTICE

Thank you for contacting JULIE, Inc. regarding your upcoming digging project.

Please carefully review and print your locate request ticket below for your records. If any of the information is incorrect, contact JULIE by dialing 811 or 800-892-0123 and refer to the locate request number. The agents are available 24/7.

Please take special note of the Digstart Date and Time. Member utility companies have until that time to respond to your locate request. Do not start to dig prior to that date and time even if it appears all underground utility lines have been marked.

For information about the next steps in the process, a copy of JULIE's Homeowner's Guide, and an explanation of the color-code markings, visit www.illinois1call.com/whatnext/

Dig No : A2521636 Rev : 00A Digstart: 09/11/19 10:30
Rcvd : 09/09/19 10:32 Priority: 2 Expires : 10/06/19 23:59
Org Dig: A2521636 Rcvd: 09/09/19 10:25

Firm : HOMEOWNER Caller: JOHN SHARKEY
CoAddr1: [REDACTED]
City,St: [REDACTED] Zip : [REDACTED]
Phone : [REDACTED] Ext : [REDACTED]
Call Bk: [REDACTED] Done For : SELF
SiteCnt: SAME AS ABOVE
Email : [REDACTED]

County : KENDALL Place: SEWARD
Address: [REDACTED]
Subdiv : [REDACTED] Cross:

Grids : T35NR08E05SW T35NR08E06SE T35NR08E07*E T35NR08E08*W T35NR08E17*W

: T35NR08E18*E

BestFit: 41.538597/-88.353519 41.538786/-88.351426

: 41.511148/-88.351036 41.511337/-88.348942

PreMark: YES Directional Boring: NO Depth>7Ft: NO

Locatn : IN THE TOWNSHIP OF SEWARD, THIS IS AT ADDRESSES 13315-A AND 13315-D
: GROVE RD.

:
: THESE ADDRESSES ARE OFF OF A PRIVATE ROAD CALLED HIGH GROVE BLVD.

THIS
: IS NEAR GROVE PARK.

WrkType: EASEMENT REMOVAL

Extent : LOCATE THE EASEMENT RUNNING EAST AND WEST, APPROX 200FT OFF THE
SOUTH

: END OF THE PROPERTY. AREA MARKED WITH STAKES AND PINK FLAGS.

Remarks:

Members: ANR0A = ANR PIPELINE COMPANY ATTD5A = ATT/DISTRIBUTION
Members: CECO0A = COMED GDPL0A = GUARDIAN PIPELINE
Members: LHPL1A = ENBRIDGE ENERGY PARTNERS LP USIC0A = USIC LOCATING
SERVICES

View map at:

http://newtin.julielcall.com/newtinweb/map_tkt.nap?TRG=71SWRbPbJjBp3pC-X

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**ZONING, PLATTING & ADVISORY COMMITTEE (ZPAC)
October 1, 2019 – Unapproved Meeting Minutes**

PBZ Chairman Matthew Prochaska called the meeting to order at 9:00 a.m.

Present:

Megan Andrews – Soil and Water Conservation District
Matt Asselmeier – PBZ Department
David Guritz – Forest Preserve
Fran Klaas – Highway Department
Commander Jason Langston – Sheriff's Department
Matthew Prochaska – PBZ Committee Chair
Aaron Rybski – Health Department

Absent:

Meagan Briganti – GIS
Greg Chismark – WBK Engineering, LLC
Brian Holdiman – PBZ Department

Audience:

John Sharkey, Ronald Smrz, Caitlin Paloian, and Laura Gay

AGENDA

Mr. Guritz made a motion, seconded by Mr. Klaas, to approve the agenda as presented. With a voice vote of all eyes, the motion carried unanimously.

MINUTES

Mr. Guritz made a motion, seconded by Ms. Andrews, to approve the September 30, 2019, meeting minutes. With a voice vote of all eyes, the motion carried unanimously.

PETITIONS

Petition 19-32 John and Erin Sharkey and Theodore Parks

Mr. Asselmeier summarized the request.

John and Erin Sharkey and Theodore Parks would like to vacate the ten foot (10') public utility and drainage easement that runs along and parallel the northern lot lines of Lots 1 and 4 in Highgrove Subdivision. The Petitioners own the property immediately north of the subdivision and would like to construct buildings inside the current easement.

After submitting the application to vacate the easement in question, the Petitioners agreed to relocate the easement to the northern boundary of PINs 09-07-200-034 and 09-07-200-033.

The property is located at 13315D and 13315A Grove Road in Seward Township.

The property is zoned R-2 One Family Residential. The current land use is one-family residential. The future land use is rural residential. There are no floodplains or wetlands on the property. The adjacent land uses are agricultural, single-family residential, farmstead, and park. The adjacent zonings are A-1, RPD-2, and R-2. The Land Resource Management Plan calls for the entire area to be rural residential.

Seward Township was emailed information on September 23, 2019, and did not submit any comments.

The Petitioners originally wanted to vacate the ten foot (10') public utility and drainage easement that runs along and parallel the northern lot lines of Lots 1 and 4 in Highgrove Subdivision. The Petitioners own the property immediately north of the subdivision and would like to construct buildings inside the current easement.

On September 6, 2019, Fran Klaas sent an email expressing no opposition to the proposal on the condition that no public utilities were located in the easement and that the easement be relocated to the north portion of the Petitioners' respective properties (09-07-200-034 and 09-07-200-033).

Also on September 6, 2019, Greg Chismark submitted comments concurring with Fran Klaas. Mr. Chismark also requested that the easement be extended north along the eastern property line of Lot 1 to the new easement location.

The emails from Fran Klaas and Greg Chismark were provided.

The Petitioners contacted JULIE to determine no utilities would be impacted by vacating the easement. The JULIE information was provided.

As of September 9, 2019, the Petitioners agreed to the requests of the County and had their engineer prepare an updated plat showing the relocated and extended easements.

Mr. Guritz asked about drainage facilities in the current easement. Mr. Asselmeier said that no existing drainage facilities are located in the existing easement.

Mr. Rybski asked about the plans for the lots to the north of the subject property. Mr. Asselmeier said that the lots are planned to be used residentially as part of the Petitioners' yards.

Mr. Guritz made a motion, seconded by Mr. Klaas, to recommend approval of the requested easement vacation and relocation.

Ayes (7): Andrews, Asselmeier, Guritz, Klaas, Langston, Prochaska, and Rybski
Nays (0): None
Present (0): None
Absent (3): Briganti, Chismark, and Holdiman

The motion passed. This proposal will go to the Kendall County Planning, Building and Zoning Committee on October 7, 2019, at 6:30 p.m.

Petition 19-34 Ronald Smrz on Behalf of the Ronald Smrz Trust

Mr. Asselmeier summarized the request.

Ron Smrz, on behalf of the Ronald Smrz Trust, would like to establish a storage business for boats and RVs at the subject property.

The property is located at 7821 Route 71. The property is approximately seventeen (17) acres in size and the original proposed area for the special use permit was approximately two (2) acres in size.

The current land use is agricultural. The future land use is rural residential. Route 71 is a State maintained highway and is considered a Scenic Route at the subject property. Yorkville has a trail planned along Route 71. There is a farmable wetland on the property consisting of approximately a tenth (0.1) of an acre. The adjacent land uses are agricultural, single-family residential, and farmstead. The adjacent zonings are A-1, A-1 SU, R-1, R-3, and R-3 PUD. The Land Resource Management Plan calls for the area to be rural residential. The nearby zonings are A-1, A-1 SU, A-1 BP, R-3, RPD-2, and R-3 PUD.

The subject property has a special use permit for a landscaping business.

The special use permit to the north is for a campground. The special use permit to the east is for a landscaping business.

Lyon Farm is located south of the subject property.

The Richard Young and Lyon Forest Preserves are in the vicinity.

The aerial of the property and other pictures of the property were provided.

EcoCat submitted on June 6, 2019, as part the Wetland Delineation Report and found the Fox River INAI Site and Yorkville Seep INAI Site in the area. The entire Wetland Delineation Report was provided.

NRI application submitted on August 2, 2019.

Oswego Township was emailed information on September 24, 2019.

The Bristol-Kendall Fire Protection District was emailed information on September 24, 2019.

The United City of Yorkville was emailed information on September 24, 2019.

According to the information provided to the County, the Petitioner originally planned to offer rental space for two hundred (200) rental units. The Petitioner would offer year-round storage access twenty-four (24) hours a day, seven (7) days a week. The Petitioner reduced the size of the operation to avoid having to provide onsite stormwater detention.

Prospective renters would meet with the Petitioner at the property at a pre-arranged time to view the property, sign a contract, and receive their access code. The Petitioner plans to use the existing storage building shown in Attachment 6 as the office for the business.

The Petitioner and his wife would be the only employees of the business.

No new structures are planned for the property. A new occupancy permit might be required for the existing storage building.

The location of the well was shown on the proposed site plan south of the existing house. No bathrooms or potable water sources would be available to patrons of the storage business.

The Petitioner indicated that the storage area would have a gravel base.

The property fronts Route 71 and an existing access point off of Route 71 exists.

The Illinois Department of Transportation provided comments regarding this proposal. A new access permit will be required.

Parking will occur in the gravel areas east of the existing building shown. The Petitioner originally proposed having fifteen (15) parking spaces. Per the Americans with Disabilities Act, at least one (1) of these spaces must be handicapped accessible. The Petitioner may change the parking layout.

The Petitioner plans to install lighting on the exterior of the shed.

The Petitioner plans to install a sign along Route 71. The sign must meet all of requirements of the Kendall County Zoning Ordinance and must not be illuminated.

The Petitioner plans to remove the three (3) existing Norway Spruce trees. The Petitioner originally planned to plant forty (40) evergreens that will be between approximately four feet and six feet (4'-6') in height at the time of planting. The evergreens were to be placed to the north and east of the storage area. The Petitioner may change the number of evergreen depending on the revised site plan. The evergreens would be planted by the end of May 2020.

The Petitioner indicated that the storage area will have a chain-link fence around the storage area. The fence is planned to be six feet (6') in height.

There will be a twenty foot (20') wide automatic gate on the east side of the storage area to control access to the area. The gate will be adjacent to the shed.

A security monitoring system will also be installed with cameras on the shed.

No information was provided regarding noise control.

No new odors are foreseen.

While very little trash or litter is expected to be generated by the proposed, no plans for litter control were provided.

If approved, this would be the fifth active special use permit for this type of storage in unincorporated Kendall County.

The Petitioner currently resides in the house on the property.

The Petitioner agreed that all items stored on the property would remain licensed and in good working order. The Petitioner agreed to follow the Kendall County Inoperable Vehicle Ordinance and the Junk and Debris Ordinance. The Petitioner also agreed that none of the vehicles stored as part of the special use permit would be for agricultural purposes.

A revised site plan was submitted with a smaller project footprint in order to not have to install onsite storage of stormwater.

Mr. Guritz asked about the threshold for stormwater. Mr. Asselmeier read the threshold from the Stormwater Management Ordinance.

Commander Langston asked about size limitations for vehicles stored on the property. Mr. Smrz responded that the maximum would be approximately thirty-nine feet (39'). Commander Langston expressed concerns regarding larger vehicles accessing the property. Mr. Smrz noted that the State has plans to widen Route 71. Mr. Smrz will ask the State to see if a larger entrance is necessary.

Ms. Andrews noted that the Kendall County Soil and Water Conservation District reviewed the proposal last month and will forward her report.

Mr. Rybski noted the locations of the existing well and septic and expressed no concerns related to the Health Department.

Mr. Asselmeier asked about a plan to address leaks such as motor oil leaks. Mr. Smrz said that he would check the site daily for leaks and will have spill pad clean-up kits available. Contaminated gravel will be disposed of properly.

Discussion occurred regarding the stormwater requirements. The Petitioner expressed concerns about the retention area across Route 71. Mr. Klaas suggested that a variance could be pursued.

The Petitioner stated that he wanted to examine his site plan to see what type of stormwater variance would be necessary and to see the costs associated with the project.

Mr. Rybski made a motion, seconded by Mr. Klaas, to postpone the Petition until the Petitioner supplies an updated site plan or makes a decision regarding the Stormwater Management Ordinance requirements. With a voice vote of all ayes, the motion carried unanimously.

Petition 19-35 John and Laura Gay

Mr. Asselmeier summarized the request.

John and Laura Gay would like to establish a kennel, The Pets Home Pet Resort and Spa, at the subject property which they own at 3601 Plainfield Road. They are also requesting a variance to allow the kennel to be approximately thirty feet, six and one half inches (30'-6 1/2") from property zoned other than residential at the kennel's closest point with neighboring property.

The property is approximately five (5) acres in size and the special use area is approximately four point seven (4.7) acres in size.

The existing land use is agricultural and single-family residential. The future land use is suburban residential. There are no trails planned in the area. There are no floodplains or wetlands on the property, but Morgan Creek runs along the northern boundary of the property.

The adjacent land uses are agricultural, farmstead, and single-family residential. The adjacent zoning is A-1. The Land Resource Management Plan calls for the area to be suburban residential with commercial to the south of the property. The adjacent zonings are A-1 and R-1 in the County and R-2 inside the Village of Oswego.

The Ashcroft Place subdivision is located within one half mile (1/2) to the north.

The Deerpath Trails and Morgan Crossing subdivisions are located within one half (1/2) mile to the west.

EcoCat submitted on July 22, 2019, and found no protection species or sites in the vicinity.

NRI application submitted on September 12, 2019.

Oswego Township was emailed information on September 23, 2019.

Oswego Fire Protection District was emailed information on September 23, 2019. They requested the building to be fire alarmed. They requested the building to be sprinkled. They also requested turn-around capabilities for fire apparatus on the subject property.

The Village of Oswego was emailed information on September 23, 2019.

The Petitioners currently reside in the one-story frame house on the property.

Because of the shape of the property, a variance is required to the distance from the kennel to non-residentially zoned property.

According to the information provided to the County, the Petitioners plan to offer pet daycare, boarding, and grooming services. The proposed hours of operation are Monday through Friday from 6:00 a.m. until 6:00 p.m. The Petitioners plan to hire five (5) employees. The maximum number of dogs planned for the site is one hundred (100). Per the Kendall County Zoning Ordinance, all animals will be indoors by sunset. The Petitioners believe the area is lacking this type of service.

As noted in the site plan, the Petitioners plan to construct an approximately four thousand, one hundred fifty (4,150) square foot building southeast of the existing home on the property. The building shall consist of fourteen (14) rooms including a lobby, manager's office, restroom, bathroom, break room, laundry, dog bathing room, three (3) pet suites, and pet areas for small, medium, and large dogs. A six foot (6') tall wood fence would be located approximately fifteen feet (15') from the building to the southeast and northeast. The fenced area would be approximately six hundred twenty (620) square feet in size and serve as a play area for the dogs.

Building and Occupancy Permits will be required for the new building.

The Petitioner indicated that they are working with the Health Department regarding well and septic facilities.

The property fronts Plainfield Road and curb cut already exists for the proposed driveway for the kennel. The Petitioners are going to remove an existing driveway connection on the property. If this removal occurs, there would be one (1) dedicated entrance for the residence and one (1) dedicated entrance for the kennel.

The Petitioners believe most of the traffic generated by the proposed business will occur in the morning and early evening when patrons drop-off and pick-up their pets.

The Petitioners propose to install an eleven (11) spot parking lot. One (1) of the spaces would be handicapped accessible. The parking lot would access Plainfield Road through a twenty-two foot (22') wide asphalt driveway.

The Petitioners plan to installed three (3) lights along the driveway and in the parking lot. These lights are twelve feet (12') in height. Two (2) wall pack will be installed along the east side of the building. Four (4) wall lights will be installed on the building; three (3) will be on the north side of the building and one (1) will be on the east side of the building. The description of the types of lighting that might be installed were provided. The exact light fixtures are not known.

The Petitioners plan to have one (1) sign along Plainfield Road.

The Petitioners plan to install eight (8) canopy trees, six (6) deciduous shrubs, twenty-eight (28) evergreen shrubs, and six (6) groundcovers, grass, and perennials. The specific location of the plants can be found on the site plan.

The Petitioners believe the distance of their facility to existing houses combined with having the dogs indoors by sunset will prevent any noise issues.

The Petitioners plan to install an eight foot by ten foot (8' X 10') refuse enclosure at the northeastern end of the parking lot. The enclosure is proposed to be six feet (6') tall surrounded by brick with a steel gate for access. Refuse will be picked up weekly.

If approved, this would be the fifth active special use permit for a kennel in unincorporated Kendall County.

Chairman Prochaska asked if the Petitioners were agreeable to the requests of the Oswego Fire Protection District. Ms. Paloian responded that her clients are going through a cost estimate related to the sprinkling and alarming requirements. Ms. Paloian asked about the requirements regarding the turn-around. Mr. Asselmeier said that the Oswego Fire

Protection District would have to be contacted regarding their specifications. The property is on well and septic and a new well and septic will be installed for the special use permit.

Mr. Rybski noted that the wash water from the dogs is also domestic waste. He encouraged the Petitioners to meet with the Health Department before any well and septic permits are issued. Refuse needs to be picked up as frequently to prevent overflow.

Commander Langston asked about peak capacity and the impacts on traffic on Plainfield Road. The Petitioners anticipate most traffic occurring in the mornings and evenings when customers pick-up and drop-off their dogs. The Petitioners do not foresee a large amount of traffic.

Mr. Asselmeier asked about weekend hours of operation. Ms. Paloian responded that the Petitioners will be onsite to handle dogs boarded over the weekend, but there will not be any drop-offs or pick-ups over the weekend. The dogs will not be outside for play during the weekend. The Petitioners will apply for a sign permit after a special use is issued.

Ms. Andrews stated that she is working on the NRI Report.

Mr. Klaas asked if the special use permit goes with the property. Mr. Asselmeier responded that this special use permit would go with the property.

Mr. Klaas asked about estimate traffic generation per day. The exact number was unknown, but was not planned to exceed one hundred (100) new trips per day. Ms. Gay noted that they pick-up some dogs as part of the kennel business.

Mr. Klaas requested a fifteen foot (15') right-of-way dedication for Plainfield Road.

Ms. Andrews made a motion, seconded by Mr. Klaas, to recommended approval of the Petition.

Ayes (7):	Andrews, Asselmeier, Guritz, Klaas, Langston, Prochaska, and Rybski
Nays (0):	None
Present (0):	None
Absent (3):	Briganti, Chismark, and Holdiman

The motion passed. The proposal will go to the Kendall County Regional Planning Commission on October 23, 2019, at 7:00 p.m.

REVIEW OF PETITIONS THAT WENT TO COUNTY BOARD

None

OLD BUSINESS/NEW BUSINESS

Approval of Fiscal Year 2019-2020 Meeting Calendar

Mr. Asselmeier made a motion, seconded by Ms. Andrews, to approve the meeting calendar. With a voice vote of all ayes, the motion carried unanimously.

CORRESPONDENCE

None

PUBLIC COMMENT

None

ADJOURNMENT

Mr. Guritz made a motion, seconded by Mr. Rybski, to adjourn. With a voice vote of all ayes, the motion carried. The ZPAC, at 9:47 a.m., adjourned.

Respectfully Submitted,
Matthew H. Asselmeier, AICP
Senior Planner

State of Illinois
County of Kendall

Zoning Petition
#19-32

ORDINANCE NUMBER 2019-_____

APPROVING A PLAT OF VACATION AND RELOCATION OF A TEN FOOT PUBLIC UTILITY AND DRAINAGE EASEMENT FROM LOTS 1 AND 4 OF HIGHGROVE SUBDIVISION TO THE NORTHERN END OF PARCELS 09-07-200-034 AND 09-07-200-033 AND EXTENDING THE SAME EASEMENT ALONG THE EASTERN BOUNDARY OF PARCEL 09-07-200-033 IN SEWARD TOWNSHIP

WHEREAS, Section 7.06 of the Kendall County Subdivision Control Ordinance permits the Kendall County Board to approve plats of vacation and provides the procedure through which plats of vacation are approved; and

WHEREAS, the ten-foot public utility and drainage easement which is the subject of this Ordinance was established by Ordinance 2016-20 which granted approval a preliminary and final plat of Highgrove Subdivision and was approved by the Kendall County Board on October 18, 2016, and

WHEREAS, the preliminary and final plat of Highgrove Subdivision was recorded in the Kendall County Recorder of Deeds Office on November 1, 2016, and

WHEREAS, the ten-foot public utility and drainage easement which is the subject of this Ordinance is located along and parallel to the north property lines of Lots 1 and 4 in Highgrove Subdivision. The legal description of the ten-foot public utility and drainage easement is set forth in Exhibit A attached hereto and incorporated by reference; and

WHEREAS, on or about November 2, 2017, Theodore Parks acquired ownership of Lot 1 of Highgrove Subdivision and the property identified by Parcel Identification Number 09-07-200-033; and

WHEREAS, on or about August 7, 2017, Erin and John Sharkey acquired ownership of Lot 4 of Highgrove Subdivision and the property identified by Parcel Identification Number 09-07-200-034; and

WHEREAS, on or about September 9, 2019, Theodore Parks and Erin and John Sharkey, hereinafter referred to as "Petitioners," filed a petition for approval of a plat of vacation of the ten-foot public utility and drainage easement which is the subject of this Ordinance; and

WHEREAS, after submittal of the petition, the Petitioners agreed to relocate the ten-foot public utility and drainage easement from its present location to the northern property lines of the parcels identified by Parcel Identification Numbers 09-07-200-033 and 09-07-200-034 and to extend the same easement along the eastern boundary of property identified by Parcel Identification Number 09-07-200-033. The legal description of the relocated and extended public utility and drainage easement is set forth in Exhibit A attached hereto and incorporated by reference; and

WHEREAS, on October 1, 2019, the Kendall County Zoning, Platting and Advisory Committee has reviewed this petition and has forwarded to the Kendall County Board a recommendation of approval of the requested plat of relocation; and

WHEREAS, on **October 7, 2019**, the Kendall County Planning, Building and Zoning Committee of the Kendall County Board has reviewed the information presented and recommendation of the Kendall County Zoning, Platting and Advisory Committee, and has forwarded to the Kendall County Board a recommendation of **approval/denial/neutral** of the requested plat of relocation; and

State of Illinois
County of Kendall

Zoning Petition
#19-32

WHEREAS, the Kendall County Board has considered the recommendation of the Planning, Building and Zoning Committee and the recommendation of the Kendall County Zoning, Platting and Advisory Committee, and has determined that said petition is in conformance with the provisions and intent of the Kendall County Zoning Subdivision Control Ordinance and other applicable Ordinances; and

NOW, THEREFORE, BE IT ORDAINED, BY THE COUNTY BOARD OF KENDALL COUNTY, ILLINOIS, as follows:

1. The Kendall County Board hereby grants approval of Petitioners' petition for plat of vacation and relocation of a ten-foot public utility and drainage easement legally described in Exhibit A attached hereto and shown on the site plan attached hereto as Exhibit B Plat of Grant of Easement and Easement Vacation and Relocation.
2. This vacation, relocation, and extension shall become effective upon the successful recording of Exhibit B in the timeframe outlined in Section 7.06.H of the Kendall County Subdivision Control Ordinance unless an extension is granted by the Kendall County Board.

IN WITNESS OF, this ordinance has been enacted by a majority vote of the Kendall County Board and is effective this 15th day of October, 2019.

Attest:

Kendall County Clerk
Debbie Gillette

Kendall County Board Chairman
Scott R. Gryder

Exhibit A

LEGAL DESCRIPTION OF EASEMENT ON LOT 1 TO BE VACATED (PARKS):

The North 10.0 feet of Lot 1 of "HighGrove, Seward Township, Kendall County, Illinois" (except the Easterly 10.0 feet thereof), according to the Plat thereof recorded November 1, 2016 as Document 201600017256.

LEGAL DESCRIPTION OF EASEMENT ON LOT 4 TO BE VACATED (SHARKEY):

The North 10.0 feet of Lot 4 of "HighGrove, Seward Township, Kendall County, Illinois", according to the Plat thereof recorded November 1, 2016 as Document 201600017256.

LEGAL DESCRIPTION OF PARCEL 1 TO BE GRANTED BY PARKS:

That Part of the Northeast Quarter of Section 7, Township 35 North, Range 8 East of the Third Principal Meridian, described as follows: Commencing at the Southeast Corner of said Northeast Quarter; thence North 00°35'24" West, along the East Line of said Northeast Quarter, 1376.0 feet, being the Northeast Corner of "HighGrove, Seward Township, Kendall County, Illinois"; thence South 89°24'36" West, along a Northerly Line of said "HighGrove", 50.0 feet to a Northwesterly Corner of said "HighGrove" being a point on a line 50.0 feet (normally distant) Westerly of and parallel with the centerline of Grove Road for the point of beginning; thence continuing South 89°24'36" West, 391.18 feet to a Southeasterly Corner of a Tract conveyed to the Joliet Park District by Warranty Deed recorded January 23, 2014 as Document 201400001104; thence North 89°49'29" West, 50.81 to the Northerly Extension of the Westerly Line of Lot 1 of said "HighGrove"; thence South 00°35'24" East, along said Northerly Extension, 10.0 feet; thence South 89°49'29" East, 50.74 feet; thence North 89°24'36" East, 381.25 feet; thence South 00°35'24" East, 81.02 feet to the Northerly Line of Lot 1 of said "HighGrove"; thence South 89° 49'29" East, 10.0 feet to the Westerly Line of Grove Road being a point on a line 50.0 feet (normally distant) Westerly of and parallel with the centerline of Grove Road; thence North 00°35'24" West, parallel with said centerline, 91.16 feet to the point of beginning in Seward Township, Kendall County, Illinois.

LEGAL DESCRIPTION OF PARCEL 2 TO BE GRANTED BY SHARKEY:

That Part of the Northeast Quarter of Section 7, Township 35 North, Range 8 East of the Third Principal Meridian, described as follows: Commencing at the Southeast Corner of said Northeast Quarter; thence North 00°35'24" West, along the East Line of said Northeast Quarter, 1376.0 feet, being the Northeast Corner of "HighGrove, Seward Township, Kendall County, Illinois"; thence South 89°24'36" West, along a Northerly Line of said "HighGrove", 50.0 feet to a Northwesterly Corner of said "HighGrove" being a point on a line 50.0 feet (normally distant) Westerly of and parallel with the centerline of Grove Road; thence continuing South 89°24'36" West, 391.18 feet to a Southeasterly Corner of a Tract conveyed to the Joliet Park District by Warranty Deed recorded January 23, 2014 as Document 201400001104; thence North 89°49'29" West, 50.81 feet to the Northerly Extension of the East Line of Lot 4 of said "HighGrove" for the point of beginning; thence North 89°49'29" West, 442.02 feet to a Southeasterly Corner of said Joliet Park District Tract; thence South 00°35'24" East, along an Easterly Line of said Joliet Part District Tract, 10.0 feet; thence South 89°49'29" East, 442.02

feet to the Northerly Extension of the East Line of Lot 4 of said "HighGrove"; thence North $00^{\circ}35'24''$ West, along said Northerly Extension of the East Line of Lot 4 of said "HighGrove", 10.0 feet to the point of beginning in Seward Township, Kendall County, Illinois.

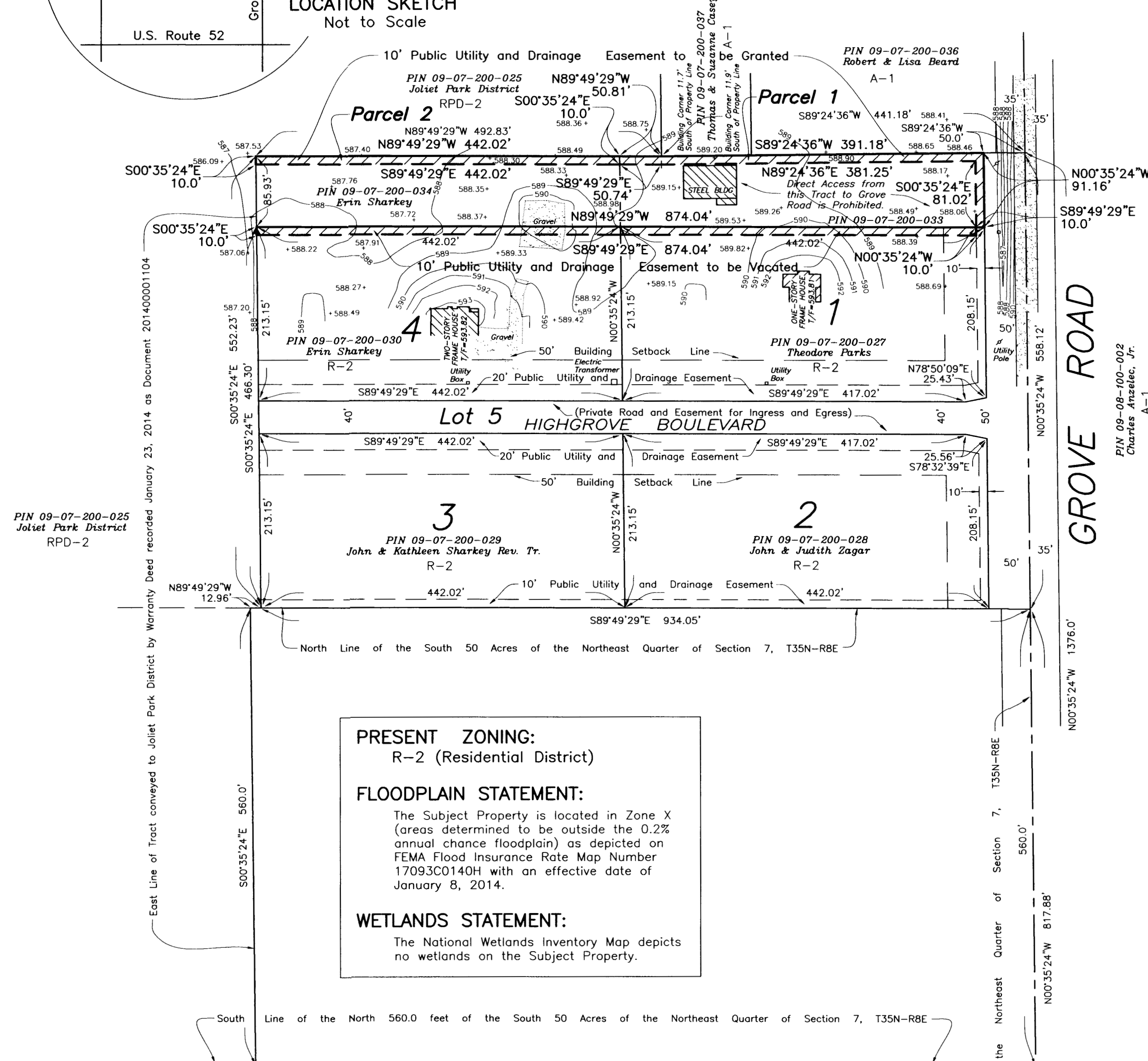
PLAT OF GRANT OF EASEMENT AND EASEMENT VACATION PART OF LOTS 1 AND 4 HIGHGROVE and PART OF THE NORTHEAST QUARTER OF SECTION 7, T35N-R8E, 3rd PM SEWARD TOWNSHIP KENDALL COUNTY ILLINOIS



DEVELOPERS: P.I.N.
Erin Sharkey 09-07-200-030
13315 D Grove Road 09-07-200-034
Minooka, Illinois 60447
Theodore Parks 09-07-200-027
13315 A Grove Road 09-07-200-033
Minooka, Illinois 60447

1107B South Bridge Street
Yorkville, Illinois 60560
Telephone (630)553-1580

Phillip D. Young and Associates, Inc.
LAND SURVEYING - TOPOGRAPHIC MAPPING - Lic.#184-002775



LEGAL DESCRIPTION OF EASEMENT ON LOT 1 TO BE VACATED (PARKS):
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LEGAL DESCRIPTION OF EASEMENT ON LOT 4 TO BE VACATED (SHARKEY):
The North 10.0 feet of Lot 4 of "HighGrove, Seward Township, Kendall County, Illinois", according to the Plat thereof recorded November 1, 2016 as Document 201600017256.

LEGAL DESCRIPTION OF PARCEL 1 TO BE GRANTED BY PARKS:
That Part of the Northeast Quarter of Section 7, Township 35 North, Range 8 East of the Third Principal Meridian, described as follows: Commencing at the Southeast Corner of said Northeast Quarter; thence North 00°35'24" West, along the East Line of said Northeast Quarter, 1376.0 feet, being the Northeast Corner of "HighGrove, Seward Township, Kendall County, Illinois"; thence South 89°24'36" West, along a Northerly Line of said "HighGrove", 50.0 feet to a Northwesterly Corner of said "HighGrove" being a point on a line 50.0 feet (normally distant) Westerly of and parallel with the centerline of Grove Road for the point of beginning; thence continuing South 89°24'36" West, 391.18 feet to a Southeasterly Corner of a Tract conveyed to the Joliet Park District by Warranty Deed recorded January 23, 2014 as Document 201400001104; thence North 89°49'29" West, 50.81 to the Northerly Extension of the Westerly Line of Lot 1 of said "HighGrove"; thence South 00°35'24" East, along said Northerly Extension, 10.0 feet; thence South 89°49'29" East, 50.74 feet; thence North 89°24'36" East, 381.25 feet; thence South 00°35'24" East, 81.02 feet to the Northerly Line of Lot 1 of said "HighGrove"; thence South 89°49'29" East, 10.0 feet to the Westerly Line of Grove Road being a point on a line 50.0 feet (normally distant) Westerly of and parallel with the centerline of Grove Road; thence North 00°35'24" West, parallel with said centerline, 91.16 feet to the point of beginning in Seward Township, Kendall County, Illinois.

LEGAL DESCRIPTION OF PARCEL 2 TO BE GRANTED BY SHARKEY:
That Part of the Northeast Quarter of Section 7, Township 35 North, Range 8 East of the Third Principal Meridian, described as follows: Commencing at the Southeast Corner of said Northeast Quarter; thence North 00°35'24" West, along the East Line of said Northeast Quarter, 1376.0 feet, being the Northeast Corner of "HighGrove, Seward Township, Kendall County, Illinois"; thence South 89°24'36" West, along a Northerly Line of said "HighGrove", 50.0 feet to a Northwesterly Corner of said "HighGrove" being a point on a line 50.0 feet (normally distant) Westerly of and parallel with the centerline of Grove Road; thence continuing South 89°24'36" West, 391.18 feet to a Southeasterly Corner of a Tract conveyed to the Joliet Park District by Warranty Deed recorded January 23, 2014 as Document 201400001104; thence North 89°49'29" West, 50.81 feet to the Northerly Extension of the East Line of Lot 4 of said "HighGrove" for the point of beginning; thence North 89°49'29" West, 442.02 feet to a Southeasterly Corner of said Joliet Park District Tract; thence South 00°35'24" East, along an Easterly Line of said Joliet Park District Tract, 10.0 feet; thence South 89°49'29" East, 442.02 feet to the Northerly Extension of the East Line of Lot 4 of said "HighGrove"; thence North 00°35'24" West, along said Northerly Extension of the East Line of Lot 4 of said "HighGrove", 10.0 feet to the point of beginning in Seward Township, Kendall County, Illinois.

PRESENT ZONING:
R-2 (Residential District)

FLOODPLAIN STATEMENT:
The Subject Property is located in Zone X (areas determined to be outside the 0.2% annual chance floodplain) as depicted on FEMA Flood Insurance Rate Map Number 17093C0140H with an effective date of January 8, 2014.

WETLANDS STATEMENT:
The National Wetlands Inventory Map depicts no wetlands on the Subject Property.

AREA TO BE VACATED:
Parks (Part of Lot 1) 4320.2 sq.ft. = 0.09178 acre
Sharkey (Part of Lot 4) 4420.2 sq.ft. = 0.10147 acre

AREA TO BE GRANTED:
Parks (Parcel 1) 5230.8 sq.ft. = 0.12081 acre
Sharkey (Parcel 2) 4420.2 sq.ft. = 0.10147 acre

PUBLIC UTILITY EASEMENT PROVISIONS:
An easement for serving the subdivision and other property with natural gas, electric and communications service is hereby reserved for and granted to COMMONWEALTH EDISON, SBC-AMERITECH, CABLE TELEVISION FRANCHISE, NICOR AND GRANTEEES, their respective successors and assigns, jointly and severally, to install, operate, maintain and remove, from time to time, facilities used in conjunction with underground transmission and distribution of natural gas and electricity, sounds, signals in, over, under, across, along and upon the surface of the property shown within the dashed lines on the plat and marked "Public Utility Easement", the property designated in the Declaration of Condominium and/or on this plat as "Common Elements", and the property designated on the plat for streets and alleys, whether public or private, together with the right to install required service connections over or under the surface of each lot and common area or areas to serve improvements, thereon, or on adjacent lots, and common areas or areas, the right to cut, trim or remove trees, bushes and roots as may be reasonably required incident to the rights herein given, and the right to enter upon the subdivided property for all such purposes. Obstructions shall not be placed over grantee's facilities or in, upon or over the property within the dashed lines marked "Public Utility Easement" without the prior written consent of grantee. After installation of any such facilities, the grade of the subdivided property shall not be altered in a manner so as to interfere with proper operation and maintenance thereof.

The term "Common Elements" shall have the meaning set forth for such term in the "Condominium Property Act", Chapter 765 ILCS 605/2(e), as amended from time to time.

The term "common area or areas" is defined as a lot, parcel or area of real property, the beneficial use and enjoyment of which is reserved in whole or as an appurtenance to the separately owned lots, parcels or areas within the planned development, even though such be otherwise designated on the plat by terms such as "outlots", "common elements", "open spaces", "open area", "common ground", "parking and common area". The terms "common area or areas" and "Common Elements" includes real property physically occupied by a building, Service Business District or structures such as a pool or retention pond, or mechanical equipment.

Relocation of facilities will be done by Grantees at cost of Grantor/Lot Owner, upon written request.

DRAINAGE EASEMENT AND DETENTION EASEMENT PROVISIONS:
An easement is hereby reserved for and granted to the County of Kendall, Illinois, and its successors and assigns over all of the areas marked "Drainage Easement" and "Detention Easements" on the plat hereon drawn for the perpetual right, privilege and authority to construct, reconstruct, repair, inspect, maintain, and operate storm sewers and the storm water detention ponds, together with any and all necessary manholes, catch basins, connections, ditches, swales and other structures and appurtenances as may be deemed necessary by said County upon, along, under and through said indicated easement, together with the right of access across the property for necessary men and equipment to do any of the above work. The right is also granted to cut down, trim or remove any trees, shrubs or other plants on the easements that interfere with the operation of the sewers or other utilities. No permanent buildings shall be placed on said easement. No changes to the topography or storm water management structures within the easement area shall be made without the express written consent of said County, but the same may be used for the purposes that do not then or later interfere with the aforesaid rights. The owner of the property shall remain responsible for the maintenance of the storm water detention pond and appurtenances.

State of Illinois }
County of Kendall } SS

I, Phillip D. Young, an Illinois Professional Land Surveyor and an officer of Phillip D. Young and Associates, Inc., state that I have platted the above described property for the purpose of granting and vacating a Public Utility and Drainage Easement as shown hereon.

Dated September 25, 2019 at Yorkville, Illinois

Phillip D. Young
Illinois Professional Land Surveyor No. 2678 (Expires 11/30/20)



State of Illinois }
County of Kendall } SS

This is to certify that I, Erin Sharkey, am the owner of Lot 4 of "HighGrove, Seward Township, Kendall County, Illinois", and have caused the same to be platted as shown on the annexed plat for the uses and purposes therein set forth, and do hereby acknowledge and adopt the same under the style and title aforesaid.

Dated at _____, Illinois this ____ day of _____, 20____.

Erin Sharkey
Address: _____

State of Illinois }
County of Kendall } SS

I, _____, a Notary Public in and for the County and State aforesaid, do hereby certify that Erin Sharkey, who is personally known to me to be the same person whose name is subscribed to the foregoing Owner's Certificate, appeared before me this day, in person, and acknowledged that she signed and delivered the annexed plat as her own free and voluntary act for the uses and purposes therein set forth.

Given under my hand and notarial seal this ____ day of _____, 20____.

My commission expires _____
Notary Public

State of Illinois }
County of Kendall } SS

This is to certify that I, Theodore Parks, am the owner of Lot 1 of "HighGrove, Seward Township, Kendall County, Illinois", and have caused the same to be platted as shown on the annexed plat for the uses and purposes therein set forth, and do hereby acknowledge and adopt the same under the style and title aforesaid.

Dated at _____, Illinois this ____ day of _____, 20____.

Theodore Parks
Address: _____

State of Illinois }
County of Kendall } SS

I, _____, a Notary Public in and for the County and State aforesaid, do hereby certify that Theodore Parks, who is personally known to me to be the same person whose name is subscribed to the foregoing Owner's Certificate, appeared before me this day, in person, and acknowledged that he signed and delivered the annexed plat as his own free and voluntary act for the uses and purposes therein set forth.

Given under my hand and notarial seal this ____ day of _____, 20____.

My commission expires _____
Notary Public

COMMONWEALTH EDISON COMPANY hereby consents to said vacation of easement this ____ day of _____, 20____.

By: _____ Attest: _____
Agent for Commonwealth Edison Company

SBC-AMERITECH hereby consents to said vacation of easement this ____ day of _____, 20____.

By: _____ Attest: _____
Agent for SBC-Ameritech

NICOR hereby consents to said vacation of easement this ____ day of _____, 20____.

By: _____ Attest: _____
Agent for NICOR

CABLE TELEVISION FRANCHISE hereby consents to said vacation of easement this ____ day of _____, 20____.

By: _____ Attest: _____
Agent for Cable Television Franchise

SCALE
1"=100'

- Indicates Iron Stake Found
- Indicates Iron Stake Set
- Indicates Line of Fence
- +588.33 Indicates Spot Elevation
- 588— Indicates Contour Elevation

BENCHMARKS -- (NAVD 88)

Control BM - Kendall County Highway Dept. Benchmark #308 - Brass Tablet on Southeast Wingwall of Grove Road Bridge over West Aux Sable Creek south of Van Dyke Road. Elev = 583.45

Site BM#3 - Magnail at edge of pavement at Southwest Corner of Lot 4. Elevation = 590.69

Site BM#2 - Magnail at edge of pavement at Southeast Corner of Lot 4. Elevation = 592.64

COUNTY BOARD CERTIFICATE
State of Illinois }
County of Kendall } SS
Approved by the County Board of Kendall County, Illinois, this ____ day of _____, 20____.

Chairman of County Board

County Clerk

COUNTY RECORDER CERTIFICATE
State of Illinois }
County of Kendall } SS
This instrument No. _____ was filed for record in the Recorder's Office of Kendall County, aforesaid, on the ____ day of _____, 20__ at _____ o'clock ____M.

Kendall County Recorder

September 25, 2019

**PUBLIC NOTICE
KENDALL COUNTY
KENDALL COUNTY PLANNING, BUILDING & ZONING COMMITTEE **

Notice is hereby given that the Kendall County Planning, Building and Zoning Committee shall hold their regularly scheduled meetings for Fiscal Year 2019-2020 on the Monday of the week prior to the second Kendall County Board meeting of each month at 6:30 p.m. unless that date is a holiday in which case the meeting shall be held the next business day at 6:30 p.m. at the Kendall County Office Building, Room 209 & 210 at 111 West Fox Street, Yorkville, IL.

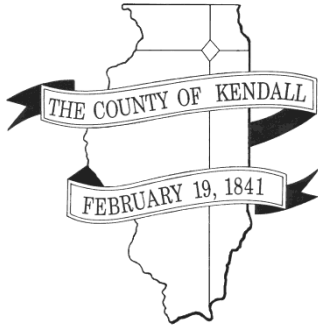
The specific dates of these meetings are as follows:

December 9, 2019	January 13, 2020	February 10, 2020	March 9, 2020
April 13, 2020	May 11, 2020	June 8, 2020	July 13, 2020
August 10, 2020	September 8, 2020	October 13, 2020	November 9, 2020

Questions can be directed to the same department, telephone (630) 553-4139. Fax (630) 553-4179. All interested persons may attend and be heard. Written comments should be directed to the Department but shall only be entered as part of the record at the discretion of the Kendall County Planning, Building and Zoning Committee.

If special accommodations or arrangements are needed to attend these County meetings, please contact the Administration Office at 630-553-4171, a minimum of 24-hours prior to the meeting time.

**MATTHEW G. PROCHASKA, CHAIRMAN
KENDALL COUNTY PLANNING, BUILDING AND ZONING COMMITTEE**



DEPARTMENT OF PLANNING, BUILDING & ZONING

111 West Fox Street • Room 204

Yorkville, IL • 60560

(630) 553-4141

Fax (630) 553-4179

MEMORANDUM

To: Kendall County Planning, Building & Zoning Committee
From: Matthew H. Asselmeier, AICP, Senior Planner
Date: September 25, 2019
Re: Request from Michael Isadore to Renew a Special Use Permit at 15331 Burr Oak Road

In 1982, the Kendall County Board granted a special use permit for swimming lessons at 15331 Burr Oak Road (Ordinance 1982-2). Restriction #1 of this special use permit required annual renewal by the County Board/Committee.

On September 10, 2019, the property owner, Michael Isadore, submitted the attached email requesting the special use permit be renewed.

If you have any questions, please let me know.

MHA

ENC: Ordinance 1982-2
September 25, 2019 Email from Michael Isadore

Bad legal
think it is

Pt 01-33-400-005

ORDINANCE 82-2
AMENDING KENDALL COUNTY ZONING ORDINANCE AS AMENDED

82-03

WHEREAS, the Kendall County Board did petition the Zoning Board of Appeals of Kendall County for a public hearing in the manner required by law and the ordinances of Kendall County, Illinois for a proposed amendment to the Kendall County Zoning Ordinance adopted January 16, 1940; and

WHEREAS, said Zoning Board of Appeals did thereupon publish notice of a hearing on said proposed amendment to said Zoning Ordinance as provided by the Statutes of the State of Illinois, and did then hold a public hearing on said proposed amendment on the 29th day of April, 1982, A.D., on the site described in the petition and at the conclusion of said hearing said Zoning Board of Appeals voted in favor of recommending to the County Board of Kendall County, Illinois that the petition be granted and the Zoning maps and ordinance be amended in the manner required by law; and

NOW THEREFORE, BE IT ORDAINED by the County Board of Kendall County, Illinois that the following described property be and it is hereby rezoned from A1, Agriculture District to ALSU for the purpose of setting standards and restrictions for swimming instruction classes, and that the County Clerk be and she is hereby ordered and directed to change the zoning map, to show the change in zoning classification:

That part of the Southeast Quarter of Section 33, Township 37 North, Range 6 East of the Third Principal Meridian, described as follows: Commencing at the Southeast corner of said Section 33; thence West on the South line of said Section, 952 feet to the center line extended Southeasterly of a public highway running Northwesterly through said quarter-section; thence North 34° 43' 30" West on the center line of said public highway and forming an angle of 53° 19' 30" as measured from West to North with the Southline of said Section 33, 1,992.9 feet to a point of beginning; thence North 55° 16' 30" East at right angles to the center line of said highway 315.15 feet; thence South 34° 43' 30" West, 372 feet to the point of beginning; in the Township of Little Rock, Kendall County, Illinois.

BE IT FURTHER ORDAINED that the above special use classification shall be expressly made subject to the following conditions:

1. Renewal annually by County Board/Committee.
2. Operations regulations:
 - a. Season June 1 thru August 31
 - b. Monday thru Saturday, 9 a.m. to 6 p.m.
3. Off street parking on north side of street only.
4. Copy of lease to be reviewed by County Board/Committee prior to Special Use approval.
5. No additional facilities be constructed as accessory uses to the Special Use without prior approval of County Board/Committee.
6. No concession structure be built and sales to be limited to pool users only. Health permit and sales tax reporting, enforced.
7. Pool can be leased to a non-profit organization only.

PASSED THIS 11th day of May, 1982.

Robert J. Chirco
Chairman, County Board of
Kendall County, Illinois

ATTEST:

Jean P. Brady
County Clerk

[Handwritten signature]

Matt Asselmeier

From: mike isadore <[REDACTED]>
Sent: Tuesday, September 10, 2019 7:13 PM
To: Matt Asselmeier
Subject: [External]15331 BURR OAK RD SPECIAL USE PERMIT FOR SWIMMING LESSONS

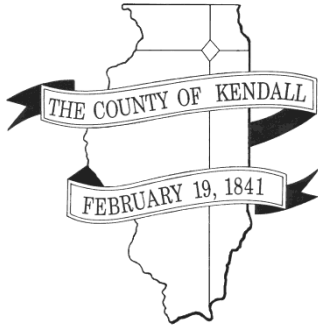
Hello Matt

I do wish to renew the special use of the pool on my property at 15331 burr oak road Plano IL 60545, PT-01-33-400-005 Please let me know if you need any further information from me, If possible can you please kindly confirm that you got this email.. Thank you very much and hope you have a great week.

Sincerely

Michael Isadore
property owner
[REDACTED]

--
This email was Malware checked by UTM 9. <http://www.sophos.com>



DEPARTMENT OF PLANNING, BUILDING & ZONING

111 West Fox Street • Room 204

Yorkville, IL • 60560

(630) 553-4141

Fax (630) 553-4179

MEMORANDUM

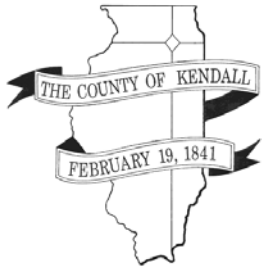
To: Kendall County Planning, Building and Zoning Committee
From: Matthew H. Asselmeier, AICP, Senior Planner
Date: September 17, 2019
Re: Proposed 2020 Noxious Weed Comprehensive Work Plan

Kendall County is required by Illinois law to submit an annual Noxious Weed Comprehensive Work Plan to the State by November 1st of each year. Attached please find the proposed 2020 Kendall County Noxious Weed Comprehensive Work Plan. This proposal is the same as the 2019 Noxious Weed Comprehensive Work Plan.

If you have any questions, please let me know.

MHA

Enc: Proposed 2020 Kendall County Noxious Comprehensive Work Plan



**KENDALL COUNTY
COMPREHENSIVE NOXIOUS WEED WORK PLAN
2020**

As required by the Illinois Noxious Weed Law (505 ILCS 100), the County of Kendall submits the following Comprehensive Work Plan for calendar year 2020.

Kendall County shall engage in the following activities:

1. Continuously work with residents, property owners, municipalities, townships, other counties, and Federal and State agencies to identify, investigate, control and eliminate noxious weeds found within the County.
2. In the event that the location of a noxious weed is reported on private property or property not owned by Kendall County, the County shall forward the complaint to the local municipality and/or township. The local municipality and/or township shall be the lead agency for investigating and resolving the issue. The municipality or township shall follow applicable laws to resolve the issue.
3. Monitor County owned properties and rights-of-way as part of general property maintenance. If noxious weeds are found on County owned property, the County shall take steps to eradicate the weeds and include the information in its annual noxious weed report to the State.
4. Work with local municipalities and townships to track and report noxious weed allegations and incidents for inclusion in the annual noxious weed report to the State. The County will ask each municipality and township for a summary of activities related to the eradication of noxious weeds for inclusion in the annual noxious weed report to the State.
5. Publish the General Notice at least one time annually in a newspaper of general circulation in Kendall County. The General Notice shall be published in the first quarter of the year upon approval of the County Board.
6. Advise persons responsible for controlling and eradicating noxious weeds of the best and most practical methods for noxious weed control and eradication.
7. Complete applicable reports as required by State law.

This Comprehensive Work Plan was approved by the Kendall County Board on October 15, 2019.

Respectively Submitted,

Scott R. Gryder
Kendall County Board Chairman

Date



KENDALL COUNTY

ADMINISTRATIVE SERVICES DEPARTMENT

To: PBZ Committee; Matt Prochaska (Chair), Matt Kellogg (Vice Chair), Elizabeth Flowers, Scott Gengler, Judy Gilmour

From: Mera Johnson, HR Risk Management & Compliance Coordinator

Re: Code Enforcement Officer (Part Time) & Code Official Job Description Revision Memo

Please find the Code Enforcement Officer (Part Time) position job description attached. The job description has been reviewed by the State's Attorney Office and all proposed changes have been incorporated except for the bullet points noted below.

1. Under Essential Duties item A. non-permitted was questioned. Please see my explanation. An essential function of a Code Enforcement Officers Job is to respond to calls of non-permitted work being done or if they observe an non permitted project going on to address it. Non permitted construction is an item on to itself, not a description.
2. Under Essential Duties I added item F per discussions with Brian the Code Official. This person can assist with certain inspections.
3. Under Essential Duties J. I changed it to be more specific about what vehicle violations so it doesn't seem like tickets. Specifically junk and debris and inoperable vehicles.
4. Under Other Skills Knowledge and Abilities, the last item I kept the confidentiality clause, per Matt, the Senior Planner. It was suggested we go into more detail; however, I wasn't sure what to add. I know that perhaps for specific investigations, or even potential development confidentiality is appreciated.

Please find the Code Official job description attached. This was reviewed by the State's Attorney Office in 2016 but never finalized. I have incorporated all of the suggested changes and included additional changes suggested from the more recent review of the Code Enforcement Officer (Part Time) position. Please see the changes I have questions about below.

1. Under Education I added that an employee had 6 months to get certification. We could be excluding some qualified candidates that for example, have a plumbing license or experience in code enforcement. This is standard in the industry. However, it was mentioned the previous Board was opposed to this and wanted to hire only someone who already had the code certification.

Kendall County Job Description

TITLE: Code Enforcement Officer – Part Time
DEPARTMENT: Planning, Building and Zoning (PBZ)
SUPERVISED BY: County Administrator
FLSA STATUS: Non Exempt
APPROVED:

I. Position Summary:

Investigates complaints of possible violations of the Kendall County Zoning Ordinance and other applicable local, state and federal zoning laws and regulations (“Zoning Ordinances, Laws and Regulations”); provides information to the public on zoning requirements and home construction project violations; and obtains, where possible, voluntary compliance with Zoning Ordinances, Laws and Regulations. Under general supervision, has authority to request the removal or alteration of conditions or materials, which violate applicable Zoning Ordinances, Laws and Regulations. The employee will conduct field inspection duties independently, according to adopted Zoning Ordinances Laws and Regulations

II. Essential Duties and Responsibilities:

- A. Investigates complaints regarding the Zoning Ordinances, Laws and Regulations, including, but not limited to non-permitted construction, excavation, trailers, dumping, signs, junk vehicles and weeds, mobile homes and campgrounds.
- B. Conducts field inspections identifies property and building deficiencies that don't comply with applicable Zoning Ordinances, Laws and Regulations.
- C. Contacts persons responsible for violations and issues notice to discontinue, remove or alter conditions which conflict with Zoning Ordinances, Laws and Regulations.
- D. Prepares investigative documentation, including memoranda and photographs required to support findings.
- E. Maintains on-going surveillance of assigned area for compliance with Zoning Ordinances, Laws and Regulations.
- F. Assists Building Official as necessary with any non-licensed inspections such as concrete, flatwork, foundation, form survey and insulation
- G. Attends court, as needed, regarding violation cases submitted for prosecution.
- H. Assists the State's Attorney's Office in pursuing ordinance violations, including, drafting and signing necessary and appropriate documents.
- I. Performs property record searches to determine accuracy of data such as location, ownership, district and legal description.

- J. Issues inoperable vehicle and junk and debris ordinance violation notices.
- K. Coordinates investigations with Law Enforcement, the Health Department and other investigative agencies, as needed.
- L. Prepares and maintains records regarding and relating to all duties performed by the employee, including but not limited to inspection logs, photographs, violation notices, reports of findings, records of inspections and review.
- M. Evaluates the code compliance process and provides recommendations for improvements to direct supervisor.
- N. Travels throughout Kendall County for zoning ordinance, law and regulation compliance purposes.
- O. Operates county vehicle safely.
- P. Performs other duties as assigned by supervisor.
- Q. Attends conferences, seminars, training, meetings and prepares reports, as needed.
- R. Adheres to all work and safety polices.
- S. Follows governmental functions of development regulation and the role of the employee as service provider.
- T. Maintain regular communication with his or her supervisor.

III. Supervisory Responsibilities:

This job has no supervisory responsibilities

IV. Qualifications:

To perform this job successfully, an individual must be able to perform all essential duties satisfactorily. The requirements listed below are representative of the knowledge, skills and/or ability required for the position.

A. Language Skills:

- Ability to research, read, and interpret documents and simple instructions.
- Ability to prepare documents, reports, minutes, agendas, and correspondence.
- Ability to speak effectively with the public, employees, outside entities, vendors, and the County's elected officials in both a one-on-one and group settings.
- Requires proficiency in the English language, spelling, and grammar.

B. Mathematical Skills:

- Ability to add, subtract, multiply and divide in all units of measure, using whole numbers, common fractions, and decimals.
- Ability to compute rate, ratio, and percent and to draw and interpret bar graphs.

C. Reasoning Ability:

- Ability to apply common sense understanding to carry out instructions furnished in written, oral, or diagram form.
- Ability to deal with problems involving several concrete variables in standardized situations.
- Ability to analyze problems, identify alternative solutions, project consequences of proposed actions, and implement recommendations.
- Ability to evaluate situations and draw conclusions.

D. Other Skills, Knowledge and Abilities

- Strong organizational skills and attention to detail.
- Knowledge of zoning and related regulations and of the provisions of the County Zoning Ordinance.
- Knowledge of methods and practices used in construction, repair, and land survey.
- Basic knowledge of building codes and their application for purposes of evaluating buildings and their condition.
- Basic knowledge of the County geography.
- Knowledge of applicable federal, state, and local laws, rules, regulations, codes, and/or statutes.
- Ability to interpret plans and specifications.
- Ability to gather violation data and ownership information based on field observation.
- Knowledge of and ability to use investigative questioning techniques.
- Proficient knowledge of MS Word, Excel, Outlook, Power Point.
- Ability to learn procedures, rules, regulations and services applicable to the assigned office.
- Ability to manage projects and multiple priorities simultaneously.
- Ability to establish and maintain effective working relationships with department and staff, other departments, elected officials and others, such as vendors and the general public.
- Ability to work with confidential information.

E. Education and Experience:

- A minimum of a high school diploma or GED is required.
- Code enforcement, law enforcement or other administrative experience is preferred.
- Valid and current Illinois Driver's License and good driving record is required.

VI. Physical Demands:

While performing the duties of this job, the employee must be able to:

- Frequently sit for hours in meetings and/ or a vehicle;
- Occasionally lift and or move up to 40 pounds;
- Frequently lift and/or move up to 10 pounds;
- Stand and walk on uneven ground and at development sites;
- Use hands to finger, handle, or feel;
- Reach, push and pull with one and/or both hands and arms;
- Bend over at the waist and reach with one and/or both hands and arms;
- Climb and balance at sites;
- Stoop, kneel, crouch and or crawl;
- Talk and hear in person and via use of telephone;
- Operate County vehicles and;
- Specific vision abilities include close and distance vision, depth perception; and

- Travel independently to various sites, public hearings and other meetings and locations both within and outside Kendall County

VII. Work Environment:

The work environment characteristics described here are representative of those an employee encounters while performing the essential functions of this job. While performing the duties of this job, the employee is subject to the following working conditions:

- Inside and outside environmental conditions.
- Will be exposed to driving and onsite construction conditions.
- The noise level in the work environment varies from quiet to noisy.
- The employee must be able to perform all assigned job duties during normal business hours and outside of normal business hours.
- The employee may be exposed to stressful situations while working with elected officials, consultants, attorneys, applicants and the general public.
- The employee may be required to provide own transportation to travel to and from meetings, training, conferences, etc.

By signing my name below, I hereby affirm that I received a copy of this job description.

Employee Receipt Acknowledgement & Signature

Date

Signature of Supervisor
cc: personnel file, employee

Date

Kendall County Job Description

TITLE: Code Official – Planning, Building and Zoning
DEPARTMENT: Planning, Building and Zoning (PBZ)
SUPERVISED BY: County Administrator
FLSA STATUS: Non Exempt
APPROVED: In Process

I. Position Summary:

Manages, coordinates, and conducts building related activities related to the Kendall County Zoning Ordinance and other applicable local, state and federal building and zoning regulations. Under general supervision, performs work of moderate difficulty in reviewing building permit applications, plan review and inspecting new and existing structures for compliance with all applicable codes, ordinances.

II. Essential Duties and Responsibilities:

- A. Explains, applies, and enforces the Kendall County Zoning Ordinance and all other applicable local, state and federal building and zoning codes, ordinances and regulations.
- B. Interprets and applies all provisions of the building, electrical, plumbing, and related codes and advises the Planning Building and Zoning Committee on building code matters.
- C. Enforces zoning, subdivision, flood plain, building, erosion control, storm water management, and related codes at county, state, and national levels.
- D. Performs plan reviews and inspections issues permits accordingly.
- E. Researches and updates pending building code revisions.
- F. Coordinates with the Office Assistant to schedule inspections and manage the inspection calendar.
- G. Coordinates outside plan reviewers to schedule and perform inspections in their absence.
- H. Consults with and advises property owners, builders, architects, engineers, attorneys, surveyors, to ensure project compliance. Responds to technical inquiries regarding code and ordinance interpretation.
- I. Issues building and sign permits.
- J. Reviews permit applications, plans, drawings, and other documents for completeness, accuracy, and code compliance.
- K. Performs final inspection of construction projects at completion and issues of certificates of occupancy.
- L. Conducts inspections of permitted construction such as setback, footing, foundation, backfill, framing, wiring, damage and determines safety.
- M. Inspects signs and fences for compliance with County building and zoning specifications.
- N. Conducts investigations of alleged violations such as non-permitted construction, excavation, trailers, dumping, signs, junk vehicles, and weeds, permitted signs and mobile homes, campground and building inspections.
- O. Evaluates the building code compliance process and provides recommendations for improvements to forms, scheduling, fees, record keeping, and other County building and zoning related procedures, which recommendations are given particular weight by the final decision-maker.
- P. Prepares and maintains records regarding and relating to all job duties performed by the Code Official including, but not limited to, inspection logs, photographs of violations, reports of findings, records of permits, plan reviews, inspections, etc.
- Q. Travels throughout Kendall County for zoning/code compliance purposes.
- R. Operates county vehicle and arranges for maintenance and repairs of said vehicle.
- S. Performs other duties as assigned by supervisor.
- T. Adheres to all work and safety policies.

Kendall County Job Description

- U. Maintains regular attendance and is punctual.
- V. Attends conferences, seminars, training, meetings and prepares reports as needed.
- W. Follows government functions of development regulation and the role of the employee as a service provider.
- X. Maintain regular communication with his or her supervisor.

III. Supervisory Responsibilities:

This job has no supervisory responsibility.

IV. Qualifications:

To perform this job successfully, an individual must be able to perform all essential duties satisfactorily. The requirements listed below are representative of the knowledge, skill, and/or ability required for the position.

A. Language Skills:

- Ability to research, read, and interpret documents and simple instructions.
- Ability to prepare documents, reports, minutes, agendas, and correspondence.
- Ability to speak effectively with the public, employees, outside entities, vendors, and the County's elected officials in both a one-on-one and group settings.
- Requires proficiency in the English language, spelling, and grammar.

B. Mathematical Skills:

- Ability to add, subtract, multiply and divide in all units of measure, using whole numbers, common fractions, and decimals.
- Ability to compute rate, ratio, and percent and to draw and interpret bar graphs.

C. Reasoning Ability:

- Ability to apply common sense understanding to carry out instructions furnished in written, oral, or diagram form.
- Ability to deal with problems involving several concrete variables in standardized situations.
- Ability to analyze problems, identify alternative solutions, project consequences of proposed actions, and implement recommendations.
- Ability to evaluate situations and draw conclusions.

D. Skills, Knowledge and Abilities:

- Strong organization skills and attention to detail.
- Knowledge of zoning and related regulations and of the provisions of the County Zoning Ordinance.
- Knowledge of the principles and practices of construction, repair and land survey.
- Knowledge of construction, development regulations, and building plans, trades and codes including BOCA, CABO, National Electric Code, and others.
- Ability to comprehend complex code problems, to identify alternative solutions and prepare appropriate recommendations.
- Knowledge of building and property maintenance codes and ordinances.
- Ability to analyze and interpret plans and determine whether plans conform to the provisions of applicable codes and ordinances.
- Basic knowledge of the County geography.

Kendall County Job Description

- Knowledge of applicable federal, state and local laws, rules, regulations, codes and/or statues
- Ability to investigate code violation complaints.
- Ability to work with confidential information.
- Ability to establish and maintain effective working relationships with Department staff, other Departments, Elected Officials and others such as contractors and the general public.
- Ability to use MS Word Excel, Outlook, PowerPoint.
- Ability to manage projects and multiple priorities simultaneously.

E. Education and Experience:

- A minimum of a high school diploma or General Education Degree is required.
- A minimum of at least four (4) years in construction and building experience is required.
- A minimum of at least two (2) years building/code inspector experience is preferred
- Valid and current Illinois Driver's License and good driving record is required.
- All other licenses and certifications required to perform assigned job duties.
- Must obtain certification by ICC or a comparable organization as a qualified building official, or inspector of residential and non-residential structures during the probationary period.

V. Physical Demands:

While performing the duties of this job, the employee must be able to:

- Frequently sit for hours in meetings, office and/or a vehicle;
- Occasionally lift and/or move up to 40 pounds;
- Frequently lift and/or move up to 10 pounds.
- Stand and walk on uneven ground and at development sites;
- Use hands to finger, handle, or feel;
- Reach, push and pull with one and/or both hands and arms;
- Bend over at the waist and reach with one and/or both hands and arms;
- Climb and balance at development sites;
- Stoop, kneel, crouch, and/or crawl;
- Talk and hear in person and via use of telephone;
- Operate County vehicles and safety equipment;
- Specific vision abilities include close and distance vision, depth perception; and
- Travel independently to development sites, public hearings and other meetings and other locations both within and outside Kendall County, Illinois.

VI. Work Environment:

The work environment characteristics described here are representative of those an employee encounters while performing the essential functions of this job. While performing the duties of this job, the employee is subject to the following working conditions:

- Inside and outside environmental conditions.
- Will be exposed to driving and onsite construction conditions.
- The noise level in the work environment varies from quiet to noisy.
- The employee must be able to perform all assigned job duties during normal business hours and outside of normal business hours.
- Employee may be exposed to stressful situations while working with elected officials, consultants, attorneys, applicants, and the general public.

Kendall County Job Description

- Employee may be required to provide own transportation to travel to and from meetings, training, conferences, etc.

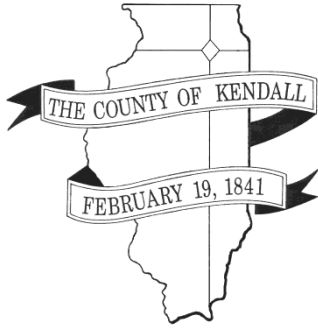
By signing my name below, I hereby affirm that I received a copy of this job description.

Employee Receipt Acknowledgement & Signature

Date

Signature of Supervisor
cc: personnel file, employee

Date



DEPARTMENT OF PLANNING, BUILDING & ZONING

111 West Fox Street • Room 204

Yorkville, IL • 60560

(630) 553-4141

Fax (630) 553-4179

MEMORANDUM

To: Kendall County Planning, Building and Zoning Committee
From: Matthew H. Asselmeier, AICP, Senior Planner
Date: September 25, 2019
Re: Land Cash Ordinance

At the September 9, 2019, Planning, Building and Zoning Committee meeting, the Committee requested Andy Nicoletti to calculate fair market values by school district using the same calculation that obtained the proposed fair market value of \$47,121 for the entire County (the weighted average of all lot sales on a dollar per acre basis throughout Kendall County for a 3-year period). The school district information, for sales both inside and outside municipalities, are as follows:

Newark-\$20,752
Oswego-\$58,328
Plano-\$43,844
Sandwich-\$52,141
Yorkville-\$49,328

No sales occurred in the Kendall County portion of the Plainfield, Lisbon, or Minooka school districts during the previous 3 years.

The current fair market value contained in the Land Cash Ordinance is \$72,680.

Also, the Regional Office of Education reported that enrollment figures will not be available until October 15th.

If you have any questions regarding this memo, please let me know.

Thanks,

MHA

KENDALL COUNTY
RECREATIONAL VEHICLE PARK
AND CAMPGROUND REGULATIONS

1.00 PURPOSE

This ordinance is designed to:

- 1.01 Protect and maintain productive agricultural lands;
- 1.02 Protect and maintain the future development of agricultural operations by protecting existing agricultural operations from incompatible uses;
- 1.03 Prevent excessive increases in public service costs by directing proposed campgrounds to areas served by or adjacent to public service facilities;
- 1.04 Protect the County's high quality recreational resource areas including wooded areas, natural watercourses, ponds, wetlands, unique topographic features, and slopes exceeding 10%, and,
- 1.05 Insure that Recreational Vehicle Parks and Campgrounds maintain the high quality of the County's recreational resource areas.

2.00 DEVELOPMENT APPLICATION AND SITE PLAN REQUIREMENTS

2.01 All applications for a permit to operate a recreational vehicle park or campground shall contain the following:

- a. Name, address and telephone number of applicant.
- b. Percentage of interest of the applicant and/or owners in the proposed campground.
- c. Name and address of all persons holding an interest or having an interest in the proposed campground.
- d. Location, address and legal description of the entire proposed campground.
- e. Existing zoning of subject property and all adjacent properties.
- f. Complete engineering plans and specifications of the proposed campground showing:
 1. The area and dimensions of the entire tract of land;
 2. The number, location and size of all lots intended for use by recreational vehicles or tents;
 3. The number, location and size of all unimproved, partially improved and fully improved lots;
 4. The location, right-of-way and surfaced roadway width and surfacing materials of roadways and walkways;
 5. The location of proposed interior vehicular and pedestrian circulation patterns;
 6. The location of service buildings, sanitary stations and any other existing or proposed structures;
 7. The location of water and sewer lines;
 8. Plans and specifications of all buildings constructed or to be constructed within the campground;
 9. Plans and specifications of the water supply, refuse and sewage disposal facilities, pet exercise and sanitation areas;

10. The location and details of lighting and electrical systems;
11. The location of fire hydrants, if provided;
12. Location of all drainage easements to comply with County drainage plans.
13. Quantity and point or area of departure of storm water runoff prior to and subsequent to construction of the proposed RV park.
14. Erosion control and landscaping plans;
15. Kendall County ASCS soils report;
16. The calendar months of the year during which the applicant will operate the proposed campground.

Where a campground development is proposed for construction in a series of stages, a master plan for the development of the entire tract of land shall be submitted along with the detailed plans and specifications for the initial stage, as well as any subsequent stages.

2.02 Every application for the construction, operation, maintenance and occupancy for a campground shall be accompanied with plans and specifications, fully setting out the trailer spaces, the position of each RV, motor vehicle parking spaces, the driveway giving access thereto and a plan of landscaping. Before any permit is issued for a campground and the use thereof, the plans and specifications shall first be approved by the Kendall County Building and Zoning Department and the Kendall County Health Department, taking into account all the provisions as set out herein, as well as such special conditions as may be imposed by the Kendall County Board or its specified subcommittee, and provided further that said plans and specifications are in accordance with State regulations governing campgrounds.

2.03 After completing the necessary zoning requirements and when upon review of the application, the Building and Zoning Department has determined that the proposed plan meets all requirements of this Ordinance, a permit shall be issued.

3.00 CRITERIA TO BE USED IN EVALUATING RECREATIONAL VEHICLE PARKS

- 3.01 Compatibility with nearby agricultural and other land uses;
- a. The park or campground must be screened from nearby agricultural and other land uses by a vegetative buffer other than multiflora rose or honeysuckle. The width of the buffer should vary in proportion to the maximum campground or park population up to a maximum of 300 feet.
 - b. The periphery of the park or campground, except at designated access roads, must be completely enclosed and maintained by a fence which will not permit people or farm animals to pass through it;
 - c. The park or campground must maintain litter control and refuse collection so as to prevent litter or refuse from blowing onto or otherwise being deposited on nearby lands;
 - d. Traffic from the park or campground must not seriously impair the movement of or cause hazard to agricultural and vehicular traffic.
- 3.02 Maintaining and protecting high quality recreational resource areas;
- a. All lands classified as floodplains shall remain in permanent open space;
 - b. No more than 20% of any forest shall be cleared or developed and the remaining 80% shall be retained in permanent open space;
 - c. All ponds, wetlands, and watercourses shall be left in permanent open space and no dredging, filling, or diversion of water shall be permitted;

- d. Storm water runoff shall be limited to the rate which would occur under natural conditions;
- e. All ponds, wetlands, and watercourses are to be protected from erosion and sedimentation in accordance with the Kendall County Soil and Erosion ordinance;
- f. Areas with slopes greater than 15% are to be retained in permanent open space;
- g. Scenic views from public highways or adjoining lands must be maintained.

3.03 Insuring high quality recreational vehicle parks or campgrounds.

- a. The park or campground should provide separate circulation systems for vehicles and pedestrians;
- b. Access to the park must be safe and convenient;
- c. To insure adequate open space and protection of resource areas, lots within the park or campground should be clustered;
- d. Internal roads, except one main collector road, should be one way and no wider than 18';
- e. Collector roads should be no wider than 24';
- f. Recreation facilities within the park should be in proportion to the maximum park population;
- g. Recreational space within the park should be in proportion to the maximum park population and may include up to 60% of the park or campground;
- h. Water supply and waste disposal facilities shall be designed, constructed and maintained in accordance with Health Department regulations.
- i. The storage, collection and disposal of refuse shall be performed as to minimize accidents, fire hazards, air pollution, odors, insects, rodents or other nuisance conditions;
- j. No parking is permitted on interior roads;
- k. All outdoor cooking facilities shall be located, constructed, and maintained to minimize fire hazard and smoke nuisance;
- l. All accessory uses should be limited to park residents;
- m. There shall be no indication of retail accessory uses visible from any public road or street;
- n. Lots in the park or campground must be at least 1500 square feet;
- o. Trailers and accessory structures must be separated from one another by at least 10 feet in all directions;
- p. Off street parking is to be provided at the rate of 2.25 parking spaces per lot.

3.04 Prevent excessive increases in Public Service Costs.

- a. Traffic generated by the maximum park or campground population must not exceed capacities of the local traffic network or cause public funds to be used for traffic safety or control improvements;
- b. Demands produced by the park or campground for fire or police service must not cause additional public funds to be used to maintain current service levels;
- c. Demands for public water or sanitary waste disposal must not overburden current facilities;
- d. No recreational vehicle or trailer shall be used as a permanent place of abode. Continuous occupancy beyond three months is considered to be permanent.

4.00 PENALTIES

Any person who violates any provision of this Ordinance shall upon conviction be punished by a fine of not less than \$200 nor more than \$500; each day's failure of compliance with any such provision shall constitute a separate violation.

5.00 INSPECTION OF RECREATIONAL VEHICLE PARK OR CAMPGROUND

5.01 The Building and Zoning Department and the Health Department are hereby authorized and directed to make such inspections as are necessary to determine satisfactory compliance with this Ordinance, but in no case shall such inspection take place less than once per year.

5.02 The Zoning Department and the Health Department shall have the power to enter at reasonable times upon any private or public property for the purpose of inspecting and investigating conditions relating to the enforcement of this Ordinance.

5.03 The Zoning Department and the Health Department shall have the power to inspect the register containing a record of all campers and picnickers of the park.

5.04 It shall be the duty of the park management to give the Zoning Department and the Health Department free access to all lots and other areas at reasonable times for the purpose of inspection.

5.05 It shall be the duty of every camper or picnicker in the park to give the owner thereof or his agent or employee access to any part of such recreational vehicle park at reasonable times for the purpose of making such repairs or alterations as are necessary to effect compliance with this Ordinance and to facilitate inspections.

6.00 DEFINITIONS

ACCESSORY BUILDINGS. Those buildings which house facilities or services relating to recreational uses at the park or campground.

CAMPER. Any person or persons occupying a recreational vehicle and/or tent for recreational purposes.

COLLECTOR STREETS. Any park street which extends from a park entrance street and intersects with three or more other streets or any street which intersects with five or more other streets or any street which extends for more than 1200 feet.

DAILY USER. Any person or persons using the park for recreational purposes on a daily basis.

GROUP CAMPING. The assembly of not more than 30 recreational vehicles and/or tents when registered as a group in advance with the park management. Normally, these groups are youth, scouting and clubs in an approved designated area for the purpose of recreational camping.

HEALTH AUTHORITY. The Kendall County Health Department or the Illinois Department of Public Health.

LOT. A parcel of land designated on the official plot plan for the placement of a single recreational vehicle or tent and for the exclusive use of its occupants.

MINOR STREETS. Any park street which is not a collector street.

Kendall County Recreational Vehicle Park and Campground Regulations

RECREATIONAL AREA. Area which is set aside for non-camping use. Recreational areas may include space for service buildings and/or accessory buildings as well as natural open space, children's playgrounds and other recreational facilities.

RECREATIONAL VEHICLE (RV). A vehicular portable structure designed as a temporary dwelling for travel, recreational or vacation uses, and to be used without a permanent foundation.

RECREATIONAL VEHICLE PARK OR CAMPGROUND. A contiguous parcel of land which has been developed for the non-permanent placement of recreational vehicles and/or tents. Recreational Vehicle Parks may not be operated in whole or in part for the lease or rent of such vehicles by the park owner(s) or operator(s), nor can any such vehicle be inhabited for purposes of permanent year-round dwelling units.

SANITARY STATION. Facility used for removing and disposing of wastes from RV holding tanks.

SERVICE BUILDINGS. Those required in all parks or campground, including those which house sanitary facilities, shelters.


TENT. Collapsible shelter of canvas or other material stretched and sustained by poles fixed in the ground and used for a temporary outdoor camping shelter.

PASSED THIS 14th day of
June, 1983.

ATTEST:



Jean P. Brady, Clerk



Frank Coffman, Chairman
Kendall County Board

2019 VIOLATIONS

Violation	Name	Parcel #	Address	Subdivision	Description	Opened	Follow up	PBZ	SAO	Closed
V19-001	Coonley	03-04-428-001	162 Heathgate Rd	Boulder Hill	Junk & Debris	12/19/2018	1/13/2019			2/21/2019
19-002	Peaslee	03-09-108-011	148 Circle Dr East	Boulder Hill	Zoning Violation - Fence	12/24/2018	2/1/2019			2/21/2019
19-003	Steggs	02-31-477-005	4 Poplar Rd	Foxlawn	Chickens in R-4 Zoning	12/28/2018	1/11/2019			1/11/2019
19-004	Whitlock	03-04-476-035	82 Paddock St	Boulder Hill	Prohibited parking - boat/trailer	1/3/2019	1/18/2019			1/18/2019
19-005	Butz	03-04-476-030	72 Paddock St	Boulder Hill	Prohibited parking - boat/trailer	1/3/2019	2/28/2019			2/28/2019
19-006	Alfaro/Vargas	03-04-477-009	61 Paddock St.	Boulder Hill	Prohibited parking - trailer	1/3/2019	1/18/2019			1/18/2019
19-007	Kubica/Mszal	03-04-376-057	74 Sierra	Boulder Hill	Prohibited pkg com vehicles	1/3/2019	3/28/2019			4/11/2019
19-008	Fletcher	03-03-351-001	63 Sonora Dr	Boulder Hill	Prohibited Motor Home pkg	1/3/2019	1/29/2018			1/28/2019
19-009	Green/Gaither	03-04-329-013	33 Whitney Way	Boulder Hill	Prohibited pkg com vehicle	1/3/2019	1/18/2019			1/18/2019
19-010	Jordan	03-04-480-011	130 Saugatuk	Boulder Hill	Prohibited parking - boat/trailer	1/3/2019	1/18/2019			1/18/2019
19-011	Bravo	03-08-227-032	15 Old Post Rd	Boulder Hill	Multiple Violations	1/3/2019	1/18/2019			1/19/2018
19-012	Machado	03-04-329-012	31 Whitney Way	Boulder Hill	Multiple Violations	1/3/2019	4/15/2019			4/8/2019
19-013	Amador	03-05-404-017	134 Boulder Hill Pass	Boulder Hill	Prohibited parking/surface	1/4/2019	1/29/2019			1/11/2019
19-014	ERB Properties, LLC	09-13-400-006	276 Route 52		Possible Landscape Business	1/10/2019	6/18/2019			6/20/2019
19-015	Sasso	09-36-300-004	660 Holt Rd		Possible Landscape Business	1/10/2019	2/15/2019			2/14/2019
19-016	Hardkopf	03-04-253-010	44 Ingleshire Rd	Boulder Hill	Junk & Debris	1/11/2019	9/9/2019			9/10/2019
19-017	Lozano/Nolasco	03-05-404-023	146 Boulder Hill Pass	Boulder Hill	Illegal parking /Commercial vehicle	2/7/2019	2/21/2019			3/14/2019
19-018	Hagemeyer	03-04-352-021	172 Boulder Hill Pass	Boulder Hill	Prohibited Parking - rec vehicle	2/7/2019	2/21/2019			2/13/2019
19-019	Bodnar	08-29-200-005	16296 Route 47		Junk & Debris	2/28/2019	9/23/2019			
19-020	Kline	03-04-277-017	247 Ferwood Rd	Boulder Hill	Junk & Debris	3/7/2019	3/21/2019			3/22/2019
19-021	Penley	03-04-377-014	73 Sierra Rd	Boulder Hill	Prohibited Parking - Semi Truck	3/11/2019	3/25/2019			3/25/2019
19-022	Flores	08-11-100-014	7701 Plattville Rd		Multiple Violations	3/13/2019	4/22/2019			7/10/2019
19-023	Mayhugh	03-04-377-009	63 Sierra Rd	Boulder Hill	Prohibited Trailer Parking	3/26/2019	4/22/2019			4/16/2019
19-024	Cerbebus SFR Holdings	03-04-377-001	75 Sierra Rd	Boulder Hill	Prohibited Trailer Parking	3/26/2019	5/22/2019			5/22/2019
19-025	Ruiz	03-03-352-001	132 Saugatuk Rd	Boulder Hill	Prohibited Commercial Vehicle parking	3/26/2019	5/1/2019			5/15/2019
19-026	Hornbaker	03-04-377-018	31 Saugatuk Rd	Boulder Hill	Prohibited Boat Parking	3/27/2019	9/9/2019			8/27/2019
19-027	Espino / Castillo	03-04-351-012	22 Durango Rd	Boulder Hill	Prohibited Semi Parking	3/28/2019	4/11/2019			4/11/2019
19-028	Graham	03-04-306-004	57 Circle Dr E	Boulder Hill	Junk & Debris	3/28/2019	5/23/2019			5/28/2019
19-029	Del Toro	03-04-305-016	52 Circle Dr E	Boulder Hill	Prohibited Trailer Parking	3/29/2019	4/22/2019			4/29/2019
19-030	Swanson	03-08-202-003	44 Circle Dr W	Boulder Hill	Prohibited Trailer Parking	4/12/2019	8/12/2019			8/12/2019
19-031	Old 2nd/Tanner	03-07-231-006	101 Harbor Dr	Marina Terrace	Junk & Debris	4/16/2019	4/30/2019			6/24/2019
19-032	Sharp	03-09-155-009	139 Circle Dr W	Boulder Hill	Prohibited Trailer Parking	4/15/2019	4/29/2019			5/3/2019
19-033	C. Motter Properties	02-35-300-013	7842 Route 71	Boulder Hill	Illegal Banner Sign	4/15/2019	5/8/2019			5/6/2019
19-034	Zedrow	03-08-230-015	19 Somersset Rd	Boulder Hill	Building w.o Permit	4/15/2019	4/29/2019			4/23/2019
19-035	Hansen	03-08-230-011	7 Somersset Rd	Boulder Hill	Inoperable Vehicle	4/16/2019	7/15/2019			8/14/2019
19-036	Gonzalez	03-09-152-023	14 Ridgerfield Rd	Boulder Hill	Prohibited Trailer parking	4/16/2019	4/30/2019			5/3/2019
19-037	Roman	03-04-378-023	50 Hubbard Way	Boulder Hill	Prohibited parking on grass	4/24/2019	5/8/2019			5/13/2019
19-038	Reyes	03-04-378-026	56 Hubbard Way	Boulder Hill	Prohibited parking on grass	4/24/2019	5/8/2019			5/13/2019
19-039	Michel	07-18-400-001	17510 Fern Dell Rd		Accessory Bldg w/o Permit	4/29/2019	6/1/2019			6/3/2019
19-040	Hall	03-09-151-010	32 Somersset Rd	Boulder Hill	Prohibited Trailer Parking	4/30/2019	6/1/2019			6/4/2019
19-041	Gujosa	07-24-200-003	15285 Route 52		Building w.o Permit	4/30/2019	6/1/2019			5/29/2019
19-042	Marmalejo	03-08-253-007	10 Ashlawn Ave	Boulder Hill	Prohibited Trailer Parking	5/1/2019	6/30/2019			7/9/2019
19-043	Erickson	03-08-230-021	35 Somersset Rd	Boulder Hill	Prohibited Boat Parking	5/1/2019	6/18/2019			7/24/2019
19-044	Kavulich	02-35-380-002	5575 Fields Dr	FOFC	Prohibited Boat Parking	5/8/2019	6/3/2019			6/4/2019
19-045	Garay / Juarez	03-19-203-002	5408 Rt. 71		Multiple Violations	5/9/2019	8/1/2019			
19-046	Muniz	09-18-300-016	14674 Brisbin Rd		Multiple Violations	5/9/2019	8/1/2019			7/30/2019
19-047	Johnson	05-02-101-002	324 Austin Ct	FOFC	Prohibited Trailer Parking	5/14/2019	5/28/2019			6/21/2019
19-048	Ring	06-02-177-007	1551 Cherry Rd		Junk & Debris	5/15/2019	10/15/2019			

Count 10/24/19

2019 VIOLATIONS

19-049	Martinez	03-12-100-004	1038 Harvey Rd	Boulder Hill	Multiple Violations	5/13/2019	8/1/2019		
19-051	Likar	03-08-278-002	22 Fieldpoint Rd	Boulder Hill	Inoperable Vehicle	5/15/2019	5/29/2019		6/3/2019
19-052	Arenas	03-09-104-011	67 Old Post Rd	Boulder Hill	Inoperable Vehicle	5/15/2019	5/29/2019		6/3/2019
19-053	Rudow/Andrews	03-08-253-016	3 Cebold Dr	Boulder Hill	Prohibited Boat parking	5/15/2019	6/16/2019		6/17/2019
19-054	Tierney	03-04-405-017	44 Winrock Rd	Boulder Hill	Shed - no permit	5/15/2019	5/29/2019		5/23/2019
19-055	Henn	03-08-280-008	16 Cebold Dr	Boulder Hill	Inoperable Vehicle	5/15/2019	5/29/2019		5/29/2019
19-056	Casner	03-04-376-037	6 Crescent Ct.	Boulder Hill	Prohibited RV Parking	5/15/2019	6/12/2019		6/12/2019
19-057	Avila, Munoz, Rubio	03-05-454-008	36 Circle Dr W	Boulder Hill	Prohibited Trailer Parking	5/15/2019	6/27/2019		7/1/2019
19-058	Castillo	03-04-329-019	45 Whitney Way	Boulder Hill	Inoperable Vehicle	5/15/2019	5/29/2019		6/3/2019
19-059	Stiles	03-08-280-020	7 Fieldcrest Dr	Boulder Hill	Prohibited Boat parking	5/16/2019	5/30/2019		6/3/2019
19-060	Myles	03-08-277-020	9 Fieldpoint Rd.	Boulder Hill	Inoperable Vehicle	5/16/2019	5/30/2019		6/3/2019
19-061	Fecarotta	03-08-278-010	102 Circle Drive W	Boulder Hill	Inoperable Vehicle	5/16/2019	5/30/2019		6/3/2019
19-062	Valenzuela/Barra	03-04-326-006	54 Marnel Rd.	Boulder Hill	Prohibited Boat parking	5/16/2019	8/19/2019		8/28/2019
19-063	Reinert	03-08-278-017	13 Pickford Rd.	Boulder Hill	Prohibited RV Parking	5/16/2019	6/10/2019		6/10/2019
19-064	Yates	03-08-279-002	8 Pickford Rd	Boulder Hill	Prohibited RV Parking	5/16/2019	6/15/2019		6/19/2019
19-065	Lazaroski	03-08-202-015	29 Guilford Rd	Boulder Hill	Prohibited RV & Boat parking	5/16/2019	6/17/2019		6/19/2019
19-066	Machado	03-04-329-012	31 Whitney Way	Boulder Hill	Prohibited Trailer Parking	5/17/2019	5/31/2019		6/3/2019
19-067	Void								
19-068	Lamberry	03-08-277-024	17 Fieldpoint Rd.	Boulder Hill	Inoperable Vehicle	5/21/2019	6/4/2019		6/5/2019
19-069	CT&T# 133412	02-35-381-006	5886 Fields Dr.	FOFC	Prohibited Boat Parking	5/21/2019	6/4/2019		6/5/2019
19-070	Akers	03-04-379-002	55 Longbeach Rd	Boulder Hill	Junk & Debris	5/29/2019	9/19/2019		9/11/2019
19-071	Garcia	03-04-478-005	51 Springdale Rd	Boulder Hill	Junk & Debris	5/29/2019	6/28/2019		6/28/2019
19-072	Persons	03-09-155-005	131 Circle Dr W	Boulder Hill	3 Inoperable Vehicles	6/3/2019	6/30/2019		7/1/2019
19-073	Porter/Fischer	02-03-400-005	522 Dickson Rd		Inoperable Vehicle/Junk & Debris	6/3/2019	6/27/2019		6/28/2019
19-074	Weder	09-15-300-008	14625 Jughandle Rd	Langeland's	Trucking Business Prohibited	6/4/2019	7/26/2019		7/23/2019
19-075	Brooks	03-04-177-023	16 Inghesire Rd	Boulder Hill	Inoperable Vehicle	6/5/2019	7/15/2019		6/11/2019
19-076	Gallegos	03-04-281-003	5 Pendleton Pl	Boulder Hill	Prohibited trailer parking	6/10/2019	6/24/2019		6/27/2019
19-077	Gossett	03-04-155-004	6 Pembroke Rd	Boulder Hill	Prohibited trailer parking	6/10/2019	7/11/2019		7/2/2019
19-078	Smith	03-04-476-002	53 Sheffield Rd	Boulder Hill	Multiple Violations	6/10/2019	7/26/2019		7/30/2019
19-079	Gervias	03-08-227-042	35 Old Post Rd	Boulder Hill	Prohibited Trailer parking	6/10/2019	7/11/2019		7/10/2019
19-080	Ramirez	03-05-429-016	13 Circle Drive East	Boulder Hill	Prohibited Trailer parking	6/12/2019	7/20/2019		7/23/2019
19-081	Braves Realty/Jarrett	03-05-429-008	18 Greenfield Rd.	Boulder Hill	Inoperable Vehicles	6/12/2019	9/9/2019		9/11/2019
19-082	Cerny/Greatic	03-09-103-008	51 Old Post Rd	Boulder Hill	Boat parket in required front yard	6/12/2019	7/24/2019		7/24/2019
19-083	Forbes	02-35-310-006	7747 Madeline Dr	FOFC	Prohibited Trailer parking	6/21/2019	7/5/2019		7/10/2019
19-084	Netzel	02-35-384-001	7715 Madeline Dr	FOFC	Prohibited Boat Parking	6/21/2019	7/5/2019		7/10/2019
19-085	Whaley	02-35-380-005	5727 Fields Dr	FOFC	Prohibited trailer parking	6/26/2019	7/10/2019		7/10/2019
19-086	Wollivert	03-04-452-007	67 Stratford Rd.	Boulder Hill	Business in R6 zoning	6/26/2019	7/10/2019		7/1/2019
19-087	Mailey Concrete, Inc.	02-12-428-001	Lot 6-8 Commerce Rd	Light Rd Ind Park	Site work without permit	7/3/2019	8/5/2019		8/5/2019
19-088	Greenstade	03-09-152-021	18 Ridgefield Rd	Boulder Hill	Prohibited RV Parking	7/10/2019	7/24/2019		Matt 8/16/19
19-089	Urbanova	03-04-431-002	53 Sonora Dr	Boulder Hill	RV on non approved surface	7/11/2019	7/25/2019		7/24/2019
19-090	Diaz	03-03-351-009	135 Saugatuck Rd.	Boulder Hill	Multiple Violations	7/11/2019	7/25/2019		7/24/2019
19-091	Gambino	03-05-253-027	9 W. Aldon Ct.	Boulder Hill	Junk & Debris	7/18/2019	8/25/2019		8/23/2019
19-092	Stradal	03-04-380-008	32 Saugatuck Rd	Boulder Hill	Prohibited Trailer parking	7/23/2019	9/9/2019		9/11/2019
19-093	Rangel	02-34-276-003	8042 Van Emmon Rd.		Multiple Violations	7/24/2019	8/7/2019		8/14/2019
19-094	White	01-25-378-001	12573 Woodview St	Schaefer Woods N	Inoperable Vehicle	7/24/2019	8/18/2019		8/13/2019
19-095	Morelli	03-04-352-025	180 Boulder Hill Pass	Boulder Hill	Prohibited Trailer Parking	7/24/2019	8/7/2019		8/8/2019
19-096	Boif	03-04-328-013	50 Longbeach Rd	Boulder Hill	Prohibited Boat Parking	7/24/2019	8/7/2019		8/8/2019
19-097	McNeill	03-04-326-001	44 Marnel Rd	Boulder Hill	Prohibited Camper Parking	7/25/2019	8/8/2019		8/12/2019
19-098	McBroom	03-04-305-025	20 Wyncham Dr	Boulder Hill	Multiple Violations	7/25/2019	10/25/2019		

-Case 10/28/19

Br. in Hildes

2019 VIOLATIONS

19-099	Duque	03-04-303-022	26 Marneel Rd	Boulder Hill	Prohibited Trailer Parking	7/25/2019	8/22/2019			9/10/2019
19-100	Kavulich	02-35-380-002	5755 Fields Dr	FOFC	Prohibited Boat Parking	8/7/2019	8/21/2019			8/23/2019
19-101	Graham	03-04-306-004	57 Circle Dr E	Boulder Hill	Prohibited camper & Trailer pkg	8/12/2019	10/5/2019			
19-102	St. Laurent	03-08-228-002	22 Codorus Rd	Boulder Hill	Inoperable Vehicle	8/13/2019	9/9/2019			9/9/2019
19-103	Sitting	03-04-251-029	200 Fernwood Rd	Boulder Hill	Prohibited RV/Camper parking	8/14/2019	9/8/2019			9/10/2019
19-104	Cabrera	03-04-306-027	44 Hampton rd	Boulder Hill	Prohibited RV/Camper parking	8/14/2019	9/9/2019			9/11/2019
19-105	Smith	03-05-453-011	149 Boulder Hill Pass	Boulder Hill	Prohibited RV/Camper parking	8/14/2019	9/19/2019			9/19/2019
19-106	Lazaroski	03-08-202-015	29 Guilford Rd	Boulder Hill	Prohibited RV/Camper parking	8/14/2019	9/17/2019			9/19/2019
19-107	Stricker	03-04-178-010	23 Ingleshire Rd	Boulder Hill	Prohibited Boat Parking	8/14/2019	8/28/2019			8/29/2019
19-108	Filice	03-04-178-006	11 Ingleshire Rd.	Boulder Hill	Prohibited Camper/RV parking	8/14/2019	8/28/2019			8/29/2019
19-109	Wright	03-04-352-034	69 Hampton Rd.	Boulder Hill	Prohibited Camper/RV parking	8/14/2019	8/28/2019			8/22/2019
19-110	Booiz	03-04-177-029	28 Ingleshire Rd	Boulder Hill	Prohibited RV/Camper parking	8/14/2019	9/10/2019			9/27/2019
19-111	Dano	03-04-253-016	56 Ingleshire Rd	Boulder Hill	Prohibited Trailer Parking	8/14/2019	10/10/2019			
19-112	Zepeda/Tjeterina	03-04-402-006	24 Winrock Rd	Boulder Hill	Prohibited RV/Camper parking	8/14/2019	8/28/2019			8/29/2019
19-113	Geweniger/Zidlicky	03-09-154-007	30 Pickford Rd	Boulder Hill	Prohibited RV/Camper parking	8/14/2019	8/28/2019			8/29/2019
19-114	Fecarotta	03-08-278-010	102 Circle Drive W	Boulder Hill	Prohibited Trailer Parking	8/14/2019	8/28/2019			8/29/2019
19-115	Evans	03-05-428-015	10 Hampton Rd.	Boulder Hill	Prohibited Trailer Parking	8/14/2019	8/28/2019			8/29/2019
19-116	Semowski/Freshidi	03-05-277-026	18 Briarcliff Rd	Boulder Hill	Remodel w/o Permit	8/26/2019	9/9/2019			9/9/2019
19-117	Eljima	03-04-404-002	87 Ingleshire Rd	Boulder Hill	Inoperable Vehicle	8/29/2019	9/20/2019			9/16/2019
19-118	Aguliar	09-16-400-010	3400 Route 52	Boulder Hill	Addition w/o Permit	9/9/2019	9/23/2019			9/16/2019
19-119	Pasch	03-07-430-014	139 Dolores St.	Shore Heights	Junk & Debris	9/11/2019	9/25/2019			9/30/2019
19-120	Gutierrez/Melgoza	03-07-429-014	134 Dolores St	Shore Heights	Inoperable Vehicle	9/11/2019	11/1/2019			9/30/2019
19-121	Emerson	03-07-431-008	119 Dolores St	Shore Heights	Inoperable Vehicle	9/11/2019	9/25/2019			9/30/2019
19-122	Campus	03-08-303-001	117 Dolores St	Shore Heights	Prohibited Trailer parking	9/11/2019	9/25/2019			9/30/2019
19-123	Wolgast	02-13-479-003	19 Center Dr	Riverview Heights	Junk & Debris	9/23/2019	10/7/2019			

Kevin Ken Case
Case # 10/15/19

2018 VIOLATIONS

Violation	Name	Parcel #	Address	Subdivision	Description	Opened	Follow up	PBZ	SAO	Closed
V18-001	Bliek/Derevanko	01-34-300-008	14824 Millhurst Rd		Storage Containers	12/12/2017	1/14/2019			1/15/2019
V18-002	Romero/Rios	03-05-229-002	20 Fernwood	Boulder Hill	Pool w/o fencing & Junk and Debris	12/12/2017	4/1/2018			5/2/2018
V18-003	Stradal	03-04-380-008	32 Saugatuck Rd	Boulder Hill	Junk & Debris on Trailer	12/19/2017	5/1/2018			3/1/2018
V18-004	Hutchings	03-04-380-002	20 Saugatuck Rd	Boulder Hill	Inoperable Vehicle	12/19/2017	5/1/2018			4/26/2018
V18-005	Hornbaker	03-04-377-018	31 Saugatuck Rd	Boulder Hill	Prohibited Parking	12/19/2017	5/1/2018			1/15/2018
V18-006	Gonzalez	03-09-152-019	14 Ridgely Rd	Boulder Hill	Inoperable Vehicle	1/25/2018	5/7/2018			5/21/2018
V18-007	Rod	08-02-300-008	7775 Platville Rd		Sunroom built w/o Permit	2/1/2018				2/8/2018
V18-008	Jordan	03-04-480-011	130 Saugatuck Rd	Boulder Hill	Prohibited Parking - Boat in yard	2/8/2018	4/16/2018			3/7/2018
V18-009	Petersen	03-04-454-015	63 Saugatuck Rd	Boulder Hill	Inoperable Vehicle	2/8/2018	4/16/2018			4/13/2018
V18-010	Hafenrichter	03-03-352-003	138 Saugatuck Rd	Boulder Hill	Prohibited Parking - Rec. Vehicle	2/8/2018	5/11/2018			2/13/2018
V18-011	Ring	06-02-177-007	1551 Cherry Rd	Oswego Plains	Landscaping Bus in R3 zoning	2/15/2018	5/11/2018			11/1/2018
V18-012	Stradal	03-04-380-008	32 Saugatuck Rd	Boulder Hill	Inoperable Vehicle	3/1/2018	3/16/2018			3/16/2018
V18-013	Straudacher Fam Tr	02-21-200-014	9155 Kennedy Rd		Stormwater Violation	3/8/2018				3/28/2018
V18-014	Lakewest Builders	04-16-378-003	15749 Sumner Ct	Est. of Millbrook	Stormwater Violation	2/20/2018				5/30/2018
V18-015	Schleining	02-06-300-010/004	790 Eldamain Rd		Fence Violation	3/19/2018	10/29/2018			6/14/2019
V18-016	Cusimano, Kesselring	02-34-151-003	90 Quinsey Rd	Nelson Quinsey	Junk & Debris	3/26/2018	4/27/2018			5/4/2018
V18-017	Hart	03-09-155-012	7 Circle Ct	Boulder Hill	Inoperable Vehicle & Junk & Debris	3/27/2018	5/31/2018			6/19/2018
V18-018	Old 2nd Natl Bank	02-34-151-005	82 Quinsey	Nelson Quinsey	Shed falling down/Junk & Debris	3/27/2018	4/34/18			4/26/2018
V18-019	Schanz	03-04-454-017	67 Saugatuck	Boulder Hill	Prohibited Parking of Trailer	3/27/2018	5/31/2018			6/19/2018
V18-020	Blewer	03-09-102-003	204 Boulder Hill Pass	Boulder Hill	Prohibited Parking of Trailer	3/27/2018	5/1/2018			5/2/2018
V18-021	Beyer	03-09-108-007	140 Circle Dr E	Boulder Hill	Prohibited parking of Trailer	3/27/2018	5/1/2018			4/26/2018
V18-022	VOID									
V18-023	Ybarra	03-05-276-021	29 Aldon Rd	Boulder Hill	Junk & Debris/ Inoperable Vehicle	3/29/2018	7/15/2019			
V18-024	Douglas	03-05-430-025	54 S. Bereman	Boulder Hill	Junk & Debris	4/11/2018	5/25/2018			7/18/2018
V18-025	Alkharaji	03-09-104-002	212 Boulder Hill Pass	Boulder Hill	Inoperable Vehicle	4/13/2018	4/27/2018			5/2/2018
V18-026	Perez	03-09-103-002	22 Cayman Dr	Boulder Hill	Prohibited parking - Trailer	4/13/2018	5/13/2018			5/10/2018
V18-027	Min	03-04-479-015	69 Eastfield Rd	Boulder Hill	Illegal Pkg on non approved surface	4/23/2018	5/7/2018			5/27/2018
V18-028	Bautista	03-04-476-032	75 Springdale Rd	Boulder Hill	Illegal Pkg on non approved surface	4/23/2018	5/31/2018			6/19/2018
V18-029	Fehrlie	03-04-477-037	78 Springdale Rd	Boulder Hill	Illegal Pkg on non approved surface	4/23/2018	5/7/2018			5/21/2018
V18-030	Wargo	03-04-477-038	80 Springdale Rd	Boulder Hill	Illegal Pkg on non approved surface/ Junk & Debris	4/23/2018	5/30/2018			6/19/2018
V18-031	VOID									
V18-032	Shachray	03-04-477-019	81 Paddock St	Boulder Hill	Illegal Pkg on non approved surface	4/24/2018	11/19/2018			11/20/2018
V18-033	Muniz	09-18-300-016	Brisbin Rd		Landscaping Bus IN A1/ Junk & Debris	4/30/2018	12/1/2018			12/3/2018
V18-034	Bravo	03-08-227-032	15 Old Post Rd	Boulder Hill	Prohibited parking on grass	5/3/2018	5/17/2018			5/21/2018
V18-035	Marmolejo	03-08-253-007	10 Ashlawn	Boulder Hill	Prohibited parking of trailer	5/3/2018	5/17/2018			5/21/2018
V18-036	Guddendorf	03-04-303-010	2 Marneel Rd	Boulder Hill	Inoperable Vehicle	5/3/2018	5/17/2018			5/21/2018
V18-037	Baustian	05-03-200-005	8510 Hilltop		Junk & Debris	5/4/2018	5/18/2018			5/24/2018
V18-038	Higgins	05-02-125-001	7686 Audrey Dr	FOFC	Prohibited Parking of Trailer(s)	5/4/2018	5/18/2018			7/18/2018
V18-039	Cargile	09-13-300-002	920 Route 52		Accessory Bldg Built w/o Permit	5/4/2018	5/18/2018			6/5/2018
V18-040	AP4f, LLC	03-04-427-017	159 Heathgate Rd	Boulder Hill	Junk & Debris/ Illegal Boat Parking	5/23/2018	6/6/2018			6/19/2018
V18-041	Stradal	03-04-380-008	32 Saugatuck Rd	Boulder Hill	Prohibited parking of RV	5/31/2018	6/15/2018			6/19/2018
V18-042	Sutphin	03-09-105-004	118 Circle Dr, East	Boulder Hill	Inoperable Vehicle	5/31/2018	6/15/2018			6/19/2018
V18-043	Amwoz	03-09-155-021	303 Boulder Hill Pass	Boulder Hill	Inoperable Vehicle	5/31/2018	6/15/2018			6/19/2018
V18-044	Amstodt	02-35-380-001	7796 Madeline Dr	FOFC	Prohibited Parking of RV	5/31/2018	6/18/2018			6/19/2018
V18-045	Chicago Title Land	02-35-381-008	5896 Fields Dr	FOFC	Illegal Boat parking	6/5/2018	6/19/2018			6/19/2018
V18-046	Wolgast	02-13-479-003	19 Center Dr	Riverview Hts	Multiple Violations	6/14/2018	8/3/2018			9/4/2018
V18-047	US Bank Trust Ntl Assn	03-08-303-006	107 Dolores St	Boulder Hill	Junk & Debris	6/14/2018	6/28/2018			7/5/2018

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2018 VIOLATIONS

V18-048	Greenstade	03-09-152-021	18 Ridgfield Rd	Boulder Hill	Prohibited RV Parking	6/26/2018	7/29/2018	8/1/2018
V18-049	Hornbaker	03-04-377-018	31 Saugattuck Rd	Boulder Hill	Prohibited Boat Parking	6/26/2018	10/1/2018	10/9/2018
V18-050	Smith	03-05-404-026	152 Boulder Hill Pass	Boulder Hill	Multiple Violations	6/26/2018	8/13/2018	8/15/2018
V18-051	Stone	05-07-101-004	10 Hillview Ct	Pavillion Hts	Inoperable Vehicle	7/5/2018	7/19/2018	8/1/2018
V18-052	Sullivan	05-07-101-002	20 Hillview Ct	Pavillion Hts	Illegal Discharge of Sump	7/5/2018	7/19/2018	7/10/2018
V18-053	Gates	02-27-151-008	4401 Turna Rd	Kenny	Junk & Debris	7/9/2018	7/23/2018	7/25/2018
V18-054	Velazquez	01-20-352-018	84 Woodland Dr	Sugarbrook	Stormwater Violation	7/10/2018	11/5/2018	6/14/2019
V18-055	Elliott	04-16-128-001	8055 Whitfield Rd	Vil of Millbrook	Burning of Landscaping Bus Debris	7/10/2018	7/24/2018	10/2/2018
V18-056	Vasquez	03-05-278-028	1 Knollwood Dr	Boulder Hill	Camper not on approved surface	7/13/2018	10/27/2018	12/4/2018
V18-057	Keivanfar	03-08-153-031	2500 Light Rd #105	Deer Run Condos	No Permit - Remodeling	7/13/2018	9/21/2018	12/3/2018
V18-058	Johnson	03-04-354-006	68 Hampton Rd	Boulder Hill	Chickens not allowed in R-6	7/17/2018	7/31/2018	8/1/2018
V18-059	Stradal	03-04-380-008	32 Saugattuck Rd	Boulder Hill	Prohibited Boat Parking	7/17/2018	7/31/2018	7/31/2018
V18-060	Zack	03-05-476-020	15 Codorus Rd	Boulder Hill	Prohibited Boat Parking (2)	7/18/2018	9/17/2018	9/17/2018
V18-061	Gonzalez	03-09-152-019	14 Ridgfield	Boulder Hill	Prohibited trailer parking	7/18/2018	8/13/2018	8/15/2018
V18-062	Quinn	02-35-413-019	5805 Audrey Ave	FOFC	Prohibited trailer parking	7/18/2018	8/1/2018	8/1/2018
V18-063	Montano	03-15-251-002	2450 Wolf Rd		Prohibited Business w/o Zoning	7/18/2018	8/1/2018	8/2/2018
V18-064	Decker	03-09-108-005	136 Circle Dr E	Boulder Hill	Prohibited Parking	7/26/2018	5/1/2019	5/13/2019
V18-065	Machado	03-04-329-012	31 Whitney Way	Boulder Hill	Multiple Violations	7/26/2018	8/9/2018	8/22/2018
V18-066	Nunez	02-24-300-003	6725 Route 71	Boulder Hill	Business w/o Proper Zoning	7/30/2018	HOLD 12/21/18	1/15/2019
V18-067	Otto	03-04-151-007	56 Fernwood Rd	Boulder Hill	Prohibited parking on grass	7/31/2018	8/14/2018	8/22/2018
V18-068	Butz	03-04-305-023	16 Wyndham Dr	Boulder Hill	Junk & Debris	8/1/2018	9/28/2018	10/31/2018
V18-069	Nanninga	03-03-351-009	135 Saugattuck	Boulder Hill	Inoperable Vehicle	8/14/2018	9/17/2018	9/17/2018
V18-070	Eipers	01-29-151-008	4350 Sandy Bluff Rd		Pool&Pool House built w/o Permit	8/14/2018	8/28/2018	8/28/2018
V18-071	Perez	03-09-103-002	22 Canyon Dr	Boulder Hill	Pool w/o Permit	8/23/2018	9/6/2018	9/6/2018
V18-072	Coonley	03-04-428-001	162 Heathgate Rd	Boulder Hill	Multiple Violations	8/23/2018	9/20/2018	10/31/2018
V18-073	Bozarth	03-04-478-031	72 Eastfield Rd	Boulder Hill	Prohibited RV Parking	8/28/2018	9/11/2018	10/31/2018
V18-074	Greenstade	03-09-152-021	18 Ridgfield Rd	Boulder Hill	Prohibited Boat Parking	8/28/2018	9/11/2018	9/17/2018
V18-075	Navarro	03-12-100-009	1026 Harvey Rd.		Multiple Violations	9/4/2018	12/26/2018	12/18/2018
V18-076	Corn Ed	03-12-100-001			Multiple Violations(V18-075)	9/4/2018	12/26/2018	12/18/2018
V18-077	Martinez	03-12-100-004	1038 Harvey Rd.		Zoning Violation	9/6/2018	12/14/2018	12/18/2018
V18-078	American Elm	03-04-277-022	2 Pendleton Pl	Boulder Hill	Multiple Violations	9/11/2018	9/25/2018	9/26/2018
V18-079	DuVall & Paulette	03-04-277-042	40 Afton Dr.	Boulder Hill	Inoperable Vehicle	9/11/2018	10/1/2018	10/31/2018
V18-080	Hughes	03-04-277-041	38 Afton Dr	Boulder Hill	Inoperable Vehicle	9/11/2018	11/5/2018	12/3/2018
V18-081	Saleem Mohammed	03-07-230-007	3 Dolphin Ct	Marina Terrace	Junk & Debris	9/13/2018	9/27/2018	9/27/2018
V18-082	BLEEDI SULO LLC	05-21-300-006	9513 Walker Rd		Inoperable Vehicle & Pkg Non aprvd surface	9/13/2018	11/23/2018	11/20/2018
V18-083	Anderson	06-13-176-003	508 W. R. 126		Stormwater Violation	10/2/2018	11/1/2018	8/14/2019
V18-084	Allen	03-04-376-040	52 Sierra Rd.	Boulder Hill	Junk & Debris	10/2/2018	11/23/2018	11/20/2018
V18-085	Haggenreier	03-04-477-002	99 Longbeach Rd	Boulder Hill	3 Inoperable Vehicles	10/2/2018	10/16/2018	10/17/2018
V18-086	Marmolejo	03-08-253-007	10 Ashawn	Boulder Hill	Prohibited Parking	10/3/2018	10/27/2018	10/29/2018
V18-087	Greenstade	03-09-152-021	18 Ridgfield Rd	Boulder Hill	Prohibited Parking	10/3/2018	10/27/2018	12/3/2018
V18-088	Smith	03-05-404-026	152 Boulder Hill Pass	Boulder Hill	Multiple Violations	10/3/2018	10/17/2018	10/16/2018
V18-089	Rife	03-31-452-006	5 Ottawa Ct.	Na-Au-Say	Prohibited Parking	10/4/2018	12/1/2018	12/4/2018
V18-090	Moran	03-05-426-018	8 Greenbriar Rd	Boulder Hill	Inoperable Vehicle	10/9/2019	12/14/2018	12/19/2018
V18-091	Stratal	03-04-380-008	32 Saugattuck Rd	Boulder Hill	Inoperable Vehicle	10/9/2018	10/23/2018	10/23/2018
V18-092	Haefner	02-14-252-002	147 W. Rickard Dr.	Lynwood	Inoperable Vehicles	10/9/2018	11/1/2018	11/1/2018
V18-093	Undesser	02-15-177-006	2480 B Bristol Rdg Rd		Inoperable Vehicles	10/9/2018	11/2/2018	12/3/2018
V18-094	Camacho	03-05-476-011	9 Clay Ct.	Boulder Hill	Inoperable Vehicle	10/16/2018	10/30/2018	10/29/2018
V18-095	CT&T	03-08-278-009	4 Culver Rd.	Boulder Hill	Multiple Violations	10/16/2018	10/30/2018	10/29/2018
V18-096	Akers	03-04-379-002	55 Longbeach Rd.	Boulder Hill	Junk & Debris	10/22/2018	1/20/2019	1/15/2019

2018 VIOLATIONS

V18-097	Ortiz	03-09-104-009	63 Old Post Rd	Boulder Hill	Illegal Home Occupation/Commercial Vans	11/7/2018	12/3/2018		12/3/2018
V18-098	Stukas	03-05-428-002	29 Circle Drive E	Boulder Hill	Inoperable Vehicle	11/7/2018	11/21/2018		11/13/2018
V18-099	Auer	02-06-400-005	West Beecher Rd		Stormwater Violation	11/14/2018	12/14/2018		11/20/2018
V18-100	Schmidt	03-07-252-012	120 Augusta Rd		Junk & Debris	11/14/2018	7/31/2019		
V18-101	Coulouris & Dublin	02-15-177-005	2480 A Bristol Rdg Rd		Multiple Violations	11/19/2018	12/14/2018		
V18-102	Allen	09-04-300-017	3827 Van Dyke Rd		Mobile Home Violation	11/21/2018	10/31/2019	Matt	12/21/2018

Mobile Home

2017 VIOLATIONS

Violation	Name	Parcel #	Address	Subdivision	Description	Opened	Follow up	PBZ	Closed	SAO
V17-001	VOID								VOID	
V17-002	Randy Fowler	01-28-252-001	1203 W. South Street	Caquelin's Sub	Abandoned Struc	12/7/2016			1/18/2018	
V17-003	March & Lisa Schulz	03-04-278-041	146 Heathgate Rd	Boulder Hill	Inoperable Vehic	1/25/2017			2/7/2017	
V17-004	Meyers/Presnell	03-04-255-010	119 Heathgate Rd	Boulder Hill	Inoperable Vehic	12/7/2016			1/18/2017	
V17-005	Stevenson	02-13-429-004	15 Clark Avenue	Owner's	Occupied Rec. V	12/19/2016			1/4/2017	
V17-006	Ramiro Guzman	09-04-300-002	McKanna Rd		Fill in Floodplain	1/10/2017			8/17/2017	
V17-007	Maria Ramirez	03-07-276-002	15 Shell Court	Marina Terrace	Inop Vehicles & I	1/17/2017			8/17/2017	
V17-008	Steven Odernatt	03-04-255-012	123 Heathgate Rd	Boulder Hill	Inoperable Vehic	1/25/2017			2/6/2017	
V17-009	George Olmstead	06-02-201-002	27 Oswego Plains Dr	Oswego Plains S	Remodeling w/o	1/31/2017			4/18/2017	
V17-010	Fed Home Ln Mortg	01-03-353-010	35 Earl Street	Stainfield	Junk & Debris/ Ir	2/7/2017			3/21/2017	
V17-011	VOID								VOID	
V17-012	Gomez Salvador	09-27-200-004	2511 Wildy Rd		Bus w/o Prop Zc	3/1/2017			8/17/2017	
V17-013	Leroy Richmond	02-10-227-004	61 W. Larkspur	Willowbrook	Unsecured struc	3/1/2017			3/21/2017	
V17-014	Two Star Enterp., LLC	02-06-400-006			Stormwater Viol	3/13/2017			8/17/2017	
V17-016	Aguirre, Marciana	03-12-203-001	12 Council Ave		Remodeling w/o	3/10/2017			8/17/2017	
V17-017	Daugherty, Richard	03-27-401-001	4520 Douglas Rd	Ring Neck	Inoperable Vehic	3/13/2017			5/7/2017	
V17-018	Wargo, Craig & Susan	03-04-477-038	80 Springdale Ln	Boulder Hill	Junk & Debris	3/14/2017			3/30/2017	
V17-019	Fitzgerald, Richard	03-08-326-008	75 Century Dr	Wormley Estates	Inoperable Vehic	3/20/2017			4/12/2017	
V17-020	Ballines, Noe	03-08-227-008	54 Codorus Rd	Boulder Hill	Junk & Debris	3/24/2017			4/12/2017	
V17-021	Coyne	09-24-100-001	15200 Ridge Road	Clark's	Operating Bus. w	3/20/2017			4/10/2017	
V17-022	Montano	03-15-251-002	2450 Wolf Road		Operating Bus. w	3/31/2017			8/29/2017	
V17-023	LaSalle Natl Bank	02-19-400-006	11443 Route 34		Junk & Debris/Ur	3/20/2017			4/22/2018	
V17-024	Jimenez	03-08-280-006	12 Cebold Drive	Boulder Hill	Non-Permitted A	4/10/2017			5/12/2017	
V17-025	Murray	03-31-427-001	38 Eagle View Lane	Reservation Heig	Remodeling w/o	4/27/2017			5/2/2017	
V17-027	Kelley, Craig & Renee	09-22-400-003	2100 Bell Road		Junk & Debris/In	4/11/2017			8/17/2017	
V17-028	Pugsley, Mary	03-04-380-001	106 Circle Drive East	Boulder Hill	Trailer parked in	5/11/2017			5/23/2017	
V17-029	Matile, Dennis	03-09-152-006	230 Boulder Hill Pass	Boulder Hill	Trailer parked in	5/11/2017			6/6/2017	
V17-030	Daurn, Andrew	05-02-201-005	6111 Audrey Ave	Rose Hill	Inoperable Vehic	5/15/2017			6/6/2017	
V17-031	Garcia, Luis	03-04-478-005	51 Springdale Rd	Boulder Hill	Repair Bus/ Veh	5/31/2017			6/20/2017	
V17-032	SL Enterprises	03-04-430-008	164 Tealwood Rd	Boulder Hill	RV Parked in Frc	6/1/2017			6/21/2017	
V17-033	Gonzalez	06-13-300-004	609 Wheeler Rd		Parly Business	6/1/2017			8/25/2017	
V17-034	Berger, Richard	04-08-200-015	7428 Oakbrook Rd		2 homes on R-1	6/1/2017			8/29/2017	
V17-035	Peple	03-04-431-004	57 Sonora Dr	Boulder Hill	Bus Operating in	6/9/2017			8/17/2017	
V17-037	Temes	02-35-382-008	5812 Danielle Lane	Fields Of Farm C	RV Parked in Frc	6/8/2017			8/17/2017	
V17-038	Memming	03-32-328-005	8 Crestview Drive	Crestview Wood	RV Parked in Frc	6/9/2017			8/17/2017	
V17-039	Ramon Ramirez	03-08-277-031	33 Fieldpoint Rd	Boulder Hill	Garage/Shed buil	6/20/2017			8/4/2017	

2017 VIOLATIONS

V17-040	McDonald	08-14-200-003	14207 Church Rd		Poss. Op. Indoor	6/23/2017			7/17/2017
V17-041	Hernandez	03-05-476-012	10 Clay Street	Boulder Hill	Prohibited Parkin	7/12/2017			8/4/2017
V17-042	Hrvatn, Arthur	01-19-476-006		Hrvatn	Violation of Stor	7/12/2017			8/10/2017
V17-043	First American Bank	05-18-226-002	8115 E. Highpoint Rd	Tucak-Oak Grov	Op. Trucking Bu	7/27/2017			4/2/2018
V17-044	Davis, Carlos & Tracy	09-23-400-006	15875 Ridge Road		Dumping Dir/St	8/7/2017			11/13/2017
V17-045	Greenslade	03-09-152-021	18 Ridgfield Rd	Boulder Hill	Prohibited Parkin	8/9/2017			1/18/2018
V17-046	Scull, Enoch	01-16-427-001		Meierbrook	Ill. Parking - Limi	8/14/2017			8/29/2017
V17-047	Friel, Steven	03-08-253-012	20 Ashlawn	Boulder Hill	Accessory Buildi	8/14/2017			9/29/2017
V17-048	Evans, Eun	03-05-428-015	10 Hampson Rd	Boulder Hill	Junk&Debris & Il	8/9/2017			8/29/2017
V17-049	Shockerland Co.	02-28-252-027	9316 Route 34		Illegal Banners. In	8/14/2017			12/7/2017
V17-050	Beery	01-35-284-001	13040 River Road	Minnetonka Sprin	Accessory Buildi	8/17/2017			9/26/2017
V17-051	Villesenor, Emmanuel	03-08-230-003	34 Old Post Road	Boulder Hill	Inoperable Vehic	9/8/2017			10/18/2017
V17-052	Schanz	03-04-454-017	67 Saugatuck Rd	Boulder Hill	Prohibited Parkin	9/11/2017			11/14/2017
V17-053	Paxton	03-04-455-001	56 Saugatuck Rd	Boulder Hill	Trailer parked in	9/18/2017			10/10/2017
V17-054	VOID								VOID
V17-055	Nataly Perez	03-35-376-005	1481 Plainfield Rd		Running Landscap	9/27/2017			6/19/2018
V17-056	Moran	03-04-476-019	93 Longbeach Rd	Boulder Hill	Inoperable Vehic	10/11/2017	7/15/2019		Unclbr Tolershp
V17-057	Larsen	03-08-276-002	6 Old Post Rd	Boulder Hill	Prohibited Parkin	10/18/2017			11/14/2017
V17-058	Hernandez	05-16-300-005	9850 Ament Rd		Structure Built w	10/24/2017			4/2/2018
V17-059	Christensen	04-16-204-007	8255 Fox River Rd	Millbrook	Remodeling with	10/30/2017			11/14/2017
V17-060	Walper	04-16-126-001	8025 Whitfield Rd	Millbrook	Possible occupie	10/30/2017			11/13/2017
V17-061	Hernandez	03-12-203-011	29 Gastville Rd	Gastville Acreag	Running a Landsc	10/30/2017			11/13/2017
V17-062	Bemister	05-09-152-001	33 Bonnie Lane	Williams	Fence placed in t	11/13/2017			11/27/2017
V17-063	Amstadt	02-35-380-001	7796 Madeline Dr	Fields Of Farm C	Prohibited Parkin	11/17/2017			12/15/2017
V17-064	Alvarez	02-35-431-010	5748 Audrey Ave	Fields Of Farm C	Inoperable Vehic	11/17/2017			12/7/2017
V17-065	Biesterfeld	05-06-127-001	42 W. Fox Glen Drive	Fox Glen	Shed being built	11/21/2017			11/30/2017
V17-066	Merchants Ntl Bank	03-18-403-015	5375 Route 34		Occupying B-2 c	11/27/2017			12/11/2017
V17-067	Karen Coonley	03-04-428-001	162 Heathgate Rd	Boulder Hill	Shed being built	11/29/2017			12/14/2017
V17-068	Johnson	05-02-101-002	324 Austin	Fields of Farm C	Illegal Trailer Par	11/28/2017			12/7/2017
V17-069	Commonwealth Edison	03-07-251-001	Commerce Drive		Illegal Dumping /	11/30/2017			1/16/2018
V17-070	Melrose Holdings I LLC	03-07-177-004	Commerce Drive		Illegal Dumping /	11/30/2017			1/18/2018
V17-071	Stephens	04-16-251-009	7 Sherman St.	Village of Millbro	Shipping containe	11/30/2017			1/23/2018
V17-072	Alcala	03-04-355-001	190 Boulder Hill Pass	Boulder Hill	Inoperable Vehic	11/20/2017			3/14/2018

Non Violations 2019

Date	Name	Address	Subdivision	PIN #	Description	Date Inspected	Violation Y/N
12/3/2018	Perez	22 Cayman Dr	Boulder Hill	03-09-103-002	Trailer parked in front yard	1/3/2019	N
12/3/2018	Hurtado	116 Longbeach Rd	Boulder Hill	03-04-408-037	Trailer parked in front yard	1/3/2019	N
12/3/2018	Schanz	67 Saugatuk Rd	Boulder Hill	03-04-454-017	Truck parked on grass/prohibited trailer parking	1/3/2019	N
12/7/2018	Medgyesi	2588 I Rock Creek Rd	Solitude Lakes	01-14-325-003	Build 3 season room w/o permit	1/3/2019	N
12/13/2018	Grogan	14 Maple St	Foxlawn	05-05-103-002	5 Inoperable Vehicles	12/20/2018	N
12/21/2018	Pratt	74 W. Rickard Dr		02-14-428-001	Possible Inoperable Vehicles	1/17/2019	N
12/28/2018	Tapia	99 Clark Ave Oswego	Clark's	02-13-277-003	Trash dumping onto property	1/2/2018	N
1/9/2019	Freda	5724 Minkler Rd		02-36-300-005	Possible Dog Grooming Business	1/12/2019	N
1/9/2019	Benes	2575 Wolfs Crossing Rd		03-15-126-004	Manner Pile affecting storm drain	1/18/2019	N
2/7/2019	Hideaway Lakes/Tanner	8045 Van Emmon Rd		03-42-226-001	Water issue - no water for campground	2/7/2019	Referred to HDD
2/11/2019	Waldron	8 Shagbark Ln	Foxhurst	04-09-377-002	Possible horses	2/14/2019	N
2/19/2019	Osterhoh	33 Scarsdale Rd	Boulder Hill	03-05-453-031	Building w.o permit	5/22/2019	Y-Permit approved
2/21/2019	Brown	39 Whitney Way	Boulder Hill	03-04-329-016	Possible inoperable vehicle	3/13/2019	N
2/28/2019	Diangikis	7520 Route 34		02-23-202-022	Burn Pile a concern	2/28/2019	N
2/28/2019	Waldron	8 Shagbark Ln	Foxhurst	04-09-377-002	Baby goats in backyard	3/6/2019	N
3/1/2010	Lauderdale	129 Braeburn	Boulder Hill	03-04-407-013	Junk & Debris	3/7/2019	N
3/1/2019	Wilson/Czaska	134 Braeburn	Boulder Hill	03-04-403-018	Junk & Debris	3/7/2019	N
3/7/2019	Lewis	78 N Linden Dr	Meyerbrook	01-16-401-002	Junk & Debris	3/19/2019	N
3/8/2019	Hideaway Lakes	8045 Van Emmon			Raw Sewage	3/8/2019	N-Health Dept.
3/13/2019	Freda	5724 Minkler Rd		02-36-300-005	Possible Dog Grooming Business	3/20/2019	N
3/14/2019	Schanz	67 Saugatuk	Boulder Hill	03-04-454-017	Illegal parking	3/27/2019	N
3/18/2019	Wheaton	5626 Minkler Rd	Squaw Valley	02-36-300-014	Box Truck & trailer in front yard	4/24/2019	N
3/19/2019	Francesconi	7646 Fairway Dr	Whitetail	06-07-402-003	Operating Food Business out of home	3/23/2019	Referred to HDD
3/21/2019	Horsely/Kassl	5920 Minkler Rd		02-35-400-011	Possible Dog Grooming Business	3/29/2019	Home Occup
3/22/2019	Gonzalez	38 Circle Dr E	Boulder Hill	03-05-427-009	Possible Inoperable Vehicle	3/28/2019	N
4/9/2019	Nelson	4 Circle Dr W	Boulder Hill	03-05-453-001	Possible Inoperable Vehicle	4/11/2019	N
4/9/2019	Cadena	140 Saugatuck Rd	Boulder Hill	03-03-352-004	Inoperable Vehicle	4/23/2019	N
4/9/2018	Paravola	21 Tomahawk Trl	Arrowhead Hills	03-31-478-006	Possible Business in R-3	5/6/2019	N
4/9/2019	Corona	3279 Route 52		09-16-200-015	Possible remodel & occupied RV	5/9/2019	N
4/9/2019	Macias	3610 Van Dyke Rd		09-04-300-005	Possible occupied structure/Livestock issue	5/17/2019	N
4/9/2019	Quiroz	4080 Van Dyke Rd		09-05-400-018	Possible occupied trailer and shed	5/17/2019	N
4/9/2019	Aguilar	3400 blk Route 52		09-16-400-010	Possible occupied trailers	5/17/2019	N
4/10/2019	Aguilar	4063 Van Dyke Rd		09-05-400-012	Possible occupied structures	5/17/2019	N
4/15/2019	Stone	10 Hillview Ct	Pavillion Hts	05-07-101-004	Semi parked in court	4/8/2019	N
4/17/2019	Hughes	50 Circle Drive E	Boulder Hill	03-04-305-016	Inoperable Vehicle	4/18/2019	N
4/18/2019	Madison Tr	10978 Crimmin Rd		04-03-400-013	Truck Dispatch business	5/2/2019	N
4/18/2019	Millington United Church	11090 Crimmin Rd		04-31-200-007	Hay Depot operation	5/2/2019	N
4/22/2019	Gervas	35 Old Post Rd	Boulder Hill	03-08-227-042	Trailer in front yard	4/23/2019	N
4/22/2019	White	23 Woodcliff Dr	Boulder Hill	03-05-277-033	2nd story door/no decking	4/23/2019	N
4/26/2019	Robbins	21 Fox Ct	Fox Station	04-01-401-001	Inoperable Vehicle/Junk & Debris	8/5/2019	N
4/30/2019	Coulouris	2480 A Bristol Ridge Rd		02-15-177-005	Shed - no permit	5/24/2019	Applied for BP

Non Violations 2019

5/2/2019	Schneeman / Buller	20 Riverwood Ln	Riverwood	02-14-478-010	Stormwater issue/water gushing into creek	5/6/2019	N
5/6/2019	Amstadt	7796 Madeline Dr	FOFC	02-35-380-001	Prohibited RV Parking	5/21/2019	N
5/8/2019	Sullivan Lv Tr	20 Hillview Ct.	Pavillion Hts	05-07-101-002	Sump pump discharging onto 16 Hillview Ct.	5/8/2019	N
5/10/2019	Frescura	14565 Jughandle Rd	Langeland's	09-15-300-016	Commercial Bus./Occupied barn	6/11/2019	N
5/10/2019	Haase	15100 Jughandle Rd	Aux Sable Oaks	09-22-200-004	Dumping dirt. Construction w.o permit	5/10/2019	N
5/10/2019	Wright Sr	15130 Jughandle Rd	Aux Sable Oaks	09-22-200-005	Possible occupied garage	5/21/2019	N
5/15/2019	Borucki	9 Guilford Rd	Boulder Hill	03-08-202-027	RV parked in front yard	5/15/2019	N
5/17/2019	Gordon	28 Parkway Dr	River Edge	02-23-153-004	Accessory Structure - No permit	6/4/2019	Applied for BP
5/24/2019	James Williams Trust	64 Old Post Rd	Boulder Hill	03-09-152-013	Boat parking on non approved surface	7/1/2019	N
5/27/2019	Lacoursiers	16 Grove St	Vil of Bristol	02-15-157-004	Tree damage to power lines	6/26/2019	N
5/28/2019	Hamaker	5395 Half Round Rd	Old Reserve	03-32-132-003	Water issues in backyard from neighbor	6/11/2019	N
5/29/2019	Davidson	2 Dolphin Ct.	Marina Terrace	03-07-229-018	Driveway holding water	6/5/2019	Ref to Oswego Twshp
5/29/2019	Bakos	31 W Anchor Rd	Marina Terrace	03-07-231-007	Trees growing in drainage	6/5/2019	Ref to Oswego Twshp
5/29/2019	Farrell	corner of Anchor & Dolphin	Marina Terrace		View at corner blocked by overgrown trees	6/3/2019	Referred to HDD
5/31/2019	Kendall Land LLC	137 Dolores St	Shore Heights	03-07-430-015	Burning in back yard - daily poss. garbage	6/3/2019	Applied for BP
6/3/2019	Blalock	16505 Burr Oak Rd	Southfield	01-32-200-001	Pole Building - No Permit	6/25/2019	N
6/3/2019	Hall	1937 Winchester Ct	Boulder Hill	06-02-103-003	Possible stormwater violation	6/5/2019	N
6/3/2019	Hall	20 Longbeach Rd	Boulder Hill	03-04-307-018	Not given	6/5/2019	N
6/3/2019	Ochoa	73 Pueblo	Boulder Hill	03-04-378-014	Not given	6/5/2019	N
6/3/2019	Slack	41 Whitney Way	Boulder Hill	03-04-329-017	Not given	6/5/2019	N
6/3/2019	Collier	9 Woodridge Rd	Boulder Hill	03-04-303-004	Not given	6/5/2019	N
6/3/2019	Curless	22 Woodridge Rd	Boulder Hill	03-04-153-026	Not given	6/5/2019	N
6/10/2019	Grand Prairie Equestrian	3428 Roth Rd		03-23-277-004	Manner piling up	6/12/2019	N
6/17/2019	DeLaTorre	33 Old Post Rd	Boulder Hill	03-08-227-041	Trailer in Required Front Yard	6/18/2019	N
6/18/2019	Vasquez	1 Knollwood Dr	Boulder Hill	03-05-278-028	Junk & Debris - on public sidewalk	6/19/2019	Ref to Oswego Twshp
6/20/2019	Badus	7405 Audrey Ave	Rose Hill	05-02-201-006	Drainage issue	6/26/2019	Ref to Kendall Twshp
6/24/2019	Sec of Vet Affairs	14 Maple Street	Fox Lawn	05-05-103-002	Burning of household items	6/26/2019	Ref to HDD
6/27/2019	Cade	2970 C Rock Creek Rd		01-23-100-002	Bed & Breakfast	9/24/2019	N
7/2/2019	Eschbach	121 Heathgate Rd	Boulder Hill	03-04-255-011	Bathroom fire	8/7/2019	No permit req
7/3/2019	Crissip	23 Oaklawn Ave	River Ridge	02-23-154-010	Tall Grass	7/3/2019	Ref to Bristol Twshp
7/3/2019	American Elm / Crimmon	51 Paddock St.	Boulder Hill	03-04-477-004	Possible AirBNB	7/11/2019	N
7/8/2019	Cudebec	939 Heartland Dr		02-28-278-005	Possible stormwater issue	7/9/2019	Ref to Yorkville
7/10/2019	Guzman Jr.	13039 McKanna Rd		09-09-100-002	Possible occupied accessory bldg	7/11/2019	N
7/10/2019	Anderson	6759 Chicago Rd.	Plattville	08-12-102-009	Horses on property	8/1/2019	N
7/11/2019	Suzie's Bar/Chesre	4353 Tuma Rd	Mohrs	02-28-277-002	Fire	7/23/2019	N
7/16/2019	Cooper	Route 34 Plano		01-24-300-024	Off Premise advertising sign	7/23/2019	N
7/17/2019	Barragan	7 Sonora Dr	Boulder Hill	03-04-282-004	Accessory structure in setback	7/31/2019	N
7/22/2019	Richmond	11 Guilford Rd	Boulder Hill	03-08-202-026	Possible Halfway House	8/7/2019	N
7/23/2019	Braves Realty/Jarrett	37 Woodridge Rd	Boulder Hill	03-04-154-002	Prohibited Boat parking	7/23/2019	N
7/23/2019	Hagen	144 Laurie Ln	Shore Heights	03-07-427-009	Extensive House Fire	8/7/2019	Applied for BP
7/24/2019	Lamberty	17 Fieldpoint Rd	Boulder Hill	03-08-277-024	Possible rental of rooms	8/12/2019	N
7/24/2019	Pacyga	20 Cebold Dr	Boulder Hill	03-08-280-010	Inoperable Vehicle	8/6/2019	N

Non Violations 2019

7/24/2019	Henn	16 Ceboid Dr	Boulder Hill	03-08-280-008	Inoperable Vehicle	8/6/2019	N
7/25/2019	Castle	311 Boulder Hill Pass	Boulder Hill	03-09-155-025	Remodeling without permit	8/7/2019	N
7/25/2019	Velazquez	2200 Route 52		09-15-400-016	Operating a bakery/church	7/31/2019	Ref to HHD
7/25/2019	Hughes	38 Atton Dr.	Boulder Hill	03-04-277-041	Vehicle parked on non approved surface	8/12/2019	N
7/26/2019	Adamovich	34 Atton Dr	Boulder Hill	03-04-277-039	Possible chickens/rooster on property	8/13/2019	N
7/29/2019	Stuck	5535 Jennifer ct.	FOFC	02-35-255-002	RV parked in front yard	8/23/2019	N
7/30/2019	Moore/Alexander	19 Ceboid	Boulder Hill	03-08-253-024	Inspection/meeting - possible addition/setbacks	7/31/2019	N
7/31/2019	Stefbold	22 S. Bereman Rd	Boulder Hill	03-05-430-009	RV parked in front yard	8/1/2019	N
8/1/2019	Soumar	12296 Mitchell Dr	Schaefer Woods	01-25-461-007	Addition - No Permit	9/10/2019	Applied for BP
8/5/2019	Ratu	56 Riverside Dr	Fox River Gardens	02-27-328-007	Junk & Debris/Dumping Dirt in corner	8/7/2019	N
8/5/2019	Hoak	604 Victoria Ave	Wackerlin	02-28-453-006	Junk & Debris	8/7/2019	N
8/5/2019	Amstadt	7796 Madeline Dr	FOFC	02-35-380-001	RV parked in front yard	8/7/2019	N
8/5/2019	Garcia	365 Emily Ct.	FOFC	05-02-102-014	Trailer parked in front yard	8/12/2019	N
8/5/2019	Reinert	13 Pickford Rd.	Boulder Hill	03-08-278-017	Parking in required front yard setback	8/13/2019	N
8/5/2019	Robles/ Del Rosario Beltran	32 Circle Dr. W	Boulder Hill	03-05-454-007	Parking in required front yard setback	8/13/2019	N
8/5/2019	Bolf	50 Longbeach Rd	Boulder Hill	03-04-328-013	Parking in required front yard setback	8/13/2019	N
8/5/2019	Knox	33 Seneca Dr	Boulder Hill	03-05-430-043	Parking in required front yard setback	8/13/2019	N
8/6/2019	Andersen	24 Oak Hill Dr	Oak Hill	02-13-453-006	Business out of home/Driveway w/o Permit	8/7/2019	N
8/15/2019	Anderson	8 N Hudson St.	Vil of Millbrook	04-16-129-001	Multiple Violations	9/17/2019	N
8/19/2019	Garcia/Lopez	126 Dolores St	Shore Heights	03-07-429-018	Inoperable Vehicle	9/10/2019	N
8/19/2019	Gonzalez	12005 Peterson Rd		09-04-200-001	Possible Landscaping business	8/8/2019	N
8/19/2019	Velazquez	2200 Route 52		09-15-400-016	Possible Illegal Banquet facility	9/9/2019	N
8/22/2019	Coulouris	2480 Bristol Ridge Rd. A		02-15-177-005	Possible Auto Repair business	9/30/2019	N
8/26/2019	Rife	5 Ottawa Ct.	Na-Au-Say Woods	03-31-452-006	Possible RV's parked in front yard setback	9/10/2019	N
8/27/2019	Reinert	75 Circle Dr. East	Boulder Hill	03-14-306-013	Multiple Violations	9/11/2019	N
8/27/2019	Ayala	58 Briarcliff Rd.	Boulder Hill	03-05-279-013	Prohibited parking in grass	9/10/2019	N
9/3/2019	Livingston	5 Chippewa Ct	Na-Au-Say Woods	06-06-276-009	Campers parked in front yard setback	9/10/2019	N
9/3/2019	Sittig	200 Fernwood Rd	Boulder Hill	03-04-251-029	Trailer/RV in yard	9/10/2019	N
9/4/2019	Rife	5 Ottawa Ct.	Na-Au-Say Woods	03-31-452-006	Possible RV's parked in front yard setback	9/9/2019	N
9/19/2019	Haff	6799 Oakbrook Rd.		04-05-400-004	Poss Occupied shed & Inoperable vehicle	9/24/2019	N
9/19/2019	Andersen	24 Oak Hill Dr	Oak Hill	02-13-453-006	Shed encroaching 5' setback	9/24/2019	N

Permit Summary by Category by Month Kendall County

Permit Category	Total	Jan	Feb	Mar	Apr	May	Jun	Jul	Aug	Sep	Oct	Nov	Dec
House	15	1	0	0	1	4	4	1	3	1	0	0	0
Garage	9	0	0	1	2	0	0	2	2	2	0	0	0
Accessory Buildings	51	1	1	2	6	10	10	6	5	8	2	0	0
Additions	14	1	0	0	3	0	0	1	4	4	1	0	0
Remodeling	16	0	2	4	1	3	1	0	3	1	1	0	0
Commercial - B Zone	1	0	0	0	0	1	0	0	0	0	0	0	0
Barns/Farm Buildings	13	0	0	4	1	1	1	1	5	0	0	0	0
Signs	4	0	1	1	1	0	0	0	1	0	0	0	0
Swimming Pools	17	0	0	1	2	4	3	4	0	3	0	0	0
Decks	7	0	0	0	2	2	2	0	0	1	0	0	0
Demolitions	5	2	1	1	0	0	1	0	0	0	0	0	0
Electrical Upgrades	3	0	0	0	0	0	1	0	2	0	0	0	0
Change in Occupancy	6	0	1	1	1	1	0	1	0	0	1	0	0
Driveway	9	0	0	0	3	2	1	1	1	1	0	0	0
Fire Restoration	3	0	1	2	0	0	0	0	0	0	0	0	0
Patio	1	0	0	0	0	0	0	0	1	0	0	0	0
Generator	10	0	2	0	0	3	2	1	1	0	1	0	0
Solar	19	4	0	0	2	5	1	2	2	3	0	0	0
	203	9	9	17	25	36	27	20	30	24	6	0	0

2018 YTD 17 Houses
180 Total Permits

Sept 2018 - 2 Houses
- 16 Total Permits

**Permit Summary by Category
Kendall County**

Permit Category	Count	Estimated Cost	Permit Fees	Land Cash
House	1	\$200,000	\$1,850	\$0
Garage	2	\$34,000	\$400	\$0
Accessory Buildings	8	\$223,500	\$2,151	\$0
Additions	4	\$177,500	\$745	\$0
Remodeling	1	\$675,000	\$0	\$0
Swimming Pools	3	\$122,000	\$600	\$0
Decks	1	\$15,634	\$200	\$0
Driveway	1	\$9,000	\$200	\$0
Solar	3	\$70,156	\$750	\$0
	24	\$1,526,790	\$6,896	\$0

Permit Approval Date Report

Kendall County

Issue Date	Permit ID	Permit Category	Parcel Number	Owner Name	Property Address	Subdivision	Contractor Name
9/16/2019	012019155	01 House	02-36-102-009	ANDERSON MICHAEL J & SANDRA M	429 COUNTRY RD YORKVILLE, IL. 60560	FARM COLONY	CL DESIGN-BUILD
9/24/2019	012019194	01 House	02-15-161-001	WALKER ROBERT & SARAH	33 PLUM ST BRISTOL, IL 60512-	HUNTSVILLE (ORIGINAL TOWN)	SELF
9/12/2019	022019163	02 Garage	03-27-377-003	PETERSON LEVON M & CASSIE	83 LEISURE LN OSWEGO, IL 60543-	LEISURE LEA UNIT 3	COACH HOUSE GARAGES
9/26/2019	022019209	02 Garage	02-26-476-003	WADE, KATHRYN A & DAVIS, MICHAEL D	36 OAK CREEK DR YORKVILLE, IL 60560-	OAK CREEK SUB UNIT 2	
9/19/2019	022019200	02 Garage	02-36-104-005	LONG JAMES FLETCHER & MARGUERITE MARRAVANI	366 TALLGRASS LN YORKVILLE, IL 60560-	FARM COLONY UNIT 1 RESUB PT LT 61	
9/10/2019	032019188	03 Accessory Buildings	04-08-200-026	FRIEDERS MARK & TRACY	7425 OAKBROOK RD NEWARK, IL 60541-		CHARLES RUH - CFR BUILDERS
9/9/2019	032019192	03 Accessory Buildings	06-05-393-014	ZOLLINGER PENNY S	4643 WAAKEESHA DR OSWEGO, IL 60543-	HENNEBERRY WOODS UNIT 2	
9/24/2019	032019202	03 Accessory Buildings	02-14-351-003	SCHOGGER DANNY & ZAPPA MICHELE	2775 KENNEDY RD OSWEGO, IL 60543-	STRUKELS PARADISE LAKE UNIT 1	WICK BUILDINGS
9/10/2019	032019190	03 Accessory Buildings	07-35-100-006	REIBEL DOUGLAS W & JENNY M	13636 WHITEWILLOW RD NEWARK, IL 60541-		FBI BUILDINGS
9/10/2019	032019189	03 Accessory Buildings	09-24-100-007	BROZOVICH MICHAEL & NADA	601 BELL RD MINOOKA, IL 60447-	BROZOVICHS SUB	
9/24/2019	032019203	03 Accessory Buildings	02-11-177-005	REILLY JOSEPH J & SENA TRACEY E	7588 GALENA RD BRISTOL, IL 60512-	STORYBOOK HIGHLANDS	

Permit Approval Date Report

Kendall County

Issue Date	Permit ID	Permit Category	Parcel Number	Owner Name	Property Address	Subdivision	Contractor Name
9/10/2019	032019191	03 Accessory Buildings	03-04-376-030	BARLETT DUSTIN W & KEARNS CRYSTAL K	27 LONGBEACH RD MONTGOMERY, IL 60538-	BOULDER HILL UNIT 10	
9/16/2019	042019198	04 Additions	03-18-401-006	SOMACAL DANDRA J	88 OSAGE CT OSWEGO, IL 60543-	HIGHLAND SUB	RLK BUILDERS INC.
9/16/2019	042019197	04 Additions	09-16-400-010	AGUILAR MIGUEL & IDOLINA	3400 ROUTE 52 MINOOKA, IL 60447-		SELF
9/11/2019	042019187	04 Additions	04-02-225-001	WRIGHT VIVIAN C	13231 WATERCRESS RD YORKVILLE, IL 60560-	THE WOODS OF SILVER SPRINGS	L.T.PFAFF BUILDERS INC.
9/24/2019	042019204	04 Additions	07-22-300-008	MITCHELL CURTIS B	15665 TOWNHOUSE RD NEWARK, IL 60541-		
9/10/2019	052019193	05 Remodeling	09-35-200-002	BAKER RODERICK F III & BAKER BARBARA	17128 HARE RD MINOOKA, IL 60447-		
9/3/2019	052019185	05 Remodeling	03-32-326-008	HUBER, ADAM & SIMMONS, KATLYN	47 CRESTVIEW DR OSWEGO, IL 60543-	CRESTVIEW WOODS	
9/26/2019	122019210	12 Swimming Pools	02-22-151-010	BERRY SCOTT R & SARAH E	8877 KENNEDY RD YORKVILLE, IL 60560-	BRISTOL LAKE SUB	SWIM SHACK INC
9/25/2019	122019208	12 Swimming Pools	04-09-376-002	ROACH DREW & AMY	7 SHAGBARK LN MILLBROOK, IL 60536-	FOXHURST UNIT 6	KAYAK POOLS
9/18/2019	122019199	12 Swimming Pools	02-35-301-003	GALARZA RICARDO	339 AUSTIN CT YORKVILLE, IL 60560-	FIELDS OF FARM COLONY UNIT 1	NAPERVILLE POOL
9/11/2019	132019195	13 Decks	02-24-201-002	WHITE GARY A & SUSAN D	162 PLEASANTVIEW DR OSWEGO, IL 60543-	SERENITY ON THE FOX	

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9/24/2019	182019206	18 Driveway	03-05-404-035	VARGAS JESUS	21 GREENFIELD RD MONTGOMERY, IL 60538-	BOULDER HILL UNIT 6	
9/24/2019	242019207	24 Solar	03-04-476-023	CRUZ ANTONIO	58 PADDOCK ST MONTGOMERY, IL 60538-	BOULDER HILL UNIT 24	SUNRUN INSTALLATION
9/24/2019	242019205	24 Solar	08-12-103-005	BILINSKI CAROL ANN	6792 CHICAGO RD YORKVILLE, IL 60560-		CERTASUN LLC
9/16/2019	242019196	24 Solar	01-19-426-010	SMITH RUSSELL	43 HUNTSMEN DR PLANO, IL 60545-	HUNTSMEN TRAILS SUB	INDEPENDENCE RENEWABLE ENERGY
9/3/2019	242019186	24 Solar	03-08-277-031	RAMIREZ, RAMON & RAMOS, IRENE	33 FIELDPOINT RD MONTGOMERY, IL 60538-	BOULDER HILL UNIT 25	SUNRUN INSTALLATION

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2/5/2019	012019017	01 House	03-32-326-003	FAZIO JOSEPH & BOWERS TRACY	67 CRESTVIEW DR OSWEGO, IL. 60543	CRESTVIEW WOODS	DJK CUSTOM HOMES INC.
6/5/2019	012019117	01 House	07-18-400-001	MICHEL BRIAN J	17510 FERN DELL RD NEWARK, IL 60541-		
8/28/2019	012019175	01 House	06-18-200-004	ANDERSON JOSH M & HEATHER L	8360 GROVE RD YORKVILLE, IL 60560-		AM KITCHEN & BATH
9/16/2019	012019155	01 House	02-36-102-009	ANDERSON MICHAEL J & SANDRA M	429 COUNTRY RD YORKVILLE, IL. 60560	FARM COLONY	CL DESIGN-BUILD
6/20/2019	012019070	01 House	05-12-228-017	MORSE JAMES R & GERALYN L	7233 IRONWOOD CT YORKVILLE, IL 60560-	WHITETAIL RIDGE	LJ MORSE CONSTRUCTION CO.
8/14/2019	012019167	01 House	04-33-100-002	JOSEPH R. & KAREN G. AMODEA	15777 HUGHES RD. NEWARK, IL. 60541		
4/11/2019	012019045	01 House	07-09-100-010	BENDER FAMILY LTD PARTNERSHIP % SOY CAPITAL AN OFFSHORE	12961 SLEEZER RD NEWARK, IL. 60541		CORE HOMES LLC
6/17/2019	012019094	01 House	05-12-277-005	MCCUE BUILDERS INC	7398 CLUBHOUSE DR YORKVILLE, IL 60560-	WHITETAIL RIDGE	
6/21/2019	012019121	01 House	02-35-410-005	FORTIER BRIAN & SARAH	7692 COLE COURT YORKVILLE, IL. 60560	FIELDS OF FARM COLONY UNIT 3	BART HOMES
6/13/2019	012019086	01 House	02-11-300-007	CRAIG & DIANE ZIMMERMAN	7861 GALENA ROAD BRISTOL, IL. 60512		SAME
9/24/2019	012019194	01 House	02-15-161-001	WALKER ROBERT & SARAH	33 PLUM ST BRISTOL, IL 60512-	HUNTSVILLE (ORIGINAL TOWN)	SELF

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5/8/2019	012019073	01 House	07-35-300-005	JAY AND MEGAN VINING	17561 SCOTT SCHOOL RD NEWARK, IL. 60541		BLACKJACK BUILDERS
7/1/2019	012019120	01 House	02-35-380-011	BANACH LUKASZ & HELENA	7562 MADELINE DRIVE YORKVILLE, IL. 60560	FIELDS OF FARM COLONY LIV COMPANIES, LLC UNIT 3	
7/16/2019	012019134	01 House	06-05-402-005	BROWN LEVELLE	4308 CHERRY RD OSWEGO, IL 60543-	HENNEBERRY WOODS UNIT 1	CL DESIGN-BUILD, INC.
9/26/2019	022019209	02 Garage	02-26-476-003	WADE, KATHRYN A & DAVIS, MICHAEL D	36 OAK CREEK DR YORKVILLE, IL 60560-	OAK CREEK SUB UNIT 2	
8/19/2019	022019166	02 Garage	02-11-128-011	SAVINO JO ANN TRUST % SMITH	62 S CYPRESS DR BRISTOL, IL 60512-	WILLOWBROOK UNIT 2 AMNDED PLAT	SELF
4/16/2019	022019059	02 Garage	01-10-101-003	PIERCE ERIC D & AMANDAN	1148 VILMIN RD PLANO, IL 60545-		SELF
9/19/2019	022019200	02 Garage	02-36-104-005	LONG JAMES FLETCHER & MAURITZ MCRIVAN	366 TALLGRASS LN YORKVILLE, IL 60560-	FARM COLONY UNIT 1 RESUB PT LT 61	
7/3/2019	022019139	02 Garage	02-26-377-004	BRANDAU PETER W & SUSAN P	7609 B RIVER OAKS DR YORKVILLE, IL 60560-	FOX RIVER OAKS	DANLEY'S GARAGE WORLD
3/13/2019	022019031	02 Garage	01-14-326-005	SECOR LAWRENCE C & DENISE M	2588 D ROCK CREEK RD PLANO, IL 60545-	SOLITUDE LAKES SETTLEMENT	COACH HOUSE OF YORKVILLE
4/24/2019	022019064	02 Garage	05-18-153-001	MCCUSKER MICHAEL J & PAMELAK	64 COTSWOLD DR YORKVILLE, IL 60560-	COTSWOLD FEN PUD PHASE 4	SAME
7/11/2019	022019137	02 Garage	05-08-251-002	LECHOWICZ ERIC ANTHONY & JEANETTE I VANNI	125 NAWAKWA LN YORKVILLE, IL 60560-	NAWAKWA SUB	CLEAR BUILDING CORP.

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9/12/2019	022019163	02 Garage	03-27-377-003	PETERSON LEVON M & CASSIE	83 LEISURE LN OSWEGO, IL 60543-	LEISURE LEA UNIT 3	COACH HOUSE GARAGES
8/26/2019	032019177	03 Accessory Buildings	01-21-100-005	LP NELSON TRUST	16000 FRAZIER RD PLANO, IL 60545-		
8/1/2019	032019151	03 Accessory Buildings	03-04-282-004	BARRAGAN DAVID JR	7 SONORA DR MONTGOMERY, IL 60538-	BOULDER HILL UNIT 26	
7/24/2019	032019149	03 Accessory Buildings	09-21-300-005	TREDENNICK RON D & WENDY	3670 BELL RD MINOOKA, IL 60447-		CLEARLY BUILDING CORP
4/3/2019	032019048	03 Accessory Buildings	04-16-251-005	KAIL ROBERT & DEANNA S	25 SHERMAN ST MILLBROOK, IL 60536-		
7/30/2019	032019153	03 Accessory Buildings	04-09-351-010	ANDERSON GREGORY J & DAWN M	6 FOX RUN DR MILLBROOK, IL 60536-	FOXHURST UNIT 4	ROBERT E LEE
8/15/2019	032019169	03 Accessory Buildings	02-35-412-004	CZEPIEL KATHERINE & DAVID	5583 FIELDS DR YORKVILLE, IL 60560-	FIELDS OF FARM COLONY UNIT 4	SELF
4/18/2019	032019060	03 Accessory Buildings	03-18-451-005	MAYER PAUL H & CYNTHIA M	39 E PLEASANTVIEW DR OSWEGO, IL 60543-	RIVERVIEW HEIGHTS	LEON BUILDERS
6/27/2019	032019136	03 Accessory Buildings	02-13-453-006	ANDERSEN REBECCA & CHAD	24 OAK HILL DR OSWEGO, IL 60543-	OAK HILLS	Millennium Construction
4/1/2019	032019044	03 Accessory Buildings	03-13-400-005	RODRIGUEZ, HECTOR	227 RANCE RD OSWEGO, IL 60543-		
3/21/2019	032019035	03 Accessory Buildings	01-05-201-002	HENDERSON ALEX	16469 GALENA RD PLANO, IL 60545-	LITTLE ROCK (ORIGINAL TOWN)	SAME

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6/21/2019	032019131	03 Accessory Buildings	03-08-279-004	LUKACH ROBERT J	14 PICKFORD RD MONTGOMERY, IL 60538-	BOULDER HILL UNIT 21	
2/5/2019	032019020	03 Accessory Buildings	08-12-127-001	SHARP EDDIE W & GUYLAL	6720 CHICAGO RD YORKVILLE, IL 60560-		BOB LEE
6/21/2019	032019129	03 Accessory Buildings	04-16-204-010	MADDOX KAMUELA A & ANASTASIA D	8205 WHITEFIELD RD MILLBROOK, IL 60536-		
1/4/2019	032019009	03 Accessory Buildings	06-33-300-004	WILSON MICHAEL JEAN & PAMELA	11995 MCKANNA RD MINOOKA, IL 60447-		
6/4/2019	032019112	03 Accessory Buildings	02-23-153-004	GORDON MARK & MONICA C	28 PARKWAY DR YORKVILLE, IL 60560-		
6/19/2019	032019128	03 Accessory Buildings	03-01-351-008	EDWARDS PHILIP A TRUST	997 HARVEY RD OSWEGO, IL 60543-		
6/3/2019	032019110	03 Accessory Buildings	09-18-200-005	MASKEL ROBERT A & VICKY J	14225 GROVE RD MINOOKA, IL 60447-		
6/12/2019	032019108	03 Accessory Buildings	03-19-126-003	ERICKSON WILLIAM J & LYNNE E	48 RIVERVIEW CT OSWEGO, RIVERVIEW HEIGHTS IL 60543-		COACH HOUSE OF YORKVILLE
5/24/2019	032019104	03 Accessory Buildings	02-15-177-005	COULOURIS, GREGORY L & DUBLIN, WALTER	2480 A BRISTOL RIDGE RD BRISTOL, IL 60512-		
5/22/2019	032019099	03 Accessory Buildings	02-36-102-003	HENCZEL DAVID C DECL OF TRUST & PATRICIA MEZA DENNIS	385 COUNTRY RD YORKVILLE, IL 60560-	FARM COLONY	BACKYARD BULDINGS
6/17/2019	032019123	03 Accessory Buildings	02-13-354-004	MUSSER BRETT R & AUBREY B	145 RIVERWOOD DR OSWEGO, IL 60543-	RIVER WOOD FARMS	BOB LEE BUILDERS

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5/16/2019	032019090	03 Accessory Buildings	03-04-476-008	DENNIS BENJAMIN R & LINDA L	65 SHEFFIELD RD MONTGOMERY, IL 60538-	BOULDER HILL UNIT 16	SAME
6/17/2019	032019122	03 Accessory Buildings	03-19-126-002	MACKIE BRIAN G & LAURIE A	40 RIVERVIEW CT OSWEGO, RIVERVIEW HEIGHTS IL 60543-		
5/24/2019	032019103	03 Accessory Buildings	05-04-177-004	KLEI JAMIE T & DENAULT ALICIA	37 WOODEN BRIDGE DR YORKVILLE, IL 60560-	CROOKED CREEK WOODS	
6/13/2019	032019087	03 Accessory Buildings	02-11-300-007	CRAIG & DIANE ZIMMERMAN	7861 GALENA ROAD BRISTOL, IL, 60512		SAME
5/23/2019	032019098	03 Accessory Buildings	03-04-377-009	MAYHUGH BRUCE W & MARGARET J	63 SIERRA RD MONTGOMERY, IL 60538-	BOULDER HILL UNIT 10	
7/1/2019	032019132	03 Accessory Buildings	06-02-177-001	SHREVE STEPHEN D & CINDY JO	73 OSWEGO PLAINS DR OSWEGO, IL 60543-	OSWEGO PLAINS	FBI BUILDINGS, INC.
6/25/2019	032019133	03 Accessory Buildings	01-32-200-001	KENDALL LAND LLC	16505 BURR OAK RD PLANO, IL 60545-		
7/11/2019	032019143	03 Accessory Buildings	03-04-327-010	MARTINEZ FILOMENA	35 SURREY RD MONTGOMERY, IL 60538-	BOULDER HILL UNIT 10	
7/3/2019	032019138	03 Accessory Buildings	01-19-378-001	LITTLEFAIR KEVIN & DENISE	14 FRAZIER CT SANDWICH, IL 60548-	HOLLIS PARK UNIT 2	
9/24/2019	032019202	03 Accessory Buildings	02-14-351-003	SCHOGGER DANNY & ZAPPA MICHELE	2775 KENNEDY RD OSWEGO, IL 60543-	STRUKELS PARADISE LAKE UNIT 1	WICK BUILDINGS
5/13/2019	032019084	03 Accessory Buildings	01-30-100-006	TOWNSEND JASON S	4505 SANDY BLUFF RD PLANO, IL 60545-		

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5/8/2019	032019071	03 Accessory Buildings	04-02-226-005	ZBELLA JAMES E & ZBELLA KATHLEEN J	6165 POLO CLUB DR YORKVILLE, IL 60560-	THE WOOD OF SILVER SPRINGS PHASE 2	
4/11/2019	032019055	03 Accessory Buildings	05-07-253-003	BECKETT CHARLES	11300 ROUTE 71 YORKVILLE, IL 60560-	ARCADIA ACRES	GAITHER QUALITY CONSTRUCTION
8/1/2019	032019157	03 Accessory Buildings	03-32-326-006	TAYLOR BRAD R & HELEN J	55 CRESTVIEW DR OSWEGO, IL 60543-	CRESTVIEW WOODS	
9/10/2019	032019191	03 Accessory Buildings	03-04-376-030	BARLETT DUSTIN W & KEARNS CRYSTAL K	27 LONGBEACH RD MONTGOMERY, IL 60538-	BOULDER HILL UNIT 10	
4/23/2019	032019062	03 Accessory Buildings	03-08-230-015	ZEDROW DONALD & LINDA	19 SOMERSET RD MONTGOMERY, IL 60538-	BOULDER HILL UNIT 25	SAME
8/26/2019	032019178	03 Accessory Buildings	01-21-100-005	LP NELSON TRUST	16000 FRAZIER RD PLANO, IL 60545-		
8/28/2019	032019176	03 Accessory Buildings	05-08-353-004	BUCIO JOSEPH T & ANDREAL	7887 TANGLEWOOD TRAILS DR YORKVILLE, IL 60560-	TANGLEWOOD TRAILS	
9/10/2019	032019190	03 Accessory Buildings	07-35-100-006	REIBEL DOUGLAS W & JENNY M	13636 WHITEWILLOW RD NEWARK, IL 60541-		FBI BUILDINGS
9/10/2019	032019189	03 Accessory Buildings	09-24-100-007	BROZOVICH MICHAEL & NADA	601 BELL RD MINOOKA, IL 60447-	BROZOVICHS SUB	
4/25/2019	032019065	03 Accessory Buildings	03-04-327-009	DALE GARY A & RITA J	33 SURREY RD MONTGOMERY, IL 60538-	BOULDER HILL UNIT 10	TUFF SHED
9/10/2019	032019188	03 Accessory Buildings	04-08-200-026	FRIEDERS MARK & TRACY	7425 OAKBROOK RD NEWARK, IL 60541-		CHARLES RUH - CFR BUILDERS

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9/9/2019	032019192	03 Accessory Buildings	06-05-393-014	ZOLLINGER PENNY S	4643 WAAKEESHA DR OSWEGO, IL 60543-	HENNEBERRY WOODS UNIT 2	
9/24/2019	032019203	03 Accessory Buildings	02-11-177-005	REILLY JOSEPH J & SENA TRACEY E	7588 GALENA RD BRISTOL, IL 60512-	STORYBOOK HIGHLANDS	
5/8/2019	032019078	03 Accessory Buildings	02-35-432-005	MCCABE MICHAEL & KRISTIE	5672 SCHMIDT LN YORKVILLE, IL 60560-	FIELDS OF FARM COLONY UNIT 4	
4/29/2019	032019066	03 Accessory Buildings	03-08-280-027	ROGERSON ROBERT D & DEBRA S	3 FIELDCREST DR MONTGOMERY, IL 60538-	BOULDER HILL UNIT 17	SAME
9/24/2019	042019204	04 Additions	07-22-300-008	MITCHELL CURTIS B	15565 TOWNHOUSE RD NEWARK, IL 60541-		
9/16/2019	042019198	04 Additions	03-18-401-006	SOMACAL DANDRA J	88 OSAGE CT OSWEGO, IL 60543-	HIGHLAND SUB	RLK BUILDERS INC.
9/16/2019	042019197	04 Additions	09-16-400-010	AGUILAR MIGUEL & IDOLINA	3400 ROUTE 52 MINOOKA, IL 60447-		SELF
9/11/2019	042019187	04 Additions	04-02-225-001	WRIGHT VIVIAN C	13231 WATERGRESS RD YORKVILLE, IL 60560-	THE WOODS OF SILVER SPRINGS	L.T.PFAFF BUILDERS INC.
8/29/2019	042019182	04 Additions	02-35-103-003	ALLISON MICHAEL	55 COUNTRYVIEW DR YORKVILLE, IL 60560-	COUNTRY VIEW SUB	B & M BUILDERS INC
8/6/2019	042019179	04 Additions	03-08-253-024	ALEXANDER, FRANCES	19 CEBOLD DR MONTGOMERY, IL 60538-	BOULDER HILL UNIT 17	
8/28/2019	042019173	04 Additions	01-25-461-007	SOUMAR MILES B & KERRI E	12296 MITCHELL DR PLANO, IL 60545-	SCHAEFFER WOODS SOUTH UNIT 1	SAME

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8/22/2019	042019171	04 Additions	04-21-127-005	KATH BRADLEY M & CHRISTINE N	15690 STONEWALL DR NEWARK, IL 60541-	ESTATES OF MILLBROOK UNIT 3	SAME
7/19/2019	042019142	04 Additions	02-35-103-008	AVELAR, SALVADOR CASTRO & RAMIREZ, MARIANA	7921 VAN EMMON RD YORKVILLE, IL 60560-	WENDLING SUB	
5/1/2019	042019068	04 Additions	03-12-203-015	KAMES RICHARD K & JENNIFER L	3 GASTVILLE ST AURORA, IL 60503-	GASTVILLE RESUB LOT 1	
5/1/2019	042019067	04 Additions	09-15-200-005	GUZMAN RAMIRO & GRACE	14021 ARBETTER RD MINOOKA, IL 60447-		
4/16/2019	042019058	04 Additions	07-16-100-003	LAPRAIRIE PETER J & ENGELBY SABINE	14080 TOWNHOUSE RD NEWARK, IL 60541-		
1/22/2019	042019014	04 Additions	02-23-228-008	SHEEREN PATRICIA J	30 BRISTOL CT OSWEGO, IL 60543-	CHRISTIAN SUB	VAN DUZOR CONSTRUCTION CO., LLC
9/10/2019	052019193	05 Remodeling	09-35-200-002	BAKER RODERICK F III & BAKER BARBARA	17128 HARE RD MINOOKA, IL 60447-		
9/3/2019	052019185	05 Remodeling	03-32-326-008	HUBER, ADAM & SIMMONS, KATLYN	47 CRESTVIEW DR OSWEGO, IL 60543-	CRESTVIEW WOODS	
8/28/2019	052019174	05 Remodeling	03-04-283-002	KITTOE DONALD E	43 FALLCREEK CIR MONTGOMERY, IL 60538-	BOULDER HILL UNIT 35	
5/24/2019	052019088	05 Remodeling	05-12-220-008	FUGLESTAD ALAN & KIM	7341 CLUBHOUSE DR YORKVILLE, IL 60560-	WHITETAIL RIDGE	MEADOWS CONSTRUCTION
6/5/2019	052019100	05 Remodeling	03-32-376-006	KEYVAN NASER & MICHELLE	4624 RESERVATION RD OSWEGO, IL 60543-	ARROWHEAD HILLS	

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5/21/2019	052019097	05 Remodeling	06-10-100-003	KELLER MARTIN J & NICOLE C	7426 B SCHLAPP RD OSWEGO, IL 60543-		DME ELEVATORS & LIFTS
8/14/2019	052019165	05 Remodeling	03-32-135-007	CASSADAY NICHOLAS & ERIN	5460 HALF ROUND RD OSWEGO, IL 60543-	OLD RESERVATION HILLS UNIT 1	RELIABLE HOME IMPROVEMENT
4/18/2019	052019061	05 Remodeling	03-09-155-012	WALT R PROPERTIES/CRAIG DUGLI	7 CIRCLE CT MONTGOMERY, IL 60538-	BOULDER HILL UNIT 21	SAME
4/1/2019	052019043	05 Remodeling	03-13-400-005	RODRIGUEZ, HECTOR	227 RANCE RD OSWEGO, IL 60543-		Millennium Construction
3/28/2019	052019040	05 Remodeling	02-21-151-015	KOZLOWICZ ROBERTA	10 AMANDA LN YORKVILLE, IL 60560-	ASHLEY WOODS	ARTISAN ENTERPRISES
6/10/2019	052019119	05 Remodeling	03-07-429-012	FERGUSON TIMOTHY J & ANGELAN	138 DOLORES ST OSWEGO, IL 60543-	SHORE HEIGHTS UNIT 1	CLEAN EDGE CONSTRUCTION, INC.
3/20/2019	052019034	05 Remodeling	01-36-100-024	NAUMAN REVOCABLE GRANTOR TRUST	13010 C RIVER RD PLANO, IL 60545-	KAFORSKIS SUB	SAME
3/25/2019	052019039	05 Remodeling	03-08-103-009	US BANK TRUST NA LSF9 MASTER PART TRUST	103 HARBOR DR OSWEGO, IL 60543-	MARINA TERRACE APARTMENTS	ResiPro
2/19/2019	052019024	05 Remodeling	09-15-100-007	RUSSELL CHARLES A JR & SAMIOS-RUSSELL MARY	2735 ROUTE 52 MINOOKA, IL 60447-		D'AMICO CONCRETE CO
2/26/2019	052019025	05 Remodeling	02-26-476-005	KOSKI JAMES E & CAROL ANN	44 OAK CREEK DR YORKVILLE, IL 60560-	OAK CREEK SUB UNIT 2	CLEAN EDGE CONSTRUCTION INC.
1/15/2019	062018189	06 Commercial - M Zone	03-07-227-002	UTILITY DYNAMICS CORPORATION	5327 LIGHT ROAD OSWEGO, IL. 60543		CLEARLY BUILDING CORP.

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6/12/2019	072019101	07 Commercial - B Zone	03-05-176-002	FOX METRO WATER REC DIST	682 C ROUTE 31 OSWEGO, IL 60543-		WHITTACKER CONSTRUCTION & RECONSTRUCTION INC
8/20/2019	082019170	08 Barns/Farm Buildings	09-04-300-005	MACIAS JOSE ANGEL	3610 VAN DYKE RD MINOOKA, IL 60447-		
8/8/2019	082019160	08 Barns/Farm Buildings	07-35-400-002	BLEUER ROBERT & PATRICIA	13168 HILL RD NEWARK, IL 60541-		
8/7/2019	082019159	08 Barns/Farm Buildings	01-09-476-005	COFFMAN MARK A & DOROTHY L	1815 LITTLE ROCK RD PLANO, IL 60545-	OTTOS ASSESSMENT PLAT	
7/9/2019	082019141	08 Barns/Farm Buildings	08-06-400-004	HILLER FAMILY LTD PARTNERSHIP & DH TRUST, LLC	11408 NEWARK RD NEWARK, IL 60541-		
6/5/2019	082019116	08 Barns/Farm Buildings	07-18-400-001	MICHEL BRIAN J	17510 FERN DELL RD NEWARK, IL 60541-		
6/13/2019	082019105	08 Barns/Farm Buildings	07-24-200-003	GUIJOSA MAURA	15285 ROUTE 52 NEWARK, IL 60541-		
4/11/2019	082019054	08 Barns/Farm Buildings	02-19-200-001	LOFTUS ROBERT M & ILDEFONSA LIV TRUST	11159 FAXON RD YORKVILLE, IL 60560-		
3/29/2019	082019042	08 Barns/Farm Buildings	09-09-300-005	CABRAL, FIDENCIO	13724 MCKANNA RD MINOOKA, IL 60447-	BLEUERS SUB	
3/29/2019	082019041	08 Barns/Farm Buildings	05-32-200-006	KARALEES VIRGIL N DEC LIV TR & KARALEES DIMITRI N TRUST	11350 IMMANUEL ROAD YORKVILLE, IL 60560		
8/8/2019	082019161	08 Barns/Farm Buildings	07-35-400-002	BLEUER ROBERT & PATRICIA	13168 HILL RD NEWARK, IL 60541-		

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3/25/2019	082019038	08 Barns/Farm Buildings	BUDD FARMS LLC	9388 FOX RIVER DR NEWARK, IL 60541-		
3/22/2019	082019036	08 Barns/Farm Buildings	FEECE TROY R & SUSAN	13403 GROVE RD MINOOKA, IL 60447-		
8/14/2019	092019164	09 Signs	01-14-176-002 7 MOUNTAINS CHURCH	9 SCHOMER LN PLANO, IL 60545-		DESIGNS & SIGNS BY ANDERSON
4/9/2019	092019046	09 Signs	03-18-451-001 AUTOSMART, INC.	5498 ROUTE 34 OSWEGO, IL 60543-	RIVERVIEW HEIGHTS	RGC DESIGNS
3/6/2019	092019028	09 Signs	03-05-301-005 KUHN RICHARD	585 ROUTE 31 OSWEGO, IL 60543-		RJ KUHN PLUMBING HEATING & COOLING
2/7/2019	092019022	09 Signs	03-05-401-003 JAMES MARTIN	89 BOULDER HILL PASS MONTGOMERY, IL 60538-		
6/5/2019	122019114	12 Swimming Pools	05-02-102-014 GARCIA KELLY	365 EMILY CT YORKVILLE, IL 60560-	FIELDS OF FARM COLONY UNIT 1	GREAT ESCAPE
6/5/2019	122019113	12 Swimming Pools	05-02-201-004 PLANK BRETT T & THERESA	6095 AUDREY AVE YORKVILLE, IL 60560-	ROSEHILL	SWIM SHACK
6/3/2019	122019109	12 Swimming Pools	03-07-431-001 GRABOWSKI AMANDA B	133 DOLORES ST OSWEGO, IL 60543-	SHORE HEIGHTS UNIT 1	
5/21/2019	122019095	12 Swimming Pools	05-09-101-006 BOYER TIMOTHY M & SUSAN M	7250 B ROUTE 47 YORKVILLE, IL 60560-		
5/17/2019	122019092	12 Swimming Pools	02-35-413-018 GONZALEZ JOSE A	5791 AUDREY AVE YORKVILLE, IL 60560-	FIELDS OF FARM COLONY UNIT 4	

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5/13/2019	122019085	12 Swimming Pools	02-22-102-009	DUNN PATRICK J & CONNIE L	57 LILLIAN LN YORKVILLE, IL 60560-	BRISTOL LAKE SUB	
5/16/2019	122019081	12 Swimming Pools	03-15-176-003	URBEALIS BRADLEY & IOBBI AMANDA	2373 DOUGLAS RD OSWEGO, IL 60543-	KEIERLEBER ACRES	PRECISION POOLS
4/24/2019	122019063	12 Swimming Pools	04-02-226-002	PATTERMAN BLAKE	6233 POLO CLUB DR YORKVILLE, IL 60560-	THE WOODS OF SILVER SPRINGS	
4/11/2019	122019053	12 Swimming Pools	02-35-432-005	MCCABE MICHAEL & KRISTIE	5672 SCHMIDT LN YORKVILLE, IL 60560-	FIELDS OF FARM COLONY UNIT 4	SWIM SHACK
7/9/2019	122019140	12 Swimming Pools	05-06-226-013	BOYTOR MICHAEL J & LINDAL	61 FORD DR YORKVILLE, IL 60560-	FORD ACRES	SWIM SHACK INC.
3/6/2019	122019029	12 Swimming Pools	05-17-202-001	JENDRZEJCZYK MICHAEL SR & RACHEL	106 RONHILL RD YORKVILLE, IL 60560-	RONHILL ESTATES UNIT 2	Advanced Pool Installers
9/26/2019	122019210	12 Swimming Pools	02-22-151-010	BERRY SCOTT R & SARAH E	8877 KENNEDY RD YORKVILLE, IL 60560-	BRISTOL LAKE SUB	SWIM SHACK INC
9/25/2019	122019208	12 Swimming Pools	04-09-376-002	ROACH DREW & AMY	7 SHAGBARK LN MILLBROOK, IL 60536-	FOXHURST UNIT 6	KAYAK POOLS
9/18/2019	122019199	12 Swimming Pools	02-35-301-003	GALARZA RICARDO	339 AUSTIN CT YORKVILLE, IL 60560-	FIELDS OF FARM COLONY UNIT 1	NAPERVILLE POOL
7/24/2019	122019148	12 Swimming Pools	03-05-454-007	ROBLES JUAN L PENNA & BELTRAN MARIA DEL ROSARIO VAZQUEZ	32 CIRCLE DR MONTGOMERY, IL 60538-	BOULDER HILL UNIT 7	GREAT ESCAPE
7/16/2019	122019146	12 Swimming Pools	03-32-326-006	TAYLOR BRAD R & HELEN J	55 CRESTVIEW DR OSWEGO, IL 60543-	CRESTVIEW WOODS	

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7/16/2019	122019145	12 Swimming Pools	01-36-100-032	HAHN PAUL & AMANDA	12806 RIVER RD PLANO, IL 60545-	MINNETONKA SPRINGS SUB	
9/11/2019	132019195	13 Decks	02-24-201-002	WHITE GARY A & SUSAN D	162 PLEASANTVIEW DR OSWEGO, IL 60543-	SERENITY ON THE FOX	
6/13/2019	132019124	13 Decks	04-08-200-026	FRIEDERS MARK & TRACY	7425 OAKBROOK RD NEWARK, IL 60541-		CFR BUILDERS
6/11/2019	132019118	13 Decks	02-18-200-001	FORTNER JEFFREY A & JENNIFER	2013 BEECHER RD PLANO, IL 60545-		GREEN T LANDSCAPING
5/21/2019	132019093	13 Decks	04-02-200-012	BARBIER MARCIA	13019 FOX RD YORKVILLE, IL 60560-	PINE GROVE SUB	
5/8/2019	132019080	13 Decks	04-02-226-003	MURRAY JOSHUA J & ABIGAIL M	6217 POLO CLUB DR YORKVILLE, IL 60560-		
4/16/2019	132019057	13 Decks	03-04-453-003	WOLTER WADE A & KORI	59 AMESBURY RD MONTGOMERY, IL 60538-	BOULDER HILL UNIT 24	
4/16/2019	132019056	13 Decks	02-21-251-002	SCUMACI ROBERT & LISAM	20 LEXINGTON CIR YORKVILLE, IL 60560-	BLACKBERRY CREEK	SAME
6/5/2019	142019115	14 Demolitions	07-18-400-001	MICHEL BRIAN J	17510 FERN DELL RD NEWARK, IL 60541-		
3/1/2019	142019027	14 Demolitions	09-07-200-023	FEECE TROY R & SUSAN	13403 GROVE RD MINOOKA, IL 60447-		TROUTMAN EXCAVATING
2/1/2019	142019018	14 Demolitions	02-16-476-001	STEVE KANNEY	2776 CANNONBALL TRL BRISTOL, IL 60512-		SAME

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1/22/2019	142019015	14 Demolitions	01-01-400-002	BARBARA S. SEARS	951 ELDA MAIN RD PLANO, IL 60545-		
1/14/2019	142019013	14 Demolitions	03-12-100-009	NAVARRO SALVADOR			SAME
8/28/2019	152019181	15 Electrical Upgrades	01-09-300-002	ENBRIDGE ENERGY	15998 MILLER RD PLANO, IL 60545-		THE STATE GROUP IND
8/28/2019	152019180	15 Electrical Upgrades	09-06-300-003	ENBRIDGE ENERGY	5776 CHICAGO RD YORKVILLE, IL 60560-		THE STATE GROUP IND.
7/8/2019	152019127	15 Electrical Upgrades	06-01-100-008	ZIMNY DOUGLAS R & PATRICIA D	902 PLAINFIELD RD OSWEGO, IL 60543-		BLACKHAWK POWER SOLUTIONS
7/30/2019	172019154	17 Change in Occupancy	03-05-401-006	TOWNSHIP OF OSWEGO	99 BOULDER HILL PASS MONTGOMERY, IL 60538-		
5/16/2019	172019089	17 Change in Occupancy	03-05-401-003	ROBERT WEBBER (TENANT)	79-81 BOULDER HILL PASS MONTGOMERY, IL 60538-		
4/9/2019	172019047	17 Change in Occupancy	03-18-451-001	AUTOSMART, INC.	5498 ROUTE 34 OSWEGO, IL 60543-		
2/7/2019	172019021	17 Change in Occupancy	03-05-401-003	JAMES MARTIN	89 BOULDER HILL PASS MONTGOMERY, IL 60538-		SAME
9/24/2019	182019206	18 Driveway	03-05-404-035	VARGAS JESUS	21 GREENFIELD RD MONTGOMERY, IL 60538-	BOULDER HILL UNIT 6	
8/28/2019	182019183	18 Driveway	01-20-352-018	VELAZQUEZ MARIO NIETO	84 WOODLAND DR PLANO, IL 60545-		

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7/18/2019	182019147	18 Driveway	03-08-227-012	CONOVER JESSICA R & CONOVER MARTHA J	46 CODORUS RD MONTGOMERY, IL 60538-	BOULDER HILL UNIT 14	CONCRETOS VAZQUEZ INC.
6/21/2019	182019130	18 Driveway	03-07-402-011	MILLER STEPHEN A & BARBARA A	105 KRISTINE ST OSWEGO, IL 60543-	SHORE HEIGHTS UNIT 2	
5/13/2019	182019083	18 Driveway	03-05-431-022	COOK JOSEPH T & LISA	16 DURANGO RD MONTGOMERY, IL 60538-	BOULDER HILL UNIT 4	LIBERTY PAVING CO
5/8/2019	182019072	18 Driveway	03-04-476-003	AGUILAR JOSE LUIS & ALEJANDRA	55 SHEFFIELD RD MONTGOMERY, IL 60538-	BOULDER HILL UNIT 24	ALFONSO VAZQUEZ
5/1/2019	182019069	18 Driveway	03-03-352-004	CADENA LORENZO JR & MIROSLAVA	140 SAUGATUCK RD MONTGOMERY, IL 60538-	BOULDER HILL UNIT 22	
4/9/2019	182019052	18 Driveway	03-09-104-009	ORTIZ YOLANDA & ORTIZ ISIDRO	63 OLD POST RD MONTGOMERY, IL 60538-	BOULDER HILL UNIT 25	CONCRETOS - VASQUES
4/3/2019	182019049	18 Driveway	03-18-403-006	STANISZEWSKI DWAYNE P	107 OSAGE CT OSWEGO, IL 60543-	HIGHLAND SUB	
8/14/2019	192019037	19 Fire Restoration	02-27-401-002	CASTLE BANK NA TR 2434	8045 VAN EMMON RD YORKVILLE, IL 60560-		
5/22/2019	192019032	19 Fire Restoration	03-05-453-032	OSTERHOH KYLE	33 SCARSDALE RD MONTGOMERY, IL 60538-	BOULDER HILL UNIT 7	OMNICON, INC.
2/28/2019	192019026	19 Fire Restoration	03-07-279-001	LIGHT ROAD LLC	1100-1800 LIGHT RD OSWEGO, IL 60543-		SYNERGY CONSTRUCTION
8/8/2019	202019162	20 Patio	03-07-229-016	RENZETTI JOSEPH T III	6 DOLPHIN CT OSWEGO, IL 60543-	MARINA TERRACE	CEMENTRIX CONCRETE

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8/7/2019	232019158	23 Generator	05-07-127-010	KOESTER MICHAEL A & JUDITH M	54 HIGHVIEW DR YORKVILLE, IL 60560-	PAVILLION HEIGHTS UNIT 1	LEE LEGLER CONSTRUCTION & CONTRACTORS, LLC
7/24/2019	232019150	23 Generator	02-16-127-009	REILLY ROBERT J TRUST & REILLY CANDRA I TRUST	9562 CORNELLS RD BRISTOL, IL 60512-	BRISTOL WOODS	LEE LEGLER CONSTRUCTION & CONTRACTORS, LLC
6/18/2019	232019126	23 Generator	05-18-203-010	MELLECKER KATHERINE	26 MAPLE RIDGE CT YORKVILLE, IL 60560-		LEE LEGLER CONSTRUCTION & CONTRACTORS, LLC
6/18/2019	232019125	23 Generator	02-15-277-013	HENLEY CARL E & MONICA	86 N ROYAL OAKS DR BRISTOL, IL 60512-	THE WOODS OF BLACKBERRY OAKS	LEE LEGLER CONSTRUCTION & CONTRACTORS, LLC
5/8/2019	232019077	23 Generator	06-05-403-001	WILSON WILLIAM W & PAMELA	4423 CHERRY RD OSWEGO, IL 60543-	HENNEBERRY WOODS UNIT 2	LEE LEGLER CONSTRUCTION & CONTRACTORS, LLC
5/8/2019	232019076	23 Generator	04-16-126-011	JANSKY JAMES P & JANICE K	16 SHAGBARK LN MILLBROOK, IL 60536-	FOXHURST UNIT 6	LEE LEGLER CONSTRUCTION & CONTRACTORS, LLC
5/8/2019	232019075	23 Generator	02-35-227-005	TORRES ELIGIO & JANET	305 FARM CT YORKVILLE, IL 60560-	FARM COLONY	LEE LEGLER CONSTRUCTION & CONTRACTORS, LLC
2/14/2019	232019023	23 Generator	04-20-227-006	KUTAY EDWARD J & JANET R	16082 STONEWALL DR NEWARK, IL 60541-	ESTATES OF MILLBROOK UNIT 4	LEE LEGLER CONSTRUCTION & CONTRACTORS, LLC
2/4/2019	232019019	23 Generator	02-11-129-003	PAPASIDERIS FAMILY TRUST	29 BROOKSIDE LN BRISTOL, IL 60512-	WILLOWBROOK UNIT 1	LEE LEGLER CONSTRUCTION & CONTRACTORS, LLC
5/29/2019	242019106	24 Solar	08-13-400-013	HOGAN THOMAS & WANDA	14975 BRISBIN RD MINOOKA, IL 60447-		KAPITAL ELECTRIC, INC.
5/23/2019	242019102	24 Solar	02-15-157-003	CERVANTES ISRAEL	8 GROVE ST BRISTOL, IL 60512-	HUNTSVILLE (ORIGINAL TOWN)	VIVINT SOLAR DEVELOPER

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5/1/2019	242019074	24 Solar	01-25-454-009	SLEEZER GARY & AMY	12406 ANDREW ST PLANO, IL 60545-	SCHAEFER WOODS NORTH UNIT 3	SUNRUN INSTALLATION
4/9/2019	242019051	24 Solar	09-35-100-008	FURTO JAMES A & MARGARET	17123 HARE RD MINOOKA, IL 60447-		BLUE RAVEN SOLAR LLC
4/9/2019	242019050	24 Solar	01-25-461-012	GREEN ROBERT A & KRISTINA	12322 MITCHELL DR PLANO, IL 60545-	SCHAEFER WOODS NORTH UNIT 2	SUNRUN INSTALLATION
1/15/2019	242019012	24 Solar	03-05-255-007	DAVIS JOSEPH	4 E ALDON CT MONTGOMERY, IL 60538-	BOULDER HILL UNIT 2	SUNRUN INSTALLATION
1/15/2019	242019011	24 Solar	03-08-281-001	VALDEZ JAN J & DANIELLE M	105 CIRCLE DR MONTGOMERY, IL 60538-	BOULDER HILL UNIT 17	SUNRUN INSTALLATION
1/15/2019	242019010	24 Solar	03-04-407-002	LOPEZ DAVID	103 BRAEBURN DR MONTGOMERY, IL 60538-	BOULDER HILL UNIT 27	SUNRUN INSTALLATION
9/24/2019	242019207	24 Solar	03-04-476-023	CRUZ ANTONIO	58 PADDOCK ST MONTGOMERY, IL 60538-	BOULDER HILL UNIT 24	SUNRUN INSTALLATION
9/24/2019	242019205	24 Solar	08-12-103-005	BILINSKI CAROL ANN	6792 CHICAGO RD YORKVILLE, IL 60560-		CERTASUN LLC
9/16/2019	242019196	24 Solar	01-19-426-010	SMITH RUSSELL	43 HUNTSMEN DR PLANO, IL 60545-		INDEPENDENCE RENEWABLE ENERGY LLC
1/25/2019	242019016	24 Solar	04-17-395-002	SCHULTZ CHRISTOPHER A & NUBIECTV	9020 WILCOX CT NEWARK, IL 60541-	ESTATES OF MILLBROOK UNIT 1	RETHINK ELECTRIC, LLC
9/3/2019	242019186	24 Solar	03-08-277-031	RAMIREZ, RAMON & RAMOS, IRENE	33 FIELDPOINT RD MONTGOMERY, IL 60538-	BOULDER HILL UNIT 25	SUNRUN INSTALLATION

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8/22/2019	242019172	24 Solar	09-34-400-007	FLEMING THOMAS P & LILLIE	2018 HOLT RD MINOOKA, IL 60447-		VIVINT SOLAR DEVELOPER, LLC
7/30/2019	242019152	24 Solar	02-23-228-010	DICKSON FRED & CONSTANCE	29 RIVERWOOD CT OSWEGO, IL 60543-	RIVER WOOD FARMS	BRIGHT PLANET SOLAR
5/17/2019	242019091	24 Solar	09-34-400-002	MCDANIEL PAUL & GAYLE LYNN	2200 HOLT RD MINOOKA, IL 60447-		RETHINK ELECTRIC
7/12/2019	242019144	24 Solar	03-18-401-003	WEIDERT GERALD L & BETTY L	114 OSAGE CT OSWEGO, IL 60543-	OWNERS 2ND SUB SEC 18-37-8	CHRISTOPHER T. BUDD
6/27/2019	242019135	24 Solar	03-04-278-008	TORRES MARIA Y	15 AFTON DR MONTGOMERY, IL 60538-	BOULDER HILL UNIT 27	GENRENEW LLC
6/4/2019	242019107	24 Solar	07-35-300-008	ZABEL BRIAN & TRACY	13986 HILL RD NEWARK, IL 60541-		EFS ENERGY INC.

PLANNING BUILDING & ZONING RECEIPTS 2019

DATE	BUILDING FEES	ZONING FEES	LAND-CASH	OFFSITE ROADWAY	MONTHLY FY19	TOTAL FY19	MONTHLY FY 18	TOTAL FY18
December	\$4,836.48	\$2,625.00	\$9,834.36	\$2,000.00	\$19,295.84	\$19,295.84	\$2,288.40	\$2,288.40
January	\$3,617.44	\$525.00	\$0.00	\$0.00	\$4,142.44	\$23,438.28	\$12,520.13	\$14,808.53
February	\$2,785.20	\$0.00	\$876.19	\$0.00	\$3,661.39	\$27,099.67	\$8,037.67	\$22,846.20
March	\$7,488.08	\$2,092.50	\$4,856.78	\$0.00	\$14,437.36	\$41,537.03	\$21,314.78	\$44,160.98
April	\$7,323.96	\$435.00	\$0.00	\$0.00	\$7,758.96	\$49,295.99	\$11,771.49	\$55,932.47
May	\$4,979.92	\$190.00	\$0.00	\$0.00	\$5,169.92	\$54,465.91	\$7,987.60	\$63,920.07
June	\$16,478.64	\$2,645.00	\$13,103.81	\$2,000.00	\$34,227.45	\$88,693.36	\$19,226.05	\$83,146.12
July	\$9,412.40	\$45.00	\$10,850.26	\$1,000.00	\$21,307.66	\$110,001.02	\$14,137.16	\$97,283.28
August	\$4,323.15	\$95.00	\$1,814.10	\$0.00	\$6,232.25	\$116,233.27	\$7,091.31	\$104,374.59
September	\$12,195.12	\$2,745.00	\$6,882.50	\$0.00	\$21,822.62	\$138,055.89	\$19,862.73	\$124,237.32
October							\$21,049.54	\$145,286.86
November							\$10,219.42	\$155,506.28
TOTAL	\$73,440.39	\$11,397.50	\$48,218.00	\$5,000.00	\$138,055.89		\$155,506.28	

Matt Asselmeier

From: Fran Klaas
Sent: Friday, September 27, 2019 3:51 PM
To: Matt Asselmeier; 'Greg Chismark'
Cc: Scott Koepfel; Matthew G. Prochaska
Subject: RE: Grading / Elevations at Highgrove Subdivision

Not sure if I'll have anything further for now, as Casey's have now constructed a landscaped berm at the south end of their property in an attempt to block stormwater from flowing north. Don't know if this will have the desired effect or not.

Fran

From: Matt Asselmeier
Sent: Wednesday, September 25, 2019 9:25 AM
To: Fran Klaas; 'Greg Chismark'
Cc: Scott Koepfel; Matthew G. Prochaska
Subject: RE: Grading / Elevations at Highgrove Subdivision

Fran:

The Planning, Building and Zoning Committee will be meeting on October 7th. Do you think you will have an update prior to that meeting?

Thanks,

Matthew H. Asselmeier, AICP
Senior Planner
Kendall County Planning, Building & Zoning
111 West Fox Street
Yorkville, IL 60560-1498
PH: 630-553-4139
Fax: 630-553-4179

From: Fran Klaas
Sent: Friday, September 6, 2019 3:00 PM
To: Matt Asselmeier <masselmeier@co.kendall.il.us>; 'Greg Chismark' <GChismark@wbkengineering.com>
Cc: Scott Koepfel <skoepfel@co.kendall.il.us>; Matthew G. Prochaska <mprochaska@co.kendall.il.us>
Subject: Grading / Elevations at Highgrove Subdivision

I had the opportunity to shoot elevations at the subject subdivision this morning, as well as spend a couple hours talking to the neighbors about drainage issues. Here is what I found.

We shot roadway, entrances, pipe culverts and T/F elevations. All appear to be substantially in accordance with the Civil Site Grading Plan prepared by John Tebrugge on October 27, 2016. Most elevations were within a couple inches of plan grades.

There was one item that was out of compliance; or maybe unnecessary would be more accurate. Lot 1 (Parks) installed a 15" x 20' driveway culvert under the driveway to his house. This is supposed to be a summit driveway; meaning storm water drains each way (east & west) away from his driveway. So the culvert is

completely unnecessary. Little or no water will go through the culvert because ditch water is draining away from the driveway on each side. It doesn't hurt anything, and doesn't change the drainage pattern at all. It just doesn't need to be there. So I wouldn't recommend making Parks take it out, unless he wants to.

I think much of the problem that the adjoining property owner to the north is having is related to the fact that we have had historical rains in the past 15 months. Additionally, this is all pretty flat ground, with numerous tiles running north and south that have historically drained water toward the Aux Sable Creek. Those tiles are now many decades old, and are undoubtedly less efficient than they used to be. The new houses, with raised T/F elevations are also providing more positive drainage to the north, as opposed to pre-development, when the water probably had time to settle through the soil to the tile, and didn't rush northerly.

I discussed some possible solutions with property owner to the north (Casey) to intercept sheet drainage from the south and direct it westerly around all the buildings and along the Park District property. This would probably help keep the water away from Casey's buildings, and would allow some of the District's prairie to clean/filter the storm water before it enters their pond. I plan to go back to Casey's in a couple weeks to shoot some more elevations on their property to see if we can find a solution.

Let me know if you have any other questions.

Francis C. Klaas, P.E.
Kendall County Engineer
6780 Route 47
Yorkville, IL 60560
630.553.7616