



KENDALL COUNTY
PLANNING, BUILDING & ZONING COMMITTEE MEETING
111 West Fox Street • Rooms 209 and 210 • Yorkville, IL • 60560
(630) 553-4141 Fax (630) 553-4179

AGENDA

Monday, July 8, 2024 – 6:30 p.m.

CALL TO ORDER:

ROLL CALL: Elizabeth Flowers, Dan Koukol, Ruben Rodriguez (Vice-Chairman), Brooke Shanley, and Seth Wormley (Chairman)

APPROVAL OF AGENDA (VV):

APPROVAL OF MINUTES (VV): Approval of Minutes from June 10, 2024, Meeting (Pages 3-19)

PUBLIC COMMENT:

EXPENDITURE REPORT: Review of Expenditures from June 2024 (Pages 20-23)

PETITIONS (Roll Call Votes):

1. **Petition 24 – 10 – Alex M. Schuster (Pages 24-122)**
Request: Special Use Permit for a Landscaping Business
PIN: 03-22-400-001
Location: 2142 Wooley Road, Oswego in Oswego Township
Purpose: Petitioner Would Like to Operate a Landscaping Business; Property is Zoned A-1

2. **Petition 24 – 11 – James W. Filotto on Behalf of Oakland Avenue Storage, LLC (Pages 123-218)**
Request: Map Amendment Rezoning the Subject Property from A-1 Agricultural District to B-3 Highway Business District
PIN: 09-13-400-011
Location: Between 276 and 514 Route 52, Minooka in Seward Township
Purpose: Petitioner Wants to Rezone the Property in Order to Operate a Construction/Contractor's Office

3. **Petition 24 – 12 – James W. Filotto on Behalf of Oakland Avenue Storage, LLC (Pages 219-223)**
Request: Conditional Use Permit for a Contractor's Office or Shop (Roofing Contractor) Where No Fabrication is Done on the Premises and Where All Storage of Materials and Equipment is Within a Building
PIN: 09-13-400-011
Location: Between 276 and 514 Route 52, Minooka in Seward Township
Purpose: Petitioner Wants to Operate a Construction/Contractor's Office (Roofing Contractor) at the Subject Property Pending Rezoning to B-3

NEW BUSINESS (Roll Call Vote):

1. Approval of a Request to the Extend the Deadline for Installing Vegetation at the Property Identified by Parcel ID Number 07-05-400-003 in the 16000 Block of Newark Road in Big Grove Township; Property is Zoned A-1 with a Special Use Permit for a Public or Private Utility Other (Pages 224-244)

OLD BUSINESS:

1. Update on Stormwater Permit at 13039 McKanna Road (PIN: 09-09-100-002) in Seward Township
2. Approval to Extend or Revoke Building Permit 01-2020-146 for a Single-Family Home at 7782 Tanglewood Trails (Roll Call Vote) (Page 245)

REVIEW VIOLATION REPORT (Pages 246-248):

REVIEW PRE-VIOLATION REPORT (Pages 249-255):

UPDATE FROM HISTORIC PRESERVATION COMMISSION:

1. July 15, 2024, Historic Preservation Group Summer Meeting (Page 256)
2. Update on Historic Structure Surveys (Pages 257-258)

REVIEW PERMIT REPORT (Page 259-277):

REVIEW REVENUE REPORT (Page 278):

CORRESPONDENCE:

1. June 4, 2024, Letter from Alphonse I. Johnson Pertaining to the 1847 Stone 2-1/2 Story Farmhouse Built by the Sherrill Family (Page 279)

COMMENTS FROM THE PRESS:

EXECUTIVE SESSION:

ADJOURNMENT (VV):

If special accommodations or arrangements are needed to attend this County meeting, please contact the Administration Office at 630-553-4171, a minimum of 24-hours prior to the meeting time.

KENDALL COUNTY PLANNING, BUILDING & ZONING COMMITTEE

Kendall County Office Building

Rooms 209 and 210

111 W. Fox Street, Yorkville, Illinois

6:30 p.m.

Meeting Minutes of June 10, 2024 – Unofficial until Approved

CALL TO ORDER

The meeting was called to order by Chairman Wormley at 6:32 p.m.

ROLL CALL

Committee Members Present: Dan Koukol, Ruben Rodriguez, Brooke Shanley, and Seth Wormley

Committee Members Absent: Elizabeth Flowers

Also Present: Matthew H. Asselmeier, Director, Wanda A. Rolf, Office Assistant, Eleanor Engel, Intern, Dan Kramer, Jerry Styrzula, Tim O'Brien, Bruce Miller, Pete Fleming, Joan Soltwisch, and Carlos Moreno

APPROVAL OF AGENDA

Mr. Asselmeier requested modifying the agenda to move Correspondence between Petitions and New Business.

Member Koukol made a motion, seconded by Member Rodriguez to modify the agenda to move Correspondence between Petitions and New Business. With a voice vote of four (4) ayes, the motion carried.

APPROVAL OF MINUTES

Member Koukol made a motion, seconded by Member Rodriguez, to approve the minutes of the May 6, 2024, meeting. With a voice vote of four (4) ayes, the motion carried.

NEW BUSINESS

Introduction of Planning, Building and Zoning Department Intern Eleanor Engel

Mr. Asselmeier introduced the Department's summer intern, Eleanor Engel.

PUBLIC COMMENT

None

EXPENDITURE REPORT

The Committee reviewed the Expenditure Report from May 2024.

The Committee reviewed the Six (6) Month Financial Report.

PETITIONS

Petition 24-06 Jerry Styrzula on Behalf of A&D Properties, LLC

Mr. Asselmeier summarized the request.

A&D Properties, LLC would like a map amendment rezoning approximately sixteen point four more or less (16.4 +/-) acres located on the west side of Route 47 addressed as 7789 Route 47

from B-3 Highway Business District to M-1 Limited Manufacturing District in order to operate a trucking business for the sale and storage of semi-trailers, small trailers, semi-tractors, and similar uses at the subject property.

The application materials and pictures of the property were provided.

The property has been zoned B-3 since 1975. The ordinance rezoning the property to B-3 was provided. The property was previously used as a distributorship for International Harvester.

The plat of survey was provided.

If the map amendment is approved and if the Petitioner wants to make changes to the site, site plan approval will be required. To date, the Petitioner was working on a site plan proposal.

The property is addressed as 7789 Route 47, Yorkville.

The property is approximately sixteen (16) acres in size.

The current land use is Vacant and Improved Commercial.

The property is zoned B-3 Highway Business District.

The County's Future Land Use Map calls for this property to be Mixed Use Business. Yorkville Future Land Use Map calls for the property to be Estate/Conservation Residential.

Route 47 is a State maintained Arterial Road.

There are no trails planned in this area.

There are no floodplains or wetlands on the property.

The adjacent land uses are Improved Commercial, Single-Family Residential, Agricultural, and Vacant Manufacturing.

The adjacent properties are zoned A-1 and M-1 in the unincorporated area and R-2 and R-3 inside Yorkville.

The County's Future Land Use Map calls for the area to be Rural Residential and Mixed Use Business. Yorkville's Future Land Use Map calls for the area to be Agricultural, Suburban Neighborhoods, and Estate/Conservation Residential.

The properties within one point five (1.5) miles are zoned A-1, A-1 SU, R-1, R-4, B-3, and M-1 in the County and R-2, R-3, B-1, and B-3 in Yorkville.

The A-1 special use permit to the north is for a landscaping business.

EcoCAT Report submitted and consultation was terminated.

The application for NRI was submitted on March 12, 2024. The LESA Score was 157 indicating a low level of protection. The NRI Report was provided.

Petition information was sent to Kendall Township on March 20, 2024. The Kendall Township Planning Commission reviewed the proposal on April 15, 2024, and recommended approval of the proposal. The Kendall Township Board reviewed the proposal on April 16, 2024, and concurred with the Kendall Township Planning Commission. The email from the Township was provided.

Petition information was sent to the United City of Yorkville on March 20, 2024. Yorkville reviewed the proposal at their meetings in May and did not have an objection. An email to this effect was provided.

Petition information was sent to the Bristol-Kendall Fire Protection District on March 20, 2024. To date, no comments received.

ZPAC reviewed the proposal at their meeting on April 2, 2024. Discussion occurred regarding the semis already parked at the property and restricting semis on Conservation Drive. Site plan approval will be required and they will need to comply with the M-1 zoning regulations, if the map amendment is approved. ZPAC recommended approval by a vote of seven (7) in favor and (0) in opposition, with three (3) members absent. The minutes of the meeting were provided.

The Kendall County Regional Planning Commission reviewed the proposal at their meeting on April 24, 2024. It was noted that the subject property had been recently reclassified as Mixed Use Business on the Future Land Use Map. Trucks will not be allowed to access the property via Conservation Drive, per agreement between the Petitioner and Kendall Township. The intention was to use the property for a truck and trailer sales business. If the map amendment was approved, the Petitioner would still need site plan approval. The Petitioner intended to install a paved parking lot, applicable lighting, remodel the existing building, and possibly construct a second building. The Petitioner was attempting to relocate the trailers presently onsite. Discussion occurred regarding current activities on the property; a request was made regarding clarifying the current use of the property because drivers were getting picked up and dropped off at the site. Discussion occurred regarding the County's voluntary compliance policy. It was noted that the subject property and Mixed Use Business area was not very large. The Kendall County Regional Planning Commission recommended approval of the map amendment by a vote of eight (8) in favor and (0) in opposition, with two (2) members absent. The minutes of the meeting were provided.

The Kendall County Zoning Board of Appeals held a public hearing on this proposal on April 29, 2024. Discussion occurred regarding the trailers on the property and the plans to remove them. The Kendall County Zoning Board of Appeals recommended approval of the proposal by a vote of five (5) in favor and zero (0) in opposition with two (2) members absent. The minutes of the hearing were provided.

The Petitioner would like to rezone the property to operate a trucking business.

There are two (2) existing buildings on the property. The northern building is approximately five thousand, three hundred sixty-six (5,366) square feet in size. The southern building is approximately eleven thousand, three hundred (11,300) square feet in size.

Any future buildings would have to meet applicable building codes.

The site is serviced by a well and septic. There is electricity and natural gas onsite.

The property fronts Route 47 and has one (1) access point off of Route 47. There is a deceleration lane for south bound traffic off of Route 47. The property also has one (1) access point off of Conservation Drive.

There is existing parking around the southern building; the parking spaces are not marked. If improvements are made to the site, parking spaces would need to be marked.

Based on the proposed uses, no new odors are foreseen. The owners of the property would have to follow applicable odor control regulations based on potential other future M-1 allowable uses.

There are lights on both buildings and a streetlight is lying on the ground at the entrance off of Route 47.

The amount of lighting could expand on the property if they install a larger parking lot or if different uses move onto the property. Lighting would need to be evaluated as part of site plan review.

There are several mature plants around the perimeter of the property. No changes to the landscaping or property screening are proposed as part of the map amendment.

If improvements are made to the site in the future, landscaping and screening would be required as part of site plan review.

Any signage would have to meet applicable regulations and secure permits.

The owners of the property would have to follow applicable noise control regulations based on future land uses. Noise control measures would need to be evaluated as part of site plan approval.

The Petitioner submitted an application for a stormwater permit.

The Findings of Fact were as follows:

Existing uses of property within the general area of the property in question. The surrounding properties are used for agricultural purposes, single-family residential, office, and light industrial, including outdoor storage. The property is presently vacant, but was previously used as a site for the sale of agricultural equipment.

The Zoning classification of property within the general area of the property in question. The surrounding properties are zoned A-1 and M-1 in the unincorporated area and R-2, R-3, and B-3 inside the United City of Yorkville.

The suitability of the property in question for the uses permitted under the existing zoning classification. The Petitioners proposed use of the property, for the operation of a trucking business, is not allowed in the B-3 Zoning District. The site itself could be used for a trucking business, if properly zoned.

The trend of development, if any, in the general area of the property in question, including changes, if any, which may have taken place since the day the property in question was in its present zoning classification. The Zoning Board of Appeals shall not recommend the adoption of a proposed amendment unless it finds that the adoption of such an amendment is in the public interest and is not solely for the interest of the applicant. The Zoning Board of Appeals may recommend the adoption of an amendment changing the zoning classification of the property in question to any higher classification than that requested by the applicant. For the purpose of this paragraph the R-1 District shall be considered the highest classification and the M-2 District shall be considered the lowest classification. The trend of development in the area is a mix of agricultural, storage and warehousing, and other light industrial type uses.

Consistency with the purpose and objectives of the Land Resource Management Plan and other adopted County or municipal plans and policies. The Future Land Use Map in the

Land Resource Management Plan was recently amended to Mixed Use Business. The M-1 Zoning District is consistent with the Mixed Use Business classification.

Staff recommended approval of the proposed map amendment.

The draft ordinance was provided.

Dan Kramer, Attorney for the Petitioner stated that his client never gave permission to have people picked up or dropped off at the site. To solve this problem, a cable blocking the entrances off of Route 47 and Reservation Drive was installed. The Petitioner moved most of the semi-trailers out of the lot and they went to an auction company. The auction company will take the rest of the trailers out as soon as possible. Mr. Kramer stated there was a streetlight that was on the ground, but it has been completely removed. There was a local farmer who cleaned up the property and bailed the hay. The Petitioner has a landscape plan. The Petitioner's primary business was selling brand new trailers in Shorewood. At times, he receives used trailers and moves them to an auction company.

Member Koukol asked if there was well and septic on the property. Mr. Kramer stated it has both well and septic. Member Koukol asked if the well was recently installed. Mr. Kramer stated the well was installed years ago. The property also has a storm detention pond.

Mr. Kramer also stated that Kendall County will benefit from the tax revenue.

Member Rodriguez asked if the Petitioner will be putting in a blacktop parking lot. Mr. Kramer said yes; the Petitioner will put in a blacktop parking lot.

Member Koukol made a motion, seconded by Member Rodriguez, to recommend approval of the map amendment.

The votes were as follows:

Yeas (4): Koukol, Rodriguez, Shanley, and Wormley
Nays (0): None
Abstain (0): None
Absent (1): Flowers

The proposal will go to the June 18, 2024, Kendall County Board meeting on the consent agenda.

Petition 24-09 Tim O'Brien on Behalf of Seward Township

Mr. Asselmeier summarized the request.

On August 18, 2009, the County Board approved Ordinance 2009-31, granting a special use permit for a governmental building and facility at 14719 O'Brien Road.

The Petitioner is proposing to amend the site plan approved in Ordinance 2009-31 by a constructing an approximately eight thousand four hundred (8,400) square foot pole-type maintenance/storage building to the west of the existing Seward Township building and installing an asphalt driveway connecting the existing parking lot to the new building. For reference, the existing building is approximately nine thousand six hundred (9,600) square feet in size and is used for maintenance, storage, and offices.

Though not shown on the site plan approved in 2009, Seward Township received a permit and installed a sign on the property in 2010. The sign is shown on the proposed site plan.

No other changes to the site were proposed.

The application materials, proposed site plan, and Ordinance 2009-31 were provided.

The property was approximately five (5) acres in size.

The existing land use was Public/Institutional.

The future land use was Commercial.

O'Brien Road was a Township Road classified as a Local Road.

There were no trails planned in the area.

There are no floodplains or wetlands on the property.

The adjacent properties were used as Agricultural.

The adjacent properties were zoned A-1.

The Land Resource Management Plan calls for the area to be Commercial, Rural Estate Residential, and Rural Residential.

Properties within one half (1/2) of a mile were zoned A-1 and A-1 SU.

There is one (1) home located within one half (1/2) mile of the subject property.

The special use to the west is for a banquet facility and related uses.

EcoCat submitted on April 23, 2024, and consultation was terminated.

A NRI application was submitted on April 30, 2024. The LESA Score was 191 indicating a low level of protection. The NRI Report was provided

Seward Township was emailed information on April 30, 2024.

The Lisbon-Seward Fire Protection District was emailed information on April 30, 2024. No comments received. No comments were received.

ZPAC reviewed the proposal at their meeting on May 7, 2024. ZPAC recommended approval of the proposal by a vote of nine (9) in favor and zero (0) in opposition with one (1) member absent. The minutes of the meeting were provided.

The Kendall County Regional Planning Commission reviewed this proposal at their meeting on May 22, 2024. It was noted that the Petitioner was working on incorporating stormwater detention into the site plan. Member Wilson felt that Seward Township was not transparent in how they obtained approval from the Township electors for this project; she still supported the major amendment. Discussion also occurred regarding salt storage at the property; salt was already stored indoors. The Kendall County Regional Planning Commission recommended approval of the requested major amendment with conditions proposed by Staff and the addition to stormwater detention infrastructure on the site plan by a vote of eight (8) in favor and zero (0) in opposition with two (2) members absent. The minutes of the meeting were provided.

The Kendall County Zoning Board of Appeals held a public hearing on this proposal on May 28, 2024. The Petitioner introduced a new site plan with stormwater infrastructure shown. No members of the public testified at the public hearing. The Kendall County Zoning Board of Appeals recommended approval of the proposal by a vote of seven (7) in favor and zero (0) in opposition. The minutes of the hearing were provided.

The proposed building will have to obtain applicable building permits.

As required in the special use permit from 2009, the subject property has fifteen (15) parking spaces, including one (1) handicapped parking space. Given that the proposed amendment will not increase public visitation at the property, the number of parking spaces should be adequate.

The Petitioner submitted an application for a stormwater permit.

In 2009, the Petitioner was granted a variance to the stormwater runoff storage facilities by Ordinance 2009-26; a copy of the variance was provided. An amendment to this variance, the installation of stormwater storage facilities, submittal of a fee-in-lieu payment, or some combination thereof will be required. A letter from WBK Engineering was provided. The Petitioner was considering a variance to the Stormwater Management Ordinance. However, they were working on an alteration to the site plan to include stormwater detention.

The Findings of Fact were as follows:

That the establishment, maintenance, or operation of the special use will not be detrimental to or endanger the public health, safety, morals, comfort, or general welfare. The expansion will improve the public health, safety, comfort, and general welfare because the new building will allow the township to do its work inside a new facility.

That the special use will not be substantially injurious to the use and enjoyment of other property in the immediate vicinity for the purposes already permitted, nor substantially diminish and impair property values within the neighborhood. The Zoning classification of property within the general area of the property in question shall be considered in determining consistency with this standard. The proposed use shall make adequate provisions for appropriate buffers, landscaping, fencing, lighting, building materials, open space and other improvements necessary to insure that the proposed use does not adversely impact adjacent uses and is compatible with the surrounding area and/or the County as a whole. The existing use has been in place since 2009. The adjacent land uses are agricultural and the construction of a maintenance building will not injury the use and enjoyment of neighboring land owners.

That adequate utilities, access roads and points of ingress and egress, drainage, and/or other necessary facilities have been or are being provided. This is true except for drainage. Drainage concerns can be addressed through a stormwater permit.

That the special use shall in all other respects conform to the applicable regulations of the district in which it is located, except as such regulations may in each instance be modified by the County Board pursuant to the recommendation of the Zoning Board of Appeals. This is true.

That the special use is consistent with the purpose and objectives of the Land Resource Management Plan and other adopted County or municipal plans and policies. Seward Township has used the subject property for public/institutional purposes since 2009. Accordingly, allowing the Township expand its facilities is consistent with a goal found on Page 9-20 of the Kendall

County Land Resource Management Plan which calls for “mutually supportive, non-adversarial team of municipal, township, . . . county, and other governments working toward the benefit of everyone in Kendall County.”

Staff recommended approval of the requested amendments to the existing special use permit for a governmental building and facility, pending resolution of Kendall County Stormwater Ordinance issues subject to the following conditions and restrictions:

1. The site plan attached as Group Exhibit A of Ordinance 2009-31 is hereby amended to include the site plan submitted as Exhibit C. (Site plan submitted at the Zoning Board of Appeals hearing).
2. None of the buildings or structures allowed by this major amendment to an existing special use permit shall be considered agricultural structures and must secure applicable permits.
3. The remaining conditions and restrictions contained in Ordinance 2009-31 shall remain valid and effective.
4. The use allowed by this major amendment to an existing special use permit shall follow all applicable federal, state, and local laws.
5. Failure to comply with one or more of the above conditions or restrictions could result in the amendment or revocation of the special use permit.
6. If one or more of the above conditions or restrictions is declared invalid by a court of competent jurisdiction, the remaining conditions shall remain valid.
7. These major amendments to an existing special use permit shall be treated as covenants running with the land and are binding on the successors, heirs, and assigns as to the same special uses conducted on the property.

The draft ordinance was provided.

Member Rodriguez asked if the building would be used for meetings. Bruce Miller, Engineer for the Petitioner stated that there will be no public access to the building. It will be used for storage and maintenance.

Chairman Wormley asked when will they start the project. Mr. Miller stated that he is working on the drawings for the building and states it will be started this year. He would like the concrete to be poured before winter so they can work through the winter.

Member Rodriguez made a motion, seconded by Member Koukol, to recommend approval of the major amendment.

The votes were as follows:

Yeas (4): Koukol, Rodriguez, Shanley, and Wormley
Nays (0): None
Abstain (0): None
Absent (1): Flowers

The proposal will go to the June 18, 2024, Kendall County Board meeting on the consent agenda.

Petition 24-14 Tim O'Brien on Behalf of Seward Township

Mr. Asselmeier summarized the request.

In an effort to preserve the agricultural character of the Township and protect the Aux Sable Creek Watershed, Seward Township has proposed the submitted new Future Land Use Map. The existing Future Land Use Map was also provided.

The proposed changes are as follows:

1. All of the land west Arbeiter and Hare Roads will be reclassified to Agricultural. The Commercial area at the intersection of Route 52 and Grove Road will be retained and the Commercial area at the intersection of Arbeiter Road and Route 52 will also be retained.
2. The Seward Township Building on O'Brien Road, the church on Van Dyke Road, and lands owned by the Kendall County Forest Preserve District and Conservation Foundation west of Arbeiter and Hare Roads will be classified as Public/Institutional.
3. The residentially planned areas east of Arbeiter and Hare Roads will be reclassified to Rural Estate Residential.
4. The floodplain of the Aux Sable Creek was added to the map.
5. Text contained in the Land Resource Management Plan in conflict the above changes will be amended.

Mr. Asselmeier said that he would add a disclaimer at the beginning of the Seward Township portion of the Land Resource Management Plan noting that the map would supersede the text in the event of a conflict.

The Seward Township Planning Commission approved this proposal at their meeting on February 5, 2024. The Seward Township Board approved this proposal at their meeting on March 12, 2024. Seward Township held a community forum on the proposal on April 18, 2024. The Kendall County Comprehensive Land Plan and Ordinance Committee also reviewed the proposal at their meetings in February and April 2024.

A composite future land use map of the County and the municipalities' comprehensive plans was provided.

This proposal was sent to Plattville, Minooka, Shorewood, and Joliet on April 30, 2024. This proposal was sent to the Bristol-Kendall, Lisbon-Seward, Minooka, Troy, and Joliet Fire Departments on April 30th. To date, no comments received.

ZPAC reviewed this proposal at their meeting on May 7, 2024. Mr. Guritz said that he attended the forum in Seward Township and felt that the meeting was well attended and attendees seemed in favor of the proposal. ZPAC recommended approval of the proposal by a vote of nine (9) in favor and zero (0) in opposition with one (1) member absent. The minutes of the meeting were provided.

The Kendall County Regional Planning Commission held a public hearing on this proposal on May 22, 2024. Other than the Petitioner, no other person testified in favor or in objection to the proposal. One (1) person asked what a comprehensive plan was and another person requested clarification regarding the land use classifications along Route 52 between County Line and Ridge Roads. Seward Township explained the public's involvement in the proposal, to date. Discussion occurred regarding the removal of the Commercial area near the intersection of Route 52, O'Brien, and McKanna Roads and the retention of the Commercial area at the intersection of Grove Road and Route 52; the area was retained for traffic and trail reasons. Discussion occurred regarding the impact of property owners to ask for map amendments, if the proposal was approved. The Kendall County Regional Planning Commission recommended approval of the proposal by a vote of six (6) in favor, one (1) in opposition, and three (3) absent. The minutes of the hearing were provided.

The Kendall County Zoning Board of Appeals reviewed this proposal at their meeting on May 28, 2024. Discussion occurred regarding residential development in unincorporated Seward Township; the Chairman of the Seward Township Planning Commission felt that large lot subdivisions were unlikely to occur. Information was provided on previous public meetings Seward Township held on the proposal. Discussion occurred regarding the procedure that would occur if someone wanted to rezone their property, but lacked forty (40) acres. The Kendall County Zoning Board of Appeals voted to forward the proposal to the County Board by a vote of seven (7) in favor and zero (0) in opposition. The minutes of the meeting were provided.

The draft resolution was provided.

Member Rodriguez asked, if a property was already zoned residential, would that property be grandfathered. Mr. Asselmeier said it would be grandfathered. Member Rodriguez asked if there was a large amount of properties that would be grandfathered. Mr. Asselmeier said there wasn't a large amount but there were a few subdivisions and some individual lots that were zoned as R-1. If this Petition was approved, those properties could go back to A-1 zoning.

Member Koukol asked Mr. Asselmeier to explain what he meant by his side note that the map would supersede the text. Mr. Asselmeier said that if the text of the Land Resource Management Plan stated something that conflicted with the Future Land Use Map, the Future Land Use Map would override the text of the Land Resource Management Plan. There is a table of land uses in the Seward Township Plan that will be updated to reflect the percentages of land uses.

Member Koukol asked if any of the properties proposed for reclassification were in Joliet. Mr. Asselmeier stated no, the map only governed unincorporated Kendall County.

Chairman Wormley asked the Petitioner if they worked with Joliet. Pete Fleming, Chairman of the Seward Township Planning Commission, spoke about the open forum and the public meetings that were previously held. Mr. Fleming stated they invited all the nearby municipalities. Shorewood and Minooka attended and supported the proposal. Joliet did not come to the meeting and they have not heard from Joliet. Chairman Wormley stated that when a new development comes in a municipal plan will supersede the newly proposed Land Resource Management Plan. Mr. Fleming stated he was aware of this fact.

Member Koukol asked what was the end goal. Mr. Fleming stated they were updating the conceptual plan from what the 2005 because much has changed since the plan was originally

adopted. Member Koukol said much will change in the near future. Member Koukol favored more non-residential uses along Route 52 and Ridge Road than what was presently proposed.

Joan Soltwisch, Seward Township Planning Commission, was asked if they saw the map from 2005; it allowed Joliet to annex. It was similar to their current proposed map.

Mr. Fleming asked if Shorewood, Minooka and Joliet have future agriculture on their maps. The Committee reviewed the composite future land use map. Chairman Wormley stated he had not seen a new map for Minooka.

Mr. Fleming said that typically townships don't want to have an industrial corridor on a map in which a village or municipality has residential. He expressed concerns regarding potential conflicts that could arise if one (1) governmental entity showed industrial on their map and another government entity showed residential in the same area on their respective map. Ms. Soltwisch stated that they used The Protect Kendall Map Now, which protects the Aux Sable Creek and is a Class A water stream, as their guide to determine the line between the agricultural area and the non-agricultural area.

Chairman Wormley said that some of the feedback he received was the proposal did not take into account annexations and the plans of surrounding municipalities. For example, Kendall County met with Morris during the previous week and their vision differed from the proposal.

Discussion occurred regarding whether the proposal prevented growth. Mr. Fleming responded that they were not against growth.

Chairman Wormley expressed concerns regarding the lack of industrial areas on the proposed map. Member Koukol stated that more industrial businesses would go to Grundy County instead of Kendall County because they know the land was already zoned or planned to be industrial. Mr. Fleming stated that most industrial projects will go through municipalities. Chairman Wormley stated there was a large demand for M-1 and M-2 zoning.

Member Koukol asked Mr. Fleming if the township would be willing to table this proposal for sixty (60) days. Mr. Fleming provided a history of the evolution of the proposed map. Mr. Fleming responded that they went through a land use evaluation in previous meetings and all the committees voted for the proposal.

Member Shanley asked Mr. Asselmeier to clarify the ramifications if the Committee denied the request. Mr. Asselmeier stated that nothing prevented Seward Township from passing this proposal at the township level. Mr. Asselmeier responded that townships can pass their own plan. In that case, the Township would have their plan and the County would have its plan. If there is a conflict between the Township and the County, the township could file formal objections to text amendments, map amendments, and variance, if the proposal was against their plan. Member Shanley asked Mr. Asselmeier if there was positive feedback from the other committees that previously reviewed the proposal. Mr. Asselmeier stated that they received positive feedback from the other committee meetings regarding the proposal.

Member Rodriguez asked which plan takes precedence if the County's plan differs from Seward Township's plan. Mr. Asselmeier said that he would note the differences between the plans, if a proposal occurred, advise applicants of the conflict, and issue recommendations based on the

County's plan. He explained the impacts of a township filing formal objections. Discussion occurred regarding the inability of property owners to rezone to R-1 in the event they lack a housing allocation, if the proposal.

Mr. Fleming said that warehouses would likely get annexed into a municipality because of the need for public water and sewer.

Member Koukol favored doing additional research with the municipalities.

Member Koukol made a motion, seconded by Member Rodriguez, to table the proposal for sixty (60) days.

The votes were as follows:

Yeas (3): Koukol, Rodriguez, and Wormley
Nays (1): Shanley
Abstain (0): None
Absent (1): Flowers

The proposal will return to the Planning, Building and Zoning Committee on August 12, 2024.

CORRESPONDENCE

May 14, 2024, Letter from TC Energy Regarding ANR Pipeline's Heartland Project

The Committee reviewed the letter; there will be an open house at the Yorkville Library on June 12, 2024.

NEW BUSINESS:

Approval to Initiate Text Amendments to the Kendall County Zoning Ordinance Pertaining to Pipe Line Depth

Chairman Wormley explained the issue.

TC Energy's ANR Pipeline is purposing a pipeline project in Kendall County; to date, they have not submitted an official application.

Concerns have been raised regarding the proposed pipeline depth and the existing pipeline depth requirements currently in the Kendall County Zoning Ordinance; TC Energy has indicated that they intend to follow Kendall County's regulations. The current regulations are as follows in Section 6:07 of the Kendall County Zoning Ordinance; these regulations are the standard regulations found in Agricultural Impact Mitigation Agreements:

A. Pipeline Depth

1. Except for above ground piping facilities, such as mainline block valves, tap valves, meter stations, etc., the pipeline will be buried with:

a. A minimum of five (5) feet of top cover where it crosses cropland.

b. A minimum of five (5) feet of top cover where it crosses pastureland or other agricultural land comprised of soils that are classified by the USDA as being prime soils.

- c. A minimum of three (3) feet of top cover where it crosses pastureland and other agricultural land not comprised of prime soils.
 - d. A minimum of three (3) feet of top cover where it crosses wooded/brushy land or other sensitive areas.
 - e. Substantially the same top cover as an existing parallel pipeline, but not less than three (3) feet, where the route parallels an existing pipeline within a 100-foot perpendicular offset.
2. Notwithstanding the foregoing, in those areas where rock is in its natural formation and/or a continuous stratum of gravel exceeding two hundred (200) feet in length are encountered, the minimum cover will be thirty (30) inches.

Chairman Wormley had concerns about a three foot (3') depth; he favored five feet (5') of topsoil above the pipeline. He said most pipelines were eight feet to twelve feet (8'-12') deep.

Member Koukol asked about inspections. Chairman Wormley said that the County could inspect during construction.

Member Rodriguez was concerned about safety in general; he would like an expert's opinion on the matter. He questioned the additional costs of burying the pipeline an additional two feet (2').

Chairman Wormley noted that federal regulations might supersede County regulations.

Member Koukol favored the five foot (5') proposal in order to protect the forest preserve and public safety.

Member Shanely made a motion, seconded by Member Koukol, to initiate text amendment by setting the minimum depth at five feet (5').

The votes were as follows:

Yeas (4): Koukol, Rodriguez, Shanely, and Wormley
 Nays (0): None
 Abstain (0): None
 Absent (1): Flowers

The proposal goes to ZPAC on July 1, 2024.

Review of Annual NPDES Survey

Every year at the end of June or beginning of July, Kendall County sends an NPDES survey to the townships.

WBK reviewed the survey and suggested adding two (2) questions regarding quality of surface water and two (2) questions regarding training/good housekeeping to the survey.

The revised survey incorporating WBK's suggestions was provided.

The Committee had no changes or comments on the survey.

Approval of an Intergovernmental Agreement between the Village of Plattville and the County of Kendall to Administer the County's Ordinances for Zoning, Building Code, Subdivision Control,

Comprehensive Plan, and Stormwater Management Within the Jurisdiction of the Village of Plattville for a Term of One (1) Year in the Amount of \$1.00 Plus Associated Costs Paid by the Village of Plattville to the County of Kendall

The intergovernmental agreement between Kendall County and the Village of Plattville expires in June.

Since July 1, 2023, sixteen (16) inspections occurred in Plattville.

Other than the dates, no changes to the agreement are proposed.

The Village of Plattville approved the Agreement at their meeting on May 20, 2024.

Member Koukol made a motion, seconded by Member Shanely, to recommend approval of the Intergovernmental Agreement.

The votes were as follows:

Yeas (4): Koukol, Rodriguez, Shanely, and Wormley
Nays (0): None
Abstain (0): None
Absent (1): Flowers

The proposal will go to the June 18, 2024, Kendall County Board meeting on the consent agenda.

Approval of a Contract for Plumbing Inspections Between Kendall County and Mayer Construction, LLC, D.B.A. Mayer Plumbing, LLC

The contract between Kendall County and Mayer Construction, LLC, D.B.A. Mayer Plumbing, LLC for plumbing inspections expires near the end of June.

The County is proposing to renew the contract for a period of one (1) with the option of subsequent one (1) year renewals instead of an initial two (2) year period.

Other than the change listed in the previous paragraph, which can be found in term #30 in the contract, the rest of the contract remains unchanged.

Member Shanely asked why the contract period was reduced to one (1) year. Mr. Asselmeier said it was because the County received a complaint and did not have time to prepare a request for proposal to explore other options.

Member Koukol made a motion, seconded by Member Shanley, to send the proposal to County Board.

The votes were as follows:

Yeas (4): Koukol, Rodriguez, Shanley, and Wormley
Nays (0): None
Abstain (0): None
Absent (1) Flowers

The proposal will go to the June 18, 2024, Kendall County Board meeting on the consent agenda.

OLD BUSINESS:

Update on Stormwater Permit at 13039 McKanna Road (PIN: 09-09-100-002) in Seward Township

Chairman Wormley praised the property owner's efforts to obtain compliance.

Carlos Moreno provided an update on the project. He signed an application recently with their engineer. He hopes the engineer submits the application within the week.

REVIEW VIOLATION REPORT:

The Committee reviewed the report.

7821 Route 71 was found guilty of violating the Stormwater Management Ordinance and was fined. Mr. Asselmeier said that the Department will ask for guidance from the Committee if the property owner does not rectify or plan to rectify the issue after the thirty (30) appeal window.

The four (4) footbridges on Griswold Springs Road will be in court on June 25, 2024. The engineer was making progress.

There will be a bench trial for an illegal business in Gastville in July.

2511 Wildy Road will be in court at the end of June.

The pre-bid meeting at 1539 Collins Road is on June 11, 2024. Bids will be open at the end of the month to demolish the house.

Mr. Asselmeier said pre-violations were still on hold while the County updates the violation form. The revised form has been sent to the State's Attorney's Office for review.

REVIEW PRE-VIOLATION REPORT:

The Committee reviewed the report.

Mr. Asselmeier explained the new tracking system to track pre-violation.

UPDATE FROM HISTORIC PRESERVATION COMMISSION:

July 15, 2024, Historic Preservation Group Summer Meeting

The Committee reviewed the save-the-date information.

REVIEW PERMIT REPORT:

The Committee reviewed the report.

REVIEW REVENUE REPORT:

The Committee reviewed the report.

COMMENTS FROM THE PRESS:

EXECUTIVE SESSION:

ADJOURNMENT:

Member Shanley made a motion, seconded by Member Rodriguez, to adjourn. With a voice vote of four (4) ayes, the motion carried.

Chairman Wormley adjourned the meeting at 8:04 p.m.

Minutes prepared by Wanda A. Rolf, Administrative Assistant

Enc.



**KENDALL COUNTY
PLANNING, BUILDING, & ZONING COMMITTEE
JUNE 10, 2024**

IF YOU WOULD LIKE TO BE CONTACTED ON FUTURE MEETINGS REGARDING THIS TOPIC, PLEASE PROVIDE YOUR ADDRESS OR EMAIL ADDRESS

NAME	ADDRESS (OPTIONAL)	EMAIL ADDRESS (OPTIONAL)
Jen Styczula Daniel J. King		
Tim O'Brien		
BRUCE MILLER		
Joan Sotnick		
R. F. Fleming		
Carlos Moreno		

Kendall County



INVOICE ENTRY PROOF LIST

CLERK: pherber BATCH: 4559

NEW INVOICES

VENDOR REMIT NAME	INVOICE	PO	CHECK RUN	NET AMOUNT	EXCEEDS PO BY	PO BALANCE	CHK/WIRE
PENDING UNPAID INVOICES							
1153	00000 KENDALL CO HIGHW 1153			061524	195.27	.00	.00
CASH 000008	2024/06 INV 05/31/2024	SEP-CHK: Y	DISC: .00				
ACCT 1Y210	DEPT 19 DUE 05/31/2024	DESC:PBZ Truck Fuel					
CONDITIONS THAT PREVENT POSTING INVOICE		1153/53404					
* Invoice must be approved or voided to post.							
1172	00000 KENDALL PRINTING 24-06066			061524	95.50	.00	.00
CASH 000008	2024/06 INV 05/31/2024	SEP-CHK: Y	DISC: .00				
ACCT 1Y210	DEPT 19 DUE 05/31/2024	DESC:Office supplies - Receipts					
CONDITIONS THAT PREVENT POSTING INVOICE		1172/53463					
* Invoice must be approved or voided to post.							
1849	00001 VERIZON			9964663705-econ	061524	42.26	.00
CASH 000008	2024/06 INV 05/31/2024	SEP-CHK: Y	DISC: .00				
ACCT 1Y210	DEPT 19 DUE 05/31/2024	DESC:ECON DEV CELL PHONE					
CONDITIONS THAT PREVENT POSTING INVOICE		1849/53364					
* Invoice must be approved or voided to post.							
1849	00001 VERIZON			9964663705	061524	126.78	.00
CASH 000008	2024/06 INV 05/31/2024	SEP-CHK: Y	DISC: .00				
ACCT 1Y210	DEPT 19 DUE 05/31/2024	DESC:PBZ CELL PHONES					
CONDITIONS THAT PREVENT POSTING INVOICE		1849/53365					
* Invoice must be approved or voided to post.							
3883	00000 MAYER PLUMBING L May 2024			061524	1,540.00	.00	.00
CASH 000008	2024/06 INV 05/31/2024	SEP-CHK: Y	DISC: .00				
ACCT 1Y210	DEPT 19 DUE 05/31/2024	DESC:May Plumbing Inspections					
CONDITIONS THAT PREVENT POSTING INVOICE		3883/53403					
* Invoice must be approved or voided to post.							
5 PENDING UNPAID INVOICES				TOTAL	1,999.81		

Econ Day

Kendall County



Zoning-Econ 6-11-24

CLERK: wrojf BATCH: 4560

NEW INVOICES

VENOR	REMIT NAME	INVOICE	PO	CHECK RUN	NET AMOUNT	EXCEEDS PO BY	PO BALANCE	CHK/WTR
541	00000	FIRST NATIONAL B	06062024		061524			
CASH 000008	2024/07	INV 06/04/2024	SEP-CHK: Y	DISC: .00	58.93	.00	.00	
ACCT 1Y210	DEPT 19	DUE 06/04/2024	DESC:FNB0-Sunflds					
								58.93 1099: <i>Eastern First Day Lunch</i>
995	00000	INTERNATIONAL CO	1001870439		061524			
CASH 000008	2024/07	INV 06/04/2024	SEP-CHK: Y	DISC: .00	414.00	.00	.00	
ACCT 1Y210	DEPT 19	DUE 06/04/2024	DESC:ICC-Res Bldg Insp Web series					
								414.00 1099: <i>Williams Training</i>
1165	00000	KENDALL COUNTY R	06042024		061524			
CASH 000008	2024/07	INV 06/04/2024	SEP-CHK: Y	DISC: .00	114.00	.00	.00	
ACCT 1Y210	DEPT 19	DUE 06/04/2024	DESC:Planning Buiding & zoning					
								114.00 1099: <i>McCurdy</i>
1928	00000	WBK ENGINEERING, 25648			061524			
CASH 000008	2024/07	INV 06/04/2024	SEP-CHK: Y	DISC: .00	854.00	.00	.00	
ACCT 1Y210	DEPT 19	DUE 06/04/2024	DESC:Harvey Creek					
								854.00 1099:
1928	00000	WBK ENGINEERING, 25649			061524			
CASH 000008	2024/07	INV 06/04/2024	SEP-CHK: Y	DISC: .00	612.50	.00	.00	
ACCT 1Y210	DEPT 19	DUE 06/04/2024	DESC:14719 O'Brien Rd					
								612.50 1099:
1928	00000	WBK ENGINEERING, 25650			061524			
CASH 000008	2024/07	INV 06/04/2024	SEP-CHK: Y	DISC: .00	735.00	.00	.00	
ACCT 1Y210	DEPT 19	DUE 06/04/2024	DESC:2142 Woolley Rd					
								735.00 1099:
1928	00000	WBK ENGINEERING, 25651			061524			
CASH 000008	2024/07	INV 06/04/2024	SEP-CHK: Y	DISC: .00	122.50	.00	.00	
ACCT 1Y210	DEPT 19	DUE 06/04/2024	DESC:Subat Nature Center					
								122.50 1099:
4829	00000	MARK L HANSEN	061024		061524			
CASH 000008	2024/07	INV 06/04/2024	SEP-CHK: Y	DISC: .00	65.19	.00	.00	
ACCT 1Y210	DEPT 19	DUE 06/04/2024	DESC:Close out escrow					
								65.19 1099:
8 APPROVED UNPAID INVOICES					TOTAL		2,976.12	

Report generated: 06/11/2024 13:44
 Report of: [redacted]
 Program ID: [redacted]

Kendall County



INVOICE ENTRY PROOF LIST

CLERK: pherber BATCH: 4619

NEW INVOICES

VENDOR REMIT NAME INVOICE PO CHECK RUN NET AMOUNT EXCEEDS PO BY PO BALANCE CHK/WIRE

PENDING UNPAID INVOICES

107	00000	AUTOMOTIVE SPECI 26134	063024	103.46	.00	.00			
CASH 000008	2024/07	INV 06/24/2024	SEP-CHK: Y	DISC: .00			103.46	1099:Wire Blades and	
ACCT 1Y210	DEPT 19	DUE 06/24/2024	DESC:2017 Chevy PBZ Truck		11001902 62170			oil change	
CONDITIONS THAT PREVENT POSTING INVOICE 107/53870									

* Invoice must be approved or voided to post.

1 PENDING UNPAID INVOICES

TOTAL

103.46

0 INVOICE(S)

REPORT POST TOTAL

.00

REPORT TOTALS

.00

Zoning-Econ 6-25-24

CLERK: WROlf BATCH: 4612

NEW INVOICES

ENDORSEMENT NAME	INVOICE	PO	CHECK RUN	NET AMOUNT	EXCEEDS PO BY	PO BALANCE	CHK/MTR
PENDING UNPAID INVOICES							
1928	00000	WBK ENGINEERING, 25647		063024			
CASH	000008	2024/07	INV 06/20/2024	SEP-CHK: Y	DISC: .00		
ACCT	19210	DEPT 19	DUE 06/20/2024	DESC:3875 EIdamain YMCA			
CONDITIONS THAT PREVENT POSTING INVOICE							
				1928/53782			
* Invoice must be approved or voided to post.							
I PENDING UNPAID INVOICES				TOTAL	735.00		

0 INVOICE(S) REPORT POST TOTAL .00

REPORT TOTALS .00



Kendall County Agenda Briefing

Meeting Type: Planning, Building and Zoning
Meeting Date: 7/8/2024
Subject: Approval of Petition 24-10, Special Use Permit for a Landscaping Business at 2142 Wooley Road
Prepared by: Matthew H. Asselmeier, AICP, CFM
Department: Planning, Building and Zoning

Action Requested:

Approval of Petition 24-10, a Request from Alex M. Schuster for a Special Use Permit for a Landscaping Business at 2142 Wooley Road, Oswego (PIN: 03-22-400-001) in Oswego Township; Property is Zoned A-1

Previous Board/Committee Review:

ZPAC-Approval (9-0-1) on May 7, 2024, with Changes to the ROW Dedication, Septic Issues, and Clarification on Outdoor Storage

Kendall County Regional Planning Commission-Approval (9-0-1) on June 26, 2024

Kendall County Zoning Board of Appeals-Approval (4-0-3) on July 1, 2024

Fiscal impact:

N/A

Background and Discussion:

The Petitioner would like to operate a landscaping business at the subject property.

Staff Recommendation:

Approval with Conditions

Attachments:

Memo Dated July 3, 2024



DEPARTMENT OF PLANNING, BUILDING & ZONING

111 West Fox Street • Room 203

Yorkville, IL • 60560

(630) 553-4141

Fax (630) 553-4179

Petition 24-10

Alex M. Schuster

A-1 Special Use Permit for Landscaping Business

INTRODUCTION

The Petitioner is seeking a special use permit for a landscaping business, including allowing outdoor storage of materials.

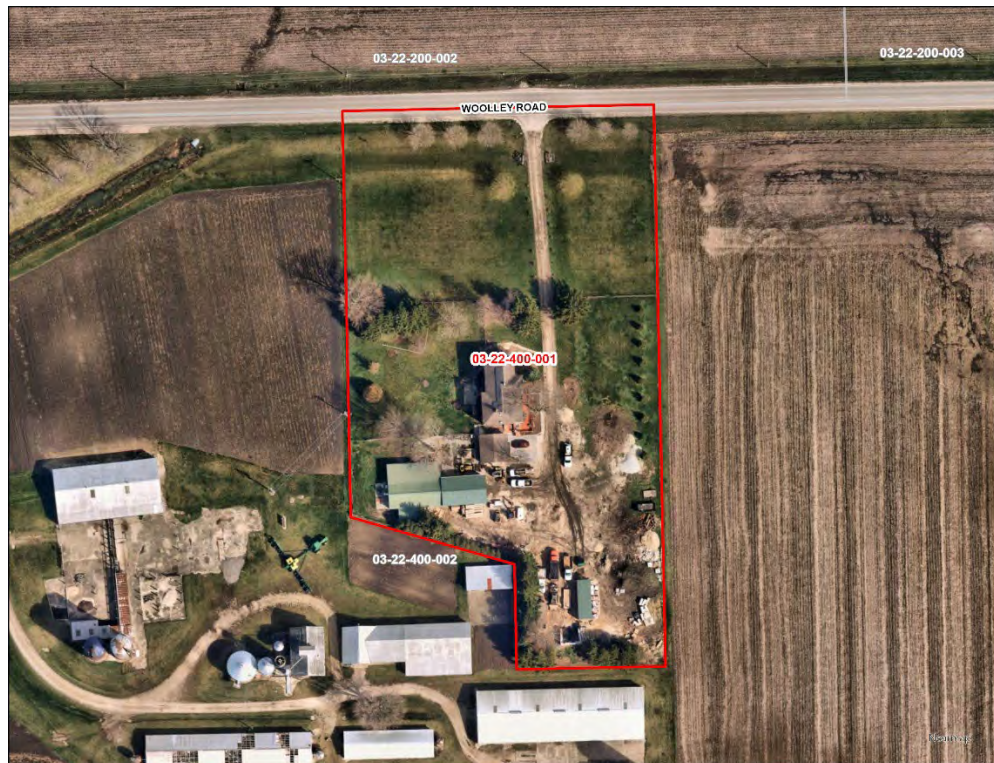
The application materials are included as Attachment 1. The plat of survey is included as Attachment 2. The current conditions plat is included as Attachment 3. The revised proposed site plan reflecting WBK Engineering's comments is included as Attachment 4. The proposed landscaping plan is included as Attachment 5. Pictures of the property and vicinity are included as Attachments 6-11.

SITE INFORMATION

PETITIONER: Alex M. Schuster

ADDRESS: 2142 Wooley Road, Oswego

LOCATION: Approximately 0.25 Miles East of Douglas Road on the South Side of Wooley Road



TOWNSHIP: Oswego

PARCEL #: 03-22-400-001

LOT SIZE: 3.07 +/- Acres

EXISTING LAND USE: Improved Residential/Farmstead

ZONING: A-1

LRMP: Future Land Use	Rural Estate Residential (Max 0.45 DU/Acre) (County) Large Lot Residential (Oswego)
Roads	Wooley Road is a Minor Collector maintained by Oswego Township.
Trails	The Village of Oswego has a trail planned along Wooley Road.
Floodplain/Wetlands	There are no floodplains or wetlands on the property.

REQUESTED ACTIONS: Special Use Permit for a Landscaping Business

APPLICABLE REGULATIONS: Section 7:01.D.32 – A-1 Special Uses
Section 13:08 – Special Use Procedures

SURROUNDING LAND USE

Location	Adjacent Land Use	Adjacent Zoning	Land Resource Management Plan	Zoning within 1/2 Mile
North	Agricultural/Farmstead	A-1	Rural Estate Residential (County) Large Lot Residential (Oswego)	A-1
South	Agricultural/Farmstead	A-1	Rural Estate Residential (County) Large Lot Residential (Oswego)	A-1
East	Agricultural	A-1	Rural Estate Residential (County) Large Lot Residential (Oswego)	A-1
West	Agricultural/Farmstead	A-1	Commercial (County) Large Lot Residential (Oswego)	A-1 (County) B-3 (Oswego)

Approximately three (3) houses are located within a half mile (0.5) miles of the subject property.

PHYSICAL DATA

ENDANGERED SPECIES REPORT

EcoCAT Report was submitted on March 14, 2024 and consultation was terminated, see Attachment 1, Page 9.

NATURAL RESOURCES INVENTORY

The NRI application was submitted on April 29, 2024, see Attachment 1, Page 8. The LESA Score was 173 indicating a low level of protection. The NRI Report is included as Attachment 13.

ACTION SUMMARY

OSWEGO TOWNSHIP

Petition information was sent to Oswego Township on May 1, 2024. Prior to formal application submittal, Oswego Township submitted an email requesting a thirty-three foot (33') deep right-of-way dedication from the center of Wooley Road. This email is included as Attachment 12.

VILLAGE OF OSWEGO

Petition information was sent to the Village of Oswego on May 1, 2024.

OSWEGO FIRE PROTECTION DISTRICT

Petition information was sent to the Oswego Fire Protection District on May 1, 2024. The Oswego Fire Protection District submitted an email stating no objections to the proposal. This email was provided as Attachment 14.

ZPAC

ZPAC reviewed this proposal at their meeting on May 7, 2024. Discussion occurred regarding the size and location of the septic system. The right-of-way dedication was raised to forty feet (40'). ZPAC recommended approval of the request with the additional condition related to the septic system and increasing the right-of-way dedication by a vote of nine (9) in favor and zero (0) in opposition with one (1) member absent. The minutes of the meeting were included as Attachment 15.

RPC

The Kendall County Regional Planning Commission reviewed this proposal at their meeting on June 26, 2024. Discussion occurred regarding the future land use map for properties in the area and the distance of the house to road. Discussion also occurred regarding the business starting at the property before a special use permit was issued. The Kendall County Regional Planning Commission recommended approval of the proposal by a vote of nine (9) in favor and zero (0) in opposition with one (1) member absent. The minutes of the meeting are included as Attachment 18.

ZBA

The Kendall County Zoning Board of Appeals conducted a public hearing on this proposal on July 1, 2024. Other than the Petitioner, no other members of the public testified at the public hearing. Discussion occurred regarding why the Petitioner started operations before obtaining the special use permit. Discussion also occurred regarding restroom facilities. The Petitioner requested and received clarification on the condition related to the right-of-way dedication depth. The Kendall County Zoning Board of Appeals recommended approval of the proposal with the conditions proposed by Staff by a vote of four (4) in favor and zero (0) in opposition with three (3) members absent. The minutes of the of hearing are included as Attachment 20.

GENERAL INFORMATION

Per Section 7:01.D.32 of the Kendall County Zoning Ordinance, landscaping businesses can be special uses on A-1 zoned property subject to the following conditions:

1. All vehicles, equipment and materials associated with a landscaping business shall be stored entirely within an enclosed structure, unless otherwise permitted under the terms of this Special Use Permit.
2. The business shall be located on, and have direct access to, a State, County or Collector Highway as identified in the County's LRMP, having an all-weather surface, designed to accommodate loads of at least 73,280 lbs, unless otherwise approved in writing by the agency having jurisdiction over said

Highway. Such approvals shall establish limitations as to the number of employees and types of vehicles coming to and from the site that are engaged in the operation of the use (including delivery vehicles). These restrictions shall be included as controlling conditions of the Special Use.

3. No landscape waste generated off the property can be burned on this site.

If the County Board approves the outdoor storage of materials, the above conditions have been met.

BUSINESS OPERATIONS

As noted in the project narrative contained in Attachment 1 on Page 2, the Petitioners would like to operate ASE Illini-Scapes at the subject property.

They would use the site for storage of landscaping materials, equipment, offices, and related operations. Employees would visit the site to get materials. The site would not be open to customers.

The business would be open from 6:00 a.m. until 6:00 p.m. Monday through Friday during the growing season and everyday for twenty-four hours (24) during snow events in the winter. The business has a maximum of fifteen (15) employees, during the busy season, and two (2) employees year-round. Employees either report to the subject property or report directly to job sites.

The site plan (Attachment 4, Pages 3 and 4) shows one (1) approximately one thousand three hundred seventy (1,370) square foot material bin area and one (1) approximately three thousand five hundred (3,500) square foot hard goods storage area near the eastern property line. One (1) approximately five hundred (500) square foot material storage bin was shown near the southern property line. One (1) additional approximately three thousand three hundred (3,300) square foot equipment and storage area is shown south of the existing accessory buildings. The Petitioner indicated that the piles of materials would not exceed ten feet (10') in height.

Equipment would be stored outdoors, when the business is closed.

The Petitioner intends to grow nursery stock in the future.

BUILDINGS AND BUILDING CODES

The subject property presently has one (1) approximately three thousand three hundred (3,300) square foot house, constructed in 1875, one (1) frame garage, two (2) metal frame accessory buildings, and one (1) outhouse onsite that is used as decoration and gardening shed.

The site plan (Attachment 4, pages 3 and 4) shows two (2) future greenhouses, one (1) approximately one thousand one hundred (1,100) square feet in size and one (1) approximately one thousand fifty (1,050) square feet in size.

Any structures related to the landscaping business, other than the greenhouses, would be required to obtain applicable building permits. However, at this time, no additional structures, besides the greenhouses, are proposed.

ENVIRONMENTAL HEALTH

The well is located southwest of the house. The septic area is located east of the house, between the proposed employee parking area and the southern most greenhouse. The property is served by electricity and natural gas.

One (1) dumpster area is proposed east of the western most equipment and storage area. Given its location on the property and proposed perimeter screening around the property, the Petitioner did not propose any screening specifically for the dumpster area.

STORMWATER

The property drains towards Wooley Road.

The site plan (Attachment 4, Page 3) shows a drainage system along the east and northeast side of the property.

The Petitioners submitted an application for a stormwater management permit. WBK submitted a review letter requesting additional information and clarification. This letter is included as Attachment 16. The Petitioner's Engineer submitted a response on June 5, 2024, including a revised site plan addressing WBK's comments. This letter is included as Attachment 17. WBK submitted an additional letter on June 24, 2024, requesting additional information. This letter is included as Attachment 19.

ACCESS

Per the site plan (Attachment 4, Pages 3 and 4), the property has a gravel driveway. The Petitioner plans to install a turnaround area at the south end of the driveway.

PARKING AND INTERNAL TRAFFIC CIRCULATION

According to the site plan (Attachment 4, Pages 3 and 4), the Petitioner proposes a gravel parking lot with ten (10) parking spaces located north of the turnaround area. One (1) ADA accessible parking space is required. The Petitioner intends to use a vehicular rated permeable paver to meet this requirement.

In addition, the Petitioner proposes an approximately one thousand seven hundred fifty square foot (1,750) truck and trailer parking area south of the turnaround area. This lot would also be gravel.

LIGHTING

No lighting was planned for the property.

SIGNAGE

No signage was proposed.

SECURITY

The property presently has a fence along the perimeter as shown in several of the pictures and the landscaping plan (Attachment 5).

LANDSCAPING

The landscaping plan (Attachment 5) shows six (6) existing maple trees, two (2) existing willow, thirty-two (32) existing spruce trees, two (2) existing birch trees, two (2) existing oak trees, and several existing evergreen trees.

The Petitioner proposes to add twenty-six (26) purple coneflowers, three (3) six foot (6') service berries, trellised English ivy, and five (5) six foot (6') Nigra arborvitae.

The Petitioner plans to install landscaping within one (1) year of the approval of special use permit.

NOISE CONTROL

No information was provided regarding noise control.

ODORS

No information was provided regarding odor control.

RELATION TO OTHER SPECIAL USES

If approved, this would be the twenty-first (21st) special use permit for a landscaping business in unincorporated Kendall County.

FINDINGS OF FACT-SPECIAL USE PERMIT

The Findings of Fact were as follows:

The establishment, maintenance, or operation of the special use will not be detrimental to or endanger the public health, safety, morals, comfort, or general welfare. Numerous landscaping businesses have been approved throughout unincorporated Kendall County, including one (1) at 655 Wooley Road. The proposed use is along Wooley Road, which is classified as a minor collector. Reasonable restrictions can be placed in the special use permit to ensure the health, safety, and general welfare of the area are protected.

The special use will not be substantially injurious to the use and enjoyment of other property in the immediate vicinity for the purposes already permitted, nor substantially diminish and impair property values within the neighborhood. The Zoning classification of property within the general area of the property in question shall be considered in determining consistency with this standard. The proposed use makes adequate provisions for appropriate buffers, landscaping, fencing, lighting, building materials, open space and other improvements necessary to insure that the proposed use does not adversely impact adjacent uses and is compatible with the surrounding area and/or the County as a whole. **The subject property is in a large A-1 Agricultural District. The use will not impede farms or residential uses on the adjoining properties. Reasonable restrictions may be placed on the special use permit to address hours of operation, noise, landscaping, and site layout to prevent neighboring property owners are not negatively impacted by the proposed use.**

Adequate utilities, access roads and points of ingress and egress, drainage, and/or other necessary facilities have been or are being provided. **The proposal states that customers will not come to the property. Given the limited number of employees reporting to the property, adequate utilities, access roads, and ingress/egress exists. A stormwater permit and conditions in the special use permit can address concerns related to drainage.**

The special use shall in all other respects conform to the applicable regulations of the district in which it is located, except as such regulations may in each instance be modified by the County Board pursuant to the recommendation of the Zoning Board of Appeals. **This is true.**

The special use is consistent with the purpose and objectives of the Land Resource Management Plan and other adopted County or municipal plans and policies. **The proposal is also consistent with a goal and objective found on page 6-34 of the Land Resource Management Plan, "A strong base of agriculture, commercial and industrial uses that provide a broad range of job opportunities, a healthy tax base, and improved quality of services to County residents." "Encourage opportunities for locally owned business."** In addition, the future land use map calls for this property to be Mixed Use Business. Similar types of uses were planned for the subject property and properties in the vicinity of the subject property.

RECOMMENDATION

Staff recommends approval of the requested special use permit subject to the following conditions and restrictions. As of the date of this memo, the Petitioner has not agreed to these conditions and restrictions:

1. The site shall be developed substantially in accordance with the attached site plan (Attachment 4) and landscaping plan (Attachment 5).
2. Within ninety (90) days of the approval of the special use permit, the owners of the subject property shall dedicate a strip of land ~~thirty-three feet (33')~~ **forty feet (40')** in depth along the northern property line to Oswego Township. The Kendall County Planning, Building and Zoning Committee may grant an extension to this deadline. **(Amended at ZPAC)**
3. The location and size of the septic system should be assessed to determine if the system is placed and sized properly for the use allowed by this special use permit. **(Added at ZPAC)**
4. Equipment and vehicles related to the business allowed by the special use permit may be stored outdoors at the subject property when the business is closed.
5. None of the vehicles or equipment parked or stored on the subject property related to the business allowed by the special use permit shall be considered agricultural vehicles or agricultural equipment.
6. All of the vehicles and equipment stored on the subject property related to the business allowed by the special use permit shall be maintained in good condition with no deflated tires and shall be licensed if required by law.
7. The owners of the businesses allowed by this special use permit shall diligently monitor the property for leaks from equipment and vehicles parked and stored and items stored on the subject property and shall promptly clean up the site if leaks occur.

8. Except for the purposes of loading and unloading, all landscape related materials shall be stored at the designated storage areas shown on the attached site plan (Attachment 4). The maximum height of the piles of landscaping related material shall be ten feet (10'). **(Clarified at ZPAC)**
9. A maximum of fifteen (15) employees of the business allowed by this special use permit, including the owners of the business allowed by this special use permit, may report to this site for work.
10. No customers of the business allowed by the special use permit shall be invited onto the subject property for matters related to the business allowed by the special use permit.
11. The hours of operation of the business allowed by this special use permit shall be Monday through Friday from 6:00 a.m. until 6:00 p.m. and the business shall be open twenty-four (24) hours to address snow events. The owners of the business allowed by this special use permit may reduce these hours of operation.
12. Any structures constructed, installed, or used related to the business allowed by this special use permit on the property shall not be considered for agricultural purposes and must secure applicable building permits. This restriction does not apply to greenhouses.
13. No signs are shown on the site plan. The owner of the business allowed by the special use permit may request a sign in the future using the minor amendment process, provided that the proposed sign meets the requirements of the Kendall County Zoning Ordinance.
14. Only lighting related to security may be installed outdoors at the subject property.
15. Damaged or dead plantings described on the landscaping plan (Attachment 5) shall be replaced on a timeframe approved by the Kendall County Planning, Building and Zoning Department.
16. The vegetation described in the landscaping plan (Attachment 5) shall be installed within one (1) year of the approval of the special use permit. The Kendall County Planning, Building and Zoning Committee may grant an extension to the deadline to install the vegetation. Materials and vegetation stored in the greenhouses and material storage area shall not be subject to this requirement and shall not be considered part of the landscaping plan.
17. No landscape waste generated off the property can be burned on the subject property.
18. The noise regulations are as follows:

Day Hours: No person shall cause or allow the emission of sound during daytime hours (7:00 A.M. to 10:00 P.M.) from any noise source to any receiving residential land which exceeds sixty-five (65) dBA when measured at any point within such receiving residential land, provided; however, that point of measurement shall be on the property line of the complainant.

Night Hours: No person shall cause or allow the emission of sound during nighttime hours (10:00 P.M. to 7:00 A.M.) from any noise source to any receiving residential land which exceeds fifty-five (55) dBA when measured at any point within such receiving residential land provided; however, that point of measurement shall be on the property line of the complainant.

EXEMPTION: Powered Equipment: Powered equipment, such as lawn mowers, small lawn and garden tools, riding tractors, and snow removal equipment which is necessary for the maintenance of property is exempted from the noise regulations between the hours of seven o'clock (7:00) A.M. and ten o'clock (10:00) P.M.

Only homes permitted prior to the date of the issuance of the special use permit shall have standing to file noise complaints.
19. At least one (1) functioning fire extinguisher and one (1) first aid kit shall be on the subject property. Applicable signage stating the location of the fire extinguisher and first aid kit shall be placed on the subject property.

20. The owners of the business allowed by this special use permit acknowledge and agree to follow Kendall County's Right to Farm Clause.
21. The property owner and operator of the business allowed by this special use permit shall follow all applicable Federal, State, and Local laws related to the operation of this type of business, including, but not limited to, installed the applicable number of ADA required parking spaces.
22. Failure to comply with one or more of the above conditions or restrictions could result in the amendment or revocation of the special use permit.
23. If one or more of the above conditions is declared invalid by a court of competent jurisdiction, the remaining conditions shall remain valid.
24. This special use permit shall be treated as a covenant running with the land and is binding on the successors, heirs, and assigns as to the same special use conducted on the property.

The draft ordinance is included as Attachment 21.

ATTACHMENTS

1. Application Materials (Including Petitioner's Findings of Fact, and EcoCat)
2. Plat of Survey
3. Current Conditions Plat
4. Revised Proposed Site Plan
5. Proposed Landscaping Plan
6. Picture of Existing Driveway
7. Picture of Culvert at Existing Driveway
8. Looking Southeast
9. Looking Southwest
10. Looking Northwest
11. Looking Northeast
12. April 24, 2024, Oswego Township Email
13. NRI Report
14. May 7, 2024, Oswego Fire Protection District Email
15. May 7, 2024, ZPAC Meeting Minutes (This Petition Only)
16. May 14, 2024, Letter from WBK Engineering
17. June 5, 2024, Letter from Rivercrest Consulting, LLC
18. June 26, 2024, Kendall County Regional Planning Commission Minutes (This Petition Only)
19. June 24, 2024, Letter from WBK Engineering
20. July 1, 2024, Kendall County Zoning Board of Appeals Minutes (This Petition Only)
21. Draft Ordinance



DEPARTMENT OF PLANNING, BUILDING & ZONING

111 West Fox Street • Yorkville, IL • 60560
 (630) 553-4141 Fax (630) 553-4179

APPLICATION

PROJECT NAME _____ FILE #: _____

NAME OF APPLICANT (Including First, Middle Initial, and Last Name)		
Alex M Schuster		
CURRENT LANDOWNER/NAME(s)		
Alex M and Wendy A Schuster		
SITE INFORMATION	SITE ADDRESS OR LOCATION	ASSESSOR'S ID NUMBER (PIN)
ACRES 3.07	2142 Wooley Road, Oswego, IL 60543	03-22-400-001
EXISTING LAND USE	CURRENT ZONING	LAND CLASSIFICATION ON LRMP
farmstead	A1	Farmstead
REQUESTED ACTION (Check All That Apply):		
<input checked="" type="checkbox"/> SPECIAL USE	<input type="checkbox"/> MAP AMENDMENT (Rezone to _____)	<input type="checkbox"/> VARIANCE
<input type="checkbox"/> ADMINISTRATIVE VARIANCE	<input type="checkbox"/> A-1 CONDITIONAL USE for: _____	<input type="checkbox"/> SITE PLAN REVIEW
<input type="checkbox"/> TEXT AMENDMENT	<input type="checkbox"/> RPD (<input type="checkbox"/> Concept; <input type="checkbox"/> Preliminary; <input type="checkbox"/> Final)	<input type="checkbox"/> ADMINISTRATIVE APPEAL
<input type="checkbox"/> PRELIMINARY PLAT	<input type="checkbox"/> FINAL PLAT	<input type="checkbox"/> OTHER PLAT (Vacation, Dedication, etc.)
<input type="checkbox"/> AMENDMENT TO A SPECIAL USE (<input type="checkbox"/> Major; <input type="checkbox"/> Minor)		
¹ PRIMARY CONTACT	PRIMARY CONTACT MAILING ADDRESS	PRIMARY CONTACT EMAIL
Alex Schuster	[REDACTED]	[REDACTED]
PRIMARY CONTACT PHONE #	PRIMARY CONTACT FAX #	PRIMARY CONTACT OTHER #(Cell, etc.)
[REDACTED]	[REDACTED]	[REDACTED]
² ENGINEER CONTACT	ENGINEER MAILING ADDRESS	ENGINEER EMAIL
ENGINEER PHONE #	ENGINEER FAX #	ENGINEER OTHER # (Cell, etc.)
I UNDERSTAND THAT BY SIGNING THIS FORM, THAT THE PROPERTY IN QUESTION MAY BE VISITED BY COUNTY STAFF & BOARD/ COMMISSION MEMBERS THROUGHOUT THE PETITION PROCESS AND THAT THE PRIMARY CONTACT LISTED ABOVE WILL BE SUBJECT TO ALL CORRESPONDANCE ISSUED BY THE COUNTY.		
I CERTIFY THAT THE INFORMATION AND EXHIBITS SUBMITTED ARE TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND THAT I AM TO FILE THIS APPLICATION AND ACT ON BEHALF OF THE ABOVE SIGNATURES. THE APPLICANT ATTESTS THAT THEY ARE FREE OF DEBT OR CURRENT ON ALL DEBTS OWED TO KENDALL COUNTY AS OF THE DATE OF THE APPLICATION.		
SIGNATURE OF APPLICANT		DATE
[REDACTED SIGNATURE]		3-19-24

FEE PAID: \$ _____
 CHECK #: _____

¹ Primary Contact will receive all correspondence from County

² Engineering Contact will receive all correspondence from the County's Engineering Consultants



DEPARTMENT OF PLANNING, BUILDING & ZONING

111 West Fox Street • Yorkville, IL • 60560

(630) 553-4141

Fax (630) 553-4179

APPLICATION

PROJECT NAME _____ FILE #: _____

NAME OF APPLICANT (Including First, Middle Initial, and Last Name) Alex M Schuster		
CURRENT LANDOWNER/NAME(s) Alex M and Wendy A Schuster		
SITE INFORMATION ACRES 3.07	SITE ADDRESS OR LOCATION 2142 Wooley Rd, Oswego Il 60543	ASSESSOR'S ID NUMBER (PIN) 03-22-400-001
EXISTING LAND USE farmstead	CURRENT ZONING A1	LAND CLASSIFICATION ON LRMP Farmstead
REQUESTED ACTION (Check All That Apply):		
<input type="checkbox"/> SPECIAL USE	<input type="checkbox"/> MAP AMENDMENT (Rezone to _____)	<input checked="" type="checkbox"/> VARIANCE
<input type="checkbox"/> ADMINISTRATIVE VARIANCE	<input type="checkbox"/> A-1 CONDITIONAL USE for: _____	<input type="checkbox"/> SITE PLAN REVIEW
<input type="checkbox"/> TEXT AMENDMENT	<input type="checkbox"/> RPD (<input type="checkbox"/> Concept; <input type="checkbox"/> Preliminary; <input type="checkbox"/> Final)	<input type="checkbox"/> ADMINISTRATIVE APPEAL
<input type="checkbox"/> PRELIMINARY PLAT	<input type="checkbox"/> FINAL PLAT	<input type="checkbox"/> OTHER PLAT (Vacation, Dedication, etc.)
AMENDMENT TO A SPECIAL USE (<input type="checkbox"/> Major, <input type="checkbox"/> Minor)		
¹PRIMARY CONTACT Alex Schuster	PRIMARY CONTACT MAILING ADDRESS [REDACTED]	PRIMARY CONTACT EMAIL [REDACTED]
PRIMARY CONTACT PHONE # [REDACTED]	PRIMARY CONTACT FAX # [REDACTED]	PRIMARY CONTACT OTHER #(Cell, etc.) [REDACTED]
²ENGINEER CONTACT	ENGINEER MAILING ADDRESS	ENGINEER EMAIL
ENGINEER PHONE #	ENGINEER FAX #	ENGINEER OTHER # (Cell, etc.)
I UNDERSTAND THAT BY SIGNING THIS FORM, THAT THE PROPERTY IN QUESTION MAY BE VISITED BY COUNTY STAFF & BOARD/ COMMISSION MEMBERS THROUGHOUT THE PETITION PROCESS AND THAT THE PRIMARY CONTACT LISTED ABOVE WILL BE SUBJECT TO ALL CORRESPONDANCE ISSUED BY THE COUNTY.		
I CERTIFY THAT THE INFORMATION AND EXHIBITS SUBMITTED ARE TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND THAT I AM TO FILE THIS APPLICATION AND ACT ON BEHALF OF THE ABOVE SIGNATURES. THE APPLICANT ATTESTS THAT THEY ARE FREE OF DEBT OR CURRENT ON ALL DEBTS OWED TO KENDALL COUNTY AS OF THE APPLICATION DATE.		
SIGNATURE OF APPLICANT [REDACTED]		DATE 4-23-24

FEE PAID:\$ _____
CHECK #: _____

¹Primary Contact will receive all correspondence from County

²Engineering Contact will receive all correspondence from the County's Engineering Consultants

Detailed description of proposed use including business plan

ASE Illini-Scapes is an independent, family owned and operated, local landscaping company.

During the peak season we can have up to 15 field employees some reporting to the shop and some reporting directly to the job site on a seasonal basis and two year-round employees. During the growing season the hours of operation are 6:00 AM – 6:00 PM, Monday through Friday. There are limited operations during snow events that would necessitate 24 hour operation during the winter. The property is used as a base of operations for storage of equipment and bulk materials. We intend in the future to grow container nursery stock.



WARRANTY DEED
ILLINOIS STATUTORY
INDIVIDUAL

202200002016

DEBBIE GILLETTE
RECORDER - KENDALL COUNTY, IL

RECORDED: 1/29/2022 03:16 PM
WD: 57.00 RHPFS FEE: 10.00
STATE TAX: 495.00
COUNTY TAX: 247.50
PAGES: 4

FIRST AMERICAN TITLE
FILE # [REDACTED]

FATIC No.: [REDACTED]

THE GRANTOR(S) Peter G. Praetz and Robyn Draper-Praetz, A Married Couple, of [REDACTED] of the [REDACTED] County of Kendall, [REDACTED] for and in consideration of Ten and 00/100 Dollars, and other good and valuable consideration in hand paid, CONVEY(S) and WARRANT(S) to Alex Schuster and Wendy Schuster, A Married Couple, Tenants by the entirety, all interest in the following described Real Estate situated in the County of Kendall in the State of Illinois, to wit: ^X Mark ^X Ann

See Exhibit "A" attached hereto and made a part hereof

SUBJECT TO:

Hereby releasing and waiving all rights under and by virtue of the Homestead Exemption Laws of the State of Illinois.

Permanent Real Estate Index Number(s): 03-22-400-001-0000

Address(es) of Real Estate: 2142 Wooley Road
Oswego, Illinois 60543

Dated this 30th day of November, 2021

[REDACTED]
Peter G. Praetz

[REDACTED]
Robyn Draper-Praetz



STATE OF ILLINOIS)
) SS
COUNTY OF Kendall)

I, Erin O'Connell the undersigned, a Notary Public in and for said County, in the State aforesaid, CERTIFY THAT, Peter G. Praetz and Robyn Draper- Praetz, A Married Couple, personally known to me to be the same person(s) whose name(s) are subscribed to the foregoing instrument, appeared before me this day in person, and acknowledged that they signed, sealed and delivered the said instrument as their free and voluntary act, for the uses and purposes therein set forth, including the release and waiver of the right of homestead.

Given under my hand and official seal this 30th day of November, 2021.




Notary Public

Prepared by:
Blacha Law Office LLC
One Energy Center 40 Shuman Bl Suite 118
Naperville, IL 60563

Mail to:



Name and Address of Taxpayer: / Grantee
Alex Schuster + Wendy Schuster

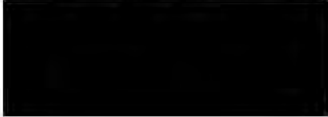


Exhibit "A" – Legal Description

THAT PART OF THE EAST 1/2 OF THE SOUTH EAST 1/4 OF SECTION 22, TOWNSHIP 37 NORTH, RANGE 8 EAST OF THE THIRD PRINCIPAL MERIDIAN, DESCRIBED AS FOLLOWS: COMMENCING AT THE NORTH WEST CORNER OF THE SOUTH EAST 1/4 OF SAID SECTION 22, THENCE SOUTH 89 DEGREES, 50 MINUTES, 30 SECONDS EAST 1417.6 FEET FOR THE POINT OF BEGINNING, THENCE SOUTH 89 DEGREES 50 MINUTES 30 SECONDS EAST 287.12 FEET, THENCE SOUTH 00 DEGREES 09 MINUTES 30 SECONDS WEST 517.87 FEET, THENCE NORTH 89 DEGREES 50 MINUTES 30 SECONDS WEST 137.22 FEET, THENCE NORTH 00 DEGREES 09 MINUTES 30 SECONDS EAST 96.87 FEET, THENCE NORTH 072 DEGREES 37 MINUTES 30 SECONDS WEST 156.93 FEET, THENCE NORTH 00 DEGREES 09 MINUTES 30 SECONDS EAST 374.54 FEET TO THE POINT OF BEGINNING IN THE TOWNSHIP OF OSWEGO, KENDALL COUNTY, ILLINOIS.





Debbie Gillette
Kendall County Clerk & Recorder

PLAT ACT AFFIDAVIT OF METES AND BOUNDS

STATE OF ILLINOIS)
)SS
COUNTY OF KENDALL)

Joe Nasti c/o First American Title Ins. Co., being duly sworn on oath, states that affiant resides at [REDACTED]. And further states that: (please check the appropriate box)

- A. That the attached deed is not in violation of 765 ILCS 205/1(a), in that the sale or exchange is of an entire tract of land not being part of a larger tract of land; or
- B. That the attached deed is not in violation of 765 ILCS 205/1(b) for one of the following reasons: (please circle the appropriate number)

1. The division or subdivision of land into parcels or tracts of 5.0 acres or more in size which does not involve any new streets or easements of access;
2. The division of lots or blocks of less than one (1) acre in any recorded subdivision which does not involve any new streets or easements of access;
3. The sale or exchange of parcels of land between owners of adjoining and contiguous land;
4. The conveyance of parcels of land or interests therein for use as right of way for railroads or other public utility facilities and other pipe lines which does not involve any new streets or easements of access;
5. The conveyance of land owned by a railroad or other public utility which does not involve any new streets or easements of access;
6. The conveyance of land for highway or other public purposes or grants or conveyances relating to the dedication of land for public use or instruments relating to the vacation of land impressed with a public use;
7. Conveyances made to correct descriptions in prior conveyances;
8. The sale or exchange of parcels or tracts of land following the division into not more than two (2) parts of a particular parcel or tract of land existing on July 17, 1959, and not involving any new streets or easements of access;
9. The sale of a single lot of less than 5.0 acres from a larger tract when a survey is made by an Illinois Registered Land Surveyor; provided, that this exemption shall not apply to the sale of any subsequent lots from the same larger tract of land, as determined by the dimensions and configuration of the larger tract on October 1, 1973, and provided also that this exemption does not invalidate any local requirements applicable to the subdivision of land;
10. The conveyance is of land described in the same manner as title was taken by grantor(s).

AFFIANT further states that ___ he makes this affidavit for the purpose of inducing the Recorder of Deeds of Kendall County, Illinois, to accept the attached deed for recording.

SUBSCRIBED AND SWORN TO BEFORE ME

This 27 day of January, 2022.



[REDACTED]
Signature of Notary Public

[REDACTED]
Signature of Affiant

111 West Fox Street, Yorkville IL 60560-1498
Tel: (630) 553-4104 • Fax: (630) 553-4119 • Email: Dgillette@co.kendall.il.us



Kendall County Soil & Water Conservation District

7775A Route 47, Yorkville, Illinois 60560 • (630)553-5821 extension 3

www.kendallswcd.org

NATURAL RESOURCE INFORMATION (NRI) REPORT APPLICATION

Petitioner: Alex Schuster Contact Person: Alex Schuster
Address:
City, State, Zip:
Phone Number:
Email:

Please select: How would you like to receive a copy of the NRI Report? [X]Email []Mail

Site Location & Proposed Use

Township Name Oswego Township 37 N, Range 8 E, Section(s) 22
Parcel Index Number(s) 03-22-400-001
Project or Subdivision Name Number of Acres 3.07
Current Use of Site Ag/ Residential Proposed Use Landscape business/ Residential
Proposed Number of Lots 1 Proposed Number of Structures 2
Proposed Water Supply well Proposed type of Wastewater Treatment septic
Proposed type of Storm Water Management Existing overland flow to drainage ditch along the road

Type of Request

- [] Change in Zoning from to
[] Variance (Please describe fully on separate page)
[X] Special Use Permit (Please describe fully on separate page)
Name of County or Municipality the request is being filed with: Kendall

In addition to this completed application form, please including the following to ensure proper processing:

- [] Plat of Survey/Site Plan - showing location, legal description and property measurements
[] Concept Plan - showing the locations of proposed lots, buildings, roads, stormwater detention, open areas, etc.
[] If available: topography map, field tile map, copy of soil boring and/or wetland studies
[] NRI fee (Please make checks payable to Kendall County SWCD)

The NRI fees, as of July 1, 2010, are as follows:

Full Report: \$375.00 for five acres and under, plus \$18.00 per acre for each additional acre or any fraction thereof over five.
Executive Summary Report: \$300.00 (KCSWCD staff will determine when a summary or full report will be necessary.)

Table with 2 columns: Description, Amount. Row 1: Fee for first five acres and under, \$ 375.00. Row 2: Additional Acres at \$18.00 each, \$. Row 3: Total NRI Fee, \$.

NOTE: Applications are due by the 1st of each month to be on that month's SWCD Board Meeting Agenda. Applications can be emailed to Alyse.Olson@il.nacdnet.net and checks mailed separately. Once a completed application is submitted, including NRI fee, please allow 30 days for inspection, evaluation, and processing of this report.

I (We) understand the filing of this application allows the authorized representative of the Kendall County Soil and Water Conservation District (SWCD) to visit and conduct an evaluation of the site described above. The completed NRI report expiration date will be 3 years after the date reported.

Petitioner or Authorized Agent

Date

This report will be issued on a nondiscriminatory basis without regard to race, color, religion, national origin, age, sex, handicap or marital status.

FOR OFFICE USE ONLY

NRI# Date initially rec'd Date all rec'd Board Meeting
Fee Due \$ Fee Paid \$ Check # Over/Under Payment Refund Due



Applicant: Alex Schuster
Contact: Alex Schuster
Address: [REDACTED]

IDNR Project Number: 2411803
Date: 03/14/2024

Project: 2142 Wooley Road
Address: 2142 Wooley Rd, Oswego

Description: Updating zoning to A1 with special use for landscape business

Natural Resource Review Results

Consultation for Endangered Species Protection and Natural Areas Preservation (Part 1075)

The Illinois Natural Heritage Database contains no record of State-listed threatened or endangered species, Illinois Natural Area Inventory sites, dedicated Illinois Nature Preserves, or registered Land and Water Reserves in the vicinity of the project location.

Consultation is terminated. This consultation is valid for two years unless new information becomes available that was not previously considered; the proposed action is modified; or additional species, essential habitat, or Natural Areas are identified in the vicinity. If the project has not been implemented within two years of the date of this letter, or any of the above listed conditions develop, a new consultation is necessary. Termination does not imply IDNR's authorization or endorsement.

Location

The applicant is responsible for the accuracy of the location submitted for the project.

County: Kendall

Township, Range, Section:
37N, 8E, 22



IL Department of Natural Resources

Contact

Bradley Hayes
217-785-5500
Division of Ecosystems & Environment

Government Jurisdiction

Kendall County Planning, Building & Zoning
Brian Holdeman
111 West Fox Street
Yorkville, Illinois 60560 -1498

Disclaimer

The Illinois Natural Heritage Database cannot provide a conclusive statement on the presence, absence, or condition of natural resources in Illinois. This review reflects the information existing in the Database at the time of this inquiry, and should not be regarded as a final statement on the site being considered, nor should it be a substitute for detailed site surveys or field surveys required for environmental assessments. If additional protected resources are encountered during the project's implementation, compliance with applicable statutes and regulations is required.

Findings of Fact – Special Use Permit Application for 2142 Wooley Road, Oswego, IL

1. 2142 Wooley Road, (herein after referred to as the Property) is currently zoned A1 for agricultural use.
2. Alex M Schuster, (herein after referred to as the Petitioner) has applied for special use permitting to allow a landscape business to be run from the subject Property.
3. The allowance of said special use permitting does not change the general character of the subject Property.
4. The allowance of said special use permitting both encourages the natural use of the land as farmland as well as enhances the economic base of the area by introducing another small business into the county and region.
5. Agriculture related businesses assist in shaping the economic viability of the county per county zoning ordinance Section 7:01-B-4, consistent with the Land Resource Management Plan.
6. County zoning ordinance Section 7:01-D-32 refers specifically to landscaping businesses as a special use for zoning A1, showing the special use shall in all other respects conform to the applicable regulations of the district in which it is located.
7. The use of the Property by the Petitioner as a landscape business is in line with the intention of the A1 zoning as nursery materials will be grown on the site for use by said landscape business.
8. According to the Eco-Cat report, there are no endangered or threatened species on the Property.
9. The establishment of this special use permit will not be detrimental to or endanger the public health, safety, morals, comfort, or general welfare of the public or surrounding areas.
10. The special use will not be substantially injurious to the use and enjoyment of other properties in the immediate vicinity for the purposes already permitted, nor substantially diminish and impair property values within the neighborhood since similar properties within 1 mile of the subject Property have been granted and are operating under the same special use.
11. Adequate utilities and access are already established at the subject Property.

Attachment 1, Page 1
Please fill out the following findings of fact to the best of your capabilities. § 13:04 of the Zoning Ordinance outlines findings that the Zoning Board of Appeals shall take into consideration the extent to which the following conditions have been established by the evidence:

That the particular physical surroundings, shape, or topographical condition of the specific property involved would result in a particular hardship or practical difficulty upon the owner if the strict letter of the regulations were carried out.

THE CURRENT ROAD CLASSIFICATION IS INSUFFICIENT FOR THE PROPOSED DELIVERIES TO THE PROPOSED SITE

That the conditions upon which the requested variation is based would not be applicable, generally, to other property within the same zoning classification.

A VARIANCE HAS ALREADY BEEN GRANTED FOR A SIMILAR BUSINESS ON WALLEY RD PRIOR TO THIS REQUEST

That the alleged difficulty or hardship has not been created by any person presently having an interest in the property.

WE HAD NO INPUT INTO THE CURRENT ROAD CLASSIFICATION

That the granting of the variation will not materially be detrimental to the public welfare or substantially injurious to other property or improvements in the neighborhood in which the property is located.

NO NOTICEABLE IMPACT TO EXISTING TRAFFIC

That the proposed variation will not impair an adequate supply of light and air to adjacent property, or substantially increase the congestion in the public streets or increase the danger of fire, or endanger the public safety or substantially diminish or impair property values within the neighborhood.

NO NOTICEABLE CHANGE ARE ANTICIPATED

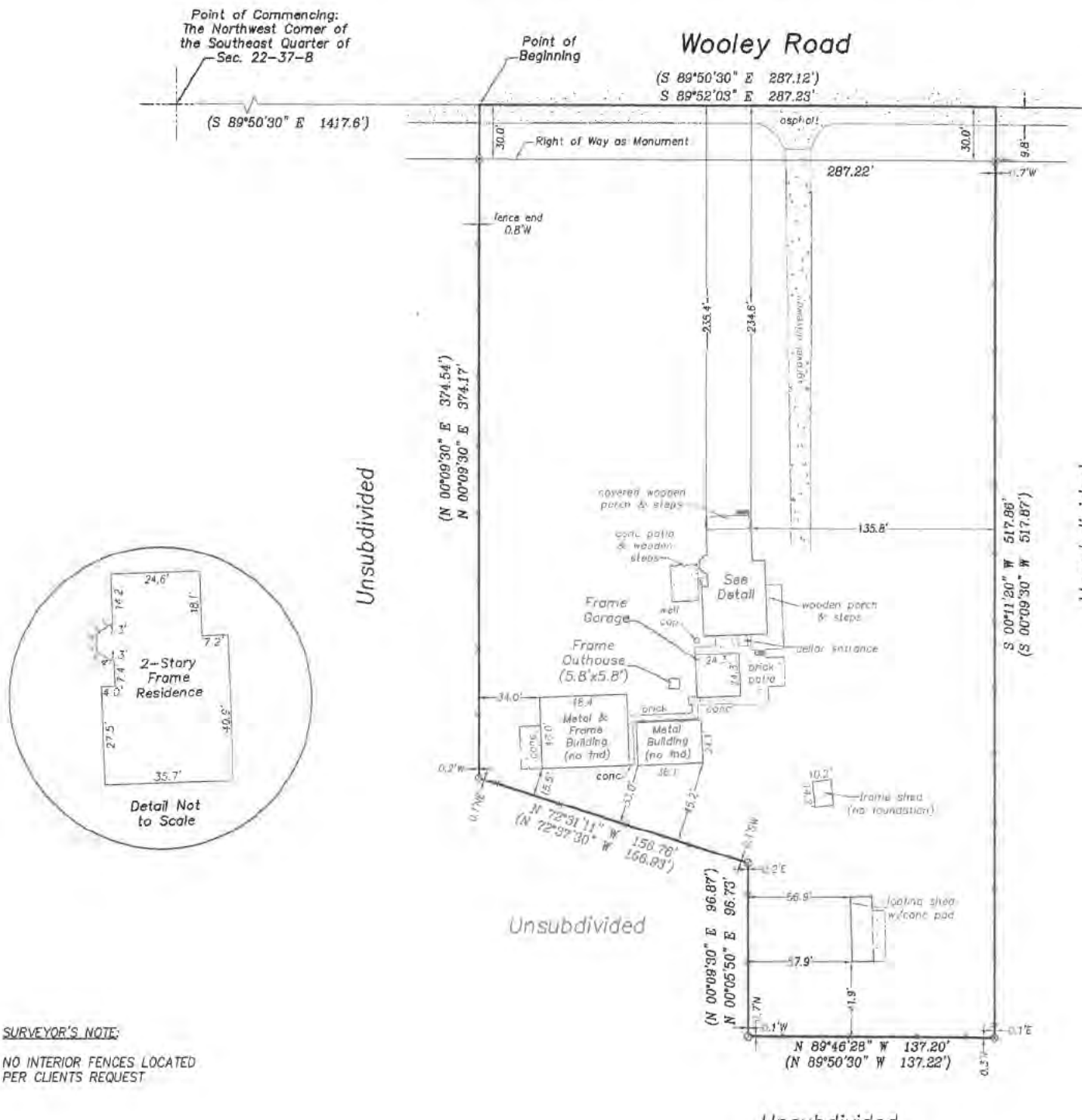
PLAT OF SURVEY

THAT PART OF THE EAST 1/2 OF THE SOUTHEAST 1/4 OF SECTION 22, TOWNSHIP 37 NORTH, RANGE 8 EAST OF THE THIRD PRINCIPAL MERIDIAN, DESCRIBED AS FOLLOWS:

COMMENCING AT THE NORTHWEST CORNER OF THE SOUTHEAST 1/4 OF SAID SECTION 22, THENCE SOUTH 89 DEGREES 50 MINUTES 30 SECONDS EAST 1417.6 FEET FOR THE POINT OF BEGINNING; THENCE SOUTH 89 DEGREES 50 MINUTES 30 SECONDS EAST, 287.12 FEET; THENCE SOUTH 00 DEGREES 09 MINUTES 30 SECONDS WEST, 517.87 FEET; THENCE NORTH 89 DEGREES 50 MINUTES 30 SECONDS WEST, 137.22 FEET; THENCE NORTH 00 DEGREES 09 MINUTES 30 SECONDS EAST, 96.87 FEET; THENCE NORTH 72 DEGREES 37 MINUTES 30 SECONDS WEST, 156.93 FEET; THENCE NORTH 00 DEGREES 09 MINUTES 30 SECONDS EAST 374.54 FEET TO THE POINT OF BEGINNING, IN THE TOWNSHIP OF OSWEGO, KENDALL COUNTY, ILLINOIS.

COMMONLY KNOWN AS: 2142 WOOLEY ROAD, OSWEGO, ILLINOIS.

PROPERTY CONTAINS: 3.0 ACRES (130,648.3 SQUARE FEET), MORE OR LESS.



SURVEYOR'S NOTE:
NO INTERIOR FENCES LOCATED PER CLIENTS REQUEST

STATE OF ILLINOIS)
) SS
COUNTY OF KENDALL)

WE, CORNERSTONE SURVEYING, P.C., AN ILLINOIS PROFESSIONAL DESIGN FIRM LAND SURVEYOR CORPORATION NO. 184.006522, DO HEREBY CERTIFY THAT THIS PROFESSIONAL SERVICE CONFORMS TO THE CURRENT ILLINOIS MINIMUM STANDARDS FOR A BOUNDARY SURVEY. SURVEYOR HAS MADE NO INVESTIGATION OR INDEPENDENT SEARCH FOR EASEMENTS OF RECORD, ENCUMBRANCES, RESTRICTIVE COVENANTS, OWNERSHIP TITLE EVIDENCE, OR ANY OTHER FACTS WHICH AN ACCURATE TITLE SEARCH MAY DISCLOSE.



DATED AT YORKVILLE, ILLINOIS ON NOVEMBER 29, 2021.

Scale: 1" = 50'
 ⊕ = Found 1/2" Dia. Iron Pipe
 ⊙ = Found 1/2" Dia. Iron Rod
 ⊚ = Found 1" Dia. Square Iron Rod
 (XX.XX) = Record Distance
 XX.XX = Measured Distance
 N = North E = East
 S = South W = West
 -X-X-X- = Fence
 [] = Concrete/Asphalt

Michel C. Ensalaco, P.L.S. 2768, Exp. 11/30/2022
 Eric C. Pokorny, P.L.S. 3818, Exp. 11/30/2022
TODD SURVEYING
 Professional Land Surveying Services
 "Cornerstone Surveying PC"
 759 John Street, Suite D
 Yorkville, IL 60560
 Phone: 630-892-1309 Fax: 630-892-5544

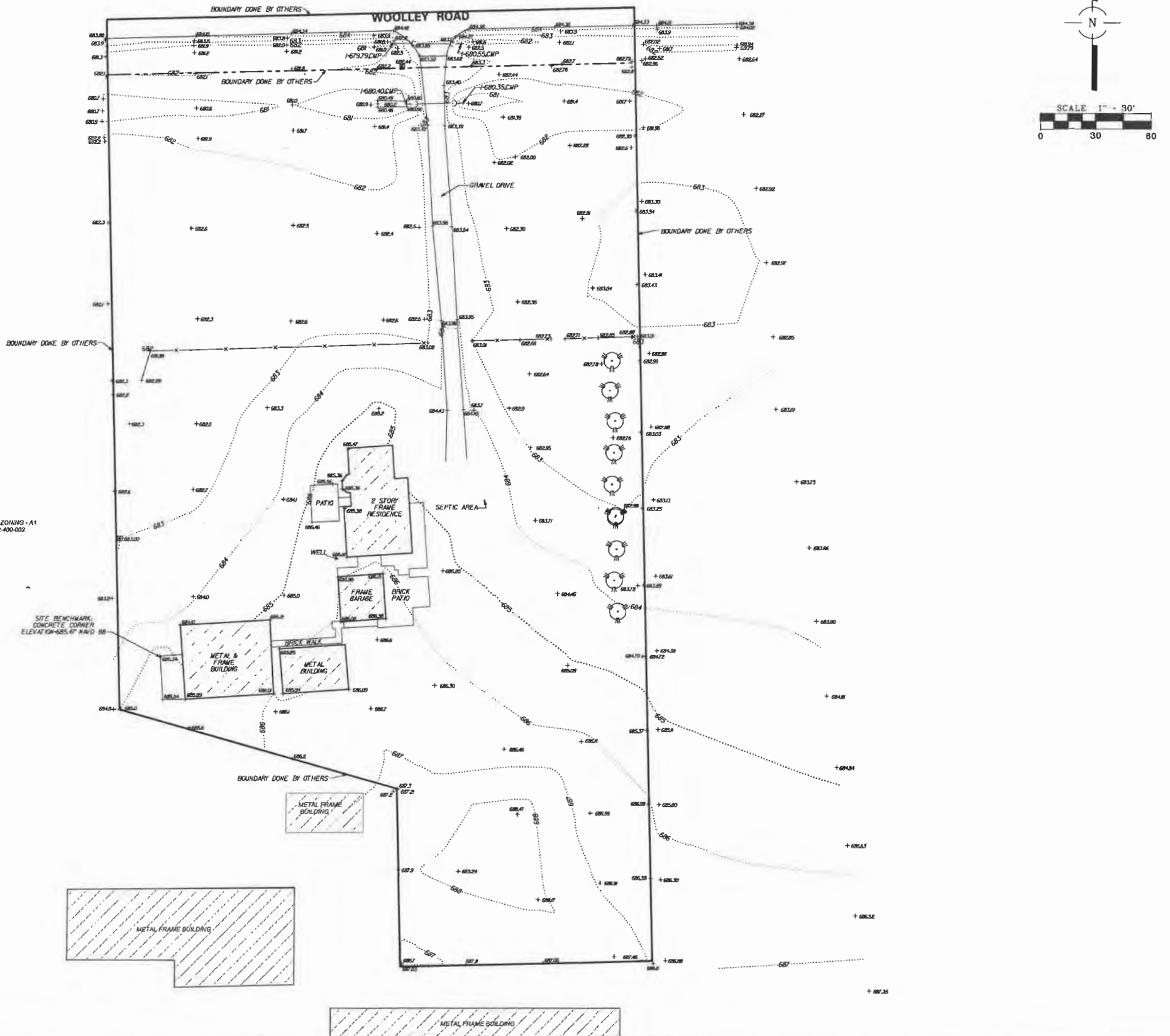
Client:	Blocha Law Office, LLC
Book #:	2517 (Drawn By: J.H.T) (Plat # 2517-4)
Reference:	2013-0761
Field Work Completed:	11/24/2021
Rev. Date	Rev. Description
Project Number:	2021-1594

Survey is only valid if original seal is shown in red.

LEGEND

- STORM SEWER
- SANITARY SEWER
- COMBINED SEWER
- WATER MAIN
- GAS MAIN
- UNDERGROUND TELEPHONE LINE
- UNDERGROUND ELECTRIC LINE
- UNDERGROUND CABLE LINE
- OVERHEAD WIRELESS OR UTILITY POLES
- FIBER OPTIC LINE
- RAILROAD
- FENCE
- GROUND
- EDGE OF WATER
- WETLAND LIMITS
- SANITARY MANHOLE
- STORM MANHOLE
- CATCH BASIN
- WELT
- FLARED END SECTION
- ELECTRIC MANHOLE
- TELEPHONE UPRIGHT
- ELECTRIC UPRIGHT
- CABLE TV UPRIGHT
- FIRE UPRIGHT
- VALVE AND VALVE BOX
- WATER VALVE
- GAS VALVE
- ASSISTANT VALVE
- GAS VALVE
- HARD HOLE
- STREET LIGHT
- UTILITY POLE
- TRAFFIC SIGNAL
- TRAFFIC SIGNAL BOX
- SPRINKLER HEAD
- WELL
- MANHOLE
- SIGN
- UNDEVELOPED MANHOLE
- CONDUIT
- SPOT ELEVATION
- POINT OF WORK MONUMENT
- DISC
- IRON / STEEL ROD
- IRON PIPE
- CUT CROSS
- PK / AND ANV.
- HANGING CROSS
- SOIL BORING
- TREE WITH SIZE
- FR TREE WITH SIZE
- BRICK
- ASPHALT
- CONCRETE
- GRAVEL

CURRENT ZONING - A1
PW 03-22-400-032



NOTE:

UNDERGROUND UTILITIES ARE SHOWN BY USING PHYSICAL EVIDENCE FOUND ON THE SURFACE AND/OR FROM UTILITY COMPANY'S FIELD STAKES AND, THEREFORE, THEIR LOCATIONS ARE APPROXIMATE AND SUSPECTED AND MAY NOT BE COMPLETELY ACCURATE. FOR MORE ACCURATE LOCATION, FIELD EXCAVATE.

PIPE FLOW DIRECTIONS, IF SHOWN, ARE BASED ON FIELD INVERT ELEVATIONS UNLESS EXISTING PLANS INDICATE OTHERWISE, IN WHICH CASE THE EXISTING PLAN FLOW DIRECTION IS SHOWN.

LAST DATE OF FIELD WORK: MARCH 8, 2022.

SHOW CONDITIONS EXISTED OVER THE SITE AT THE TIME OF FIELD WORK. ADDITIONAL IMPROVEMENTS MAY EXIST, BUT WERE NOT VISIBLE AT THE TIME OF SURVEY DUE TO SNOW.

NO.	DATE	REMARKS

EXISTING CONDITIONS

2142 WOOLLEY ROAD
OSWEGO, ILLINOIS

CONSULTING ENGINEERS
SITE DEVELOPMENT ENGINEERS
LAND SURVEYORS

224 1/2 N. Liberty Street,
Morris, Illinois 60451
Phone: (815) 841-0260 Fax: (815) 841-0263

SPACECO INC.

FILENAME:
11985TOPO-01

DATE:
03/11/2022

JOB NO.
11985

SHEET
E1
1 OF 1

SCHUSTER RESIDENCE

2142 WOOLEY ROAD
OSWEGO, IL
SITE IMPROVEMENT PLANS

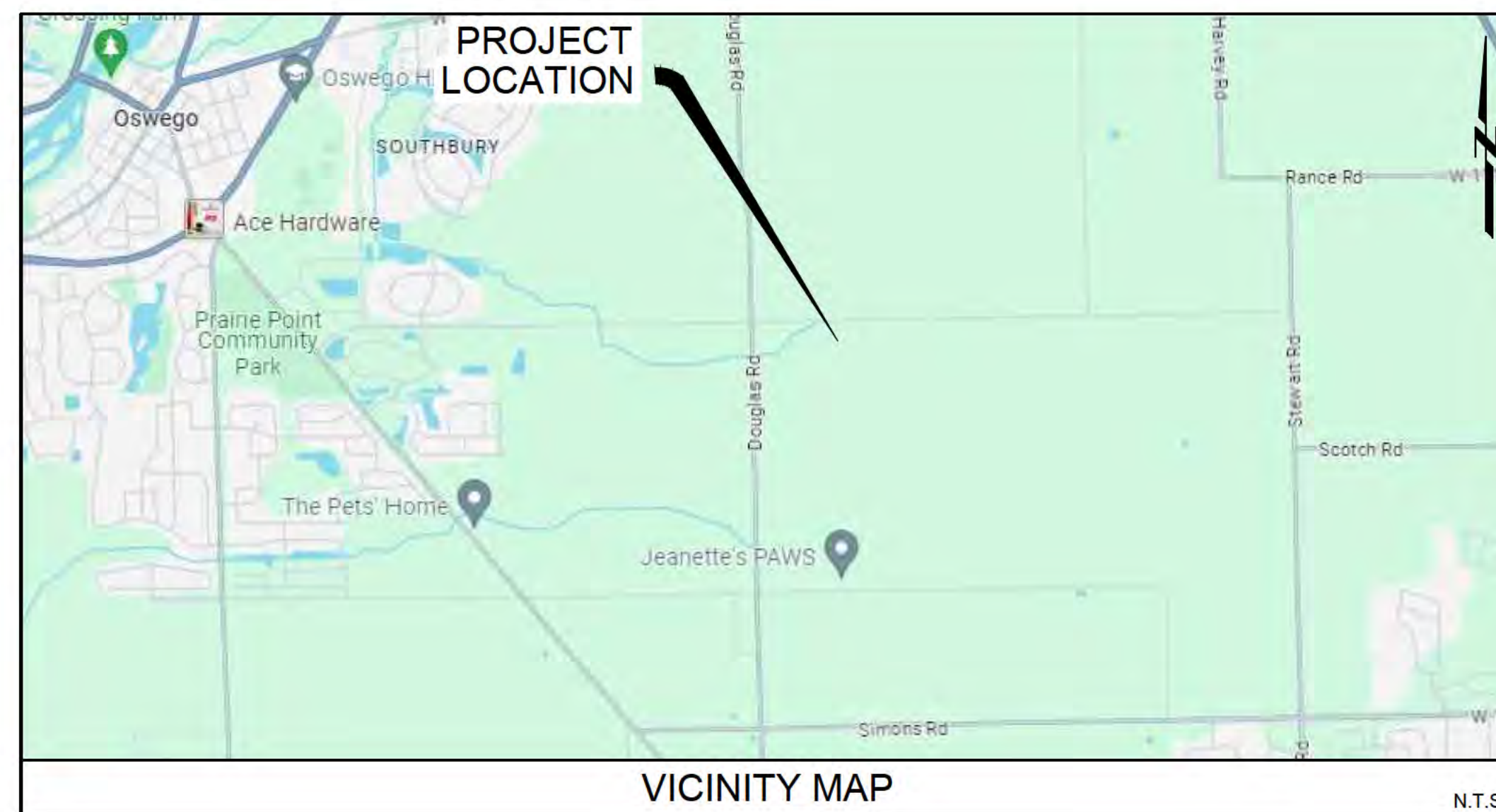
- | SUGGESTED CONSTRUCTION SEQUENCE |
|--|
| 1. INSTALL SILT & CHAIN LINK FENCE AT LOCATIONS AS INDICATED ON THE PLANS. |
| 2. SITE DEMOLITION AND PREP |
| 3. EXCAVATE AND PREP FOR FINISH INSTALLATIONS.. |
| 4. CONSTRUCT HARDSCAPE IMPROVEMENTS PER PLAN. |
| 5. COMPLETE TOPSOIL PLACEMENT AND PERMANENT SEEDING/SODDING AND LANDSCAPING. |
| 6. REMOVE AND PROPERLY DISPOSE OF TEMPORARY EROSION CONTROL MEASURES. |

BENCHMARK: (OFF-SITE)	
TBD	
EL = XXX.XX NAVD88	
SITE BENCHMARK CONCRETE CORNER AT SW CORNER OF SITE	
ELEVATION = 685.45 NAVD88	

PREPARED FOR:	
ALEX SCHUSTER	
ALPINE RIDGE BUILDERS, LLC 12249 S. RHEA DRIVE, STE. 2 PLAINFIELD, IL 60585	



AERIAL MAP N.T.S.



VICINITY MAP N.T.S.

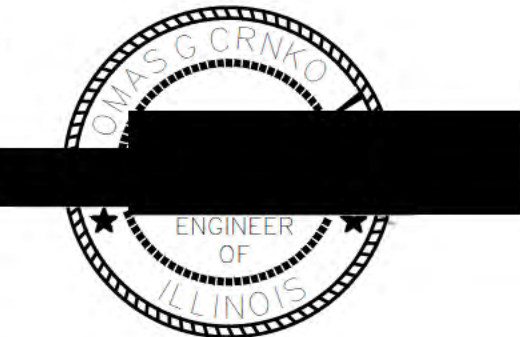
INDEX OF DRAWINGS	
SHEET NO.	DRAWING TITLE
C1.0	COVER SHEET
C2.0	EXISTING CONDITIONS
C2.1	SITE DEMO AND EROSION CONTROL PLAN
C3.0	SITE GRADING PLAN

CONSTRUCTION NOTE
1. A SET OF THE FINAL APPROVED ENGINEERING PLANS SHALL BE ON SITE DURING ANY CONSTRUCTION ACTIVITIES AT ALL TIMES. FAILURE TO DO SO MAY RESULT IN A NOTICE TO STOP CONSTRUCTION ACTIVITIES.

STATE OF ILLINOIS)
) SS
COUNTY OF DU PAGE)

SURFACE WATER STATEMENT
TO THE BEST OF OUR KNOWLEDGE AND BELIEF THE DRAINAGE OF SURFACE WATERS WILL NOT BE CHANGED BY THE CONSTRUCTION OF SUCH DEVELOPMENT OR ANY PART THEREOF, OR, THAT IF SUCH SURFACE WATER DRAINAGE WILL BE CHANGED, REASONABLE PROVISION HAS BEEN MADE FOR COLLECTION AND DIVERSION OF SUCH SURFACE WATERS INTO PUBLIC AREAS, OR DRAINS WHICH THE OWNER HAS A RIGHT TO USE, AND THAT SUCH SURFACE WATERS WILL BE PLANNED FOR IN ACCORDANCE WITH GENERALLY ACCEPTED ENGINEERING PRACTICES SO AS TO REDUCE THE LIKELIHOOD OF DAMAGE TO THE ADJOINING PROPERTY BECAUSE OF THE CONSTRUCTION OF THE DEVELOPMENT.

DATED THIS 18TH DAY OF APRIL, A.D., 2024
 THOMAS G. CRNKOVICH, III
 ILLINOIS REGISTERED
 PROFESSIONAL ENGINEER
 062-060814
 STATE REGISTRATION NUMBER
 11/30/24
 REGISTRATION EXPIRATION / RENEWAL DATE
 OWNER COMPANY NAME: RIVERCREST CONSULTING, LLC
 SIGNATURE SIGNATURE
 TITLE: MANAGING PARTNER TITLE:



Call Before You Dig

 CONTACT JULIE AT 811
 OR 800-892-0123
 48 HOURS (2 working days) BEFORE YOU DIG

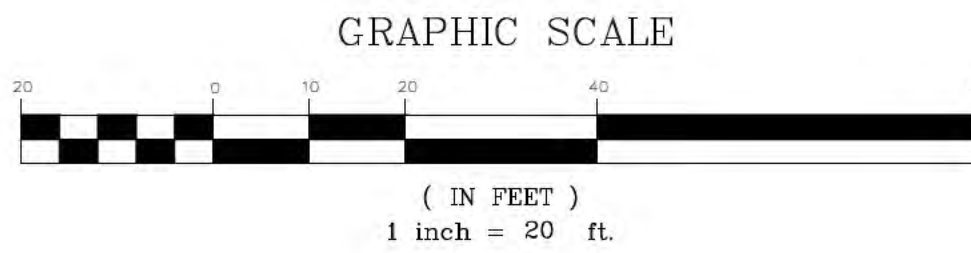
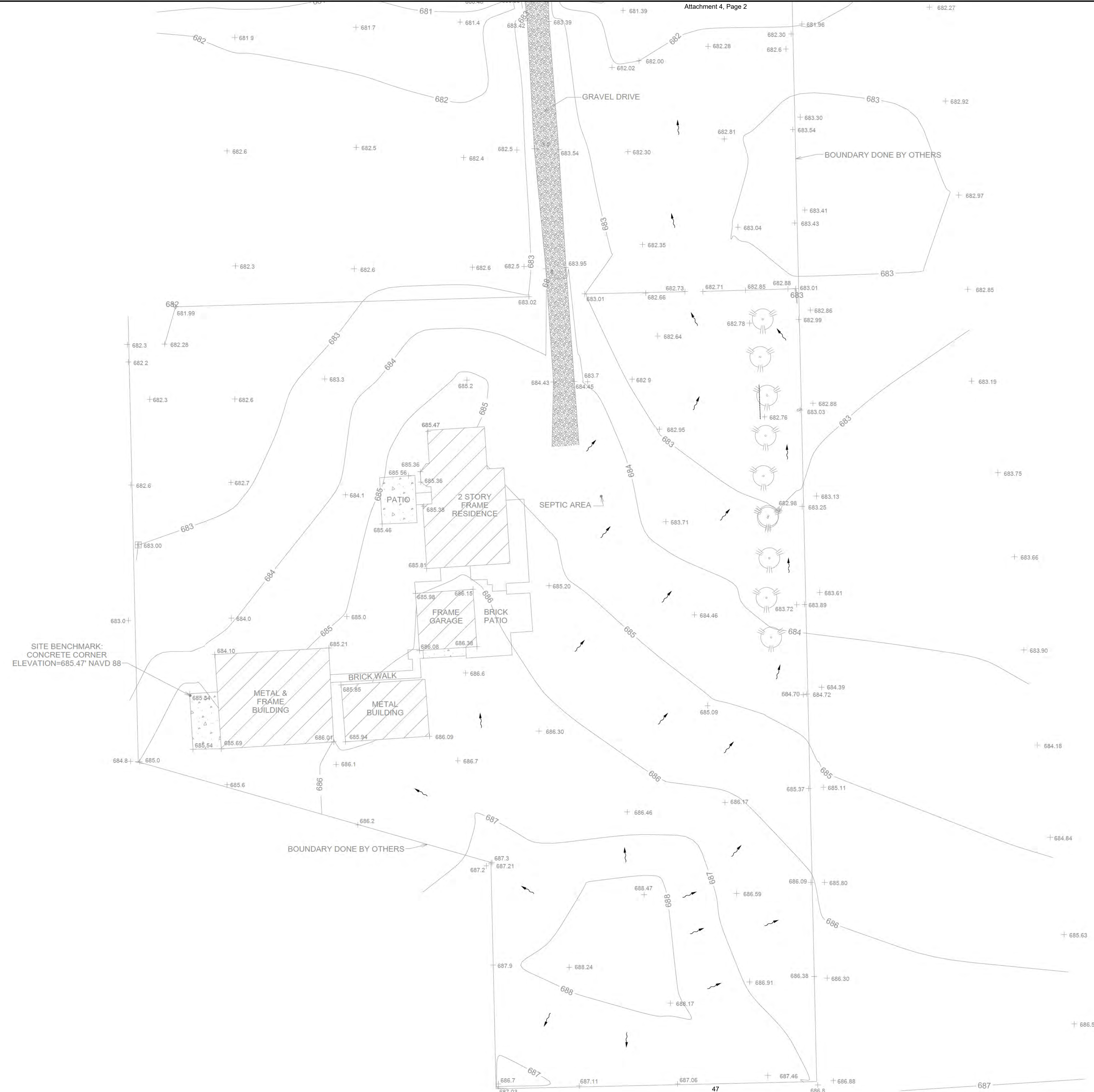
REVISIONS

RIVERCREST CONSULTING, LLC
 Civil Engineering
 Stormwater Management
 Entitlements
 8952 HANSLUK COURT, UNIT 13
 NAPERVILLE, IL 60564
 (630) 538-5108

COVER SHEET
SCHUSTER RESIDENCE
2142 WOOLEY ROAD, OSWEGO, IL

PROJ. MGR.: TGC
 PROJ. ENG.: TGC
 DRAWN BY: TGC
 DATE: 04/18/24
 SCALE: N.T.S.
SHEET NO.
C1.0
 PROJ. NUMBER: 22119

PENDING APPROVAL - NOT FOR CONSTRUCTION



LEGEND	
	STORM SEWER
	SANITARY SEWER
	COMBINED SEWER
	WATER MAIN
	GAS MAIN
	UNDERGROUND TELEPHONE LINE
	UNDERGROUND ELECTRIC LINE
	UNDERGROUND CATV LINE
	CATV
	OVERHEAD WIRE(S) ON UTILITY POLES
	FIBER OPTIC LINE
	RAILROAD
	FENCE
	GUARDRAIL
	EDGE OF WATER
	WETLAND LIMITS
	SANITARY MANHOLE
	STORM MANHOLE
	CATCH BASIN
	INLET
	FLARED END SECTION
	ELECTRIC MANHOLE
	TELEPHONE MANHOLE
	TELEPHONE UPRIGHT
	ELECTRIC UPRIGHT
	CABLE TV UPRIGHT
	FIRE HYDRANT
	VALVE AND VAULT
	WATER VALVE
	B BOX
	AUXILIARY VALVE
	WELL
	GAS VALVE
	HAND HOLE
	STREET LIGHT
	UTILITY POLE
	TRAFFIC SIGNAL
	TRAFFIC SIGNAL BOX
	SPRINKLER HEAD
	BOLLARD
	MAIL BOX
	SIGN
	UNIDENTIFIED MANHOLE
	CONTOUR
	SPOT ELEVATION
	RIGHT-OF-WAY MONUMENT
	DISC
	IRON / STEEL ROD
	IRON PIPE
	CUT CROSS
	PK / MAG NAIL
	RAILROAD SPIKE
	SOIL BORING
	TREE WITH SIZE
	FIR TREE WITH SIZE
	BUSH
	ASPHALT
	CONCRETE
	GRAVEL

NOTE:
 UNDERGROUND UTILITIES ARE SHOWN BY USING PHYSICAL EVIDENCE FOUND ON THE SURFACE AND/OR FROM UTILITY COMPANY FIELD STAKES AND, THEREFORE, THEIR LOCATIONS ARE APPROXIMATE AND SUSPECTED AND MAY NOT BE COMPLETELY ACCURATE. FOR MORE ACCURATE LOCATION, FIELD EXCAVATE.

PIPE FLOW DIRECTIONS, IF SHOWN, ARE BASED ON FIELD INVERT ELEVATIONS UNLESS EXISTING PLANS INDICATE OTHERWISE, IN WHICH CASE THE EXISTING PLAN FLOW DIRECTION IS SHOWN.

LAST DATE OF FIELD WORK: MARCH 8, 2022.

REVISIONS						
RIVERCREST CONSULTING, LLC			Civil Engineering			06/05/24
Stormwater Management			Entitlements			
8952 HANBLIK COURT, UNIT 13			NAPERVILLE, IL 60564			
(630) 538-5108						
EXISTING CONDITIONS & PLAT OF SURVEY		SCHUSTER RESIDENCE		2142 WOOLEY ROAD, OSWEGO, IL		
PROJECT NUMBER: 22119		PROJECT MANAGER: TGC		PROJECT ENGINEER: TGC		
		DRAWN BY: TGC		DATE: 04/18/24		
		SCALE: 1"=20'		SHEET NO. C2.0		
PENDING APPROVAL - NOT FOR CONSTRUCTION						

PROPOSED CONDITIONS SITE DATA

TOTAL LOT AREA = 130,648 S.F.

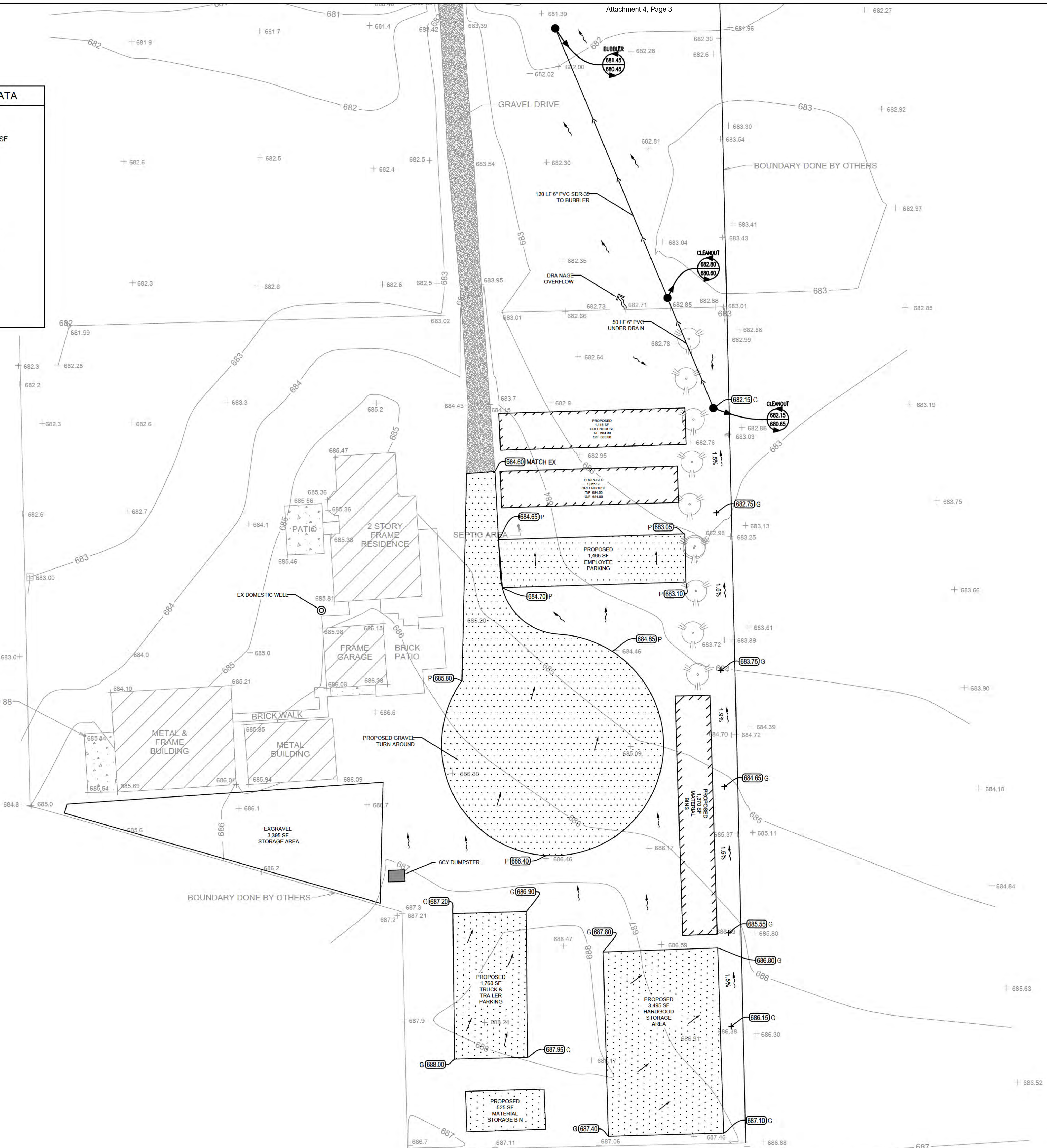
EXISTING LOT COVERAGE
 EX HOME AND ACCESSORY STRUCTURES - 6531 SF
 EX "METAL BUILDING" - 878 SF
 REMAINING IMPROVEMENTS ARE GRAVEL

TOTAL EX COVERAGE = 7,409 S.F.
 TOTAL EX COVERAGE % = 5.67%

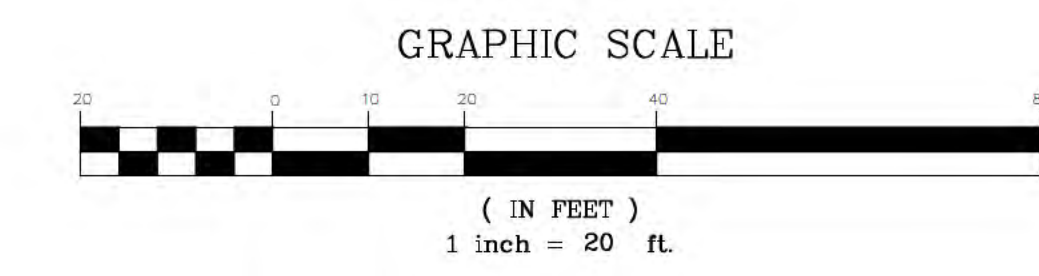
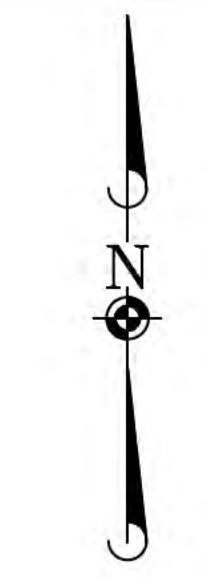
PROPOSED LOT COVERAGE
 PROPOSED MATERIAL BINS - 1,370 SF
 PROPOSED GREENHOUSES - 2,180 SF
 ALL ADDITIONAL IMPROVEMENTS ARE GRAVEL

TOTAL PROPOSED NEW IMPERVIOUS = 3,550 SF
 NET NEW IMPERVIOUS = 3,550 SF

TOTAL PROPOSED NEW COVERAGE = 3,550 SF
 TOTAL LOT COVERAGE = 10,959 SF
 TOTAL LOT COVERAGE % = 8.39%



SITE BENCHMARK:
 CONCRETE CORNER
 ELEVATION=685.47' NAVD 88



SITE PAVING LEGEND	
	PRIVATE CONCRETE PAVEMENT 5" P.C. CONCRETE PAVEMENT 6" AGGREGATE BASE (CA-6)
	PUBLIC CONCRETE WALK 5" P.C. CONCRETE PAVEMENT 6" P.C. CONCRETE PAVEMENT AT DRIVEWAY 6" AGGREGATE BASE (CA-6)
	GRAVEL PAVEMENT DRIVE 8" AGGREGATE BASE COURSE, TYPE B, CA-6 NON-WOVEN GEOTEXTILE ROADWAY FABRIC

- GENERAL NOTES**
- ALL DIMENSIONS ARE TO FACE OF BUILDING UNLESS OTHERWISE INDICATED.
 - ALL DISTURBED LANDSCAPE AREAS ARE TO BE RESTORED TO EX. CONDITION. 6" TOPSOIL RESPREAD AND SEEDING.
 - STOCKPILES SHALL BE PROVIDED WITH PERIMETER SILT FENCE AT ALL TIMES DURING CONSTRUCTION.
 - STOCKPILES TO REMAIN IN PLACE MORE THAN THREE (3) DAYS SHALL BE PROVIDED WITH SOIL EROSION AND SEDIMENTATION CONTROL.
 - LAND DISTURBANCE ACTIVITIES IN STREAMS AND DITCHES SHALL BE AVOIDED WHERE POSSIBLE.
 - SOIL STOCKPILES SHALL NOT BE LEFT OVERNIGHT IN DITCHES OR WITHIN FLOODPLAINS.
 - ALL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES SHALL BE REMOVED WITH THIRTY (30) DAYS AFTER FINAL STABILIZATION IS ACHIEVED. TRAPPED SEDIMENT AND OTHER SOILS RESULTING FROM TEMPORARY MEASURES SHALL BE PROPERLY DISPOSED OF PRIOR TO PERMANENT STABILIZATION.
 - A MASONRY TREATMENT OR DROP SIDING MAY BE REQUIRED TO ENSURE THAT NO MORE THAN SIX INCHES OF THE FOUNDATION REMAIN EXPOSED IN ANY LOCATION.
 - A CONCRETE WASHOUT AREA SHOULD BE PROVIDED ONSITE. CONCRETE CANNOT BE WASHED OUT INTO THE PUBLIC RIGHT OF WAY OR STORM SEWER SYSTEM.
 - INSPECTION OF UTILITY TAPS AND DISCONNECTS SHALL BE INSPECTED BY CITY OF NAPERVILLE STAFF PRIOR TO BACKFILL. 24 HOUR NOTICE SHALL BE REQUIRED AHEAD OF INSPECTIONS.
 - PROPOSED SIDEWALK SHALL MATCH EXISTING GRADE AT THE LIMITS OF REPLACEMENT WHERE ABUTTING TO EXISTING WALK.
 - SPECIAL CARE SHALL BE TAKEN TO MINIMIZE COMPACTION OF THE PROPOSED PERMEABLE GRASSPAVE SUBGRADE AREAS. PRIOR TO CONSTRUCTION OF ANY PERMEABLE PAVER SYSTEMS, CITY OF OSWEGO ENGINEERING SHALL BE CONTACTED TO OBSERVE RELATED WORK TO ENSURE PROPER INSTALLATION.
 - PUMPING OF SEDIMENT LADEN WATER INTO ANY STORMWATER FACILITY OR DRAINAGE-WAY NOT DESIGNATED TO BE A SEDIMENT TRAP IS PROHIBITED.

PROJ. MGR.:	TGC
PROJ. ENG.:	TGC
DRAWN BY:	TGC
DATE:	04/18/24
SCALE:	1"=20'
SHEET NO.	
C3.0	
PROJ. NUMBER:	22119

RIVERCREST CONSULTING, LLC Civil Engineering Stormwater Management Entitlements 8952 HANSLIK COURT, UNIT 13 NAPERVILLE, IL 60564 (630) 538-5108	REVISIONS

SITE GRADING PLAN	SCHUSTER RESIDENCE	2142 WOOLEY ROAD, OSWEGO, IL
PENDING APPROVAL - NOT FOR CONSTRUCTION		

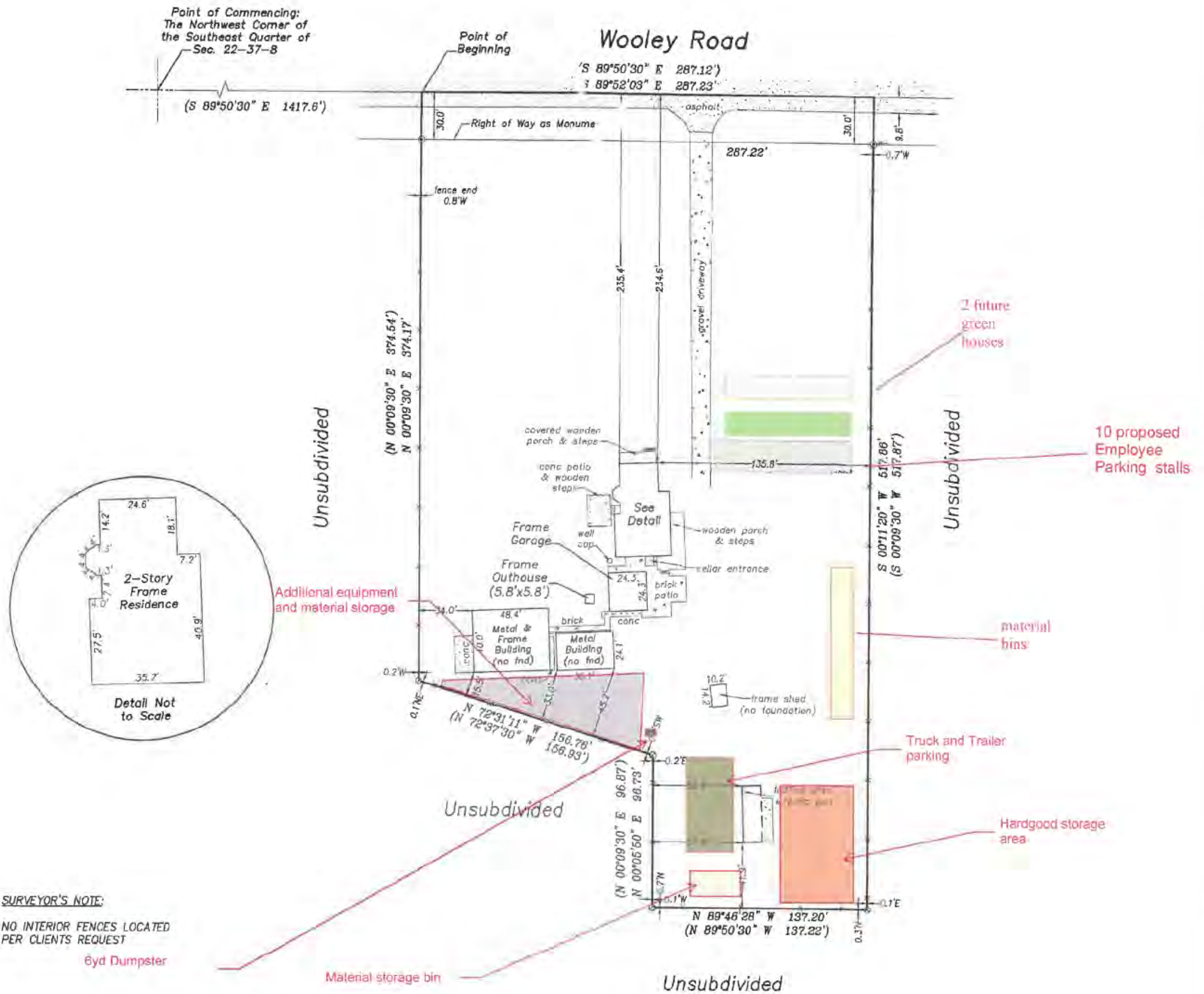
PLAT OF SURVEY

THAT PART OF THE EAST 1/2 OF THE SOUTHEAST 1/4 OF SECTION 22, TOWNSHIP 37 NORTH, RANGE 8 EAST OF THE THIRD PRINCIPAL MERIDIAN, DESCRIBED AS FOLLOWS:

COMMENCING AT THE NORTHWEST CORNER OF THE SOUTHEAST 1/4 OF SAID SECTION 22, THENCE SOUTH 89 DEGREES 50 MINUTES 30 SECONDS EAST 1417.6 FEET FOR THE POINT OF BEGINNING; THENCE SOUTH 89 DEGREES 50 MINUTES 30 SECONDS EAST, 287.12 FEET; THENCE SOUTH 00 DEGREES 09 MINUTES 30 SECONDS WEST, 517.87 FEET; THENCE NORTH 89 DEGREES 50 MINUTES 30 SECONDS WEST, 137.22 FEET; THENCE NORTH 00 DEGREES 09 MINUTES 30 SECONDS EAST, 96.87 FEET; THENCE NORTH 72 DEGREES 37 MINUTES 30 SECONDS WEST, 156.93 FEET; THENCE NORTH 00 DEGREES 09 MINUTES 30 SECONDS EAST 374.54 FEET TO THE POINT OF BEGINNING, IN THE TOWNSHIP OF OSWEGO, KENDALL COUNTY, ILLINOIS.

COMMONLY KNOWN AS: 2142 WOOLEY ROAD, OSWEGO, ILLINOIS.

PROPERTY CONTAINS: 3.0 ACRES (30,648.3 SQUARE FEET), MORE OR LESS.



SURVEYOR'S NOTE:
NO INTERIOR FENCES LOCATED PER CLIENTS REQUEST

STATE OF ILLINOIS)
) SS
COUNTY OF KENDALL)

WE, CORNERSTONE SURVEYING, P.C., AN ILLINOIS PROFESSIONAL DESIGN FIRM LAND SURVEYOR CORPORATION NO. 184.006522, DO HEREBY CERTIFY THAT THIS PROFESSIONAL SERVICE CONFORMS TO THE CURRENT ILLINOIS MINIMUM STANDARDS FOR A BOUNDARY SURVEY. SURVEYOR HAS MADE NO INVESTIGATION OR INDEPENDENT SEARCH FOR EASEMENTS OF RECORD, ENCUMBRANCES, RESTRICTIVE COVENANTS, OWNERSHIP TITLE EVIDENCE, OR ANY OTHER FACTS WHICH AN ACCURATE TITLE SEARCH MAY DISCLOSE.

DATED AT YORKVILLE, ILLINOIS ON NOVEMBER 29, 2021.



Scale: 1" = 50'

- ⊕ = Found 1/2" Dia. Iron Pipe
- ⊙ = Found 1/2" Dia. Iron Rod
- ⊚ = Found 1" Dia. Square Iron Rod
- (XX.XX)' = Record Distance
- XX.XX' = Measured Distance
- N = North E = East
- S = South W = West
- = Fence
- ▭ = Concrete/Asphalt

Michel C. Ensalaco, P.L.S. 2768, Exp. 11/30/2022
Eric C. Pokorny, P.L.S. 3818, Exp. 11/30/2022

TODD SURVEYING

Professional Land Surveying Services
"Cornerstone Surveying PC"
759 John Street, Suite D
Yorkville, IL 60560
Phone: 630-892-1309 Fax: 630-892-5544

Survey is only valid if original seal is shown in red.

Client:	Blacha Law Office, LLC
Book #:	2517
Drawn By:	JULIETT
Reference:	2013-0761
Plot #:	2517-1
Field Work Completed:	11/24/2021
Rev. Date	Rev. Description
Project Number:	2021-1594

Landscape Design by:
Alex Schuster
ASE Illini-Scapes Inc

Date: 4/23/2024

Landscape Plan: L-1

2142 Wooley Rd

Scale: 1" = 30'

Revision #:















Matt Asselmeier

From: Claude Ainsworth <cainsworth@oswegotownship.com>
Sent: Wednesday, April 24, 2024 3:38 PM
To: Matt Asselmeier
Subject: RE: [EXTERNAL] 2142 Wooley Road Question

Yes please. The same 33 feet from the center of the road.
Thanks.

From: Matt Asselmeier <masselmeier@kendallcountyil.gov>
Sent: Wednesday, April 24, 2024 3:33 PM
To: Claude Ainsworth <cainsworth@oswegotownship.com>
Cc: Christina Burns <cburns@kendallcountyil.gov>; Seth Wormley <swormley@kendallcountyil.gov>; Fran Klaas <FKlaas@kendallcountyil.gov>
Subject: [EXTERNAL] 2142 Wooley Road Question

CAUTION: This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

Claude:

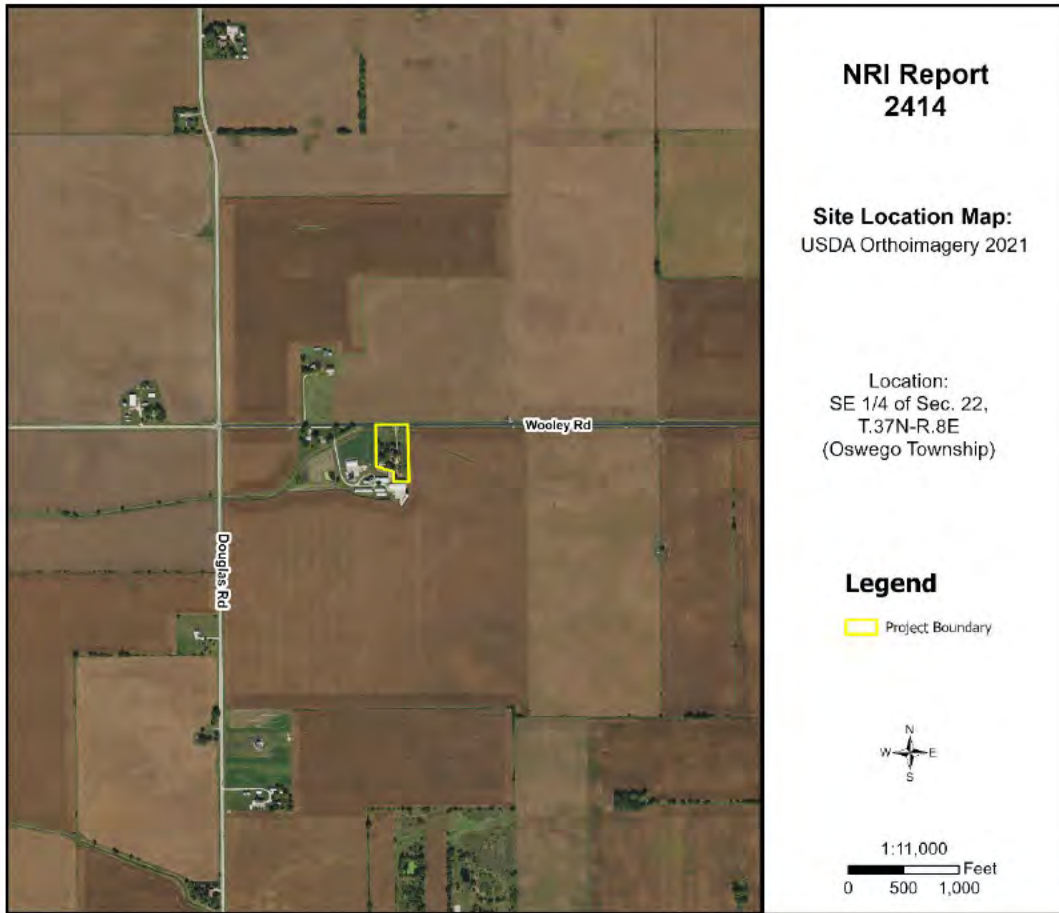
The County received an application for a special use permit and variance for a landscaping business at 2142 Wooley.

Does Oswego Township want any right-of-way dedications?

Thanks,

Matthew H. Asselmeier, AICP, CFM
Director
Kendall County Planning, Building & Zoning
111 West Fox Street
Yorkville, IL 60560-1498
PH: 630-553-4139
Fax: 630-553-4179

NATURAL RESOURCES INFORMATION (NRI) EXECUTIVE SUMMARY REPORT: #2414



May
2024

Petitioner: Alex Schuster
Contact: Alex Schuster

Prepared By:



7775A Route 47
Yorkville, Illinois 60560
Phone: (630) 553-5821 x3
Fax: (630) 553-7442
www.kendallswcd.org

TABLE OF CONTENTS

EXECUTIVE SUMMARY	3
NATURAL RESOURCE CONSIDERATIONS	2
SOIL INFORMATION	2
SOIL LIMITATIONS.....	5
KENDALL COUNTY LAND EVALUATION AND SITE ASSESSMENT (LESA)	10
WETLANDS.....	12
FLOODPLAIN	13
TOPOGRAPHY	14
SEDIMENT AND EROSION CONTROL	14
STORMWATER POLLUTION	14
LAND USE FINDINGS	15

LIST OF FIGURES

FIGURE 1: Soil Map	2
FIGURE 2: Soil Limitations	5
FIGURE 3A-3C: Maps of Building Limitations	7-9
FIGURE 4: Wetland Map	12
FIGURE 5: Flood Map	13
FIGURE 6: Topographic Map	14

LIST OF TABLES

TABLE 1: Soils Information	2
TABLE 2: Water Features	4
TABLE 3: Building Limitations	6
TABLE 4A: Land Evaluation Computation	10
TABLE 4B: Site Assessment Computation	11
TABLE 5: LESA Score Summary	11

EXECUTIVE SUMMARY

Natural Resource Information Report Number	#2414
Petitioner	Alex Schuster
Contact Person	Alex Schuster
County or Municipality the Petition is Filed With	Kendall County
Location of Parcel	Southeast ¼ of Section 22, Township 37 North, Range 8 East (Oswego Township) of the 3 rd Principal Meridian
Project or Subdivision Name	ASE Illini-Scapes Landscaping Business
Existing Zoning & Land Use	A-1 Agricultural; Improved Residential/Farmstead
Proposed Zoning & Land Use	A-1 Agricultural Special Use; Farmstead & Landscaping Business
Proposed Water Source	Existing well
Proposed Type of Sewage Disposal System	Existing septic
Proposed Type of Storm Water Management	Overland flow to roadside ditch
Size of Site	(+/-) 3.07 acres
Land Evaluation Site Assessment Score	173 (Land Evaluation: 98; Site Assessment: 75)

NATURAL RESOURCE CONSIDERATIONS

SOIL INFORMATION

Based on information from the United States Department of Agriculture-Natural Resources Conservation Service (USDA-NRCS) 2008 Kendall County Soil Survey, this project area contains the soil types shown in Figure 1 and Table 1. Please note this does not replace the need for or results of onsite soil testing. If completed, please refer to onsite soil test results for planning/engineering purposes.

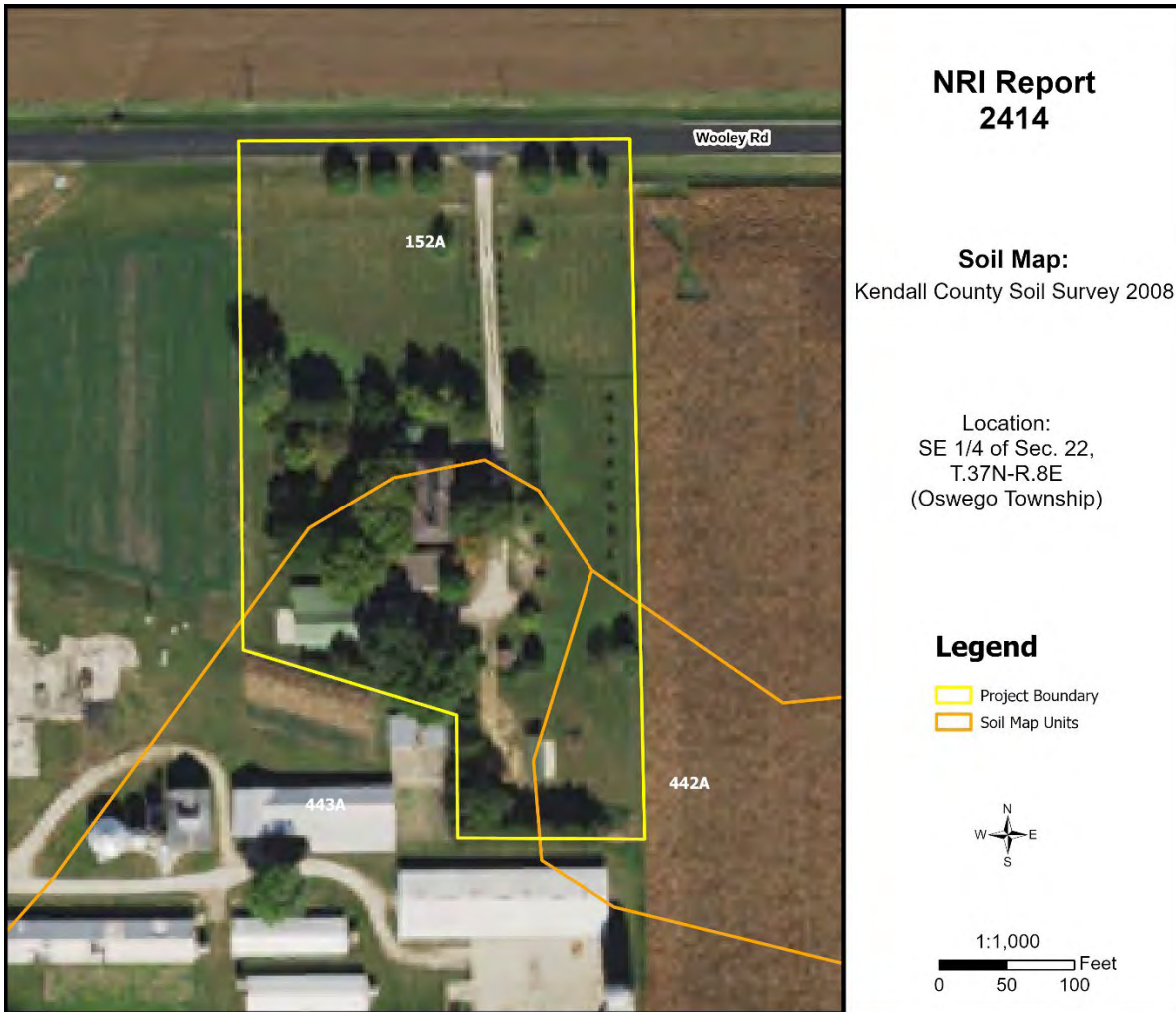


Figure 1: Soil Map

Table 1: Soils Information

Soil Type	Soil Name	Drainage Class	Hydrologic Group	Hydric Designation	Farmland Designation	Acres	% Area
152A	Drummer silty clay loam, 0-2% slopes	Poorly Drained	B/D	Hydric	Prime Farmland If Drained	1.8	60.3%
442A	Mundelein silt loam, 0-2% slopes	Somewhat Poorly Drained	B/D	Non-Hydric w/ Hydric Inclusions	Prime Farmland	0.3	9.2%
443A	Barrington silt loam, 0-2% slopes	Moderately Well Drained	C	Non-Hydric	Prime Farmland	0.9	30.5%

Hydrologic Soil Groups – Soils have been classified into four (A, B, C, D) hydrologic groups based on runoff characteristics due to rainfall. If a soil is assigned to a dual hydrologic group (A/D, B/D or C/D), the first letter is for drained areas and the second letter is for undrained areas.

- **Hydrologic group A:** Soils have a high infiltration rate (low runoff potential) when thoroughly wet. These consist mainly of deep, well drained to excessively drained sands or gravelly sands. These soils have a high rate of water transmission.
- **Hydrologic group B:** Soils have a moderate infiltration rate when thoroughly wet, consist chiefly of moderately deep to deep, moderately well drained to well drained soils that have a moderately fine to moderately coarse texture. These soils have a moderate rate of water transmission.
- **Hydrologic group C:** Soils having a slow infiltration rate when thoroughly wet. These consist chiefly of soils having a layer that impedes the downward movement of water or soils of moderately fine texture or fine texture. These soils have a slow rate of water transmission.
- **Hydrologic group D:** Soils having a very slow infiltration rate (high runoff potential) when thoroughly wet. These consist chiefly of clays that have a high shrink-swell potential, soils that have a high water table, have a claypan or clay layer at or near the surface, and soils that are shallow over nearly impervious material. These soils have a very slow rate of water transmission.

Hydric Soils – A hydric soil is one that formed under conditions of saturation, flooding, or ponding long enough during the growing season to develop anaerobic conditions in the upper part of the soil profile that supports the growth or regeneration of hydrophytic vegetation. Soils with hydric inclusions have map units dominantly made up of non-hydric soils that may have inclusions of hydric soils in the lower positions on the landscape. Of the soils found onsite, one is classified as hydric soil (152A Drummer silty clay loam), one is classified as non-hydric soil (443A Barrington silt loam), and one is classified as non-hydric soil with hydric inclusions likely (442A Mundelein silt loam).

Prime Farmland – Prime farmland is land that has the best combination of physical and chemical characteristics for agricultural production. Prime farmland soils are an important resource to Kendall County and some of the most productive soils in the United States occur locally. Of the soils found onsite, two are designated as prime farmland (442A Mundelein silt loam & 443A Barrington silt loam) and one is designated as prime farmland if drained (152A Drummer silty clay loam).

Soil Water Features – Table 2, below, gives estimates of various soil water features that should be taken into consideration when reviewing engineering for a land use project.

Table 2: Water Features

Map Unit	Hydrologic Group	Surface Runoff	Water Table	Ponding	Flooding
152A	B/D	Negligible	January - May Upper Limit: 0.0'-1.0' Lower Limit: 6.0'	January – May Surface Water Depth: 0.0'-0.5' Duration: Brief (2 to 7 days) Frequency: Frequent	January – December Frequency: None
442A	B/D	Negligible	January - May Upper Limit: 1.0'-2.0' Lower Limit: 6.0'	January – December Frequency: None	January – December Frequency: None
443A	C	Low	February - April Upper Limit: 2.0'-3.5' Lower Limit: 6.0'	January – December Frequency: None	January – December Frequency: None

Surface Runoff – Refers to the loss of water from an area by flow over the land surface. Surface runoff classes are based upon slope, climate and vegetative cover and indicates relative runoff for very specific conditions (it is assumed that the surface of the soil is bare and that the retention of surface water resulting from irregularities in the ground surface is minimal). The surface runoff classes are identified as: negligible, very low, low, medium, high, and very high.

Months – The portion of the year in which a water table, ponding, and/or flooding is most likely to be a concern.

Water Table – Water table refers to a saturated zone in the soil and the data indicates, by month, depth to the top (upper limit) and base (lower limit) of the saturated zone in most years. These estimates are based upon observations of the water table at selected sites and on evidence of a saturated zone (grayish colors or mottles (redoximorphic features)) in the soil. Note: A saturated zone that lasts for less than a month is not considered a water table.

Ponding – Ponding is standing water in a closed depression. Unless a drainage system is installed, the water is removed only by percolation, transpiration, or evaporation. Duration is expressed as very brief (less than 2 days), brief (2 to 7 days), long (7 to 30 days), very long (more than 30 days). Frequency is expressed as none (ponding is not probable), rare (unlikely but possible under unusual weather conditions), occasional (occurs, on average, once or less in 2 years) and frequent (occurs, on average, more than once in 2 years).

Flooding – Temporary inundation of an area caused by overflowing streams, by runoff from adjacent slopes, or by tides. Water standing for short periods after rainfall or snowmelt is not considered flooding, and water standing in swamps and marshes is considered ponding rather than flooding. Duration is expressed as brief (2 to 7 days) and frequent meaning that it is likely to occur often under normal weather conditions.

SOIL LIMITATIONS

According to the USDA-NRCS, soil properties influence the development of sites, including the selection of the site, the design of the structure, construction, performance after construction and maintenance. This report gives ratings for proposed uses in terms of limitations and restrictive features. The tables list only the most restrictive features. Ratings are based on the soil in an undisturbed state, that is, no unusual modification occurs other than that which is considered normal practice for the rated use. Even though soils may have limitations, an engineer may alter soil features or adjust building plans for a structure to compensate for most degrees of limitations. The final decision in selecting a site for a particular use generally involves weighing the costs for site preparation and maintenance.

- **Not Limited:** Indicates that the soil has features that are very favorable for the specified use; good performance and low maintenance can be expected.
- **Somewhat Limited:** Indicates that the soil has features that are moderately favorable for the specified use. The limitations can be overcome or minimized by special planning, design, or installation; fair performance and moderate maintenance can be expected.
- **Very Limited:** Indicates that the soil has one or more features that are unfavorable for the specified use. The limitations generally cannot be overcome without major soil reclamation, special design, or expensive installation procedures; poor performance and high maintenance can be expected.

Limitations are listed below for shallow excavations, lawns/landscaping, and conventional septic systems. Please note this information is based on soils in an undisturbed state as compiled for the USDA-NRCS 2008 Soil Survey of Kendall County, IL. This does not replace the need for site specific soil testing or results of onsite soil testing.

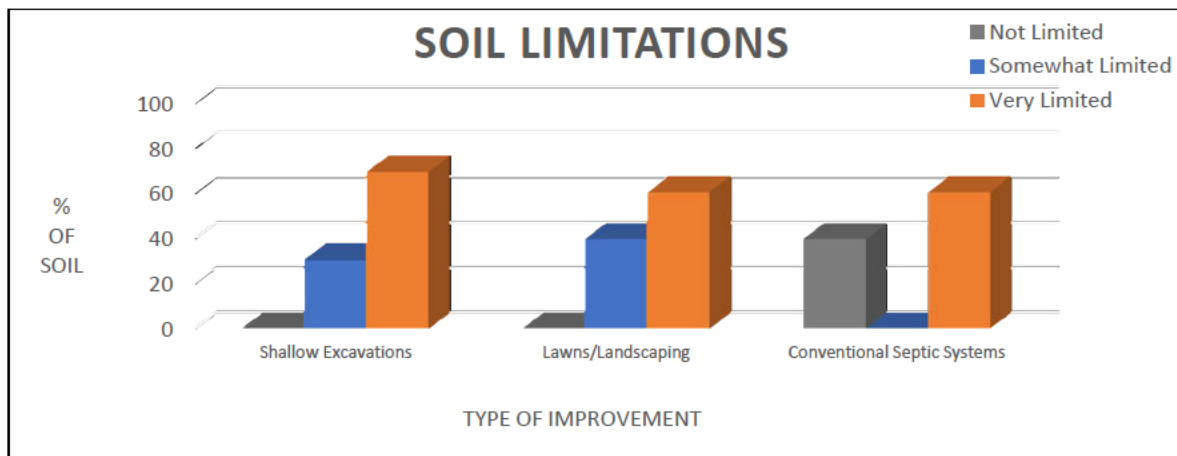


Figure 2: Soil Limitations

Table 3: Building Limitations

Soil Type	Shallow Excavations	Lawns & Landscaping	Conventional Septic Systems*	Acres	%
152A	Very Limited: Ponding Depth to saturated zone Dusty Unstable excavation walls Too clayey	Very Limited: Ponding Depth to saturated zone Dusty	Unsuitable / Very Limited: Wet	1.8	60.3%
442A	Very Limited: Depth to saturated zone Dusty Unstable excavation walls Ponding	Somewhat Limited: Depth to saturated zone Dusty Low exchange capacity	Suitable / Not Limited	0.3	9.2%
443A	Somewhat Limited: Depth to saturated zone Dusty Unstable excavation walls	Somewhat Limited: Dusty	Suitable / Not Limited	0.9	30.5%
% Very Limited	69.5%	60.3%	60.3%		

*This column indicates soils that are deemed unsuitable per the Kendall County Subdivision Control Ordinance. Please consult with the Kendall County Health Department to verify the limitations of your site for onsite sewage disposal.

Figure 3A: Map of Building Limitations - Shallow Excavations



Map Scale: 1:942 if printed on A portrait (8.5" x 11") sheet.

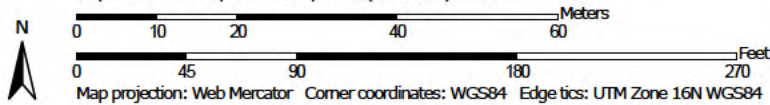
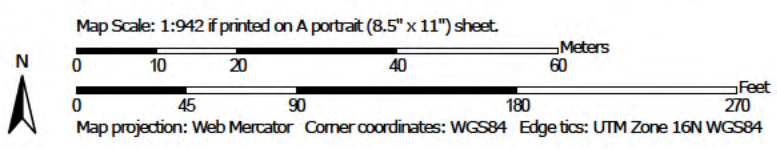


Figure 3B: Map of Building Limitations - Lawns / Landscaping



Soil Map may not be valid at this scale.



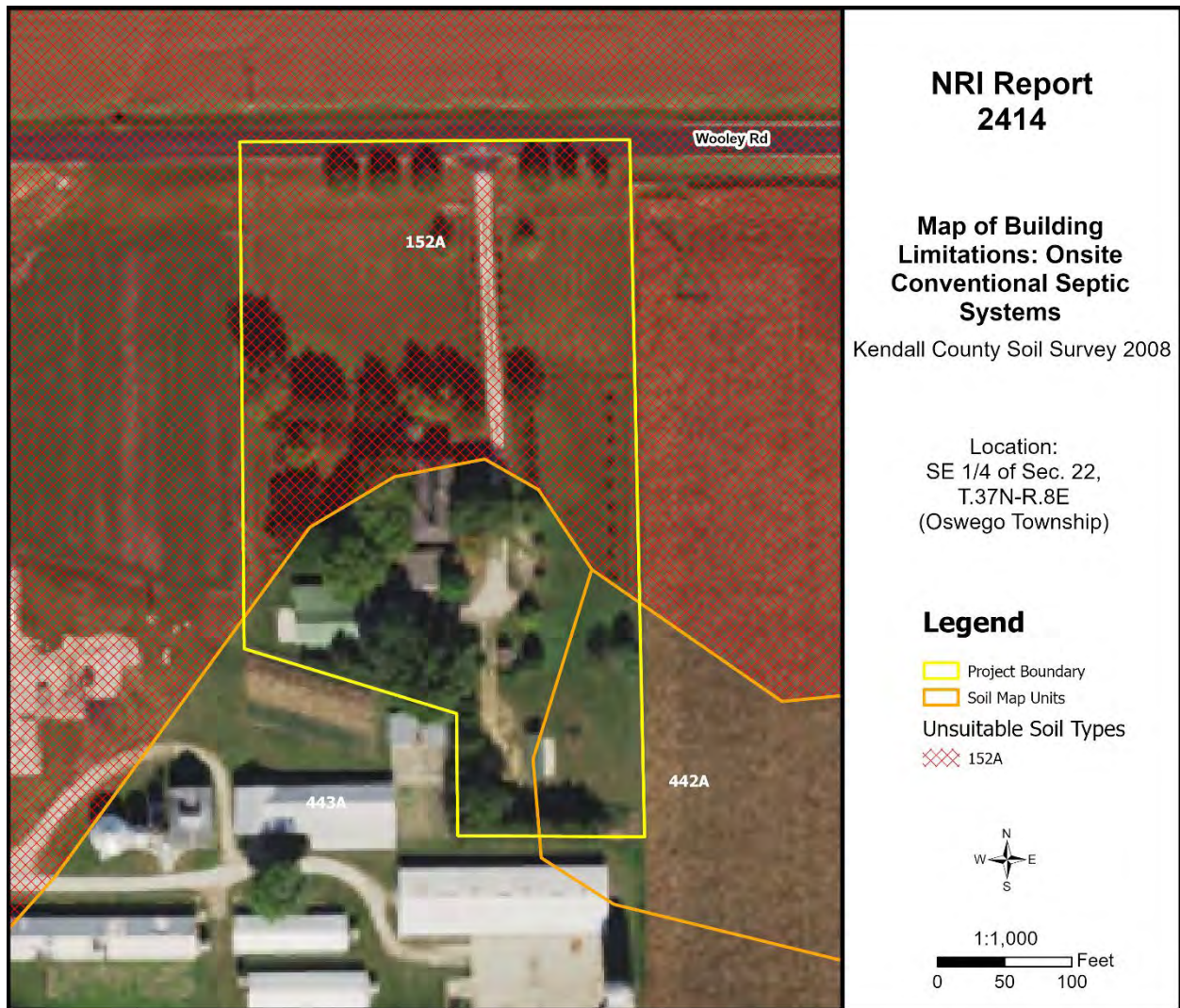


Figure 3C: Map of Building Limitations – Onsite Conventional Septic Systems

KENDALL COUNTY LAND EVALUATION AND SITE ASSESSMENT (LESA)

Decision-makers in Kendall County use the Land Evaluation and Site Assessment (LESA) system to determine the suitability of a land use change and/or a zoning request as it relates to agricultural land. The LESA system was developed by the United States Department of Agriculture-Natural Resources Conservation Service (USDA-NRCS) and takes into consideration local conditions such as physical characteristics of the land, compatibility of surrounding land-uses, and urban growth factors. The LESA system is a two-step procedure that includes:

- **Land Evaluation (LE):** The soils of a given area are rated and placed in groups ranging from the best to worst suited for a stated agriculture use, cropland, or forestland. The best group is assigned a value of 100 and all other groups are assigned lower values. The Land Evaluation value accounts for 1/3 of the total score and is based on data from the Kendall County Soil Survey. The Kendall County Soil and Water Conservation District is responsible for this portion of the LESA system.
- **Site Assessment (SA):** The site is numerically evaluated according to important factors that contribute to the quality of the site. Each factor selected is assigned values in accordance with the local needs and objectives. The Site Assessment value is based on a 200-point scale and accounts for 2/3 of the total score. The Kendall County LESA Committee is responsible for this portion of the LESA system.

Table 4A: Land Evaluation Computation

Soil Type	Value Group	Relative Value	Acres	Product (Relative Value x Acres)
152A	1	100	1.8	180.0
442A	2	94	0.3	28.2
443A	2	94	0.9	84.6
Totals			3.0	292.8
LE Calculation			(Product of relative value / Total Acres) 292.8 / 3.0 = 97.6	
LE Score			LE = 98	

*Acreage listed in this chart provides a generalized representation and may not precisely reflect exact acres of each soil type.

The Land Evaluation score for this site is 98, indicating that this site is currently designated as land that is well suited for agricultural uses considering the Land Evaluation score is above 80.

Table 4B: Site Assessment Computation

A.	Agricultural Land Uses	Points
	1. Percentage of area in agricultural uses within 1.5 miles of site. (20-10-5-0)	20
	2. Current land use adjacent to site. (30-20-15-10-0)	30
	3. Percentage of site in agricultural production in any of the last 5 years. (20-15-10-5-0)	0
	4. Size of site. (30-15-10-0)	0
B.	Compatibility / Impact on Uses	
	1. Distance from city or village limits. (20-10-0)	0
	2. Consistency of proposed use with County Land Resource Management Concept Plan and/or municipal comprehensive land use plan. (20-10-0)	0
	3. Compatibility of agricultural and non-agricultural uses. (15-7-0)	0
C.	Existence of Infrastructure	
	1. Availability of public sewage system. (10-8-6-0)	8
	2. Availability of public water system. (10-8-6-0)	8
	3. Transportation systems. (15-7-0)	7
	4. Distance from fire protection service. (10-8-6-2-0)	2
	Site Assessment Score:	75

Land Evaluation Value: 98 + Site Assessment Value: 75 = LESA Score: 173

The table below shows the level of protection for the proposed project site based on the LESA Score.

Table 5: LESA Score Summary

LESA SCORE	LEVEL OF PROTECTION
0-200	Low
201-225	Medium
226-250	High
251-300	Very High

The LESA Score for this site is 173, which indicates a low level of protection for the proposed project site. Selecting the project site with the lowest total points will generally protect the best farmland located in the most viable areas and maintain and promote the agricultural industry in Kendall County.

WETLANDS

The U.S. Fish & Wildlife Service’s National Wetland Inventory map indicates that mapped wetlands/waters are not present on the proposed project site. A riverine waterway and freshwater pond are mapped to the west of the site. To determine if a wetland is present, a wetland delineation specialist, who is recognized by the U.S. Army Corps of Engineers, should determine the exact boundaries and value of the wetlands.

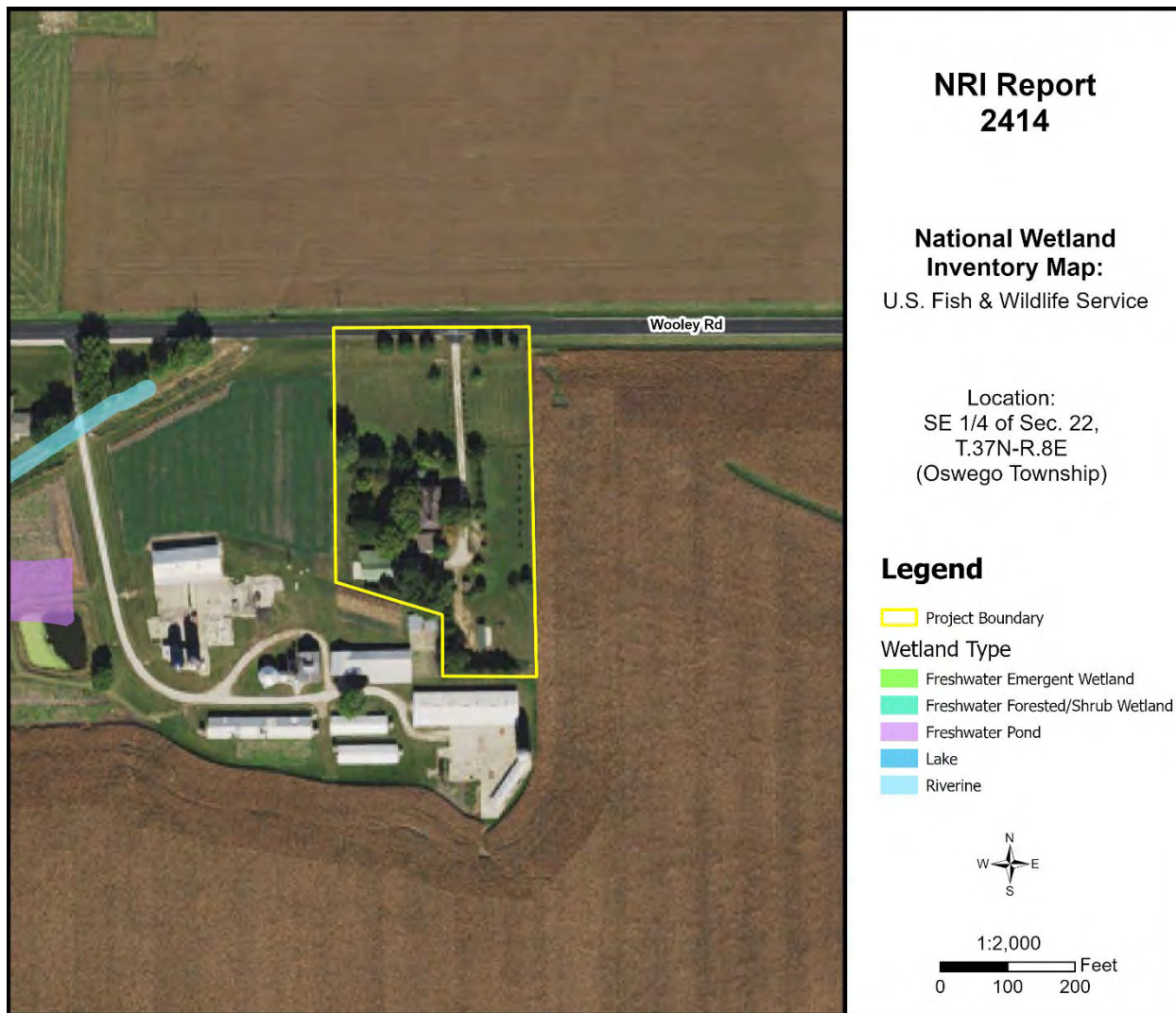


Figure 4: Wetland Map

FLOODPLAIN

The Federal Emergency Management Agency’s (FEMA) Flood Insurance Rate Map (FIRM) for Kendall County, Community Panel No. 17093C0070G (effective date February 4, 2009) was reviewed to determine the presence of floodplain and floodway areas within the project site. According to the map, the parcel does not contain areas of floodplain or floodway. It is mapped as Zone X, an area of minimal flood hazard determined to be outside of the 0.2% annual chance flood.

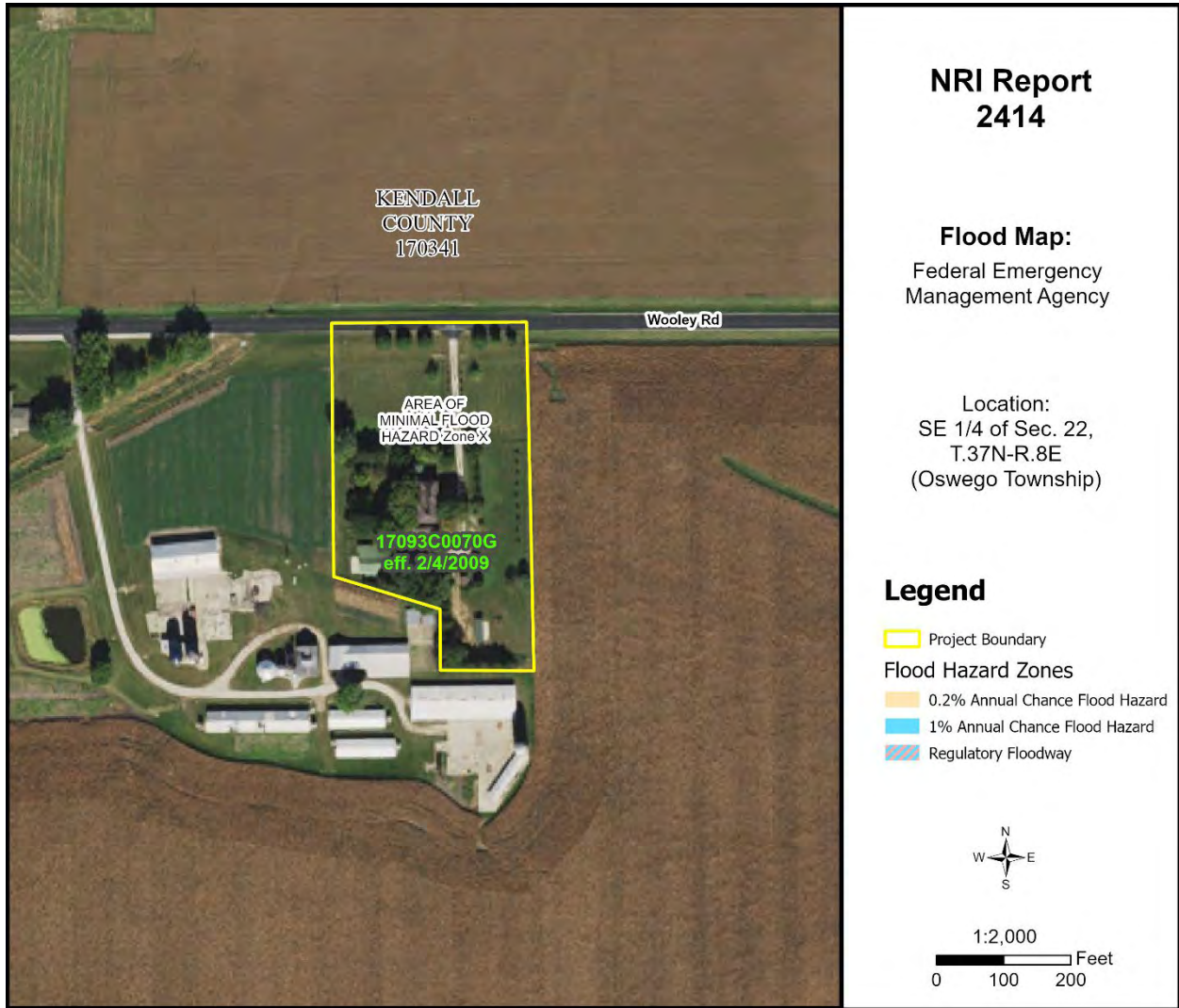


Figure 5: Flood Map

TOPOGRAPHY

The parcel is on minimal topography (slopes 0-2%) and at an elevation of approximately 682'-688' above sea level. The highest point is at the southern end and the lowest point is at the northern end. The property drains north toward Wooley Road.

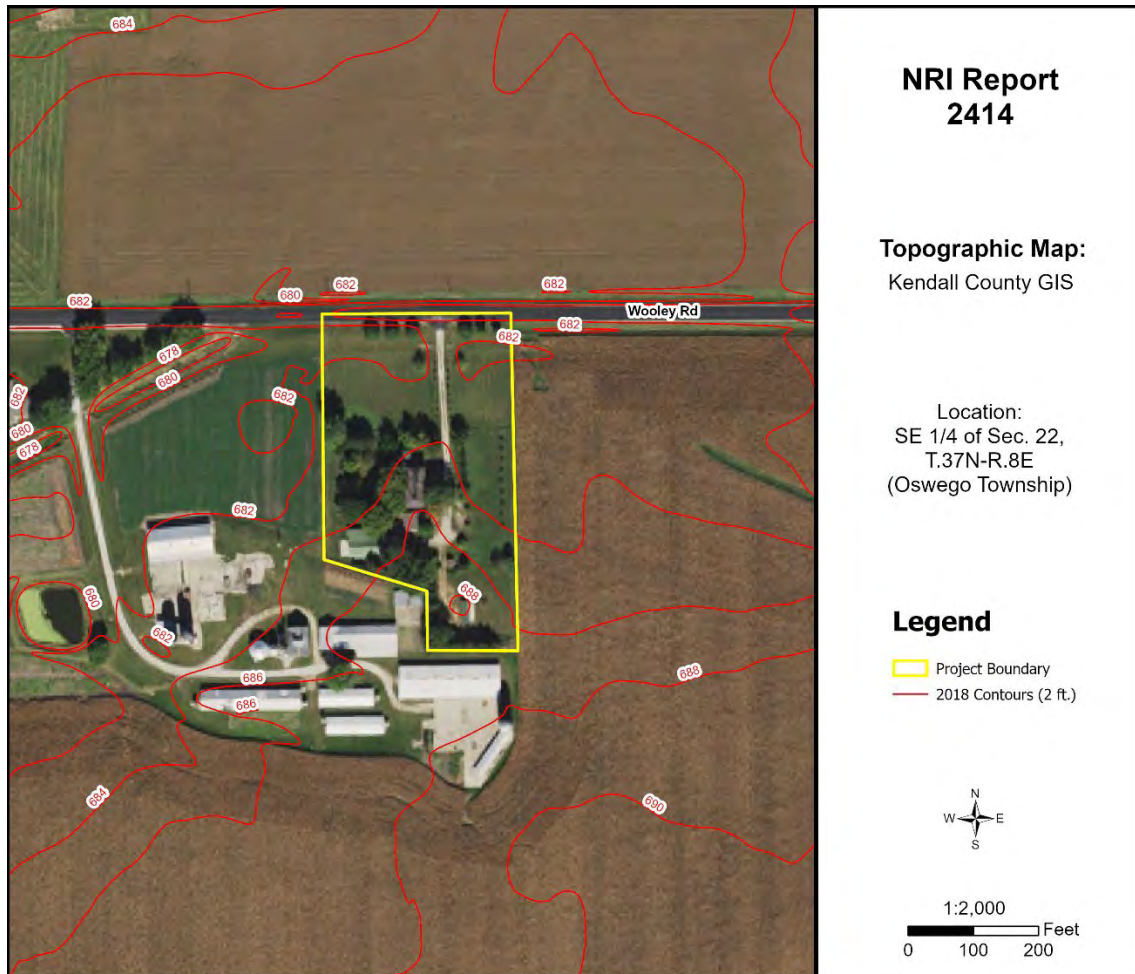


Figure 6: Topographic Map

SEDIMENT AND EROSION CONTROL

Development on this site should include an erosion and sediment control plan in accordance with local, state, and federal regulations. Soil erosion on construction sites is a resource concern because suspended sediment from areas undergoing development is a primary nonpoint source of water pollution. Please consult the *Illinois Urban Manual* (<https://illinoisurbanmanual.org/>) for appropriate best management practices.

STORMWATER POLLUTION

A National Pollutant Discharge Elimination System (NPDES) permit (Permit No. ILR10) from the Illinois Environmental Protection Agency (IEPA) is required for stormwater discharges from construction sites that will disturb 1 or more acres of land. Conditions of the NPDES ILR10 permit require the development and implementation of a Stormwater Pollution Prevention Plan (SWPPP) to reduce stormwater pollutants on the construction site before they can cause environmental issues.

LAND USE FINDINGS

The Kendall County Soil and Water Conservation District (SWCD) Board has reviewed the proposed site plans for petitioner Alex Schuster. The petitioner is requesting a Special Use Permit from Kendall County to operate a landscaping business on one parcel (Parcel Index Number 03-22-400-001) on an existing farmstead. The site is located in Section 22 of Oswego Township (T.37N – R.8E), Kendall County in the 3rd Principal Meridian. Based on the information provided by the petitioner and a review of natural resource related data available to the Kendall County SWCD, the SWCD Board presents the following information.

The Kendall County SWCD has always had the opinion that Prime Farmland should be preserved whenever feasible due to their highly productive qualities for growing agriculturally important crops in our community. This site is a farmstead that hasn't been farmed in many years, however, the soils onsite are designated as prime farmland or prime farmland if drained. A land evaluation (LE), which is a part of the Land Evaluation and Site Assessment (LESA), was conducted on this parcel. The soils on this parcel scored a 98 out of a possible 100 points indicating that the soils are well suited for agricultural uses. The total LESA score for this site is 173 out of a possible 300, which indicates a low level of protection for the proposed project site. Selecting the project site with the lowest total points will generally protect the best farmland located in the most viable areas and maintain and promote the agricultural industry in Kendall County.

Soils found on the project site are rated for specific uses and can have potential limitations. Soil types with severe limitations do not preclude the ability to develop the site for the proposed use, but it is important to note the limitation that may require soil reclamation, special design/engineering, or maintenance to obtain suitable soil conditions to support development with significant limitations. This report indicates that for soils located on the parcel, 69.5% are classified as very limited for supporting shallow excavations and 60.3% are classified as very limited for supporting lawns/landscaping. The remaining soils are considered somewhat limited for these types of uses. Additionally, 60.3% of the soils are classified as unsuitable for supporting conventional septic systems. This information is based on the soil in an undisturbed state. If the scope of the project may include the use of onsite septic systems, please consult with the Kendall County Health Department.

This site is located within the Lower Fox River watershed and the Waubonsie Creek sub watershed. If development occurs on this site, please ensure that a soil erosion and sediment control plan be implemented during construction. It is critical to have vegetative cover during and after construction to protect the soil from erosion. Sediment may become a primary non-point source of pollution; eroded soils during the construction phase can create unsafe conditions on roadways, degrade water quality and destroy aquatic ecosystems lower in the watershed.

For intense use it is recommended that a drainage tile survey be completed on the parcel to locate subsurface drainage tile. That survey should be taken into consideration during the land use planning process. Drainage tile expedites drainage and facilitates farming. It is imperative that these drainage tiles remain undisturbed. Impaired tile may affect a few acres or hundreds of acres of drainage.

The information that is included in this Natural Resources Information Report is to assure that the landowners take into full consideration the limitations of the site. Guidelines and recommendations are also a part of this report and should be considered in the planning process. The Natural Resource Information Report is required by the Illinois Soil and Water Conservation District Act (Ill. Compiled Statues, Ch. 70, Par 405/22.02a).


SWCD Board Representative

5/24/2024
Date

Matt Asselmeier

From: Alec Keenum <akeenum@oswegofire.com>
Sent: Tuesday, May 7, 2024 6:00 AM
To: Matt Asselmeier
Subject: [External]RE: Kendall County Petition 24-10

CAUTION - This email originated from outside the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

Thanks Matt,

Normal stuff, Oswego FD does not have issue with the Special Use. Shal be noted that:

- Default is sprinkler & fire alarm protection for new construction
- In general Converting residence to business use, as long as its "office" type use and not mercantile, would not trigger addition of sprinkler nor fire alarm

Regards,

Capt. Alec J Keenum
Fire Marshal
Oswego Fire Protection District

From: Matt Asselmeier <masselmeier@kendallcountyil.gov>
Sent: Wednesday, May 1, 2024 9:34 AM
To: Alec Keenum <akeenum@oswegofire.com>; Claude Ainsworth (cainsworth@oswegotownship.com) <cainsworth@oswegotownship.com>; Joe West (jwest@oswegotownship.com) <jwest@oswegotownship.com>; FireChief <firechief@oswegofire.com>; Ken Holmstrom <khholmstrom@oswegotownship.com>; Rod Zinner (rzenner@oswegoil.org) <rzenner@oswegoil.org>; ttouchette@oswegoil.org
Subject: Kendall County Petition 24-10

To All:

The Kendall County ZPAC will meet on Tuesday, May 7th, at 9:00 a.m., in the County Boardroom, at 111 W. Fox Street, Yorkville, to consider the following Petition:

- Petition 24 – 10 – Alex M. Schuster**
Request: Special Use Permit for a Landscaping Business
PIN: 03-22-400-001
Location: 2142 Wooley Road, Oswego in Oswego Township
Purpose: Petitioner Would Like to Operate a Landscaping Business; Property is Zoned A-1

Petition information is attached.

The Petitioner can be reached at alex@illini-scapes.com.

If you have any questions, please let me know.

Thanks,

**ZONING, PLATTING & ADVISORY COMMITTEE (ZPAC)
May 7, 2024 – Unapproved Meeting Minutes**

PBZ Chairman Seth Wormley called the meeting to order at 9:00 a.m.

Present:

Matt Asselmeier – PBZ Department
Meagan Briganti – GIS Department
David Guritz – Forest Preserve (Arrived at 9:02 a.m.)
Brian Holdiman – PBZ Department
Fran Klaas – Highway Department
Commander Jason Langston – Sheriff's Department
Alyse Olson – Soil and Water Conservation District (Arrived at 9:02 a.m.)
Aaron Rybski – Health Department
Seth Wormley – PBZ Committee Chair

Absent:

Greg Chismark – WBK Engineering, LLC

Audience:

Tim O'Brien, Pete Fleming, Michael Korst, Jim Filotto, Ryan Solum, Bruce Miller, Alex Schuster, and Gloria Foxman

PETITIONS

Petition 24-10 Alex M. Schuster

Mr. Asselmeier summarized the request.

The Petitioner was seeking a special use permit for a landscaping business, including allowing outdoor storage of materials.

The application materials, plat of survey, current conditions plat, proposed site plan, proposed landscaping plan and pictures of the property and vicinity were provided.

The address of the property was 2142 Wooley Road.

The property was approximately three (3) acres in size.

The current land use was Improve Residential/Farmstead.

The County's Future Land Use Map called for the property to be Rural Estate Residential. The Village of Oswego's Future Land Use Map called for the property to be Large Lot Residential.

Wooley Road was a Minor Collector maintained by Oswego Township.

The Village of Oswego has a trail planned along Wooley Road.

There were no floodplains or wetlands on the property.

The adjacent properties were used as Agricultural and Farmstead.

The adjacent properties were zoned A-1.

The County's Future Land Use Map called for the area to be Rural Estate Residential and Commercial. The Village of Oswego's Future Land Use Map called for the area to be Large Lot Residential.

Properties within one half (1/2) of a mile were zoned A-1 in the County and B-3 in the Village of Oswego.

Approximately three (3) houses are located within a half mile (0.5) miles of the subject property.

EcoCAT Report was submitted on March 14, 2024.

The NRI application was submitted on April 29, 2024.

Petition information was sent to Oswego Township on May 1, 2024. Prior to formal application submittal, Oswego Township submitted an email requesting a thirty-three foot (33') deep right-of-way dedication from the center of Wooley Road. This email was provided.

Petition information was sent to the Village of Oswego on May 1, 2024.

Petition information was sent to the Oswego Fire Protection District on May 1, 2024. The Oswego Fire Protection District submitted an email stating no objections to the proposal.

Per Section 7:01.D.32 of the Kendall County Zoning Ordinance, landscaping businesses can be special uses on A-1 zoned property subject to the following conditions:

1. All vehicles, equipment and materials associated with a landscaping business shall be stored entirely within an enclosed structure, unless otherwise permitted under the terms of this Special Use Permit.
2. The business shall be located on, and have direct access to, a State, County or Collector Highway as identified in the County's LRMP, having an all-weather surface, designed to accommodate loads of at least 73,280 lbs, unless otherwise approved in writing by the agency having jurisdiction over said Highway. Such approvals shall establish limitations as to the number of employees and types of vehicles coming to and from the site that are engaged in the operation of the use (including delivery vehicles). These restrictions shall be included as controlling conditions of the Special Use.
3. No landscape waste generated off the property can be burned on this site.

If the County Board approves the outdoor storage of materials and variances, the above conditions have been met.

As noted in the project narrative, the Petitioners would like to operate ASE Illini-Scapes at the subject property.

They would use the site for storage of landscaping materials, equipment, offices, and related operations. Employees would visit the site to get materials. The site would not be open to customers.

The business would be open from 6:00 a.m. until 6:00 p.m. Monday through Friday during the growing season and everyday for twenty-four hours (24) during snow events in the winter. The business has a maximum of fifteen (15) employees, during the busy season, and two (2) employees year-round. Employees either report to the subject property or report directly to job sites.

The site plan shows one (1) approximately one thousand three hundred seventy (1,370) square foot material bin area and one (1) approximately three thousand five hundred (3,500) square foot hard goods storage area near the eastern property line. One (1) approximately five hundred (500) square foot material storage bin was shown near the southern property line. One (1) additional approximately three thousand three hundred (3,300) square foot equipment and storage area is shown south of the existing accessory buildings. The Petitioner indicated that the piles of materials would not exceed ten feet (10') in height.

Equipment would be stored outdoors, when the business is closed.

The Petitioner intends to grow nursery stock in the future.

The subject property presently has one (1) approximately three thousand three hundred (3,300) square foot house, constructed in 1875, one (1) frame garage, two (2) metal frame accessory buildings, and one (1) outhouse onsite that is used as decoration and gardening shed.

The site plan shows two (2) future greenhouses, one (1) approximately one thousand one hundred (1,100) square feet in size and one (1) approximately one thousand fifty (1,050) square feet in size.

Any structures related to the landscaping business, other than the greenhouses, would be required to obtain applicable building permits. However, at this time, no additional structures, besides the greenhouses, are proposed.

The well is located southwest of the house. The septic area is located east of the house, between the proposed employee parking area and the southern most greenhouse. The property is served by electricity and natural gas.

One (1) dumpster area is proposed east of the western most equipment and storage area. Given its location on the property and proposed perimeter screening around the property, the Petitioner did not propose any screening specifically for the dumpster area.

The property drains towards Wooley Road.

The site plan shows a drainage system along the east and northeast side of the property.

The Petitioners submitted an application for a stormwater management permit.

Per the site plan, the property has a gravel driveway. The Petitioner plans to install a turnaround area at the south end of the driveway.

According to the site plan, the Petitioner proposes a gravel parking lot with ten (10) parking spaces located north of the turnaround area. One (1) ADA accessible parking space is required. The Petitioner intends to use a vehicular rated permeable paver to meet this requirement.

In addition, the Petitioner proposes an approximately one thousand seven hundred fifty square foot (1,750) truck and trailer parking area south of the turnaround area. This lot would also be gravel.

No lighting was planned for the property.

No signage was proposed.

The property presently has a fence along the perimeter as shown in several of the pictures and the landscaping plan .

The landscaping plan shows six (6) existing maple trees, two (2) existing willow thirty-two (32) existing spruce trees, two (2) existing birch trees two (2) existing oak trees, and several existing evergreen trees.

The Petitioner proposes to add twenty-six (26) purple coneflowers, three (3) six foot (6') service berries, trellised English ivy, and five (5) six (6') Nigra arborvitae.

The Petitioner plans to install landscaping within one (1) year of the approval of special use permit.

No information was provided regarding noise control.

No information was provided regarding odor control.

If approved, this would be the twenty-first (21st) special use permit for a landscaping business in unincorporated Kendall County.

The proposed Findings of Fact were as follows:

The establishment, maintenance, or operation of the special use will not be detrimental to or endanger the public health, safety, morals, comfort, or general welfare. Numerous landscaping businesses have been approved throughout unincorporated Kendall County, including one (1) at 655 Wooley Road. The proposed use is along Wooley Road, which is classified as a minor collector. Reasonable restrictions can be placed in the special use permit to ensure the health, safety, and general welfare of the area are protected.

The special use will not be substantially injurious to the use and enjoyment of other property in the immediate vicinity for the purposes already permitted, nor substantially diminish and impair property values within the neighborhood. The Zoning classification of property within the general area of the property in question shall be considered in determining consistency with this standard. The proposed use makes adequate provisions for appropriate buffers, landscaping, fencing, lighting, building materials, open space and other improvements necessary to insure that the proposed use does not adversely impact adjacent uses and is compatible with the surrounding area and/or the County as a whole. The subject property is in a large A-1 Agricultural District. The use will not impede farms or residential uses on the adjoining properties. Reasonable restrictions may be placed on the special use permit to address hours of operation, noise, landscaping, and site layout to prevent neighboring property owners are not negatively impacted by the proposed use.

Adequate utilities, access roads and points of ingress and egress, drainage, and/or other necessary facilities have been or are being provided. The proposal states that customers will not come to the property. Given the limited number of

employees reporting to the property, adequate utilities, access roads, and ingress/egress exists. A stormwater permit and conditions in the special use permit can address concerns related to drainage.

The special use shall in all other respects conform to the applicable regulations of the district in which it is located, except as such regulations may in each instance be modified by the County Board pursuant to the recommendation of the Zoning Board of Appeals. This is true.

The special use is consistent with the purpose and objectives of the Land Resource Management Plan and other adopted County or municipal plans and policies. The proposal is also consistent with a goal and objective found on page 6-34 of the Land Resource Management Plan, "A strong base of agriculture, commercial and industrial uses that provide a broad range of job opportunities, a healthy tax base, and improved quality of services to County residents." "Encourage opportunities for locally owned business." In addition, the future land use map calls for this property to be Mixed Use Business. Similar types of uses were planned for the subject property and properties in the vicinity of the subject property.

Staff recommended approval of the requested special use permit subject to the following conditions and restrictions. To date, the Petitioner has not agreed to these conditions and restrictions:

1. The site shall be developed substantially in accordance with the submitted site plan and landscaping plan.
2. Within ninety (90) days of the approval of the special use permit, the owners of the subject property shall dedicate a strip of land thirty-three feet (33') in depth along the northern property line to Oswego Township. The Kendall County Planning, Building and Zoning Committee may grant an extension to this deadline.
3. Equipment and vehicles related to the business allowed by the special use permit may be stored outdoors at the subject property when the business is closed.
4. None of the vehicles or equipment parked or stored on the subject property related to the business allowed by the special use permit shall be considered agricultural vehicles or agricultural equipment.
5. All of the vehicles and equipment stored on the subject property related to the business allowed by the special use permit shall be maintained in good condition with no deflated tires and shall be licensed if required by law.
6. The owners of the businesses allowed by this special use permit shall diligently monitor the property for leaks from equipment and vehicles parked and stored and items stored on the subject property and shall promptly clean up the site if leaks occur.
7. Except for the purposes of loading and unloading, all landscape related materials shall be stored at the designated storage areas shown on the submitted site plan. The maximum height of the piles of landscaping related material shall be ten feet (10') in height.
8. A maximum of fifteen (15) employees of the business allowed by this special use permit, including the owners of the business allowed by this special use permit, may report to this site for work.
9. No customers of the business allowed by the special use permit shall be invited onto the subject property for matters related to the business allowed by the special use permit.
10. The hours of operation of the business allowed by this special use permit shall be Monday through Friday from 6:00 a.m. until 6:00 p.m. and the business shall be open twenty-four (24) hours to address snow events. The owners of the business allowed by this special use permit may reduce these hours of operation.
11. Any structures constructed, installed, or used related to the business allowed by this special use permit on the property shall not be considered for agricultural purposes and must secure applicable building permits. This restriction does not apply to greenhouses.
12. No signs are shown on the site plan. The owner of the business allowed by the special use permit may request a sign in the future using the minor amendment process, provided that the proposed sign meets the requirements of the Kendall County Zoning Ordinance.
13. Only lighting related to security may be installed outdoors at the subject property.
14. Damaged or dead plantings described on the landscaping plan shall be replaced on a timeframe approved by the

Kendall County Planning, Building and Zoning Department.

15. The vegetation described in the landscaping plan shall be installed within one (1) year of the approval of the special use permit. The Kendall County Planning, Building and Zoning Committee may grant an extension to the deadline to install the vegetation. Materials and vegetation stored in the greenhouses and material storage area shall not be subject to this requirement and shall not be considered part of the landscaping plan.
16. No landscape waste generated off the property can be burned on the subject property.
17. The noise regulations are as follows:
 - Day Hours: No person shall cause or allow the emission of sound during daytime hours (7:00 A.M. to 10:00 P.M.) from any noise source to any receiving residential land which exceeds sixty-five (65) dBA when measured at any point within such receiving residential land, provided; however, that point of measurement shall be on the property line of the complainant.
 - Night Hours: No person shall cause or allow the emission of sound during nighttime hours (10:00 P.M. to 7:00 A.M.) from any noise source to any receiving residential land which exceeds fifty-five (55) dBA when measured at any point within such receiving residential land provided; however, that point of measurement shall be on the property line of the complainant.
 - EXEMPTION: Powered Equipment: Powered equipment, such as lawn mowers, small lawn and garden tools, riding tractors, and snow removal equipment which is necessary for the maintenance of property is exempted from the noise regulations between the hours of seven o'clock (7:00) A.M. and ten o'clock (10:00) P.M.
 - Only homes permitted prior to the date of the issuance of the special use permit shall have standing to file noise complaints.
18. At least one (1) functioning fire extinguisher and one (1) first aid kit shall be on the subject property. Applicable signage stating the location of the fire extinguisher and first aid kit shall be placed on the subject property.
19. The owners of the business allowed by this special use permit acknowledge and agree to follow Kendall County's Right to Farm Clause.
20. The property owner and operator of the business allowed by this special use permit shall follow all applicable Federal, State, and Local laws related to the operation of this type of business, including, but not limited to, installed the applicable number of ADA required parking spaces.
21. Failure to comply with one or more of the above conditions or restrictions could result in the amendment or revocation of the special use permit.
22. If one or more of the above conditions is declared invalid by a court of competent jurisdiction, the remaining conditions shall remain valid.
23. This special use permit shall be treated as a covenant running with the land and is binding on the successors, heirs, and assigns as to the same special use conducted on the property.

Mr. Rybski questioned the location of the septic system. He noted that greenhouses or parking could not be in the area of septic system. He requested that the septic system be assessed in terms of location and size.

Mr. Klaas recommended that right-of-way dedication be raised to forty feet (40').

To date, no comments were received from neighbors.

Mr. Klaas made a motion, seconded by Mr. Rybski, to recommend approval of the proposal with the additional recommendation that the size and location of the septic system be examined and that the right-of-way dedication be increased to forty feet (40').

The votes were follows:

Ayes (9): Asselmeier, Briganti, Guritz, Holdiman, Klaas, Langston, Olson, Rybski, and Wormley
Nays (0): None
Abstain (0): None

Absent (1): Chismark

The motion passed.

The proposal goes to the Kendall County Regional Planning Commission on May 22, 2024.

PUBLIC COMMENT

None

ADJOURNMENT

Mr. Guritz made a motion, seconded by Mr. Rybski, to adjourn.

With a voice vote of nine (9) ayes, the motion carried.

The ZPAC, at 9:54 a.m., adjourned.

Respectfully Submitted,
Matthew H. Asselmeier, AICP, CFM
Director

Enc.

**KENDALL COUNTY
ZONING & PLATTING ADVISORY COMMITTEE
MAY 7, 2024**

IF YOU WOULD LIKE TO BE CONTACTED ON FUTURE MEETINGS REGARDING THIS TOPIC, PLEASE PROVIDE YOUR ADDRESS OR EMAIL ADDRESS

NAME	ADDRESS (OPTIONAL)	EMAIL ADDRESS (OPTIONAL)
<i>Jim O'Brien</i>		
<i>Pete Fleming</i>		
<i>Michael Korst</i>		
<i>Jim Filotto</i>		
<i>Ryan Solum</i>		
<i>BRUCE MILLER</i>		
<i>ALEX Schuster</i>		

Matt Asselmeier

From: Alec Keenum <akeenum@oswegofire.com>
Sent: Tuesday, May 7, 2024 6:00 AM
To: Matt Asselmeier
Subject: [External]RE: Kendall County Petition 24-10

CAUTION - This email originated from outside the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

Thanks Matt,

Normal stuff, Oswego FD does not have issue with the Special Use. Shal be noted that:

- Default is sprinkler & fire alarm protection for new construction
- In general Converting residence to business use, as long as its "office" type use and not mercantile, would not trigger addition of sprinkler nor fire alarm

Regards,

Capt. Alec J Keenum
Fire Marshal
Oswego Fire Protection District

From: Matt Asselmeier <masselmeier@kendallcountyil.gov>
Sent: Wednesday, May 1, 2024 9:34 AM
To: Alec Keenum <akeenum@oswegofire.com>; Claude Ainsworth (cainsworth@oswegotownship.com) <cainsworth@oswegotownship.com>; Joe West (jwest@oswegotownship.com) <jwest@oswegotownship.com>; FireChief <firechief@oswegofire.com>; Ken Holmstrom <holmstrom@oswegotownship.com>; Rod Zinner (rzenner@oswegoil.org) <rzenner@oswegoil.org>; ttouchette@oswegoil.org
Subject: Kendall County Petition 24-10

To All:

The Kendall County ZPAC will meet on Tuesday, May 7th, at 9:00 a.m., in the County Boardroom, at 111 W. Fox Street, Yorkville, to consider the following Petition:

1. **Petition 24 – 10 – Alex M. Schuster**
Request: Special Use Permit for a Landscaping Business
PIN: 03-22-400-001
Location: 2142 Wooley Road, Oswego in Oswego Township
Purpose: Petitioner Would Like to Operate a Landscaping Business; Property is Zoned A-1

Petition information is attached.

The Petitioner can be reached at alex@illini-scapes.com.

If you have any questions, please let me know.

Thanks,



May 14, 2024

Mr. Matt Asselmeier
Kendall County Planning, Building, & Zoning
111 West Fox Street
Yorkville, IL 60560-1498

Subject: 2142 Wooley Road- WBK Project 19-102.CA

Dear Mr. Asselmeier:

We have received and reviewed the following information for the subject project:

- Site Improvement Plans – Shuster Residence prepared by Rivercrest Consulting dated April 18, 2024 and received May 2, 2024
- Plat of Survey prepared by Todd Surveying dated November 29, 2021 and received May 2, 2024
- Conceptual Site Plan on Plat of Survey with no preparer identified and not dated

The following comments require resolution prior to plan approval and our recommendation for issuance of a stormwater permit.

Stormwater Permit

1. Submit a stormwater report with the following:
 - a. A brief narrative identifying the scope of proposed improvements
 - b. Identify existing and proposed drainage patterns.
 - c. Identify existing and proposed impervious surface comparison.
 - d. Identify the total extent of disturbed area.
 - e. Identify off-site areas draining on to the site.
 - f. Describe purpose and function of underdrain and sizing.

Engineering Plans – *Please provide pdf versions of plans submittals to facilitate review*

1. Provide additional elevations of storage and parking areas identified on the plan. Provide corner elevation with flow arrows.
2. Depict locations of any wells within the site. A well is located on one of the surveys but not the others submitted. Verify the location of all wells and locate them on the proposed conditions plan.
3. Clearly depict and locate the extent of septic tanks and septic field within the project limits. It appears proposed improvements may impact existing facilities.

The applicant’s design professionals are responsible for performing and checking all design computations, dimensions, details, and specifications in accordance with all applicable codes and regulations, and obtaining all permits necessary to complete this work. In no way does this review relieve applicant’s design professionals of their duties to comply with the law and any applicable codes and regulations, nor does it relieve the Contractors in any way from their sole responsibility for the quality and workmanship of the work and for strict compliance with the permitted plans and specifications. If you have any questions or comments, please contact us at (630) 443-7755.

Sincerely,



WBK Engineering, LLC

Rivercrest Consulting, LLC

12249 S. Rhea Drive
Suite 2
Plainfield, IL 60585
www.alpineridge.net

June 5, 2024

Via Email

Kendall County Planning, Building & Zoning; C/O
WBK Engineering
116 W. Main Street, Suite 201
St. Charles, IL 60174
Attn: Mr. Greg Chismark, P.E.
President

**RE: Comment Response Letter
Proposed Site Improvements – WBK Project 19-102.CA
2142 Wooley Road
Oswego, IL**

Dear Mr. Chismark,

We are in receipt of your comment letter dated May 14, 2024, prepared by WBK Engineering related to the above captioned proposed improvements. On behalf of Mr. Alex Schuster, we offer the following in response:

Stormwater Permit

WBK Comment #1:

A brief narrative identifying the scope of the proposed improvements.

Rivercrest Response #1:

Property owner intends to improve the existing layout to accommodate additional parking, storage, lay down and greenhouse facilities within the property limits. This work will necessitate modified grading, particularly along the eastern property line, to contain and direct flows accordingly.

WBK Comment #2:

Identify existing and proposed drainage patterns.

Rivercrest Response #2:

Drainage patterns have been added to both the existing and proposed layout sheets as requested.

WBK Comment #3:

Identify existing and proposed impervious surface comparison

Rivercrest Response #3:

An impervious area comparison chart has been added to the plans as requested.

WBK #4:

Identify total extent of disturbed area.



Rivercrest Response #4:

Total disturbed area is approximately 38,800 SF, encompassing generally the extent of proposed improvements; including the underdrain extension to the ROW area.

WBK Comment #5:

Identify off-site areas draining on to the site.

Rivercrest Response #5:

See accessory exhibit provided under separate cover.

WBK Comment #6:

Describe purpose and function of underdrain and sizing.

Rivercrest Response #6:

Drainage along the east property line is meant to contain property runoff within the limits of the subject parcel. The gradient (or available pitch) along that property line starts to flatten out as we progress north towards the road from the rear PL. Eventually, an existing high point is encountered that straddles the property line, limiting substantially any regrading needed to continue overland flow along the property line. With that said, flow at that point is being redirected northwest as shown into the existing overland flow path. Essentially, what is being proposed is an “end” to the new overland flow route at or in the vicinity of the above mentioned sideyard high point where surface flow can no longer continue north in a standard way. A yard inlet is proposed in this area to capture and convey perched waters following rain events below grade to the driveway culvert area via the proposed underdrain structure where they can continue conveyance downstream as normal. During active rain events, this area will overflow atop the shown overflow into the existing overland flow route to the north. The underdrain is meant to dry this area following these events and finish conveying remaining waters via pressure flow along the proposed underdrain route. It’s essentially meant to stop this area from becoming perpetually wet given that the property flattens out substantially on the north half.

Engineering Plans:

WBK Comment #1:

Provide additional elevations of storage and parking areas identified on the plan. Provide corner elevation with flow arrows.

Rivercrest Response #1:

Additional elevations and drainage flow arrows have been added to the plans as requested.

WBK Comment #2:

Depict locations of any wells within the site. A well is located on one of the surveys but not the others submitted. Verify the location of all wells and locate them on the proposed conditions plan.

Alpine Ridge Builders Response #2:

The existing domestic well location has been added to the plans as requested.

WBK Comment #3:

Clearly depict and locate the extent of septic tanks and septic field within the project limits. It appears proposed improvements may impact existing facilities.

Rivercrest Response #3:

Septic tank location outlined on the supplied topographic survey is the only information relevant to the septic system made available to this office. As such, no further detail on the system layout or function can be provided under this cover. It is our understanding that the homeowner is currently



working directly with the Health Department to address this matter further. All associated detail and information will be supplied by Mr. Schuster related to the septic system and any needed improvements thereof.

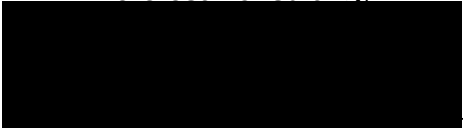
Included herewith, please find for your review and consideration and in accordance with the above comments and responses, the following:

- Revised civil plans, dated 06/05/24
- Supplemental off-site drainage area exhibit, furnished under separate cover
- Supplemental septic system information, furnished under separate cover

Should you have any questions, concerns or require any additional information please do not hesitate to contact me directly at (630) 538-5651 or via email at tom@alpineridge.net.

Yours truly,

Rivercrest Consulting, LLC



Thomas G. Crnkovich, P.E.
Managing Partner

/Encl.

Cc: Alex Schuster – Homeowner (Via Email)
Matt Juntunen – Alpine Ridge Builders, LLC (Via Email)

Attachment 18, Page 1
KENDALL COUNTY
REGIONAL PLANNING COMMISSION

Kendall County Office Building
Rooms 209 and 210
111 W. Fox Street, Yorkville, Illinois

Unapproved - Meeting Minutes of June 26, 2024 - 7:00 p.m.

Chairman Bill Ashton called the meeting to order at 7:01 p.m.

ROLL CALL

Members Present: Bill Ashton, Eric Bernacki, Tom Casey, Dave Hamman, Karin McCarthy-Lange, Larry Nelson, Bob Stewart, Claire Wilson, and Seth Wormley (Arrived at 7:03 p.m.)

Members Absent: Ruben Rodriguez

Staff Present: Matthew H. Asselmeier, Director, and Wanda A. Rolf, Office Assistant

Others Present: Alex Schuster, Marcia Rousonelos, Ray Jackinowski, Michael Korst, and Jim Filotto

PETITIONS

Petition 24-10 Alex M. Schuster

Mr. Asselmeier summarized the request.

The Petitioner was seeking a special use permit for a landscaping business, including allowing outdoor storage of materials.

The application materials, plat of survey, current conditions plat, revised proposed site plan reflecting WBK Engineering's comments, proposed landscaping plan and pictures of the property and vicinity were provided.

The address of the property was 2142 Wooley Road.

The property was approximately three (3) acres in size.

The current land use was Improve Residential/Farmstead.

The County's Future Land Use Map called for the property to be Rural Estate Residential. The Village of Oswego's Future Land Use Map called for the property to be Large Lot Residential.

Wooley Road was a Minor Collector maintained by Oswego Township.

The Village of Oswego has a trail planned along Wooley Road.

There were no floodplains or wetlands on the property.

The adjacent properties were used as Agricultural and Farmstead.

The adjacent properties were zoned A-1.

The County's Future Land Use Map called for the area to be Rural Estate Residential and Commercial. The Village of Oswego's Future Land Use Map called for the area to be Large Lot Residential.

Properties within one half (1/2) of a mile were zoned A-1 in the County and B-3 in the Village of Oswego.

Approximately three (3) houses are located within a half mile (0.5) miles of the subject property.

EcoCAT Report was submitted on March 14, 2024, and consultation was terminated.

The NRI application was submitted on April 29, 2024. The LESA Score was 173 indicating a low level of protection. The NRI Report was provided.

Petition information was sent to Oswego Township on May 1, 2024. Prior to formal application submittal, Oswego Township submitted an email requesting a thirty-three foot (33') deep right-of-way dedication from the center of Wooley Road. This email was provided.

Petition information was sent to the Village of Oswego on May 1, 2024. No comments were received.

Petition information was sent to the Oswego Fire Protection District on May 1, 2024. The Oswego Fire Protection District submitted an email stating no objections to the proposal. This email was provided.

ZPAC reviewed this proposal at their meeting on May 7, 2024. Discussion occurred regarding the size and location of the septic system. The right-of-way dedication was raised to forty feet (40'). ZPAC recommended approval of the request with the additional condition related to the septic system and increasing the right-of-way dedication by a vote of nine (9) in favor and zero (0) in opposition with one (1) member absent. The minutes of the meeting were provided.

Per Section 7:01.D.32 of the Kendall County Zoning Ordinance, landscaping businesses can be special uses on A-1 zoned property subject to the following conditions:

1. All vehicles, equipment and materials associated with a landscaping business shall be stored entirely within an enclosed structure, unless otherwise permitted under the terms of this Special Use Permit.
2. The business shall be located on, and have direct access to, a State, County or Collector Highway as identified in the County's LRMP, having an all-weather surface, designed to accommodate loads of at least 73,280 lbs, unless otherwise approved in writing by the agency having jurisdiction over said Highway. Such approvals shall establish limitations as to the number of employees and types of vehicles coming to and from the site that are engaged in the operation of the use (including delivery vehicles). These restrictions shall be included as controlling conditions of the Special Use.
3. No landscape waste generated off the property can be burned on this site.

If the County Board approves the outdoor storage of materials, the above conditions have been met.

As noted in the project narrative, the Petitioners would like to operate ASE Illini-Scapes at the subject property.

They would use the site for storage of landscaping materials, equipment, offices, and related operations. Employees would visit the site to get materials. The site would not be open to customers.

The business would be open from 6:00 a.m. until 6:00 p.m. Monday through Friday during the growing season and everyday for twenty-four hours (24) during snow events in the winter. The business has a maximum of fifteen (15) employees, during the busy season, and two (2) employees year-round. Employees either report to the subject property or report directly to job sites.

The site plan shows one (1) approximately one thousand three hundred seventy (1,370) square foot material bin area and one (1) approximately three thousand five hundred (3,500) square foot hard goods storage area near the eastern property line. One (1) approximately five hundred (500) square foot material storage bin was shown near the southern property line. One (1) additional approximately three thousand three hundred (3,300) square

foot equipment and storage area is shown south of the existing accessory buildings. The Petitioner indicated that the piles of materials would not exceed ten feet (10') in height.

Equipment would be stored outdoors, when the business is closed.

The Petitioner intends to grow nursery stock in the future.

The subject property presently has one (1) approximately three thousand three hundred (3,300) square foot house, constructed in 1875, one (1) frame garage, two (2) metal frame accessory buildings, and one (1) outhouse onsite that is used as decoration and gardening shed.

The site plan shows two (2) future greenhouses, one (1) approximately one thousand one hundred (1,100) square feet in size and one (1) approximately one thousand fifty (1,050) square feet in size.

Any structures related to the landscaping business, other than the greenhouses, would be required to obtain applicable building permits. However, at this time, no additional structures, besides the greenhouses, are proposed.

The well is located southwest of the house. The septic area is located east of the house, between the proposed employee parking area and the southern most greenhouse. The property is served by electricity and natural gas.

One (1) dumpster area is proposed east of the western most equipment and storage area. Given its location on the property and proposed perimeter screening around the property, the Petitioner did not propose any screening specifically for the dumpster area.

The property drains towards Wooley Road.

The site plan shows a drainage system along the east and northeast side of the property.

The Petitioners submitted an application for a stormwater management permit. WBK submitted a review letter requesting additional information and clarification. This letter was provided. The Petitioner's engineer submitted a response on June 5, 2024, including a revised site plan addressing WBK's comments. This letter was provided. WBK Engineering submitted a second letter requesting additional information. This letter was provided.

Per the site plan, the property has a gravel driveway. The Petitioner plans to install a turnaround area at the south end of the driveway.

According to the site plan, the Petitioner proposes a gravel parking lot with ten (10) parking spaces located north of the turnaround area. One (1) ADA accessible parking space is required. The Petitioner intends to use a vehicular rated permeable paver to meet this requirement.

In addition, the Petitioner proposes an approximately one thousand seven hundred fifty square foot (1,750) truck and trailer parking area south of the turnaround area. This lot would also be gravel.

No lighting was planned for the property.

No signage was proposed.

The property presently has a fence along the perimeter as shown in several of the pictures and the landscaping plan.

The landscaping plan shows six (6) existing maple trees, two (2) existing willow thirty-two (32) existing spruce trees, two (2) existing birch trees two (2) existing oak trees, and several existing evergreen trees.

The Petitioner proposes to add twenty-six (26) purple coneflowers, three (3) six foot (6') service berries, trellised English ivy, and five (5) six foot (6') Nigra arborvitae.

The Petitioner plans to install landscaping within one (1) year of the approval of special use permit.

No information was provided regarding noise control.

No information was provided regarding odor control.

If approved, this would be the twenty-first (21st) special use permit for a landscaping business in unincorporated Kendall County.

The proposed Findings of Fact were as follows:

The establishment, maintenance, or operation of the special use will not be detrimental to or endanger the public health, safety, morals, comfort, or general welfare. Numerous landscaping businesses have been approved throughout unincorporated Kendall County, including one (1) at 655 Wooley Road. The proposed use is along Wooley Road, which is classified as a minor collector. Reasonable restrictions can be placed in the special use permit to ensure the health, safety, and general welfare of the area are protected.

The special use will not be substantially injurious to the use and enjoyment of other property in the immediate vicinity for the purposes already permitted, nor substantially diminish and impair property values within the neighborhood. The Zoning classification of property within the general area of the property in question shall be considered in determining consistency with this standard. The proposed use makes adequate provisions for appropriate buffers, landscaping, fencing, lighting, building materials, open space and other improvements necessary to insure that the proposed use does not adversely impact adjacent uses and is compatible with the surrounding area and/or the County as a whole. The subject property is in a large A-1 Agricultural District. The use will not impede farms or residential uses on the adjoining properties. Reasonable restrictions may be placed on the special use permit to address hours of operation, noise, landscaping, and site layout to prevent neighboring property owners are not negatively impacted by the proposed use.

Adequate utilities, access roads and points of ingress and egress, drainage, and/or other necessary facilities have been or are being provided. The proposal states that customers will not come to the property. Given the limited number of employees reporting to the property, adequate utilities, access roads, and ingress/egress exists. A stormwater permit and conditions in the special use permit can address concerns related to drainage.

The special use shall in all other respects conform to the applicable regulations of the district in which it is located, except as such regulations may in each instance be modified by the County Board pursuant to the recommendation of the Zoning Board of Appeals. This is true.

The special use is consistent with the purpose and objectives of the Land Resource Management Plan and other adopted County or municipal plans and policies. The proposal is also consistent with a goal and objective found

on page 6-34 of the Land Resource Management Plan, “A strong base of agriculture, commercial and industrial uses that provide a broad range of job opportunities, a healthy tax base, and improved quality of services to County residents.” “Encourage opportunities for locally owned business.” In addition, the future land use map calls for this property to be Mixed Use Business. Similar types of uses were planned for the subject property and properties in the vicinity of the subject property.

Staff recommended approval of the requested special use permit subject to the following conditions and restrictions. As of the date of this memo, the Petitioner has not agreed to these conditions and restrictions:

1. The site shall be developed substantially in accordance with the submitted site plan and landscaping plan.
2. Within ninety (90) days of the approval of the special use permit, the owners of the subject property shall dedicate a strip of land ~~thirty-three feet (33')~~ **forty feet (40')** in depth along the northern property line to Oswego Township. The Kendall County Planning, Building and Zoning Committee may grant an extension to this deadline. **(Amended at ZPAC)**
3. The location and size of the septic system should be assessed to determine if the system is placed and sized properly for the use allowed by this special use permit. **(Added at ZPAC)**
4. Equipment and vehicles related to the business allowed by the special use permit may be stored outdoors at the subject property when the business is closed.
5. None of the vehicles or equipment parked or stored on the subject property related to the business allowed by the special use permit shall be considered agricultural vehicles or agricultural equipment.
6. All of the vehicles and equipment stored on the subject property related to the business allowed by the special use permit shall be maintained in good condition with no deflated tires and shall be licensed if required by law.
7. The owners of the businesses allowed by this special use permit shall diligently monitor the property for leaks from equipment and vehicles parked and stored and items stored on the subject property and shall promptly clean up the site if leaks occur.
8. Except for the purposes of loading and unloading, all landscape related materials shall be stored at the designated storage areas shown on the submitted site plan. The maximum height of the piles of landscaping related material shall be ten feet (10') in height. **(Clarified at ZPAC)**
9. A maximum of fifteen (15) employees of the business allowed by this special use permit, including the owners of the business allowed by this special use permit, may report to this site for work.
10. No customers of the business allowed by the special use permit shall be invited onto the subject property for matters related to the business allowed by the special use permit.
11. The hours of operation of the business allowed by this special use permit shall be Monday through Friday from 6:00 a.m. until 6:00 p.m. and the business shall be open twenty-four (24) hours to address snow events. The owners of the business allowed by this special use permit may reduce these hours of operation.
12. Any structures constructed, installed, or used related to the business allowed by this special use permit on the property shall not be considered for agricultural purposes and must secure applicable building permits. This restriction does not apply to greenhouses.

13. No signs are shown on the site plan. The owner of the business allowed by the special use permit may request a sign in the future using the minor amendment process, provided that the proposed sign meets the requirements of the Kendall County Zoning Ordinance.
14. Only lighting related to security may be installed outdoors at the subject property.
15. Damaged or dead plantings described on the landscaping plan shall be replaced on a timeframe approved by the Kendall County Planning, Building and Zoning Department.
16. The vegetation described in the landscaping plan shall be installed within one (1) year of the approval of the special use permit. The Kendall County Planning, Building and Zoning Committee may grant an extension to the deadline to install the vegetation. Materials and vegetation stored in the greenhouses and material storage area shall not be subject to this requirement and shall not be considered part of the landscaping plan.
17. No landscape waste generated off the property can be burned on the subject property.
18. The noise regulations are as follows:

Day Hours: No person shall cause or allow the emission of sound during daytime hours (7:00 A.M. to 10:00 P.M.) from any noise source to any receiving residential land which exceeds sixty-five (65) dBA when measured at any point within such receiving residential land, provided; however, that point of measurement shall be on the property line of the complainant.

Night Hours: No person shall cause or allow the emission of sound during nighttime hours (10:00 P.M. to 7:00 A.M.) from any noise source to any receiving residential land which exceeds fifty-five (55) dBA when measured at any point within such receiving residential land provided; however, that point of measurement shall be on the property line of the complainant.

EXEMPTION: Powered Equipment: Powered equipment, such as lawn mowers, small lawn and garden tools, riding tractors, and snow removal equipment which is necessary for the maintenance of property is exempted from the noise regulations between the hours of seven o'clock (7:00) A.M. and ten o'clock (10:00) P.M.

Only homes permitted prior to the date of the issuance of the special use permit shall have standing to file noise complaints.

19. At least one (1) functioning fire extinguisher and one (1) first aid kit shall be on the subject property. Applicable signage stating the location of the fire extinguisher and first aid kit shall be placed on the subject property.
20. The owners of the business allowed by this special use permit acknowledge and agree to follow Kendall County's Right to Farm Clause.
21. The property owner and operator of the business allowed by this special use permit shall follow all applicable Federal, State, and Local laws related to the operation of this type of business, including, but not limited to, installed the applicable number of ADA required parking spaces.
22. Failure to comply with one or more of the above conditions or restrictions could result in the amendment

or revocation of the special use permit.

23. If one or more of the above conditions is declared invalid by a court of competent jurisdiction, the remaining conditions shall remain valid.

24. This special use permit shall be treated as a covenant running with the land and is binding on the successors, heirs, and assigns as to the same special use conducted on the property.

Member Bernacki asked if the parcel to the west of the subject property was Residential. Mr. Asselmeier responded that the parcel was Commercial on the Land Resource Management Plan.

Member Casey asked if the Petitioner lived in the house. Alex Schuster, Petitioner responded yes.

Member Casey asked the length of the driveway. Mr. Schuster responded that the house was approximately one hundred eighty feet (180') from the road.

Member Wilson asked if the business was currently operating at the property. Mr. Schuster responded yes. Member Wilson asked how long the business had been operating at the property. Mr. Schuster responded they moved in December 2022. Member Wilson asked if the Petitioner attempted to make an application for a special use permit prior to the current application. Mr. Schuster responded no; he was under the impression from his Realtor that a landscaping business was allowed at the property. Mr. Schuster said that the County notified him that a special use permit was required to operate a landscaping business at the property.

Member Wormley made a motion, seconded by Member Nelson, to recommend approval of the special use permit.

The votes were as follows:

Ayes (9): Ashton, Bernacki, Casey, Hamman, McCarthy-Lange, Nelson, Stewart, Wilson, and Wormley
Nays (0): None
Absent (1): Rodriguez
Abstain (0): None

The motion carried

The proposal goes to the Kendall County Zoning Board of Appeals on July 1, 2024.

CITIZENS TO BE HEARD/PUBLIC COMMENT

None

OTHER BUSINESS/ANNOUNCEMENTS

Chairman Ashton announced that a proposed amendment to the pipeline depth regulations will be on the agenda for the July meeting. Member Nelson discussed the TransCanada project in Kendall County. The proposal would require pipelines to be buried at least five feet (5') in the ground as measured from the top of the pipe.

Mr. Asselmeier reported that the owner of 7789 Route 47 wants a waiver to the landscaping requirements as part of site plan review.

Member Casey asked about an asphalt business on Route 52. Mr. Asselmeier responded that the Department was investigating the matter.

Member Bernacki reported that the Village of Plainfield discussed a development at the northwest corner of Ridge Road and Johnson Road. The proposal was condos and mixed use with industrial on the western portion; the proposal was denied by the Village Trustees. Discussion occurred regarding industrial going west of Ridge Road and planned infrastructure improvements in the area.

Member Nelson reported that the City of Plano has hired Teska Associates to update their Comprehensive Plan. Member Nelson was of the opinion that, since the Microsoft data center announcement, the drive for more solar panels outside of Plano will slow. Discussion occurred regarding a new transformer along the railroad tracks near Corneils Road.

Member Bernacki asked about the proposed solar farm on Simons Road. Mr. Asselmeier stated that the proposal was laid over at the Petitioner's request until the July 29, 2024, zoning hearing.

ADJOURNMENT

Member Bernacki made a motion, seconded by Member McCarthy-Lange, to adjourn. With a voice vote of nine (9) ayes, the motion carried.

The Kendall County Regional Planning Commission meeting adjourned at 7:56 p.m.

Respectfully submitted by,
Matthew H. Asselmeier, AICP, CFM, Director
Encs.



**KENDALL COUNTY
REGIONAL PLANNING COMMISSION
JUNE 26, 2024**

IF YOU WOULD LIKE TO BE CONTACTED ON FUTURE MEETINGS REGARDING THIS TOPIC, PLEASE PROVIDE YOUR ADDRESS OR EMAIL ADDRESS

NAME	ADDRESS (OPTIONAL)	EMAIL ADDRESS (OPTIONAL)
ALEX SCHUSTER		
Michael Korst		
Jim Filotto		
Marcia Ranson		
[Handwritten Signature]		



June 24, 2024

Mr. Matt Asselmeier
Kendall County Planning, Building, & Zoning
111 West Fox Street
Yorkville, IL 60560-1498

Subject: 2142 Wooley Road- WBK Project 19-102.CA

Dear Mr. Asselmeier:

We have received and reviewed the following information for the subject project:


- Site Improvement Plans – Shuster Residence prepared by Rivercrest Consulting dated April 18, 2024 and received June 11, 2024
- Response Letter prepared by Riverside Consulting dated June 5, 2024 and received June 11, 2024

The following comments require resolution prior to plan approval and our recommendation for issuance of a stormwater permit.

1. Submit a stormwater permit application (see attached).
2. Gravel is considered an impervious surface particularly when used as a driving surface or for parking. Revise the charts accordingly.
3. Depict the swale cross section along the east property line and calculate design flows and swale capacity.
4. Revise grading so the southernmost portion of the site (Proposed 525 Sf material storage bin and hardwood storage area) drain towards the proposed gravel turn around and not off-site.
5. Yard inlets are noted in the response letter but clean outs are called out on the plan along with a bubbler. Provide details for these elements so the intent is clear.
6. Depict silt fence along the east property line and at the southerly end where flow is directed. Also provide inlet protection for any yard drains or inlets.
7. Clearly depict and locate the extent of septic tanks and septic field within the project limits. It appears proposed improvements may impact existing facilities.

The applicant's design professionals are responsible for performing and checking all design computations, dimensions, details, and specifications in accordance with all applicable codes and regulations, and obtaining all permits necessary to complete this work. In no way does this review relieve applicant's design professionals of their duties to comply with the law and any applicable codes and regulations, nor does it relieve the Contractors in any way from their sole responsibility for the quality and workmanship of the work and for strict compliance with the permitted plans and specifications. If you have any questions or comments, please contact us at (630) 443-7755.

Sincerely,


Greg Chismark PE
WBK Engineering, LLC



June 24, 2024

Mr. Matt Asselmeier
Kendall County Planning, Building, & Zoning
111 West Fox Street
Yorkville, IL 60560-1498

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Sincerely,


Greg Chismark PE
WBK Engineering, LLC

**MINUTES – UNOFFICIAL UNTIL APPROVED
KENDALL COUNTY
ZONING BOARD OF APPEALS MEETING**

111 WEST FOX STREET, COUNTY BOARD ROOM (ROOMS 209 and 210)
YORKVILLE, IL 60560
July 1, 2024 – 7:00 p.m.

CALL TO ORDER

Vice-Chairman Tom LeCuyer called the Zoning Board of Appeals meeting to order at 7:05 p.m.

ROLL CALL:

Members Present: Scott Cherry, Cliff Fox, Tom LeCuyer, and Dick Thompson,

Members Absent: Randy Mohr, Jillian Prodehl, and Dick Whitfield

Staff Present: Matthew Asselmeier, AICP, CFM, Director and Wanda Rolf, Office Assistant

Others Present: Alex Schuster, Katherine Rousonelos, Ray Jackinowski, and Jim Filotto

The Zoning Board of Appeals started their review of Petition 24-10 at 7:06 p.m.

PETITIONS:

Petition **24 – 10 – Alex M. Schuster**

Request: Special Use Permit for a Landscaping Business

PIN: 03-22-400-001

Location: 2142 Wooley Road, Oswego in Oswego Township

Purpose: Petitioner Would Like to Operate a Landscaping Business; Property is Zoned A-1

Mr. Asselmeier summarized the request.

The Petitioner is seeking a special use permit for a landscaping business, including allowing outdoor storage of materials.

The application materials, plat of survey, current conditions plat, revised proposed site plan reflecting WBK Engineering’s comments, proposed landscaping plan, and pictures of the property were provided.

The address of the property was 2142 Wooley Road.

The property was approximately three (3) acres in size.

The current land use was Improve Residential/Farmstead.

The County’s Future Land Use Map called for the property to be Rural Estate Residential. The Village of Oswego’s Future Land Use Map called for the property to be Large Lot Residential.

Wooley Road was a Minor Collector maintained by Oswego Township.

The Village of Oswego has a trail planned along Wooley Road.

There were no floodplains or wetlands on the property.

The adjacent properties were used as Agricultural and Farmstead.

The adjacent properties were zoned A-1.

The County's Future Land Use Map called for the area to be Rural Estate Residential and Commercial.

The Village of Oswego's Future Land Use Map called for the area to be Large Lot Residential.

Properties within one half (1/2) of a mile were zoned A-1 in the County and B-3 in the Village of Oswego.

Approximately three (3) houses are located within a half mile (0.5) miles of the subject property.

EcoCAT Report was submitted on March 14, 2024, and consultation was terminated

The NRI application was submitted on April 29, 2024. The LESA Score was 173 indicating a low level of protection. The NRI Report was provided.

Petition information was sent to Oswego Township on May 1, 2024. Prior to formal application submittal, Oswego Township submitted an email requesting a thirty-three foot (33') deep right-of-way dedication from the center of Wooley Road. This email was provided.

Petition information was sent to the Village of Oswego on May 1, 2024. No comments received.

Petition information was sent to the Oswego Fire Protection District on May 1, 2024. The Oswego Fire Protection District submitted an email stating no objections to the proposal. This email was provided.

ZPAC reviewed this proposal at their meeting on May 7, 2024. Discussion occurred regarding the size and location of the septic system. The right-of-way dedication was raised to forty feet (40'). ZPAC recommended approval of the request with the additional condition related to the septic system and increasing the right-of-way dedication by a vote of nine (9) in favor and zero (0) in opposition with one (1) member absent. The minutes of the meeting were provided.

The Kendall County Regional Planning Commission reviewed the proposal at their meeting on June 26, 2024. Discussion occurred regarding the future land use map for properties in the area and the distance of the house to road. Discussion also occurred regarding the business starting at the property before a special use permit was issued. The Kendall County Regional Planning Commission recommended approval of the proposal by a vote of nine (9) in favor and zero (0) in opposition with one (1) member absent. The minutes of the meeting were provided.

Per Section 7:01.D.32 of the Kendall County Zoning Ordinance, landscaping businesses can be special uses on A-1 zoned property subject to the following conditions:

1. All vehicles, equipment and materials associated with a landscaping business shall be stored entirely within an enclosed structure, unless otherwise permitted under the terms of this Special Use Permit.
2. The business shall be located on, and have direct access to, a State, County or Collector Highway as identified in the County's LRMP, having an all-weather surface, designed to accommodate loads of at least 73,280 lbs, unless otherwise approved in writing by the agency having jurisdiction over said Highway. Such approvals shall establish limitations as to the number of employees and types of vehicles coming to and from the site that are engaged in the operation of the use (including delivery vehicles). These restrictions shall be included as controlling conditions of the Special Use.
3. No landscape waste generated off the property can be burned on this site.

If the County Board approves the outdoor storage of materials, the above conditions have been met.

As noted in the project narrative, the Petitioners would like to operate ASE Illini-Scapes at the subject property.

They would use the site for storage of landscaping materials, equipment, offices, and related operations. Employees would visit the site to get materials. The site would not be open to customers.

The business would be open from 6:00 a.m. until 6:00 p.m. Monday through Friday during the growing season and everyday for twenty-four hours (24) during snow events in the winter. The business has a maximum of fifteen (15) employees, during the busy season, and two (2) employees year-round. Employees either report to the subject property or report directly to job sites.

The site plan shows one (1) approximately one thousand three hundred seventy (1,370) square foot material bin area and one (1) approximately three thousand five hundred (3,500) square foot hard goods storage area near the eastern property line. One (1) approximately five hundred (500) square foot material storage bin was shown near the southern property line. One (1) additional approximately three thousand three hundred (3,300) square foot equipment and storage area is shown south of the existing accessory buildings. The Petitioner indicated that the piles of materials would not exceed ten feet (10') in height.

Equipment would be stored outdoors, when the business is closed.

The Petitioner intends to grow nursery stock in the future.

The subject property presently has one (1) approximately three thousand three hundred (3,300) square foot house, constructed in 1875, one (1) frame garage, two (2) metal frame accessory buildings, and one (1) outhouse onsite that is used as decoration and gardening shed.

The site plan showed two (2) future greenhouses, one (1) approximately one thousand one hundred (1,100) square feet in size and one (1) approximately one thousand fifty (1,050) square feet in size.

Any structures related to the landscaping business, other than the greenhouses, would be required to obtain applicable building permits. However, at this time, no additional structures, besides the greenhouses, are proposed.

The well was located southwest of the house. The septic area was located east of the house, between the proposed employee parking area and the southern most greenhouse. The property was served by electricity and natural gas.

One (1) dumpster area was proposed east of the western most equipment and storage area. Given its location on the property and proposed perimeter screening around the property, the Petitioner did not propose any screening specifically for the dumpster area.

The property drains towards Wooley Road.

The site plan showed a drainage system along the east and northeast side of the property.

The Petitioners submitted an application for a stormwater management permit. WBK submitted a review letter requesting additional information and clarification. This letter was provided. The Petitioner's Engineer submitted a response on June 5, 2024, including a revised site plan addressing WBK's comments. This letter was provided. WBK submitted a letter on June 24, 2024, requesting additional information. This letter was provided.

Per the site plan, the property has a gravel driveway. The Petitioner plans to install a turnaround area at the south end of the driveway.

According to the site plan, the Petitioner proposes a gravel parking lot with ten (10) parking spaces located north of the turnaround area. One (1) ADA accessible parking space is required. The Petitioner intends to use a vehicular rated permeable paver to meet this requirement.

In addition, the Petitioner proposes an approximately one thousand seven hundred fifty square foot (1,750) truck and trailer parking area south of the turnaround area. This lot would also be gravel.

No lighting was planned for the property.

No signage was proposed.

The property presently has a fence along the perimeter as shown in several of the pictures and the landscaping plan.

The landscaping plan showed six (6) existing maple trees, two (2) existing willow, thirty-two (32) existing spruce trees, two (2) existing birch trees, two (2) existing oak trees, and several existing evergreen trees. The Petitioner proposes to add twenty-six (26) purple coneflowers, three (3) six foot (6') service berries, trellised English ivy, and five (5) six foot (6') Nigra arborvitae.

The Petitioner plans to install landscaping within one (1) year of the approval of special use permit.

No information was provided regarding noise control.

No information was provided regarding odor control.

If approved, this would be the twenty-first (21st) special use permit for a landscaping business in unincorporated Kendall County.

The proposed Findings of Fact were as follows:

The establishment, maintenance, or operation of the special use will not be detrimental to or endanger the public health, safety, morals, comfort, or general welfare. Numerous landscaping businesses have been approved throughout unincorporated Kendall County, including one (1) at 655 Wooley Road. The proposed use is along Wooley Road, which is classified as a minor collector. Reasonable restrictions can be placed in the special use permit to ensure the health, safety, and general welfare of the area are protected.

The special use will not be substantially injurious to the use and enjoyment of other property in the immediate vicinity for the purposes already permitted, nor substantially diminish and impair property values within the neighborhood. The Zoning classification of property within the general area of the property in question shall be considered in determining consistency with this standard. The proposed use makes adequate provisions for appropriate buffers, landscaping, fencing, lighting, building materials, open space and other improvements necessary to insure that the proposed use does not adversely impact adjacent uses and is compatible with the surrounding area and/or the County as a whole. The subject property is in a large A-1 Agricultural District. The use will not impede farms or residential uses on the adjoining properties. Reasonable restrictions may be placed on the special use permit to address hours of operation, noise, landscaping, and site layout to prevent neighboring property owners are not negatively impacted by the proposed use.

Adequate utilities, access roads and points of ingress and egress, drainage, and/or other necessary facilities have been or are being provided. The proposal states that customers will not come to the property. Given the limited number of employees reporting to the property, adequate utilities, access roads, and ingress/egress exists. A stormwater permit and conditions in the special use permit can address concerns related to drainage.

The special use shall in all other respects conform to the applicable regulations of the district in which it is located, except as such regulations may in each instance be modified by the County Board pursuant to the recommendation of the Zoning Board of Appeals. This is true.

The special use is consistent with the purpose and objectives of the Land Resource Management Plan and other adopted County or municipal plans and policies. The proposal is also consistent with a goal
ZBA Meeting Minutes 7.1.24

and objective found on page 6-34 of the Land Resource Management Plan, “A strong base of agriculture, commercial and industrial uses that provide a broad range of job opportunities, a healthy tax base, and improved quality of services to County residents.” “Encourage opportunities for locally owned business.” In addition, the future land use map calls for this property to be Mixed Use Business. Similar types of uses were planned for the subject property and properties in the vicinity of the subject property.

Staff recommended approval of the requested special use permit subject to the following conditions and restrictions. To date, the Petitioner had not agreed to these conditions and restrictions:

1. The site shall be developed substantially in accordance with the submitted site plan and landscaping plan.
2. Within ninety (90) days of the approval of the special use permit, the owners of the subject property shall dedicate a strip of land ~~thirty-three feet (33')~~ **forty feet (40')** in depth along the northern property line to Oswego Township. The Kendall County Planning, Building and Zoning Committee may grant an extension to this deadline. **(Amended at ZPAC)**
3. The location and size of the septic system should be assessed to determine if the system is placed and sized properly for the use allowed by this special use permit. **(Added at ZPAC)**
4. Equipment and vehicles related to the business allowed by the special use permit may be stored outdoors at the subject property when the business is closed.
5. None of the vehicles or equipment parked or stored on the subject property related to the business allowed by the special use permit shall be considered agricultural vehicles or agricultural equipment.
6. All of the vehicles and equipment stored on the subject property related to the business allowed by the special use permit shall be maintained in good condition with no deflated tires and shall be licensed if required by law.
7. The owners of the businesses allowed by this special use permit shall diligently monitor the property for leaks from equipment and vehicles parked and stored and items stored on the subject property and shall promptly clean up the site if leaks occur.
8. Except for the purposes of loading and unloading, all landscape related materials shall be stored at the designated storage areas shown on the submitted site plan. The maximum height of the piles of landscaping related material shall be ten feet (10'). **(Clarified at ZPAC)**
9. A maximum of fifteen (15) employees of the business allowed by this special use permit, including the owners of the business allowed by this special use permit, may report to this site for work.
10. No customers of the business allowed by the special use permit shall be invited onto the subject property for matters related to the business allowed by the special use permit.

11. The hours of operation of the business allowed by this special use permit shall be Monday through Friday from 6:00 a.m. until 6:00 p.m. and the business shall be open twenty-four (24) hours to address snow events. The owners of the business allowed by this special use permit may reduce these hours of operation.
12. Any structures constructed, installed, or used related to the business allowed by this special use permit on the property shall not be considered for agricultural purposes and must secure applicable building permits. This restriction does not apply to greenhouses.
13. No signs are shown on the site plan. The owner of the business allowed by the special use permit may request a sign in the future using the minor amendment process, provided that the proposed sign meets the requirements of the Kendall County Zoning Ordinance.
14. Only lighting related to security may be installed outdoors at the subject property.
15. Damaged or dead plantings described on the landscaping plan shall be replaced on a timeframe approved by the Kendall County Planning, Building and Zoning Department.
16. The vegetation described in the landscaping plan shall be installed within one (1) year of the approval of the special use permit. The Kendall County Planning, Building and Zoning Committee may grant an extension to the deadline to install the vegetation. Materials and vegetation stored in the greenhouses and material storage area shall not be subject to this requirement and shall not be considered part of the landscaping plan.
17. No landscape waste generated off the property can be burned on the subject property.
18. The noise regulations are as follows:
 - Day Hours: No person shall cause or allow the emission of sound during daytime hours (7:00 A.M. to 10:00 P.M.) from any noise source to any receiving residential land which exceeds sixty-five (65) dBA when measured at any point within such receiving residential land, provided; however, that point of measurement shall be on the property line of the complainant.
 - Night Hours: No person shall cause or allow the emission of sound during nighttime hours (10:00 P.M. to 7:00 A.M.) from any noise source to any receiving residential land which exceeds fifty-five (55) dBA when measured at any point within such receiving residential land provided; however, that point of measurement shall be on the property line of the complainant.
 - EXEMPTION: Powered Equipment: Powered equipment, such as lawn mowers, small lawn and garden tools, riding tractors, and snow removal equipment which is necessary for the maintenance of property is exempted from the noise regulations between the hours of seven o'clock (7:00) A.M. and ten o'clock (10:00) P.M.

Only homes permitted prior to the date of the issuance of the special use permit shall have standing to file noise complaints.

19. At least one (1) functioning fire extinguisher and one (1) first aid kit shall be on the subject property. Applicable signage stating the location of the fire extinguisher and first aid kit shall be placed on the subject property.
20. The owners of the business allowed by this special use permit acknowledge and agree to follow Kendall County's Right to Farm Clause.
21. The property owner and operator of the business allowed by this special use permit shall follow all applicable Federal, State, and Local laws related to the operation of this type of business, including, but not limited to, installed the applicable number of ADA required parking spaces.
22. Failure to comply with one or more of the above conditions or restrictions could result in the amendment or revocation of the special use permit.
23. If one or more of the above conditions is declared invalid by a court of competent jurisdiction, the remaining conditions shall remain valid.
24. This special use permit shall be treated as a covenant running with the land and is binding on the successors, heirs, and assigns as to the same special use conducted on the property.

Member Fox asked if a greenhouse needs a permit. Mr. Asselmeier stated that a greenhouse is for agricultural use, so it is allowed on A-1 zoned property.

Vice-Chairman LeCuyer opened the public hearing at 7:16 p.m. and swore in Alex Schuster.

Member Cherry asked why the Petitioner started operating the business before obtaining the special use permit. Mr. Schuster said that he was initially under the impression that a landscaping business could operate at the property and then County notified him that a special use permit was required to operate a landscaping business at the property.

Member Cherry asked the Petitioner if there would be any burning on the property. Mr. Schuster stated there would not be any burning on the property. Mr. Schuster also stated he lives on the property.

Member Cherry asked if there is a bathroom on the property for employees. Mr. Schuster stated there is a porta pot on the property. Mr. Asselmeier stated that, normally, the Health Department would like to see indoor bathrooms. Mr. Schuster stated that members of his staff typically stop by the property to get materials and leave for work sites. Mr. Asselmeier noted the proposed condition regarding the septic system that ZPAC recommended.

Vice-Chairman LeCuyer asked if the Petitioner was agreeable to the proposed conditions. Mr. Schuster requested clarification on the right-of-way dedication. Mr. Asselmeier stated the dedication is measured from the centerline of the road at forty (40') feet inward.

Vice Chairman LeCuyer adjourned the public hearing at 7:21 p.m.

Member Cherry made a motion, seconded by Member Thompson, to approve the Findings of Fact.

The votes were as follows:

Ayes (4): Cherry, Fox, LeCuyer, and Thompson

Nays (0): None

Abstain (0): None

Absent (3): Mohr, Prodehl, and Whitfield

The motion carried.

Member Thompson made a motion, seconded by Member Fox, to recommend approval of the special use permit with the conditions proposed by Staff.

The votes were as follows:

Ayes (4): Cherry, Fox, LeCuyer, and Thompson

Nays (0): None

Abstain (0): None

Absent (3): Mohr, Prodehl, and Whitfield

The motion carried.

The proposal goes to the Kendall County Planning, Building and Zoning Committee on July 8, 2024.

The Zoning Board of Appeals completed their review of Petition 24-10 at 7:22 p.m.

PUBLIC COMMENTS

Mr. Asselmeier stated the next ZBA hearing will be on July 29, 2024 with two agenda items. One is regarding the solar panels on Simons Road and the other is a proposed text amendment, the Planning, Building, and Zoning is requesting regarding the depth of pipelines.

ADJOURNMENT OF THE ZONING BOARD OF APPEALS

Member Fox made a motion, seconded by Member Cherry, to adjourn.

With a voice vote of four (4) ayes, the motion carried.

The Zoning Board of Appeals meeting adjourned at 7:50 p.m.

The next regularly scheduled meeting/hearing will be on July 29, 2024.

Respectfully submitted by,
Wanda A. Rolf
Administrative Assistant

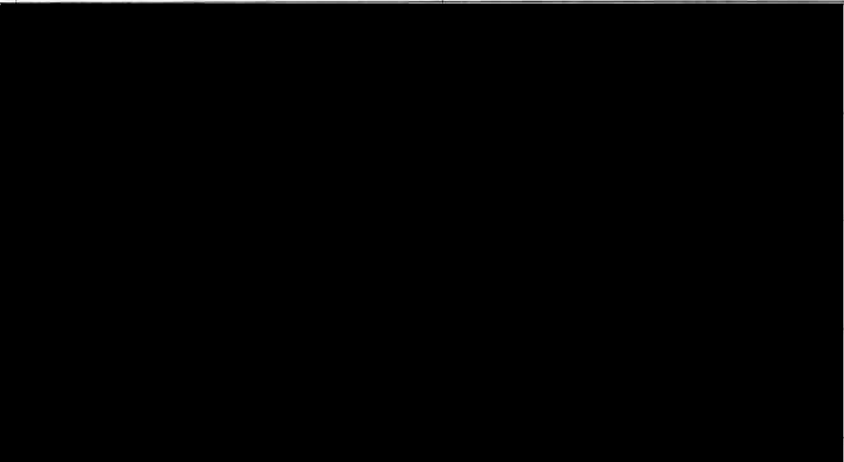
Exhibits

1. Memo on Petition 24-10 Dated June 28, 2024
2. Certificate of Publication and Certified Mail Receipts for Petition 24-10 (Not Included with Report but on file in Planning, Building and Zoning Office)



**KENDALL COUNTY
ZONING BOARD OF APPEALS
JULY 1, 2024**

In order to be allowed to present any testimony, make any comment, engage in cross-examination, or ask any question during this public hearing, you must enter your name, address, and signature on this form prior to the commencement of the public hearing. By signing this registration sheet, you agree that you understand that anything you say will be considered sworn testimony, and that you will tell the truth, the whole truth and nothing but the truth.

NAME	ADDRESS	SIGNATURE
Jim Filotto		
ALEX Schubert		
Katherine Rousseau		
Ray Jackson		

State of Illinois
County of Kendall

Zoning Petition
#24-10

ORDINANCE NUMBER 2024-_____

GRANTING A SPECIAL USE PERMIT FOR A LANDSCAPING BUSINESS AT 2142 WOOLEY ROAD, OSWEGO, (PIN: 03-22-400-001) IN OSWEGO TOWNSHIP

WHEREAS, Section 13:08 of the Kendall County Zoning Ordinance permits the Kendall County Board to grant special use permits and place conditions on special use permits and provides the procedure through which special use permits are granted; and

WHEREAS, Section 7:01.D.32 of the Kendall County Zoning Ordinance permits the operation of landscaping businesses as a special use with certain restrictions in the A-1 Agricultural Zoning District; and

WHEREAS, the property which is the subject of this ordinance has been, at all relevant times, and remains currently located within the A-1 Agricultural District and consists of approximately three acres located at 2142 Wooley Road, Oswego (PIN: 03-22-400-001), in Oswego Township. The legal description for the subject property is set forth in Exhibit A attached hereto and incorporated by reference, and the property shall hereinafter be referred to as “the subject property”; and

WHEREAS, the subject property is owned by Alex Schuster and shall hereinafter be referred to as the “Petitioner”; and

WHEREAS, on or about April 23, 2024, Petitioner filed a petition for a special use permit to allow the operation of landscaping business with outdoor storage at the subject property; and

WHEREAS, following due and proper notice by publication in The Voice on June 6, 2024, and following due and proper notification to the Village of Oswego on or about June 1, 2024, and following due and proper notification to Oswego Township on or about June 1, 2024, and following due and proper notification to the property owners of record of properties located within seven hundred fifty feet of the subject property on or about June 1, 2024, the Kendall County Zoning Board of Appeals conducted a public hearing on July 1, 2024, at 7:00 p.m., in the County Office Building at 111 W. Fox Street in Yorkville, at which the Petitioner presented evidence, testimony, and exhibits in support of the requested special use permit and zero members of the public testified in favor or in opposition to the request or asked questions about the proposal; and

WHEREAS, based on the evidence, testimony, and exhibits, the Kendall County Zoning Board of Appeals has made their Findings of Fact and recommended approval of the special use permit with conditions as set forth in the Findings of Fact and Recommendation of the Kendall County Zoning Board of Appeals, dated July 1, 2024, a true and correct copy of which is attached hereto as Exhibit B; and

WHEREAS, the Kendall County Planning, Building and Zoning Committee of the Kendall County Board has reviewed the testimony presented at the aforementioned public hearing and has considered the Findings of Fact and Recommendation of the Kendall County Zoning Board of Appeals, and has forwarded to the Kendall County Board a recommendation of **approval/denial/neutral** of the requested special use permit; and

WHEREAS, the Kendall County Board has considered the recommendation of the Planning, Building and Zoning Committee and the Findings of Fact and Recommendation of the Kendall County Zoning Board of Appeals, and has determined that said petition is in conformance with the provisions and intent of the Kendall County Zoning Ordinance; and

WHEREAS, this special use permit shall be treated as a covenant running with the land and is binding on the

State of Illinois
County of Kendall

Zoning Petition
#24-10

successors, heirs, and assigns as to the same special use conducted on the property; and

NOW, THEREFORE, BE IT ORDAINED, BY THE COUNTY BOARD OF KENDALL COUNTY, ILLINOIS, as follows:

1. The Findings of Fact and Recommendation of the Kendall County Zoning Board of Appeals attached hereto as Exhibit B is hereby accepted and the Findings of Fact set forth therein are hereby adopted as the Findings of Fact and Conclusions of this Kendall County Board.
2. The Kendall County Board hereby grants approval of Petitioner's petition for a special use permit allowing the operation of a landscaping business on the subject property subject to the following conditions:
 - A. The site shall be developed substantially in accordance with the site plan attached hereto as Exhibit C and landscaping plan attached hereto as Exhibit D.
 - B. Within ninety (90) days of the approval of the special use permit, the owners of the subject property shall dedicate a strip of land forty feet (40') in depth along the northern property line to Oswego Township. The Kendall County Planning, Building and Zoning Committee may grant an extension to this deadline.
 - C. The location and size of the septic system should be assessed to determine if the system is placed and sized properly for the use allowed by this special use permit.
 - D. Equipment and vehicles related to the business allowed by the special use permit may be stored outdoors at the subject property when the business is closed.
 - E. None of the vehicles or equipment parked or stored on the subject property related to the business allowed by the special use permit shall be considered agricultural vehicles or agricultural equipment.
 - F. All of the vehicles and equipment stored on the subject property related to the business allowed by the special use permit shall be maintained in good condition with no deflated tires and shall be licensed if required by law.
 - G. The owners of the businesses allowed by this special use permit shall diligently monitor the property for leaks from equipment and vehicles parked and stored and items stored on the subject property and shall promptly clean up the site if leaks occur.
 - H. Except for the purposes of loading and unloading, all landscape related materials shall be stored at the designated storage areas shown on the site plan attached hereto as Exhibit C. The maximum height of the piles of landscaping related material shall be ten feet (10').
 - I. A maximum of fifteen (15) employees of the business allowed by this special use permit, including the owners of the business allowed by this special use permit, may report to this site for work.
 - J. No customers of the business allowed by the special use permit shall be invited onto the subject property for matters related to the business allowed by the special use permit.
 - K. The hours of operation of the business allowed by this special use permit shall be Monday through Friday from 6:00 a.m. until 6:00 p.m. and the business shall be open twenty-four (24) hours to address snow events. The owners of the business allowed by this special use permit may reduce these hours of operation.
 - L. Any structures constructed, installed, or used related to the business allowed by this special use permit on the property shall not be considered for agricultural purposes and must secure

State of Illinois
County of Kendall

Zoning Petition
#24-10

applicable building permits. This restriction does not apply to greenhouses.

- M. No signs are shown on the site plan attached hereto as Exhibit C. The owner of the business allowed by the special use permit may request a sign in the future using the minor amendment process, provided that the proposed sign meets the requirements of the Kendall County Zoning Ordinance.
- N. Only lighting related to security may be installed outdoors at the subject property.
- O. Damaged or dead plantings described on the landscaping plan attached hereto as Exhibit D shall be replaced on a timeframe approved by the Kendall County Planning, Building and Zoning Department.
- P. The vegetation described in the landscaping plan attached hereto as Exhibit D shall be installed within one (1) year of the approval of the special use permit. The Kendall County Planning, Building and Zoning Committee may grant an extension to the deadline to install the vegetation. Materials and vegetation stored in the greenhouses and material storage area shall not be subject to this requirement and shall not be considered part of the landscaping plan.
- Q. No landscape waste generated off the property can be burned on the subject property.
- R. The noise regulations are as follows:

Day Hours: No person shall cause or allow the emission of sound during daytime hours (7:00 A.M. to 10:00 P.M.) from any noise source to any receiving residential land which exceeds sixty-five (65) dBA when measured at any point within such receiving residential land, provided; however, that point of measurement shall be on the property line of the complainant.

Night Hours: No person shall cause or allow the emission of sound during nighttime hours (10:00 P.M. to 7:00 A.M.) from any noise source to any receiving residential land which exceeds fifty-five (55) dBA when measured at any point within such receiving residential land provided; however, that point of measurement shall be on the property line of the complainant.

EXEMPTION: Powered Equipment: Powered equipment, such as lawn mowers, small lawn and garden tools, riding tractors, and snow removal equipment which is necessary for the maintenance of property is exempted from the noise regulations between the hours of seven o'clock (7:00) A.M. and ten o'clock (10:00) P.M.

Only homes permitted prior to the date of the issuance of the special use permit shall have standing to file noise complaints.

- S. At least one (1) functioning fire extinguisher and one (1) first aid kit shall be on the subject property. Applicable signage stating the location of the fire extinguisher and first aid kit shall be placed on the subject property.
- T. The owners of the business allowed by this special use permit acknowledge and agree to follow Kendall County's Right to Farm Clause.
- U. The property owner and operator of the business allowed by this special use permit shall follow all applicable Federal, State, and Local laws related to the operation of this type of business, including, but not limited to, installed the applicable number of ADA required parking spaces.
- V. Failure to comply with one or more of the above conditions or restrictions could result in the amendment or revocation of the special use permit.

State of Illinois
County of Kendall

Zoning Petition
#24-10

- W. If one or more of the above conditions is declared invalid by a court of competent jurisdiction, the remaining conditions shall remain valid.
3. This special use permit shall be treated as a covenant running with the land and is binding on the successors, heirs, and assigns as to the same special use conducted on the property.
 4. The Zoning Administrator and other appropriate County Officials are hereby authorized and directed to amend the Official Zoning Map of Kendall County to reflect this special use permit.

IN WITNESS OF, this ordinance has been enacted by a majority vote of the Kendall County Board and is effective this 16th day of July, 2024.

Attest:

Kendall County Clerk
Debbie Gillette

Kendall County Board Chairman
Matt Kellogg

Exhibit "A" – Legal Description

THAT PART OF THE EAST 1/2 OF THE SOUTH EAST 1/4 OF SECTION 22, TOWNSHIP 37 NORTH, RANGE 8 EAST OF THE THIRD PRINCIPAL MERIDIAN, DESCRIBED AS FOLLOWS: COMMENCING AT THE NORTH WEST CORNER OF THE SOUTH EAST 1/4 OF SAID SECTION 22, THENCE SOUTH 89 DEGREES, 50 MINUTES, 30 SECONDS EAST 1417.6 FEET FOR THE POINT OF BEGINNING, THENCE SOUTH 89 DEGREES 50 MINUTES 30 SECONDS EAST 287.12 FEET, THENCE SOUTH 00 DEGREES 09 MINUTES 30 SECONDS WEST 517.87 FEET, THENCE NORTH 89 DEGREES 50 MINUTES 30 SECONDS WEST 137.22 FEET, THENCE NORTH 00 DEGREES 09 MINUTES 30 SECONDS EAST 96.87 FEET, THENCE NORTH 072 DEGREES 37 MINUTES 30 SECONDS WEST 156.93 FEET, THENCE NORTH 00 DEGREES 09 MINUTES 30 SECONDS EAST 374.54 FEET TO THE POINT OF BEGINNING IN THE TOWNSHIP OF OSWEGO, KENDALL COUNTY, ILLINOIS.

Exhibit B

The Kendall County Zoning Board of Appeals held a public hearing on the Petition 24-10 on July 1, 2024. On the same date, the Kendall County Zoning Board of Appeals issued the following findings of fact and recommendation by a vote of four (4) in favor and zero (0) in opposition. Members Mohr, Prodehl, and Whitfield were absent.

FINDINGS OF FACT

The establishment, maintenance, or operation of the special use will not be detrimental to or endanger the public health, safety, morals, comfort, or general welfare. Numerous landscaping businesses have been approved throughout unincorporated Kendall County, including one (1) at 655 Wooley Road. The proposed use is along Wooley Road, which is classified as a minor collector. Reasonable restrictions can be placed in the special use permit to ensure the health, safety, and general welfare of the area are protected.

The special use will not be substantially injurious to the use and enjoyment of other property in the immediate vicinity for the purposes already permitted, nor substantially diminish and impair property values within the neighborhood. The Zoning classification of property within the general area of the property in question shall be considered in determining consistency with this standard. The proposed use makes adequate provisions for appropriate buffers, landscaping, fencing, lighting, building materials, open space and other improvements necessary to insure that the proposed use does not adversely impact adjacent uses and is compatible with the surrounding area and/or the County as a whole. The subject property is in a large A-1 Agricultural District. The use will not impede farms or residential uses on the adjoining properties. Reasonable restrictions may be placed on the special use permit to address hours of operation, noise, landscaping, and site layout to prevent neighboring property owners are not negatively impacted by the proposed use.

Adequate utilities, access roads and points of ingress and egress, drainage, and/or other necessary facilities have been or are being provided. The proposal states that customers will not come to the property. Given the limited number of employees reporting to the property, adequate utilities, access roads, and ingress/egress exists. A stormwater permit and conditions in the special use permit can address concerns related to drainage.

The special use shall in all other respects conform to the applicable regulations of the district in which it is located, except as such regulations may in each instance be modified by the County Board pursuant to the recommendation of the Zoning Board of Appeals. This is true.

The special use is consistent with the purpose and objectives of the Land Resource Management Plan and other adopted County or municipal plans and policies. The proposal is also consistent with a goal and objective found on page 6-34 of the Land Resource Management Plan, “A strong base of agriculture, commercial and industrial uses that provide a broad range of job opportunities, a healthy tax base, and improved quality of services to County residents.” “Encourage opportunities for locally owned business.” In addition, the future land use map calls for this property to be Mixed Use Business. Similar types of uses were planned for the subject property and properties in the vicinity of the subject property.

RECOMMENDATION

Approval subject to the following conditions and restrictions:

1. The site shall be developed substantially in accordance with the submitted site plan and landscaping plan.
2. Within ninety (90) days of the approval of the special use permit, the owners of the subject property shall dedicate a strip of land forty feet (40') in depth along the northern property line to Oswego Township. The Kendall County Planning, Building and Zoning Committee may grant an extension

to this deadline.

3. The location and size of the septic system should be assessed to determine if the system is placed and sized properly for the use allowed by this special use permit.
4. Equipment and vehicles related to the business allowed by the special use permit may be stored outdoors at the subject property when the business is closed.
5. None of the vehicles or equipment parked or stored on the subject property related to the business allowed by the special use permit shall be considered agricultural vehicles or agricultural equipment.
6. All of the vehicles and equipment stored on the subject property related to the business allowed by the special use permit shall be maintained in good condition with no deflated tires and shall be licensed if required by law.
7. The owners of the businesses allowed by this special use permit shall diligently monitor the property for leaks from equipment and vehicles parked and stored and items stored on the subject property and shall promptly clean up the site if leaks occur.
8. Except for the purposes of loading and unloading, all landscape related materials shall be stored at the designated storage areas shown on the submitted site plan. The maximum height of the piles of landscaping related material shall be ten feet (10').
9. A maximum of fifteen (15) employees of the business allowed by this special use permit, including the owners of the business allowed by this special use permit, may report to this site for work.
10. No customers of the business allowed by the special use permit shall be invited onto the subject property for matters related to the business allowed by the special use permit.
11. The hours of operation of the business allowed by this special use permit shall be Monday through Friday from 6:00 a.m. until 6:00 p.m. and the business shall be open twenty-four (24) hours to address snow events. The owners of the business allowed by this special use permit may reduce these hours of operation.
12. Any structures constructed, installed, or used related to the business allowed by this special use permit on the property shall not be considered for agricultural purposes and must secure applicable building permits. This restriction does not apply to greenhouses.
13. No signs are shown on the site plan. The owner of the business allowed by the special use permit may request a sign in the future using the minor amendment process, provided that the proposed sign meets the requirements of the Kendall County Zoning Ordinance.
14. Only lighting related to security may be installed outdoors at the subject property.
15. Damaged or dead plantings described on the landscaping plan shall be replaced on a timeframe approved by the Kendall County Planning, Building and Zoning Department.
16. The vegetation described in the landscaping plan shall be installed within one (1) year of the approval of the special use permit. The Kendall County Planning, Building and Zoning Committee may grant an extension to the deadline to install the vegetation. Materials and vegetation stored in the greenhouses and material storage area shall not be subject to this requirement and shall not be considered part of the landscaping plan.
17. No landscape waste generated off the property can be burned on the subject property.

18. The noise regulations are as follows:

Day Hours: No person shall cause or allow the emission of sound during daytime hours (7:00 A.M. to 10:00 P.M.) from any noise source to any receiving residential land which exceeds sixty-five (65) dBA when measured at any point within such receiving residential land, provided; however, that point of measurement shall be on the property line of the complainant.

Night Hours: No person shall cause or allow the emission of sound during nighttime hours (10:00 P.M. to 7:00 A.M.) from any noise source to any receiving residential land which exceeds fifty-five (55) dBA when measured at any point within such receiving residential land provided; however, that point of measurement shall be on the property line of the complainant.

EXEMPTION: Powered Equipment: Powered equipment, such as lawn mowers, small lawn and garden tools, riding tractors, and snow removal equipment which is necessary for the maintenance of property is exempted from the noise regulations between the hours of seven o'clock (7:00) A.M. and ten o'clock (10:00) P.M.

Only homes permitted prior to the date of the issuance of the special use permit shall have standing to file noise complaints.

19. At least one (1) functioning fire extinguisher and one (1) first aid kit shall be on the subject property. Applicable signage stating the location of the fire extinguisher and first aid kit shall be placed on the subject property.
20. The owners of the business allowed by this special use permit acknowledge and agree to follow Kendall County's Right to Farm Clause.
21. The property owner and operator of the business allowed by this special use permit shall follow all applicable Federal, State, and Local laws related to the operation of this type of business, including, but not limited to, installed the applicable number of ADA required parking spaces.
22. Failure to comply with one or more of the above conditions or restrictions could result in the amendment or revocation of the special use permit.
23. If one or more of the above conditions is declared invalid by a court of competent jurisdiction, the remaining conditions shall remain valid.
24. This special use permit shall be treated as a covenant running with the land and is binding on the successors, heirs, and assigns as to the same special use conducted on the property.

SCHUSTER RESIDENCE

2142 WOOLEY ROAD
OSWEGO, IL
SITE IMPROVEMENT PLANS

Attachment 2 Page 9

SUGGESTED CONSTRUCTION SEQUENCE

1. INSTALL SILT & CHAIN LINK FENCE AT LOCATIONS AS INDICATED ON THE PLANS.
2. SITE DEMOLITION AND PREP
3. EXCAVATE AND PREP FOR FINISH INSTALLATIONS..
4. CONSTRUCT HARDSCAPE IMPROVEMENTS PER PLAN.
5. COMPLETE TOPSOIL PLACEMENT AND PERMANENT SEEDING/SODDING AND LANDSCAPING.
6. REMOVE AND PROPERLY DISPOSE OF TEMPORARY EROSION CONTROL MEASURES.

BENCHMARK: (OFF-SITE)

TBD

EL = XXX.XX NAVD88

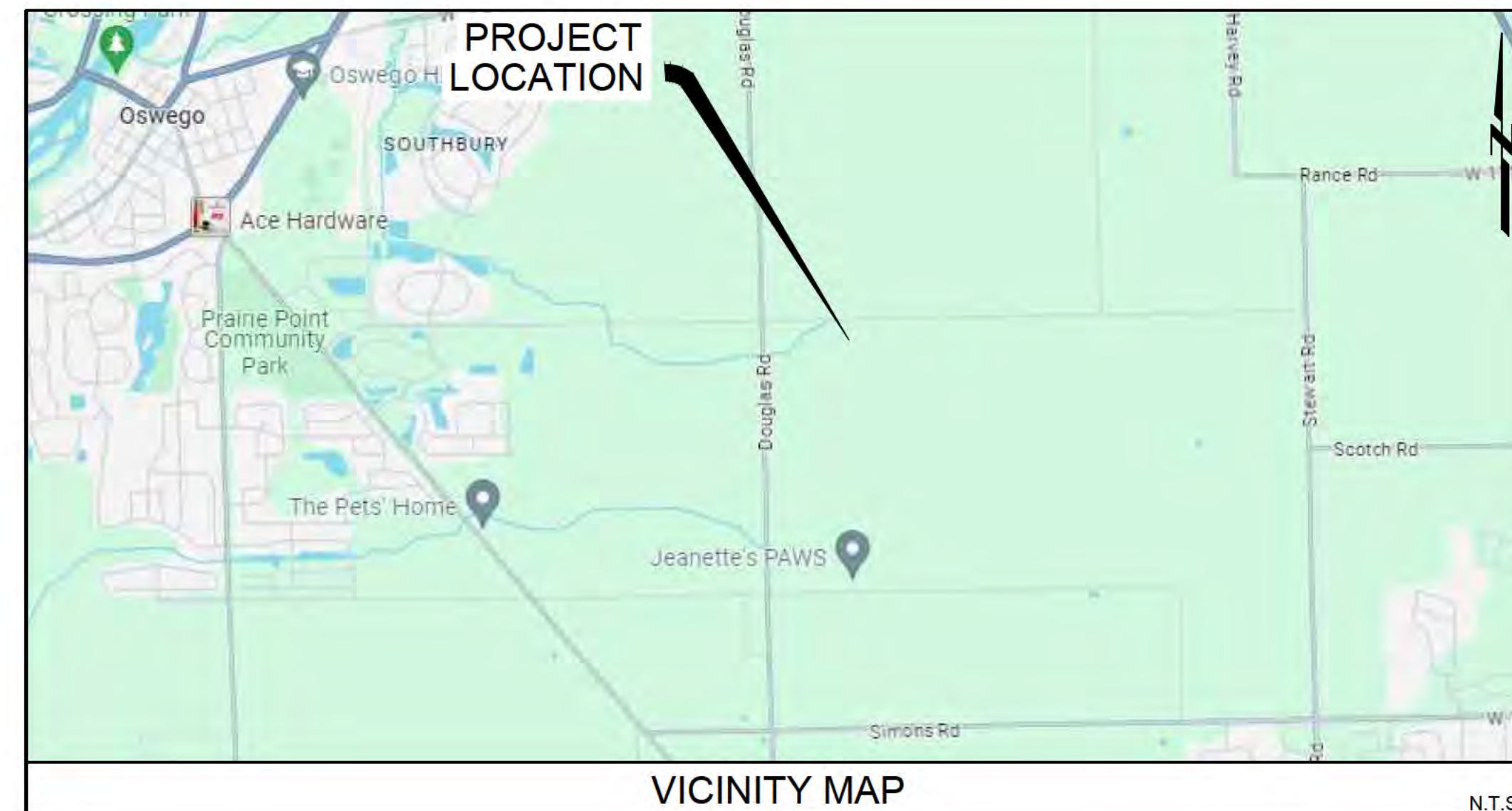
SITE BENCHMARK
CONCRETE CORNER AT SW CORNER OF SITE

ELEVATION = 685.45 NAVD88

PREPARED FOR:

ALEX SCHUSTER

ALPINE RIDGE BUILDERS, LLC
12249 S. RHEA DRIVE, STE. 2
PLAINFIELD, IL 60585



INDEX OF DRAWINGS

SHEET NO.	DRAWING TITLE
C1.0	COVER SHEET
C2.0	EXISTING CONDITIONS
C2.1	SITE DEMO AND EROSION CONTROL PLAN
C3.0	SITE GRADING PLAN

CONSTRUCTION NOTE

1. A SET OF THE FINAL APPROVED ENGINEERING PLANS SHALL BE ON SITE DURING ANY CONSTRUCTION ACTIVITIES AT ALL TIMES. FAILURE TO DO SO MAY RESULT IN A NOTICE TO STOP CONSTRUCTION ACTIVITIES.

SURFACE WATER STATEMENT

STATE OF ILLINOIS)
) SS
COUNTY OF DU PAGE)

TO THE BEST OF OUR KNOWLEDGE AND BELIEF THE DRAINAGE OF SURFACE WATERS WILL NOT BE CHANGED BY THE CONSTRUCTION OF SUCH DEVELOPMENT OR ANY PART THEREOF, OR, THAT IF SUCH SURFACE WATER DRAINAGE WILL BE CHANGED, REASONABLE PROVISION HAS BEEN MADE FOR COLLECTION AND DIVERSION OF SUCH SURFACE WATERS INTO PUBLIC AREAS, OR DRAINS WHICH THE OWNER HAS A RIGHT TO USE, AND THAT SUCH SURFACE WATERS WILL BE PLANNED FOR IN ACCORDANCE WITH GENERALLY ACCEPTED ENGINEERING PRACTICES SO AS TO REDUCE THE LIKELIHOOD OF DAMAGE TO THE ADJOINING PROPERTY BECAUSE OF THE CONSTRUCTION OF THE DEVELOPMENT.

DATED THIS 18TH DAY OF APRIL, A.D., 2024.

THOMAS G. CRNKOVICH, III

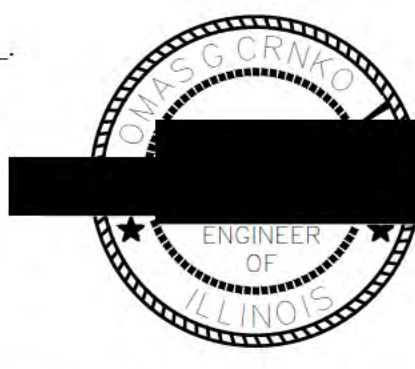
ILLINOIS REGISTERED
PROFESSIONAL ENGINEER
062-060814

STATE REGISTRATION NUMBER
11/30/24

REGISTRATION EXPIRATION / RENEWAL DATE
OWNER COMPANY NAME: RIVERCREST CONSULTING, LLC

SIGNATURE SIGNATURE

TITLE: MANAGING PARTNER TITLE:



COVER SHEET

SCHUSTER RESIDENCE

2142 WOOLEY ROAD, OSWEGO, IL

PROJ. MGR.: TGC
PROJ. ENG.: TGC
DRAWN BY: TGC
DATE: 04/18/24
SCALE: N.T.S.

SHEET NO.
C1.0

PROJ. NUMBER: 22119

REVISIONS

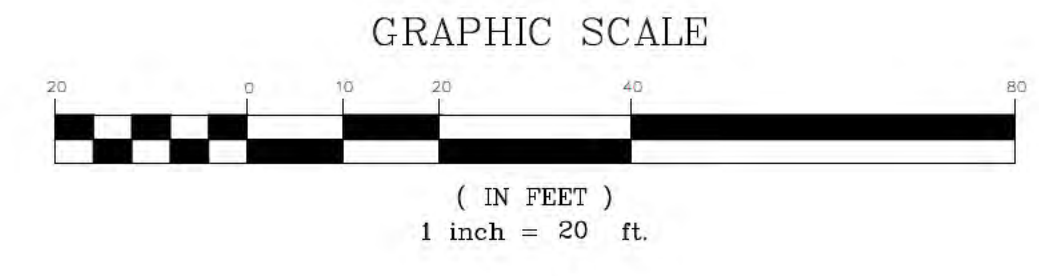
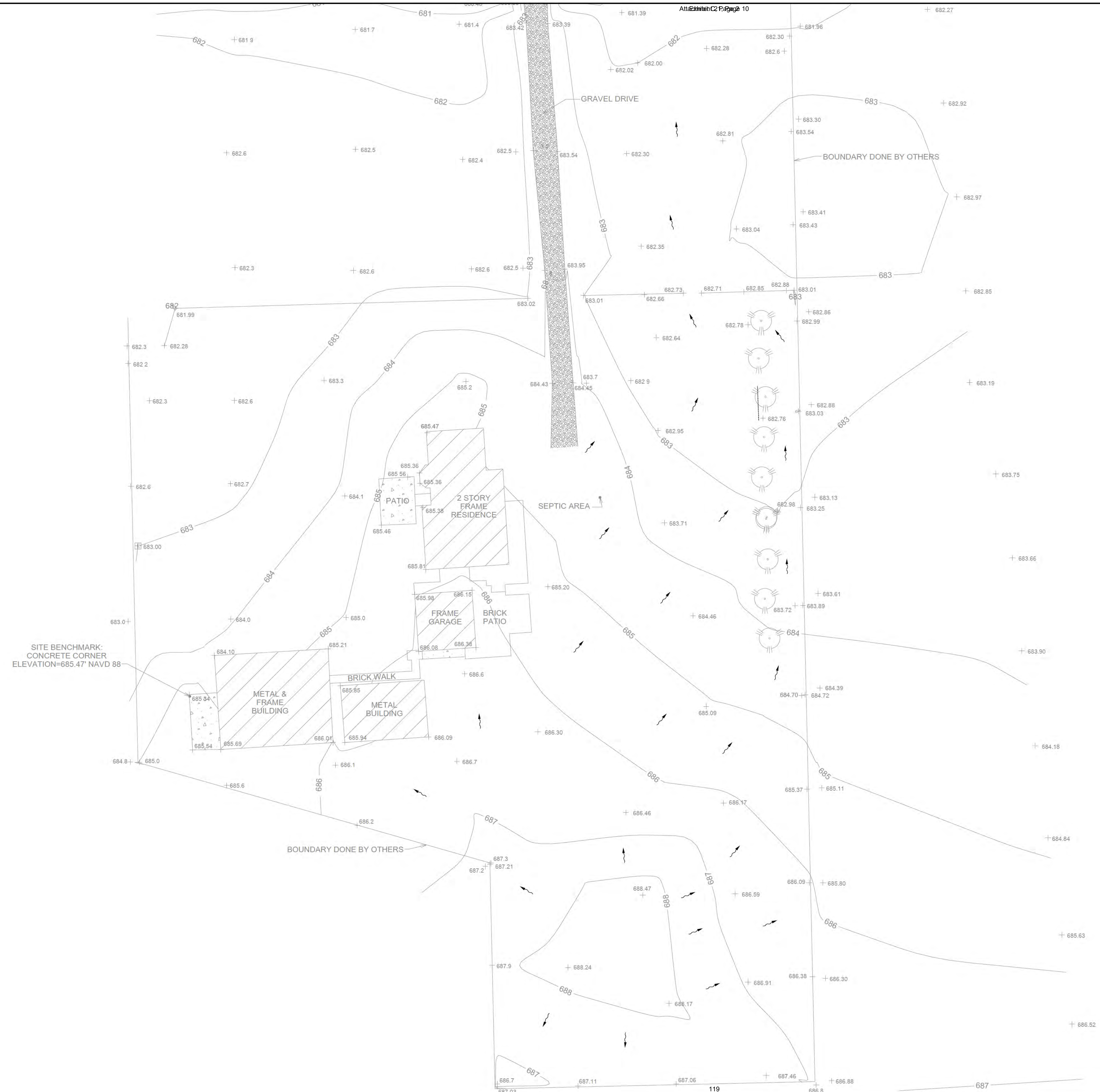
NO.	DATE	DESCRIPTION	BY

Civil Engineering
Stormwater Management
Entitlements

RIVERCREST CONSULTING, LLC
6952 HANSLUK COURT, UNIT 13
NAPERVILLE, IL 60564
(630) 538-5108

PENDING APPROVAL - NOT FOR CONSTRUCTION

Call Before You Dig
JULIE
800-892-0123
48 HOURS (2 working days) BEFORE YOU DIG



LEGEND

	STORM SEWER
	SANITARY SEWER
	COMBINED SEWER
	WATER MAIN
	GAS MAIN
	UNDERGROUND TELEPHONE LINE
	UNDERGROUND ELECTRIC LINE
	UNDERGROUND CATV LINE
	CATV
	OVERHEAD WIRE(S) ON UTILITY POLES
	FIBER OPTIC LINE
	RAILROAD
	FENCE
	GUARDRAIL
	EDGE OF WATER
	WETLAND LIMITS
	SANITARY MANHOLE
	STORM MANHOLE
	CATCH BASIN
	INLET
	FLARED END SECTION
	ELECTRIC MANHOLE
	TELEPHONE MANHOLE
	TELEPHONE UPRIGHT
	ELECTRIC UPRIGHT
	CABLE TV UPRIGHT
	FIRE HYDRANT
	VALVE AND VAULT
	WATER VALVE
	B BOX
	AUXILIARY VALVE
	WELL
	GAS VALVE
	HAND HOLE
	STREET LIGHT
	UTILITY POLE
	TRAFFIC SIGNAL
	TRAFFIC SIGNAL BOX
	SPRINKLER HEAD
	BOLLARD
	MAIL BOX
	SIGN
	UNIDENTIFIED MANHOLE
	CONTOUR
	SPOT ELEVATION
	RIGHT-OF-WAY MONUMENT
	DISC
	IRON / STEEL ROD
	IRON PIPE
	CUT CROSS
	PK / MAG NAIL
	RAILROAD SPIKE
	SOIL BORING
	TREE WITH SIZE
	FIR TREE WITH SIZE
	BUSH
	ASPHALT
	CONCRETE
	GRAVEL

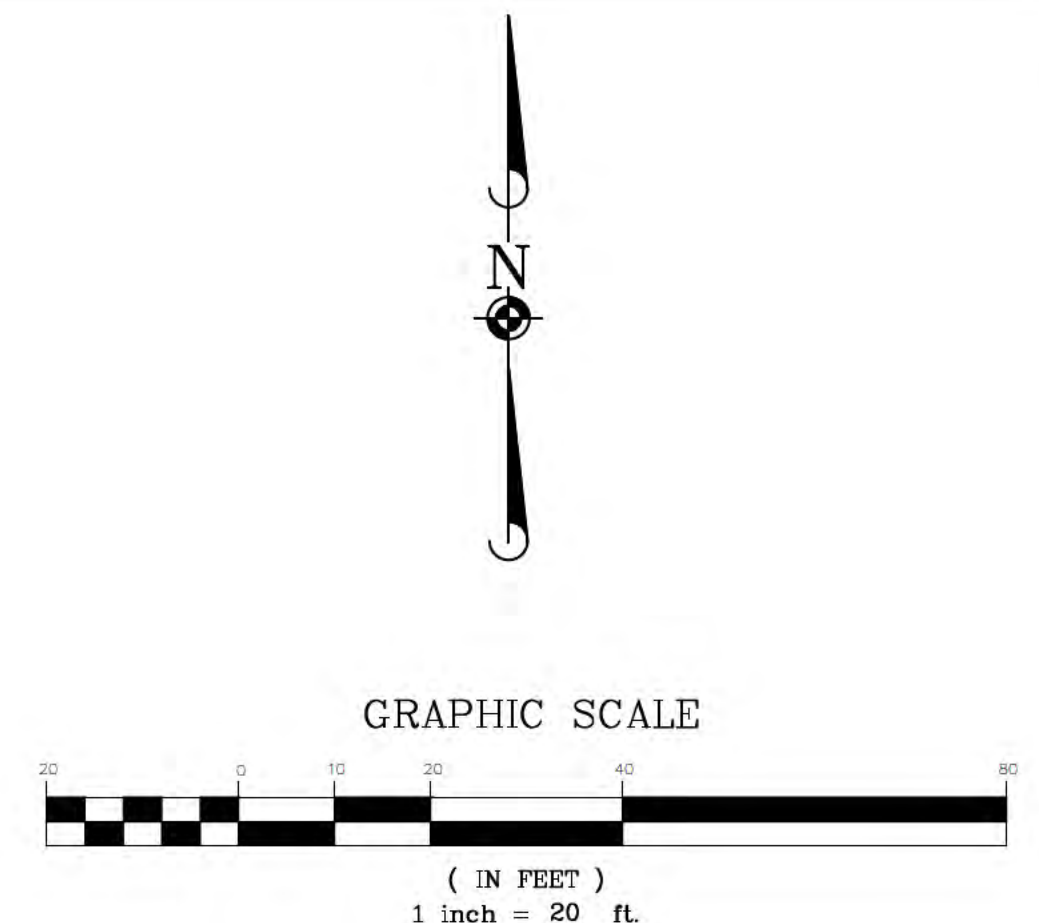
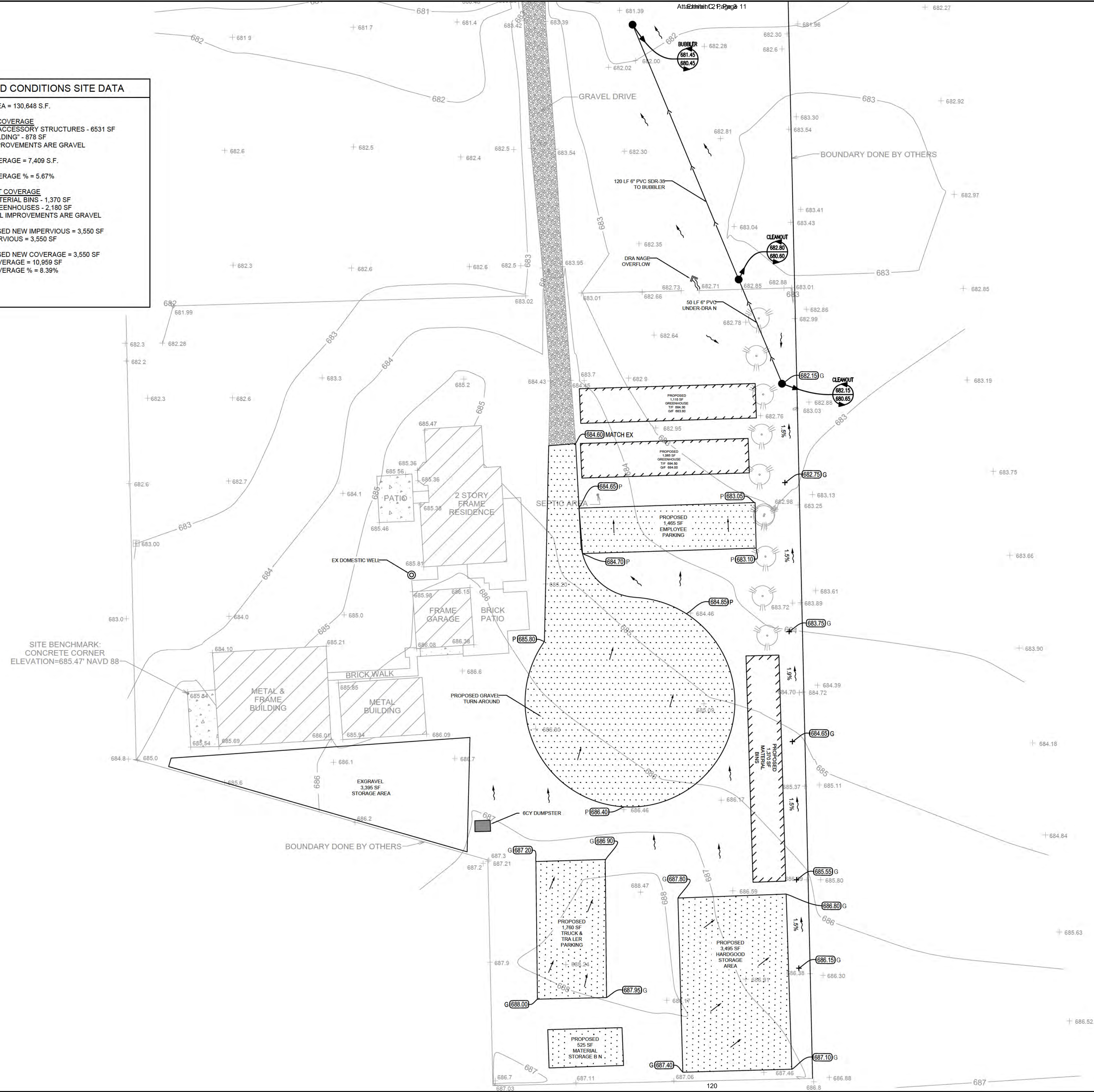
NOTE:
 UNDERGROUND UTILITIES ARE SHOWN BY USING PHYSICAL EVIDENCE FOUND ON THE SURFACE AND/OR FROM UTILITY COMPANY FIELD STAKES AND, THEREFORE, THEIR LOCATIONS ARE APPROXIMATE AND SUSPECTED AND MAY NOT BE COMPLETELY ACCURATE. FOR MORE ACCURATE LOCATION, FIELD EXCAVATE.

PIPE FLOW DIRECTIONS, IF SHOWN, ARE BASED ON FIELD INVERT ELEVATIONS UNLESS EXISTING PLANS INDICATE OTHERWISE, IN WHICH CASE THE EXISTING PLAN FLOW DIRECTION IS SHOWN.

LAST DATE OF FIELD WORK: MARCH 8, 2022.

EXISTING CONDITIONS & PLAT OF SURVEY SCHUSTER RESIDENCE 2142 WOOLEY ROAD, OSWEGO, IL	PENDING APPROVAL - NOT FOR CONSTRUCTION
C2.0	SHEET NO.
PROJ. MGR.: TGC PROJ. ENG.: TGC DRAWN BY: TGC DATE: 04/18/24 SCALE: 1"=20' PROJ. NUMBER: 22119	RIVERCREST CONSULTING, LLC Civil Engineering Stormwater Management Entitlements 8952 HANBLIK COURT, UNIT 13 NAPERVILLE, IL 60564 (630) 538-5108 REVISIONS

PROPOSED CONDITIONS SITE DATA	
TOTAL LOT AREA = 130,648 S.F.	
EXISTING LOT COVERAGE	
EX HOME AND ACCESSORY STRUCTURES - 6531 SF	
EX "METAL BUILDING" - 878 SF	
REMAINING IMPROVEMENTS ARE GRAVEL	
TOTAL EX COVERAGE = 7,409 S.F.	
TOTAL EX COVERAGE % = 5.67%	
PROPOSED LOT COVERAGE	
PROPOSED MATERIAL BINS - 1,370 SF	
PROPOSED GREENHOUSES - 2,180 SF	
ALL ADDITIONAL IMPROVEMENTS ARE GRAVEL	
TOTAL PROPOSED NEW IMPERVIOUS = 3,550 SF	
NET NEW IMPERVIOUS = 3,550 SF	
TOTAL PROPOSED NEW COVERAGE = 3,550 SF	
TOTAL LOT COVERAGE = 10,959 SF	
TOTAL LOT COVERAGE % = 8.39%	



SITE PAVING LEGEND	
	PRIVATE CONCRETE PAVEMENT 5" P.C. CONCRETE PAVEMENT 6" AGGREGATE BASE (CA-6)
	PUBLIC CONCRETE WALK 5" P.C. CONCRETE PAVEMENT 6" P.C. CONCRETE PAVEMENT AT DRIVEWAY 6" AGGREGATE BASE (CA-6)
	GRAVEL PAVEMENT DRIVE 8" AGGREGATE BASE COURSE, TYPE B, CA-6 NON-WOVEN GEOTEXTILE ROADWAY FABRIC

- | GENERAL NOTES | |
|---------------|--|
| 1. | ALL DIMENSIONS ARE TO FACE OF BUILDING UNLESS OTHERWISE INDICATED. |
| 2. | ALL DISTURBED LANDSCAPE AREAS ARE TO BE RESTORED TO EX. CONDITION. 6" TOPSOIL RESPREAD AND SEEDING. |
| 3. | STOCKPILES SHALL BE PROVIDED WITH PERIMETER SILT FENCE AT ALL TIMES DURING CONSTRUCTION. |
| 4. | STOCKPILES TO REMAIN IN PLACE MORE THAN THREE (3) DAYS SHALL BE PROVIDED WITH SOIL EROSION AND SEDIMENTATION CONTROL. |
| 5. | LAND DISTURBANCE ACTIVITIES IN STREAMS AND DITCHES SHALL BE AVOIDED WHERE POSSIBLE. |
| 6. | SOIL STOCKPILES SHALL NOT BE LEFT OVERNIGHT IN DITCHES OR WITHIN FLOODPLAINS. |
| 7. | ALL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES SHALL BE REMOVED WITH THIRTY (30) DAYS AFTER FINAL STABILIZATION IS ACHIEVED. TRAPPED SEDIMENT AND OTHER SOILS RESULTING FROM TEMPORARY MEASURES SHALL BE PROPERLY DISPOSED OF PRIOR TO PERMANENT STABILIZATION. |
| 8. | A MASONRY TREATMENT OR DROP SIDING MAY BE REQUIRED TO ENSURE THAT NO MORE THAN SIX INCHES OF THE FOUNDATION REMAIN EXPOSED IN ANY LOCATION. |
| 9. | A CONCRETE WASHOUT AREA SHOULD BE PROVIDED ONSITE. CONCRETE CANNOT BE WASHED OUT INTO THE PUBLIC RIGHT OF WAY OR STORM SEWER SYSTEM. |
| 10. | INSPECTION OF UTILITY TAPS AND DISCONNECTS SHALL BE INSPECTED BY CITY OF NAPERVILLE STAFF PRIOR TO BACKFILL. 24 HOUR NOTICE SHALL BE REQUIRED AHEAD OF INSPECTIONS. |
| 11. | PROPOSED SIDEWALK SHALL MATCH EXISTING GRADE AT THE LIMITS OF REPLACEMENT WHERE ABUTTING TO EXISTING WALK. |
| 12. | SPECIAL CARE SHALL BE TAKEN TO MINIMIZE COMPACTION OF THE PROPOSED PERMEABLE GRASSPAVE SUBGRADE AREAS. PRIOR TO CONSTRUCTION OF ANY PERMEABLE PAVER SYSTEMS, CITY OF OSWEGO ENGINEERING SHALL BE CONTACTED TO OBSERVE RELATED WORK TO ENSURE PROPER INSTALLATION. |
| 13. | PUMPING OF SEDIMENT LADEN WATER INTO ANY STORMWATER FACILITY OR DRAINAGE-WAY NOT DESIGNATED TO BE A SEDIMENT TRAP IS PROHIBITED. |

REVISIONS																																							
RIVERCREST CONSULTING, LLC Civil Engineering Stormwater Management Entitlements																																							
8952 HANSLIK COURT, UNIT 13 NAPERVILLE, IL 60564 (630) 538-5108																																							
<table border="1"> <tr> <td colspan="2">SITE GRADING PLAN</td> <td colspan="2">SCHUSTER RESIDENCE</td> <td colspan="2">2142 WOOLEY ROAD, OSWEGO, IL</td> </tr> <tr> <td colspan="6">PENDING APPROVAL - NOT FOR CONSTRUCTION</td> </tr> <tr> <td>PROJ. MGR.:</td> <td>TGC</td> <td>PROJ. ENG.:</td> <td>TGC</td> <td>DRAWN BY:</td> <td>TGC</td> </tr> <tr> <td>DATE:</td> <td>04/18/24</td> <td>SCALE:</td> <td>1"=20'</td> <td colspan="2">SHEET NO.</td> </tr> <tr> <td colspan="2">C3.0</td> <td colspan="4">PROJ. NUMBER: 22119</td> </tr> </table>										SITE GRADING PLAN		SCHUSTER RESIDENCE		2142 WOOLEY ROAD, OSWEGO, IL		PENDING APPROVAL - NOT FOR CONSTRUCTION						PROJ. MGR.:	TGC	PROJ. ENG.:	TGC	DRAWN BY:	TGC	DATE:	04/18/24	SCALE:	1"=20'	SHEET NO.		C3.0		PROJ. NUMBER: 22119			
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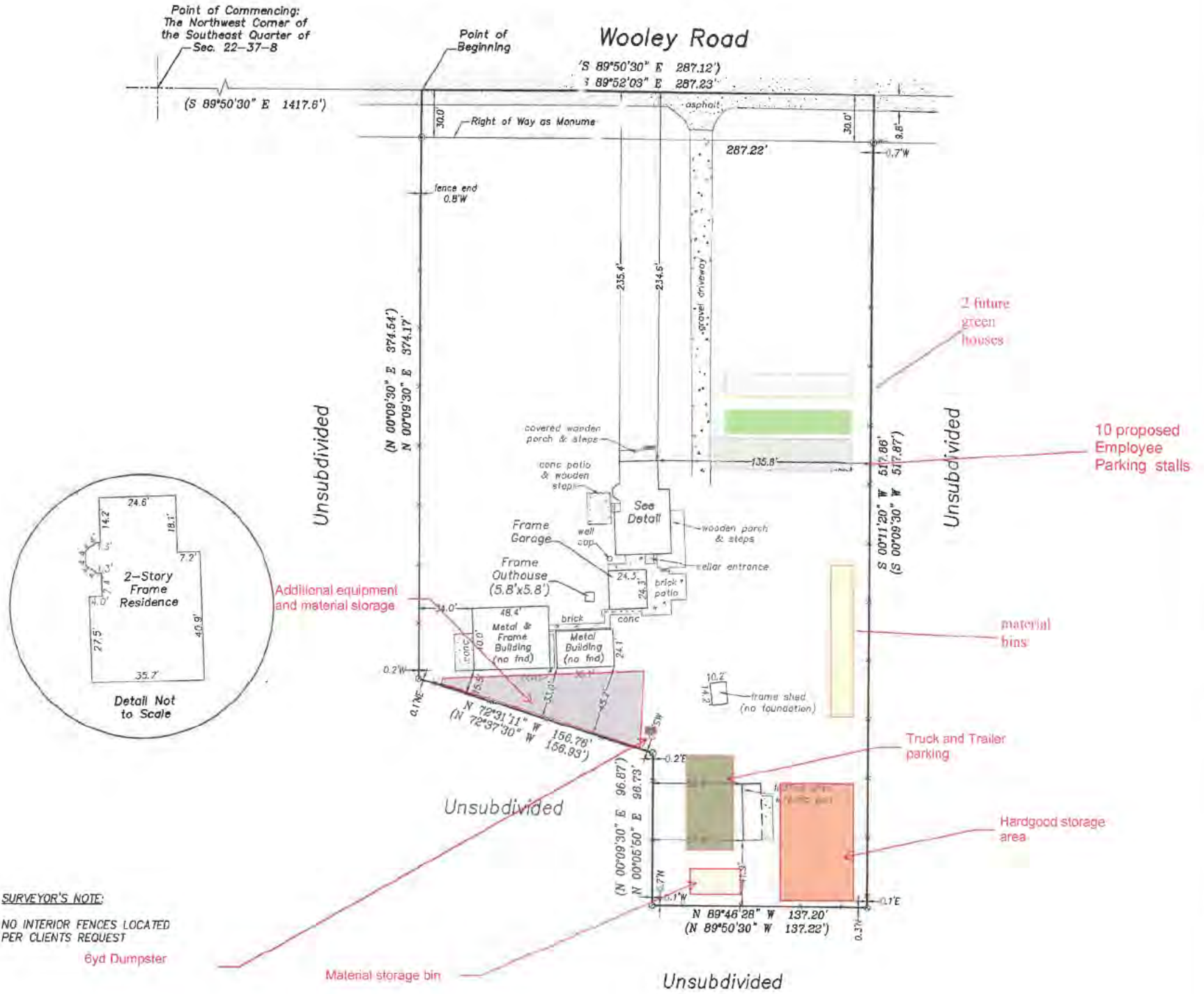
PLAT OF SURVEY

THAT PART OF THE EAST 1/2 OF THE SOUTHEAST 1/4 OF SECTION 22, TOWNSHIP 37 NORTH, RANGE 8 EAST OF THE THIRD PRINCIPAL MERIDIAN, DESCRIBED AS FOLLOWS:

COMMENCING AT THE NORTHWEST CORNER OF THE SOUTHEAST 1/4 OF SAID SECTION 22, THENCE SOUTH 89 DEGREES 50 MINUTES 30 SECONDS EAST 1417.6 FEET FOR THE POINT OF BEGINNING; THENCE SOUTH 89 DEGREES 50 MINUTES 30 SECONDS EAST, 287.12 FEET; THENCE SOUTH 00 DEGREES 09 MINUTES 30 SECONDS WEST, 517.87 FEET; THENCE NORTH 89 DEGREES 50 MINUTES 30 SECONDS WEST, 137.22 FEET; THENCE NORTH 00 DEGREES 09 MINUTES 30 SECONDS EAST, 96.87 FEET; THENCE NORTH 72 DEGREES 37 MINUTES 30 SECONDS WEST, 156.93 FEET; THENCE NORTH 00 DEGREES 09 MINUTES 30 SECONDS EAST 374.54 FEET TO THE POINT OF BEGINNING, IN THE TOWNSHIP OF OSWEGO, KENDALL COUNTY, ILLINOIS.

COMMONLY KNOWN AS: 2142 WOOLEY ROAD, OSWEGO, ILLINOIS.

PROPERTY CONTAINS: 3.0 ACRES (30,648.3 SQUARE FEET), MORE OR LESS.



SURVEYOR'S NOTE:
NO INTERIOR FENCES LOCATED PER CLIENTS REQUEST

STATE OF ILLINOIS)
) SS
COUNTY OF KENDALL)

WE, CORNERSTONE SURVEYING, P.C., AN ILLINOIS PROFESSIONAL DESIGN FIRM LAND SURVEYOR CORPORATION NO. 184.006522, DO HEREBY CERTIFY THAT THIS PROFESSIONAL SERVICE CONFORMS TO THE CURRENT ILLINOIS MINIMUM STANDARDS FOR A BOUNDARY SURVEY. SURVEYOR HAS MADE NO INVESTIGATION OR INDEPENDENT SEARCH FOR EASEMENTS OF RECORD, ENCUMBRANCES, RESTRICTIVE COVENANTS, OWNERSHIP TITLE EVIDENCE, OR ANY OTHER FACTS WHICH AN ACCURATE TITLE SEARCH MAY DISCLOSE.

DATED AT YORKVILLE, ILLINOIS ON NOVEMBER 29, 2021.



Michel C. Ensalaco, P.L.S. 2768, Exp. 11/30/2022
Eric C. Pokorny, P.L.S. 3818, Exp. 11/30/2022

TODD SURVEYING

Professional Land Surveying Services
"Cornerstone Surveying PC"
759 John Street, Suite D
Yorkville, IL 60560
Phone: 630-892-1309 Fax: 630-892-5544

Survey is only valid if original seal is shown in red.

Client:	Blacha Law Office, LLC
Book #:	2517
Drawn By:	JULIETT
Reference:	2013-0761
Plot #:	2517-1
Field Work Completed:	11/24/2021
Rev. Date	Rev. Description
Project Number:	2021-1594

Scale: 1" = 50'

⊙ = Found 1/2" Dia. Iron Pipe
 ⊛ = Found 1/2" Dia. Iron Rod
 ⊚ = Found 1" Dia. Square Iron Rod
 (XX.XX)' = Record Distance
 XX.XX' = Measured Distance
 N = North E = East
 S = South W = West
 - - - - - = Fence
 = Concrete/Asphalt

Landscape Design by:
Alex Schuster
ASE Illini-Scapes Inc

Date: 4/23/2024

Landscape Plan: L-1

2142 Wooley Rd

Scale: 1" = 30'

Revision #:





Kendall County Agenda Briefing

Meeting Type: Planning, Building and Zoning
Meeting Date: 7/8/2024
Subject: Approval of Petition 24-11, Map Amendment Rezoning the Property between 276 and 514 Route 52 from A-1 to B-3
Prepared by: Matthew H. Asselmeier, AICP, CFM
Department: Planning, Building and Zoning

Action Requested:

Approval of Petition 24-11, a Request from James W. Filotto on Behalf of Oakland Avenue Storage, LLC for a Map Amendment Rezoning the Property Between 276 and 514 Route 52 (PIN: 09-13-400-011) in Seward Township from A-1 Agricultural District to B-3 Highway Business District

Previous Board/Committee Review:

ZPAC-Approval (9-0-1) on May 7, 2024

Kendall County Regional Planning Commission-Approval (9-0-1) on June 26, 2024, after Shorewood Withdrew Their Intention to File a Formal Objection

Kendall County Zoning Board of Appeals-Approval (4-0-3) on July 1, 2024

Fiscal impact:

N/A

Background and Discussion:

The Petitioner would like to rezone the property to operate a contractor's office or shop (roofing contractor) where no fabrication is done on the premises and where all storage of materials and equipment is within a building. (See Petition 24-12)

Staff Recommendation:

Approval

Attachments:

Memo Dated July 3, 2024



DEPARTMENT OF PLANNING, BUILDING & ZONING

111 West Fox Street • Room 203

Yorkville, IL • 60560

(630) 553-4141

Fax (630) 553-4179

Petition 24-11

**James W. Filotto on Behalf of Oakland Avenue Storage, LLC
Map Amendment Rezoning from A-1 to B-3**

INTRODUCTION

The Petitioner would like a map amendment rezoning approximately eleven more or less (11 +/-) acres located on south side of Route 52 between 276 and 514 Route 52 on the south side of Route 52 from A-1 Agricultural District to B-3 Highway Business District in order to operate a contractor's office at the property.

The Petitioner has also submitted an application for a conditional use permit for construction services business at the property (see Petition 24-12).

If the requested map amendment and conditional use permit are approved, the Petitioner will submit an application for site plan approval.

The application materials are included as Attachment 1. The zoning plat is included as Attachment 2.

SITE INFORMATION

PETITIONERS: James W. Filotto on Behalf of Oakland Avenue Storage, LLC

ADDRESS: Between 276 and 514 Route 52

LOCATION: South Side of Route 52 Approximately 0.4 Miles West of County Line Road



TOWNSHIP: Seward

PARCEL #s: 09-13-400-011

LOT SIZE: 11.0 +/- Acres

EXISTING LAND USE: Agricultural

ZONING: A-1 Agricultural District

LRMP:	Future Land Use	Commercial (County) Mixed Use (Shorewood)
	Roads	Route 52 is a State maintained Arterial Road.
	Trails	There is a trail planned along Route 52
	Floodplain/ Wetlands	There are no floodplains or wetlands on the property.

REQUESTED ACTION: Map Amendment Rezoning Property from A-1 Agricultural District to B-3 Highway Business

APPLICABLE REGULATIONS: Section 13:07 – Map Amendment Procedures

SURROUNDING LAND USE

Location	Adjacent Land Use	Adjacent Zoning	Land Resource Management Plan	Zoning within 1/2 Mile
North	Agricultural and Single-Family Residential	A-1	Public/Institutional (County) Mixed Use and School (Shorewood)	A-1
South	Agricultural	A-1	Suburban Residential (Max 1.0 DU/Acre) (County) Single-Unit Residential Detached (Shorewood)	A-1
East	Landscaping Business	A-1 SU	Commercial (County) Mixed Use (Shorewood)	A-1, A-1 SU, B-2, B-3 SU, B-4, and Will County Zoning
West	Agricultural and Single	A-1	Commercial (County)	A-1, A-1 SU, and

The A-1 special use permits to east are for a landscaping business and fertilizer plant.

The A-1 special use permit to the west is for a landing strip.

The B-3 special use permit to the east is for indoor and outdoor storage.

The property to the north of the subject property is planned to be a school.

PHYSICAL DATA

ENDANGERED SPECIES REPORT

EcoCAT Report submitted and consultation was terminated (see Attachment 1, Pages 9-10).

NATURAL RESOURCES INVENTORY

The application for NRI was submitted on April 22, 2024 (see Attachment 1, Page 8). The LESA Score was 196 indicating a low level of protection. The NRI Report is included as Attachment 3.

ACTION SUMMARY

SEWARD TOWNSHIP

Petition information was sent to Seward Township on April 30, 2024. The Seward Township Planning Commission reviewed the proposal at their meeting on May 14, 2024, and approved the requested map amendment. The proposal goes to the Seward Township Board in July. An email with this information is included as Attachment 4.

VILLAGE OF SHOREWOOD

Petition information was sent to the Village of Shorewood on April 30, 2024. On May 22, 2024, the Village of Shorewood submitted an email requesting that the Kendall County Regional Planning Commission recommend denial. This email is included as Attachment 7. On June 20, 2024, the Village of Shorewood submitted an email stating they would not object to the map amendment and requested no outdoor storage at the property. This email is included as Attachment 8.

MINOOKA FIRE PROTECTION DISTRICT

Petition information was sent to the Minooka Fire Protection District on April 30, 2024.

ZPAC

ZPAC reviewed this proposal at their meeting on May 7, 2024. Seward Township's proposed new Future Land Use Map did not change the classification of this property. ZPAC recommended approval of the proposal by a vote of nine (9) in favor and zero (0) in opposition with one (1) member absent. The minutes are included as Attachment 5.

RPC

The Kendall County Regional Planning Commission started their review of this proposal their meeting on May 22, 2024. The proposal was laid over at the Petitioner's request until the Village of Shorewood's concerns could be addressed. The Kendall County Regional Planning Commission finished their review of the proposal at their meeting on June 26, 2024. Discussion occurred regarding traffic at the property. The final location of the building had not been determined. Outdoor storage would not occur at the property. One (1) neighbor said that he did not want the use at the property and another neighbor expressed concerns about the appearance of the neighborhood and concerns about property values. Discussion also occurred regarding other uses that might go on the property. The Kendall County Regional Planning Commission recommended approval of the proposal by a vote of nine (9) in favor and zero (0) in opposition with one (1) member absent. The minutes of the May 22, 2024, are included as Attachment 10 and the minutes of the June 26, 2024, meeting are included as Attachment 11.

ZBA

The Kendall County Zoning Board of Appeals initiated a public hearing on this proposal on May 28, 2024. The hearing was continued until July 1, 2024, at the Petitioner's request, see Attachment 9. At

the hearing on July 1, 2024, discussion occurred regarding the type of business and type of equipment and materials that would be stored at the property. The proposed use is a roofing contractor business with no outside storage. One (1) neighbor stated that they did not want outdoor storage next to his property. One (1) neighbor requested a larger setback for the building so that the use would not be visible to neighboring properties. The Kendall County Zoning Board of Appeals recommended approval of the proposal by a vote of four (4) in favor and zero (0) in opposition with three (3) members absent. The minutes of the hearing are included as Attachment 12.

GENERAL INFORMATION

The Petitioner would like to rezone the property to operate a construction services/contractor service at the subject property.

BUILDING CODES

The site is currently farmed. Any future buildings would have to meet applicable building codes.

UTILITIES

No utilities are onsite.

ACCESS

The property fronts Route 52. Access would have to be approved by IDOT. IDOT submitted an email expressing no objections to this request. The email is included as Attachment 6.

PARKING AND INTERNAL TRAFFIC CIRCULATION

Parking and driving aisles would be evaluated as part of the site plan review process.

ODORS

Based on the proposed uses, no new odors are foreseen. The owners of the property would have to follow applicable odor control regulations based on potential other future B-3 allowable uses.

LIGHTING

Lighting would need to be evaluated as part of site plan review.

LANDSCAPING AND SCREENING

Landscaping would need to be evaluated as part of site plan review.

SIGNAGE

Any signage would have to meet applicable regulations and secure permits.

NOISE CONTROL

The owners of the property would have to follow applicable noise control regulations based on future land uses. Noise control measures would need to be evaluated as part of site plan approval.

STORMWATER

Stormwater control would be evaluated as part of site plan review.

FINDINGS OF FACT

The Findings of Fact were as follows:

*Existing uses of property within the general area of the property in question. **The surrounding properties are used for agricultural purposes, single-family residential, and a landscaping business.***

*The Zoning classification of property within the general area of the property in question. **The surrounding properties are zoned A-1 and A-1 with a special use permit for a landscaping business. Other properties in the vicinity possess business zoning classifications.***

*The suitability of the property in question for the uses permitted under the existing zoning classification. **The Petitioner's proposed use of the property, for the operation of a construction/contractor business, is***

not allowed in the A-1 Zoning District.

The trend of development, if any, in the general area of the property in question, including changes, if any, which may have taken place since the day the property in question was in its present zoning classification. The Zoning Board of Appeals shall not recommend the adoption of a proposed amendment unless it finds that the adoption of such an amendment is in the public interest and is not solely for the interest of the applicant. The Zoning Board of Appeals may recommend the adoption of an amendment changing the zoning classification of the property in question to any higher classification than that requested by the applicant. For the purpose of this paragraph the R-1 District shall be considered the highest classification and the M-2 District shall be considered the lowest classification. The trend of development in the area is a mix of agricultural, commercial, and public/institutional.

Consistency with the purpose and objectives of the Land Resource Management Plan and other adopted County or municipal plans and policies. The subject property is classified as Commercial on the Future Land Use Map and the B-3 Zoning District is consistent with this land classification.

RECOMMENDATION

Staff recommends approval of the proposed map amendment.

The draft ordinance is included as Attachment 13.

ATTACHMENTS

1. Application Materials
2. Zoning Plat
3. NRI Report
4. May 14, 2024, Seward Township Email
5. May 7, 2024, ZPAC Meeting Minutes (This Petition Only)
6. May 8, 2024, IDOT Email
7. May 22, 2024, Shorewood Email
8. June 20, 2024, Shorewood Email
9. May 28, 2024, Zoning Board of Appeals Minutes (This Petition Only)
10. May 22, 2024, Kendall County Regional Planning Commission Minutes (This Petition Only)
11. June 26, 2024, Kendall County Regional Planning Commission Minutes (This Petition Only)
12. July 1, 2024, Kendall County Zoning Board of Appeals Minutes (This Petition Only)
13. Draft Ordinance



DEPARTMENT OF PLANNING, BUILDING & ZONING

111 West Fox Street • Yorkville, IL • 60560
 (630) 553-4141 Fax (630) 553-4179

APPLICATION

PROJECT NAME _____ FILE #: _____

NAME OF APPLICANT (Including First, Middle Initial, and Last Name) James William Filotto		
CURRENT LANDOWNER/NAME(s) Oakland Avenue Storage, LLC		
SITE INFORMATION ACRES	SITE ADDRESS OR LOCATION	ASSESSOR'S ID NUMBER (PIN)
10.3089	Rt 52 & County Line Rd, Minooka	09-13-400-011
EXISTING LAND USE	CURRENT ZONING	LAND CLASSIFICATION ON LRMP
Farming	A-1	commercial
REQUESTED ACTION (Check All That Apply):		
<input type="checkbox"/> SPECIAL USE	<input checked="" type="checkbox"/> MAP AMENDMENT (Rezone to _____)	<input type="checkbox"/> VARIANCE
<input type="checkbox"/> ADMINISTRATIVE VARIANCE	<input type="checkbox"/> A-1 CONDITIONAL USE for: _____	<input type="checkbox"/> SITE PLAN REVIEW
<input type="checkbox"/> TEXT AMENDMENT	<input type="checkbox"/> RPD (___ Concept; ___ Preliminary; ___ Final)	<input type="checkbox"/> ADMINISTRATIVE APPEAL
<input type="checkbox"/> PRELIMINARY PLAT	<input type="checkbox"/> FINAL PLAT	<input type="checkbox"/> OTHER PLAT (Vacation, Dedication, etc.)
AMENDMENT TO A SPECIAL USE (___ Major; ___ Minor)		
¹ PRIMARY CONTACT Mike Korst	PRIMARY CONTACT MAILING ADDRESS [REDACTED]	PRIMARY CONTACT EMAIL [REDACTED]
PRIMARY CONTACT PHONE # [REDACTED]	PRIMARY CONTACT FAX # [REDACTED]	PRIMARY CONTACT OTHER # (Cell, etc.) [REDACTED]
² ENGINEER CONTACT Thomas Carroll, Geotech	ENGINEER MAILING ADDRESS [REDACTED]	ENGINEER EMAIL [REDACTED]
ENGINEER PHONE # [REDACTED]	ENGINEER FAX # [REDACTED]	ENGINEER OTHER # (Cell, etc.) [REDACTED]
I UNDERSTAND THAT BY SIGNING THIS FORM, THAT THE PROPERTY IN QUESTION MAY BE VISITED BY COUNTY STAFF & BOARD/ COMMISSION MEMBERS THROUGHOUT THE PETITION PROCESS AND THAT THE PRIMARY CONTACT LISTED ABOVE WILL BE SUBJECT TO ALL CORRESPONDANCE ISSUED BY THE COUNTY.		
I CERTIFY THAT THE INFORMATION AND EXHIBITS SUBMITTED ARE TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND THAT I AM TO FILE THIS APPLICATION AND ACT ON BEHALF OF THE ABOVE SIGNATURES. THE APPLICANT ATTESTS THAT THEY ARE FREE OF DEBT OR CURRENT ON ALL DEBTS OWED TO KENDALL COUNTY AS OF THE DATE OF THE APPLICATION.		
SIGNATURE OF APPLICANT [REDACTED]		DATE 4/23/24

FEE PAID:\$ _____
 CHECK #: _____

¹Primary Contact will receive all correspondence from County

²Engineering Contact will receive all correspondence from the County's Engineering Consultants

Last Revised:
10.17.22

Date Stamp Here If
Checklist Is Complete

Please fill out the following findings of fact to the best of your capabilities. § 13:07.F of the Zoning Ordinance lists the Finding of Fact criteria the Zoning Board of Appeals must answer in order to make a recommendation to the County Board on any **map amendment** request. They are as follows:

Existing uses of property within the general area of the property in question.

Farming

The Zoning classification of property within the general area of the property in question.

A-1

The suitability of the property in question for the uses permitted under the existing zoning classification.

Existing area is agriculture trending towards commercial

The trend of development, if any, in the general area of the property in question, including changes, if any, which may have taken place since the day the property in question was in its present zoning classification. The Zoning Board of Appeals shall not recommend the adoption of a proposed amendment unless it finds that the adoption of such an amendment is in the public interest and is not solely for the interest of the applicant. The Zoning Board of Appeals may recommend the adoption of an amendment changing the zoning classification of the property in question to any higher classification than that requested by the applicant. For the purpose of this paragraph the R-1 District shall be considered the highest classification and the M-2 District shall be considered the lowest classification.

A mini storage warehouse and a sports dome exist across route 52 with a current zoning of B-4 and B-3 respectively.

Consistency with the purpose and objectives of the Land Resource Management Plan and other adopted County or municipal plans and policies.

LRMP map shows this property as commercial.

THE WEST HALF OF THE NORTH 806.65 FEET OF THE WEST 1296.0 FEET OF THE
SOUTHEAST QUARTER OF SECTION 13, TOWNSHIP 35 NORTH, RANGE 8 EAST OF
THE THIRD PRINCIPAL MERIDIAN, EXCEPT THE SOUTH 80.67 FEET THEREOF, IN
KENDALL COUNTY, ILLINOIS

PIN; 09-13-400-011

copy

WARRANTY DEED

THIS INDENTURE WITNESSETH,
That the Grantor,

ERB PROPERTIES, LLC, an
Illinois Limited Liability Company,

of the Village of Minooka in the
County of Kendall and State of Illinois
for and in consideration of the sum of
One Dollar and other good and valuable
considerations, the receipt of which is
hereby acknowledged, **CONVEY** and
WARRANT to:

202400000717
DEBBIE GILLETTE
RECORDER - KENDALL COUNTY, IL
RECORDED: 01/22/2024 12:28 PM
RECORDING FEE 57.00
RHSP 19.00
STATE TAX 300.00
COUNTY TAX 150.00
PAGES: 3

OAKLAND AVE. STORAGE, LLC, an Illinois Limited Liability Company

whose address is



the following described real estate to-wit:

Quarter
THE NORTH 806.65 FEET OF THE WEST 1296.00 FEET OF THE SOUTHEAST QUARTER OF SECTION 13, TOWNSHIP 35 NORTH, RANGE 8, EAST OF THE THIRD PRINCIPAL MERIDIAN, EXCEPT THE SOUTH 80.67 FEET THEREOF AND EXCEPT THE EAST HALF OF THE NORTH 806.65 FEET OF THE WEST 1296.00 FEET, OF SAID SOUTHEAST QUARTER, IN KENDALL COUNTY, ILLINOIS.

SUBJECT TO covenants, conditions and restrictions of record, public and utility easements, general taxes for the tax year 2023.

PIN #: 09-13-400-011

County Line Ad
COMMON ADDRESS: 11.34 acres, Route 52, Minooka, IL 60447

situated in Kendall County, Illinois, hereby releasing and waiving all rights under and by virtue of the Homestead Exemption Laws of the State of Illinois.

Dated this 16 day of January, 2024.

ERB PROPERTIES, LLC

BY:

EDWARD J. BALTZ

ITS: MANAGER and as Trustee of the EDWARD J. BALTZ DESCENDANT TRUST

BY:

ROBERT D. BALTZ

MANAGER and as Trustee of the ROBERT D. BALTZ DESCENDANT TRUST

Fidelity Title

STATE OF ILLINOIS)
COUNTY OF GRUNDY)

I, the undersigned, a Notary Public, in and for said County and State aforesaid, DO HEREBY CERTIFY THAT **EDWARD J. BALTZ, MANAGER OF ERB PROPERTIES, LLC AND TRUSTEE OF THE EDWARD J. BALTZ DESCENDANT TRUST**, personally known to me to be the same person whose name is subscribed to the foregoing instrument, as having executed the same, appeared before me this day in person and acknowledged that he signed, sealed and delivered the said instrument as his free and voluntary act for the uses and purposes therein set forth, including the release and waiver of the right of homestead.

Given under my hand and Notarial Seal this 16 day of January, 2024.

"OFFICIAL SEAL"
NICOLE A BILLINGSLEY
NOTARY PUBLIC, STATE OF ILLINOIS
MY COMMISSION EXPIRES 9/27/2026
NOTARY PUBLIC

STATE OF ILLINOIS)
COUNTY OF GRUNDY)

I, the undersigned, a Notary Public, in and for said County and State aforesaid, DO HEREBY CERTIFY THAT **ROBERT D. BALTZ, MANAGER OF ERB PROPERTIES, LLC AND TRUSTEE OF THE ROBERT D. BALTZ DESCENDANT TRUST**, personally known to me to be the same person whose name is subscribed to the foregoing instrument, as having executed the same, appeared before me this day in person and acknowledged that he signed, sealed and delivered the said instrument as his free and voluntary act for the uses and purposes therein set forth, including the release and waiver of the right of homestead.

Given under my hand and Notarial Seal this 16 day of January, 2024.

"OFFICIAL SEAL"
NICOLE A BILLINGSLEY
NOTARY PUBLIC, STATE OF ILLINOIS
MY COMMISSION EXPIRES 9/27/2026
NOTARY PUBLIC
RETURN THIS DOCUMENT TO:

OAKLAND
[Redacted]

MICHAEL KORST
[Redacted]

THIS INSTRUMENT WAS PREPARED BY:
IC LAWSON
[Redacted]

Attachment 1, Page 6
RECORDER OF DEEDS
AFFIDAVIT - METES AND BOUNDS

STATE OF ILLINOIS)
) SS.
COUNTY OF GRUNDY)

Edgar F. McMan being duly sworn on oath, states that he is the property owner of the real estate whose legal description is attached. The attached deed is not in violation of Section 1 of Chapter 109 of the Illinois Revised Statutes for one of the following reasons:

1. The division of subdivision of land is into parcels or tracts of five acres or more in size which does not involve any new streets or easements of access.
2. The division is of lots or blocks of less than one acre in any recorded subdivision which does not involve any new streets or easements of access.
3. The sale or exchange of parcels of land is between owners of adjoining and contiguous land.
4. The conveyance is of parcels of land or interest therein for use as right of way for railroads or other public utility facilities, which does not involve any new streets or easements of access.
5. The conveyance is of land owned by a railroad or other public utility which does not involve any new streets or easements of access.
6. The conveyance is of land for highway or other public purposes or grants of conveyances relating to the dedication of land for public use or instruments relating to the vacation of land impressed with a public use.
7. The conveyance is made to correct descriptions in prior conveyances.
8. The sale or exchange is of parcels or tracts of land following the division into no more than two parts of a particular parcel or tract of land existing in July 17, 1959 and not involving any new streets or easements of access.
9. The sale is of a single lot of less than five acres from a large tract, the dimensions and configurations of said larger tract having been determined by the dimensions and configuration of said larger tract on October 1, 1973, and no sale prior to this sale, or any lot or lots from said larger tract having taken place since October 1, 1973 and a survey of said single lot having been made by a registered land surveyor.
10. The conveyance is of land described in the same manner as title was taken by grantor(s).

THE APPLICABLE STATEMENT OR STATEMENTS ABOVE ARE CIRCLED.

AFFIANT further states that he makes this Affidavit for the purpose of inducing the Recorder of Deeds of Kendall County, Illinois, to accept the attached deed for recording.

SUBSCRIBED AND SWORN TO
before me this 16 day of September 2024

NOTARY PUBLIC
"OFFICIAL SEAL"
NICOLE A BILLINGSLEY
NOTARY PUBLIC, STATE OF ILLINOIS
MY COMMISSION EXPIRES 9/27/2026

KENDALL COUNTY
DISCLOSURE OF BENEFICIARIES FORM

1. Applicant Oakland Avenue Storage, LLC
Address [REDACTED]
City [REDACTED] State [REDACTED] Zip [REDACTED]

2. Nature of Benefit Sought Rezone to B-3 for construction of contractors yard

3. Nature of Applicant: (Please check one)

- Natural Person (a)
- Corporation (b)
- Land Trust/Trustee (c)
- Trust/Trustee (d)
- Partnership (e)
- Joint Venture (f)

4. If applicant is an entity other than described in Section 3, briefly state the nature and characteristics of the applicant:
LLC

5. If your answer to Section 3 you have checked letter b, c, d, e, or f, identify by name and address each person or entity who is a 5% shareholder in case of a corporation, a beneficiary in the case of a trust or land trust, a joint venture in the case of a joint venture, or who otherwise has proprietary interest, interest in profits and losses or right to control such entity:

NAME	ADDRESS	INTEREST
James Filotto	[REDACTED]	50
Penny Filotto	[REDACTED]	50

6. Name, address, and capacity of person making this disclosure on behalf of the applicant:

James Filotto, member

VERIFICATION

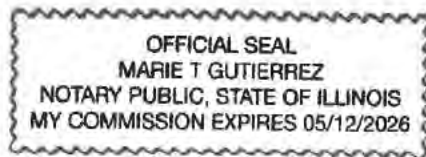
I, James Filotto, being first duly sworn under oath that I am the person making this disclosure on behalf of the applicant, that I am duly authorized to make the disclosure, that I have read the above and foregoing Disclosure of Beneficiaries, and that the statements contained therein are true in both substance and fact.

Subscribed and sworn to before me this 23 day of April, A.D. 2024

(seal)

[REDACTED]

Notary Public





Kendall County Soil & Water Conservation District

7775A Route 47, Yorkville, Illinois 60560 • (630)553-5821 extension 3

www.kendallswcd.org

NATURAL RESOURCE INFORMATION (NRI) REPORT APPLICATION

Petitioner: Oakland Ave. Storage, L.L.C. Contact Person: Michael Korst
 Address: [REDACTED]
 City, State, Zip: [REDACTED] IL 60446
 Phone Number: [REDACTED] 041
 Email: [REDACTED]

Please select: How would you like to receive a copy of the NRI Report? Email Mail

Site Location & Proposed Use

Township Name Seward Township 35 N, Range 8 E, Section(s) 13
 Parcel Index Number(s) 09-13-400-011
 Project or Subdivision Name _____ Number of Acres 10.3089
 Current Use of Site Farm Proposed Use Contractor's Yard
 Proposed Number of Lots 1 Proposed Number of Structures 1
 Proposed Water Supply Well Proposed type of Wastewater Treatment Private Septic
 Proposed type of Storm Water Management _____

Type of Request

- Change in Zoning from A-1 to B-3
- Variance (Please describe fully on separate page)
- Special Use Permit (Please describe fully on separate page)

Name of County or Municipality the request is being filed with: _____

In addition to this completed application form, please including the following to ensure proper processing:

- Plat of Survey/Site Plan – showing location, legal description and property measurements
- Concept Plan - showing the locations of proposed lots, buildings, roads, stormwater detention, open areas, etc.
- If available: topography map, field tile map, copy of soil boring and/or wetland studies
- NRI fee (Please make checks payable to Kendall County SWCD)

The NRI fees, as of July 1, 2010, are as follows:

Full Report: \$375.00 for five acres and under, plus \$18.00 per acre for each additional acre or any fraction thereof over five.
Executive Summary Report: \$300.00 (KCSWCD staff will determine when a summary or full report will be necessary.)

Fee for first five acres and under	\$	<u>375.00</u>
_____ Additional Acres at \$18.00 each	\$	<u>108.00</u>
Total NRI Fee	\$	<u>483.00</u>

NOTE: Applications are due by the 1st of each month to be on that month's SWCD Board Meeting Agenda. Once a completed application is submitted, please allow 30 days for inspection, evaluation and processing of this report.

I (We) understand the filing of this application allows the authorized representative of the Kendall County Soil and Water Conservation District (SWCD) to visit and conduct an evaluation of the site described above. The completed NRI report expiration date will be 3 years after the date reported.

[REDACTED]
 Petitioner or Authorized Agent

4/22/2024
 Date

This report will be issued on a nondiscriminatory basis without regard to race, color, religion, national origin, age, sex, handicap or marital status.

FOR OFFICE USE ONLY

NRI# _____ Date initially rec'd _____ Date all rec'd _____ Board Meeting _____
 Fee Due \$ _____ Fee Paid \$ _____ Check # _____ Over/Under Payment _____ Refund Due _____



Applicant: Oakland Ave. Storage, L.L.C.
Contact: Michael J Korst
Address: [REDACTED]

IDNR Project Number: 2413596
Date: 04/23/2024

Project: Rezoning
Address: Route 52 and County Line Road, Minooka

Description: Rezoning from A1 to B3 to allow Contractor's Yard

Natural Resource Review Results

Consultation for Endangered Species Protection and Natural Areas Preservation (Part 1075)

The Illinois Natural Heritage Database contains no record of State-listed threatened or endangered species, Illinois Natural Area Inventory sites, dedicated Illinois Nature Preserves, or registered Land and Water Reserves in the vicinity of the project location.

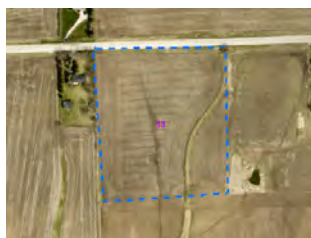
Consultation is terminated. This consultation is valid for two years unless new information becomes available that was not previously considered; the proposed action is modified; or additional species, essential habitat, or Natural Areas are identified in the vicinity. If the project has not been implemented within two years of the date of this letter, or any of the above listed conditions develop, a new consultation is necessary. Termination does not imply IDNR's authorization or endorsement.

Location

The applicant is responsible for the accuracy of the location submitted for the project.

County: Kendall

Township, Range, Section:
35N, 8E, 13



IL Department of Natural Resources

Contact

Bradley Hayes
217-785-5500
Division of Ecosystems & Environment

Government Jurisdiction

Kendall County
Matthew Asselmeier
111 West Fox Street
Yorkville, Illinois 60560 -1498

Disclaimer

The Illinois Natural Heritage Database cannot provide a conclusive statement on the presence, absence, or condition of natural resources in Illinois. This review reflects the information existing in the Database at the time of this inquiry, and should not be regarded as a final statement on the site being considered, nor should it be a substitute for detailed site surveys or field surveys required for environmental assessments. If additional protected resources are encountered during the project's implementation, compliance with applicable statutes and regulations is required.

Terms of Use

By using this website, you acknowledge that you have read and agree to these terms. These terms may be revised by IDNR as necessary. If you continue to use the EcoCAT application after we post changes to these terms, it will mean that you accept such changes. If at any time you do not accept the Terms of Use, you may not continue to use the website.

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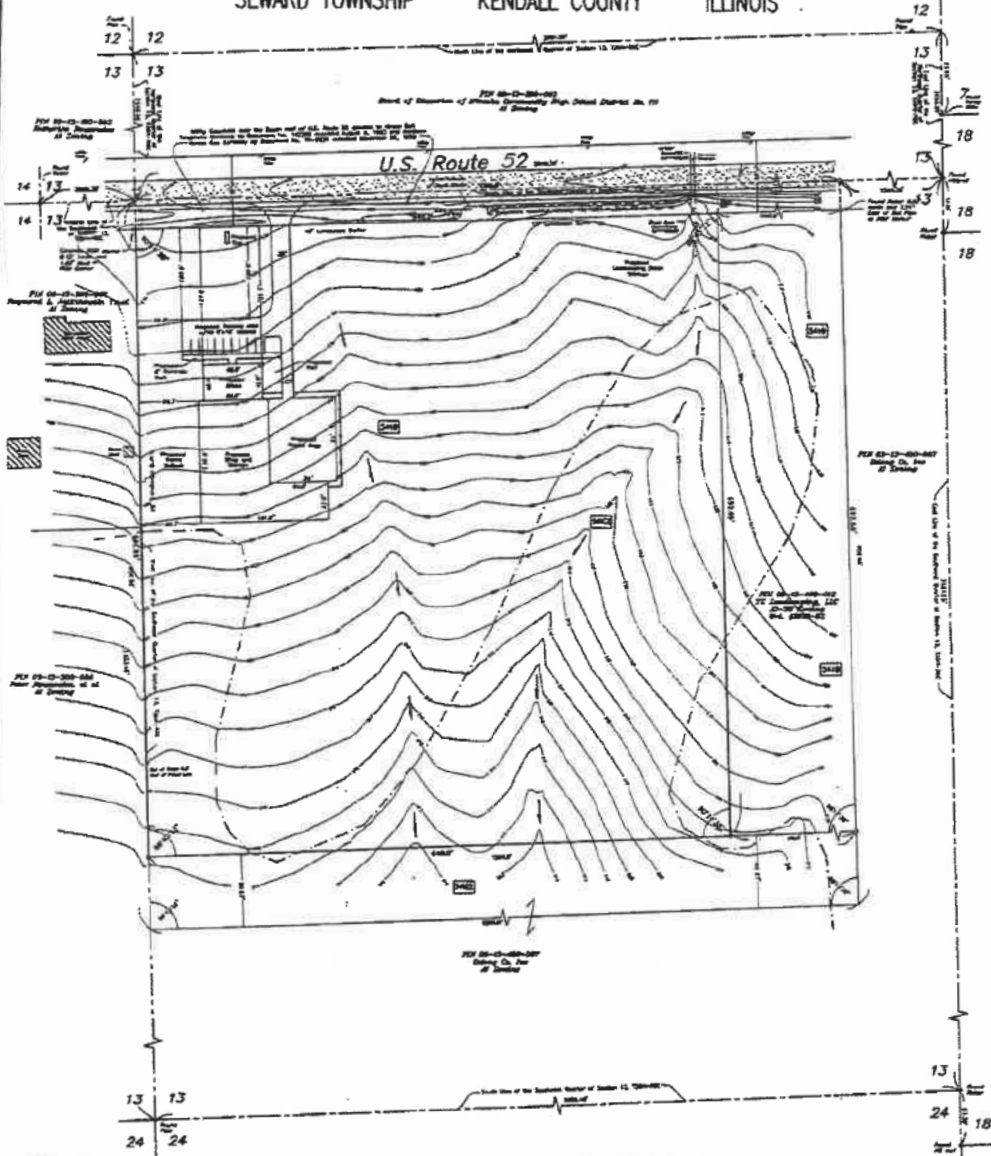
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ZONING PLAT OF
PART OF THE SOUTHEAST QUARTER OF SECTION 13, T35N-R8E, 3rd PM
SEWARD TOWNSHIP KENDALL COUNTY ILLINOIS



DEVELOPER:
[redacted]

PROPERTY LOCATION:
PEP 09-15-400-011
SE 1/4 Section 13,
T35N, R8E, S34W

AREA TO BE REZONED:
[redacted]

PRESENT ZONING:
[redacted]

PROPOSED ZONING:
[redacted]



- SCALE
1"=50'
- indicates Iron Stake Found
 - indicates Iron Stake Set
 - indicates Concrete Right of Way Monument
 - indicates Line of Fence
 - indicates Easement Location
 - indicates Soil Boundary
 - indicates Year Location and Orientation
 - indicates Spot Elevation
 - indicates Contour Elevation
 - indicates Direction of Flow
- PN: 09-15-400-011

LEGAL DESCRIPTION OF TRACT TO BE REZONED:
The West 1/2 of the North 30.633 Acre of the West 1/2 of the Southeast Quarter of Section 13, T35N, R8E, S34W of the Third Principal Meridian, CO. 15th Range, S.E. 1/4, S.E. 1/4, S.E. 1/4, Kendall County, Illinois.

SOILS (From Web Soil Survey)
[redacted] Claymont SR Loam, 25-55 slopes
[redacted] Claymont SR Loam, 25-55 slopes, [redacted]

FLOODPLAIN STATEMENT:
The subject property is located in Zone X based on Flood Insurance Rate Map (FIRM) to which the 2022 Flood Insurance Rate Map (FIRM) is shown on 1024 Flood Insurance Rate Map (FIRM) (19A02214B) with an effective date of January 6, 2024.

WETLANDS STATEMENT:
The National Wetlands Inventory Map does not show any wetlands on the subject property.

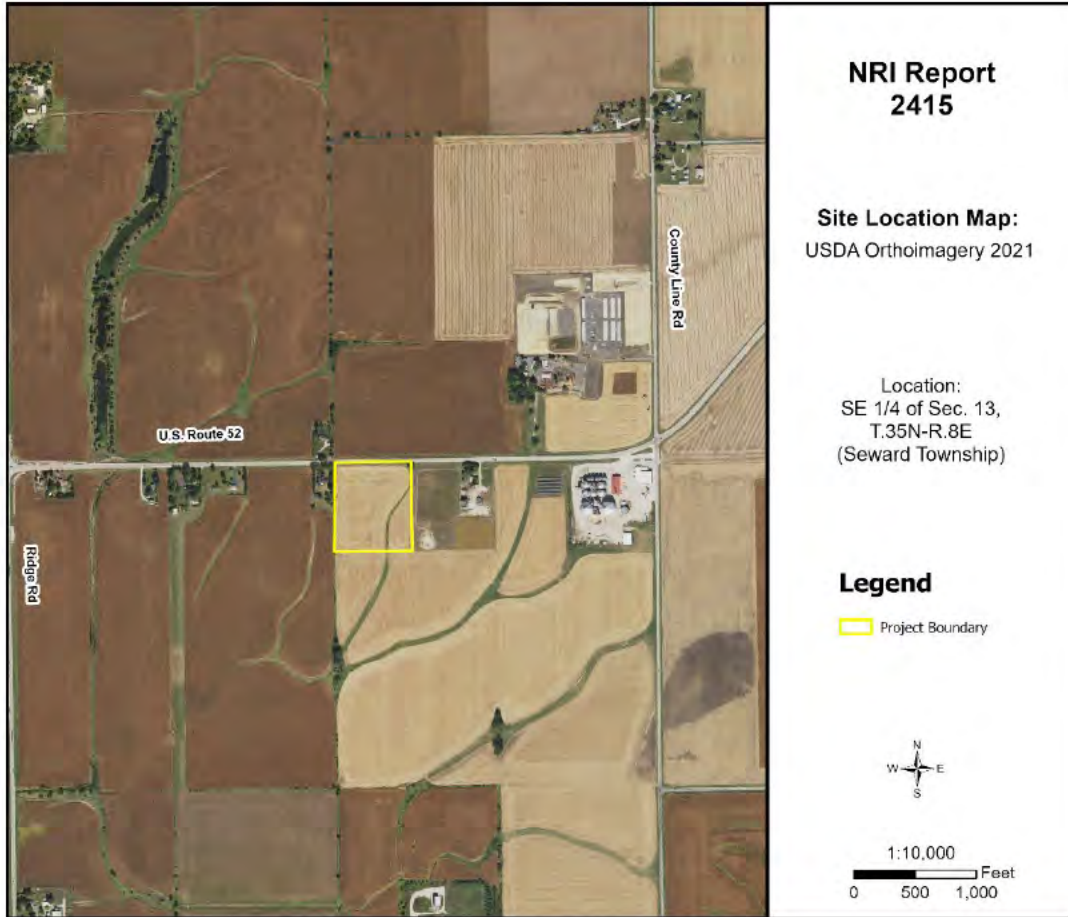
April 18, 2024

JOB NO.	2388
JOB NAME	24275
DMG FILE	2388
REVISION DATE	

Phillip D. Young and Associates, Inc.
LAND SURVEYING - TOPOGRAPHIC MAPPING - Lic.#184-022775

11078 South Bridge Street
Yorkville, Illinois 62450
Telephone (630)255-1586

NATURAL RESOURCES INFORMATION (NRI) REPORT: #2415



May
2024

Petitioner: Oakland Ave. Storage, LLC
Contact: Michael Korst

Prepared By:



7775A Route 47
Yorkville, Illinois 60560
Phone: (630) 553-5821 x3
www.kendallswcd.org

**KENDALL COUNTY SOIL AND WATER CONSERVATION DISTRICT
NATURAL RESOURCES INFORMATION (NRI) REPORT**

Natural Resources Information Report Number	2415
Date District Board Reviews Application	May 2024
Applicant's Name	Oakland Ave. Storage, LLC
Size of Parcel	(+/-) 10.3 acres
Current Zoning & Use	A-1 Agricultural; Cropland
Proposed Zoning & Use	B-3 Highway Business; Contractor Yard
Parcel Index Number(s)	09-13-400-011
Contact Person	Michael Korst

Copies of this report or notification of the proposed land-use change was provided to:	Yes	No
The Applicant	X	
The Applicant's Legal Representation	X	
The Local/Township Planning Commission	X	
The Village/City/County Planning and Zoning Department or Appropriate Agency	X	
The Kendall County Soil and Water Conservation District Files	X	

Report Prepared By: *Alyse Olson* Position: *Resource Conservationist*

PURPOSE AND INTENT

The purpose of this report is to provide officials of the local governing body and other decision-makers with natural resource information. This information may be useful when undertaking land use decisions concerning variations, amendments or relief of local zoning ordinances, proposed subdivision of vacant or agricultural lands and the subsequent development of these lands. This report is a requirement under Section 22.02a of the Illinois Soil and Water Conservation Districts Act.

The intent of this report is to present the most current natural resource information available in a readily understandable manner. It contains a description of the present site conditions, the present resources, and the potential impacts that the proposed change may have on the site and its resources. The natural resource information was gathered from standardized data, on-site investigations and information furnished by the petitioner. This report must be read in its entirety so that the relationship between the natural resource factors and the proposed land use change can be fully understood.

Due to the limitations of scale encountered with the various resource maps, the property boundaries depicted in the various exhibits in this report provide a generalized representation of the property location and may not precisely reflect the legal description of the PIQ (Parcel in Question).

This report, when used properly, will provide the basis for proper land use change decisions and development while protecting the natural resource base of the county. It should not be used in place of detailed environmental and/or engineering studies that are warranted under most circumstances, but in conjunction with those studies.

The conclusions of this report in no way indicate that a certain land use is not possible, but it should alert the reader to possible problems that may occur if the capabilities of the land are ignored. Any questions on the technical data supplied in this report or if anyone feels that they would like to see more additional specific information to make the report more effective, please contact:

Kendall County Soil and Water Conservation District
7775A Route 47, Yorkville, IL 60560
Phone: (630) 553-5821 ext. 3
E-mail: Alyse.Olson@il.nacdnet.net

TABLE OF CONTENTS

EXECUTIVE SUMMARY	1
PARCEL LOCATION	7
ARCHAEOLOGIC/CULTURAL RESOURCES INFORMATION	9
ECOLOGICALLY SENSITIVE AREAS	10
SOILS INFORMATION	12
SOILS INTERPRETATIONS EXPLANATION.....	14
BUILDING LIMITATIONS	15
SOIL WATER FEATURES	21
SOIL EROSION AND SEDIMENT CONTROL.....	23
PRIME FARMLAND SOILS	24
LAND EVALUATION AND SITE ASSESSMENT (LESA)	25
LAND USE PLANS.....	27
DRAINAGE, RUNOFF, AND FLOOD INFORMATION	27
WATERSHED PLANS	31
WETLAND INFORMATION	32
HYDRIC SOILS	34
WETLAND AND FLOODPLAIN REGULATIONS.....	36
GLOSSARY.....	37
REFERENCES.....	40

LIST OF FIGURES

FIGURE 1: Soil Map	2
FIGURE 2: Soil Limitations	4
FIGURE 3: 2021 Plat Map	7
FIGURE 4: Aerial Map with NRI Site Boundary	8
FIGURE 5: Soil Map	13
FIGURE 6A-6D: Maps of Building Limitations	17-20

FIGURE 7: Map of Prime Farmland Soils	24
FIGURE 8: Flood Map	29
FIGURE 9: Topographic Map	30
FIGURE 10: Sub Watershed Map	31
FIGURE 11: Wetland Map	33
FIGURE 12: Hydric Soils Map	35

LIST OF TABLES

TABLE 1: Soils Information	2
TABLE 2: Soil Limitations	4
TABLE 3: Soil Map Unit Descriptions	13
TABLE 4: Building Limitations	16
TABLE 5: Water Features	22
TABLE 6: Soil Erosion Potential	23
TABLE 7: Prime Farmland Soils	24
TABLE 8A: Land Evaluation Computation	25
TABLE 8B: Site Assessment Computation	26
TABLE 9: LESA Score Summary	26
TABLE 10: Hydric Soils	34

EXECUTIVE SUMMARY

Natural Resources Information Report Number	2415
Petitioner	Oakland Ave. Storage, LLC
Contact Person	Michael Korst
County or Municipality the Petition is Filed With	Kendall County
Location of Parcel	Southeast ¼ of Section 13, Township 35 North, Range 8 East (Seward Township) of the 3 rd Principal Meridian
Project or Subdivision Name	Oakland Ave. Storage, LLC Contractor Yard
Existing Zoning & Land Use	A-1 Agricultural; Cropland
Proposed Zoning & Land Use	B-3 Highway Business; Contractor Yard
Proposed Water Source	Well
Proposed Type of Sewage Disposal System	Septic
Proposed Type of Storm Water Management	Surface flow to onsite grassed waterway
Size of Site	(+/-) 10.3 acres
Land Evaluation Site Assessment (LESA) Score	196 (Land Evaluation: 90; Site Assessment: 106)

NATURAL RESOURCE CONSIDERATIONS

SOIL INFORMATION

Based on information from the United States Department of Agriculture-Natural Resources Conservation Service (USDA-NRCS) 2008 Kendall County Soil Survey, this project area contains the soil types shown in Figure 1 and Table 1. Please note this does not replace the need for or results of onsite soil testing. If completed, please refer to onsite soil test results for planning/engineering purposes.

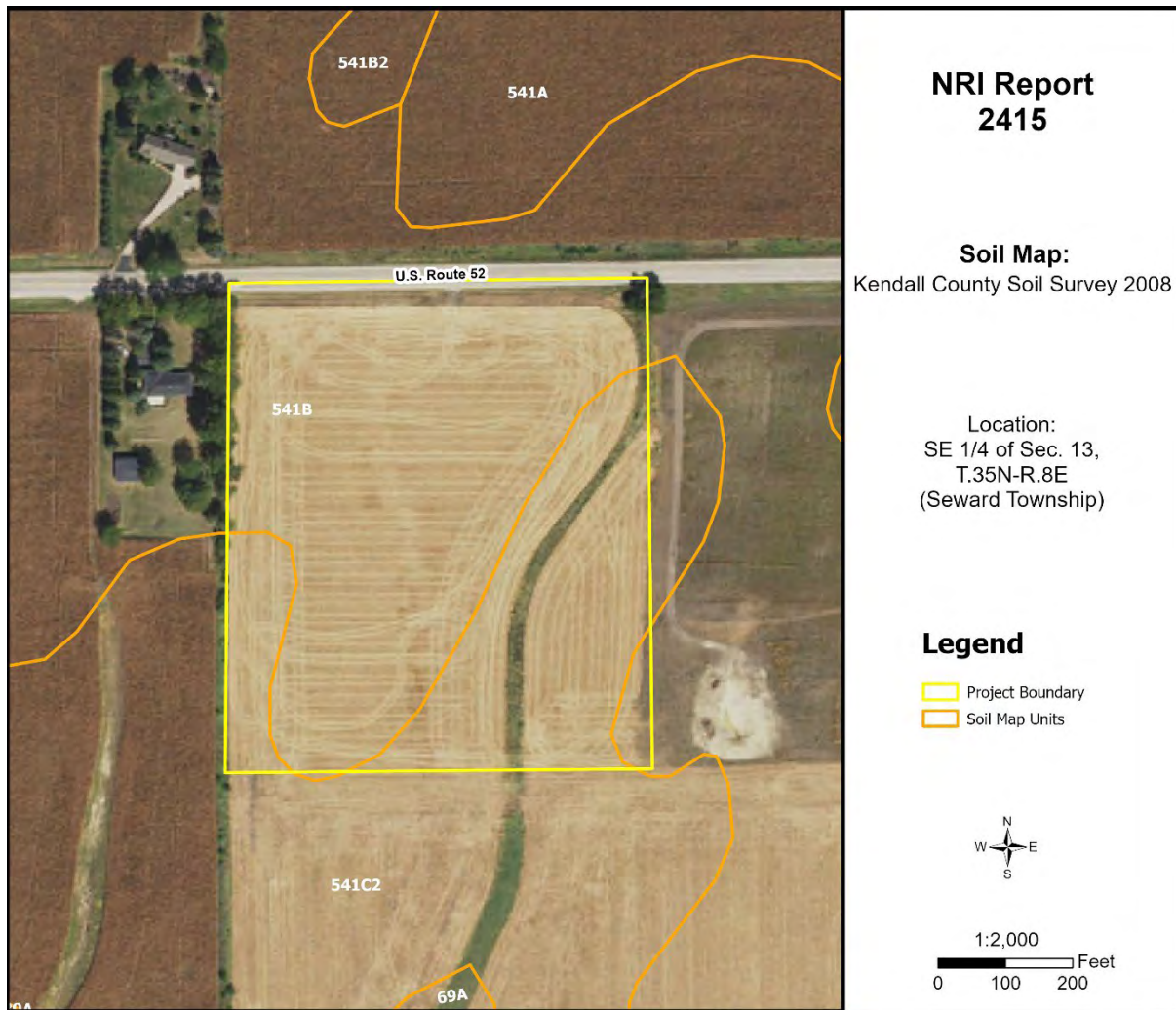


Figure 1: Soil Map

Table 1: Soils Information

Soil Type	Soil Name	Drainage Class	Hydrologic Group	Hydric Designation	Farmland Designation	Acres	%
541B	Graymont silt loam, 2-5% slopes	Moderately Well Drained	C	Non-Hydric with Hydric Inclusions	Prime Farmland	6.7	64.8%
541C2	Graymont silt loam, 5-10% slopes, eroded	Moderately Well Drained	C	Non-Hydric with Hydric Inclusions	Farmland of Statewide Importance	3.6	35.2%

Hydrologic Soil Groups – Soils have been classified into four (A, B, C, D) hydrologic groups based on runoff characteristics due to rainfall. If a soil is assigned to a dual hydrologic group (A/D, B/D or C/D), the first letter is for drained areas and the second letter is for undrained areas.

- **Hydrologic group A:** Soils have a high infiltration rate (low runoff potential) when thoroughly wet. These consist mainly of deep, well drained to excessively drained sands or gravelly sands. These soils have a high rate of water transmission.
- **Hydrologic group B:** Soils have a moderate infiltration rate when thoroughly wet, consist chiefly of moderately deep to deep, moderately well drained to well drained soils that have a moderately fine to moderately coarse texture. These soils have a moderate rate of water transmission.
- **Hydrologic group C:** Soils having a slow infiltration rate when thoroughly wet. These consist chiefly of soils having a layer that impedes the downward movement of water or soils of moderately fine texture or fine texture. These soils have a slow rate of water transmission.
- **Hydrologic group D:** Soils having a very slow infiltration rate (high runoff potential) when thoroughly wet. These consist chiefly of clays that have a high shrink-swell potential, soils that have a high water table, have a claypan or clay layer at or near the surface, and soils that are shallow over nearly impervious material. These soils have a very slow rate of water transmission.

Hydric Soils – A hydric soil is one that formed under conditions of saturation, flooding, or ponding long enough during the growing season to develop anaerobic conditions in the upper part of the soil profile that supports the growth or regeneration of hydrophytic vegetation. Soils with hydric inclusions have map units dominantly made up of non-hydric soils that may have inclusions of hydric soils in the lower positions on the landscape. Of the soils found onsite, both are classified as non-hydric soil with hydric inclusions likely (541B & 541C2 Graymont silt loam).

Prime Farmland – Prime farmland is land that has the best combination of physical and chemical characteristics for agricultural production. Prime farmland soils are an important resource to Kendall County and some of the most productive soils in the United States occur locally. Of the soils found onsite, one is designated as prime farmland (541B Graymont silt loam), and one is designated as farmland of statewide importance (541C2 Graymont silt loam).

Soil Limitations – The USDA-NRCS Web Soil Survey rates the limitations of soils for dwellings, small commercial buildings, solar arrays, shallow excavations, lawns/landscaping, local roads and streets, etc. Soils have different properties which influence the development of building sites. The USDA-NRCS classifies soils as Not Limited, Somewhat Limited, and Very Limited. Soils that are Not Limited indicates that the soil has properties that are favorable for the specified use. They will perform well and will have low maintenance. Soils that are Somewhat Limited are moderately favorable, and their limitations can be overcome through special planning, design, or installation. Soils that are Very Limited have features that are unfavorable for the specified use, and their limitations cannot easily be overcome.

Septic Systems – The factors considered for determining suitability are the characteristics and qualities of the soil that affect the limitations for absorbing waste from domestic sewage disposal systems. The major features considered are soil permeability, percolation rate, groundwater level, depth to bedrock, flooding hazards, and slope. Soils are deemed unsuitable per the Kendall County Subdivision Control Ordinance. Installation of an on-site sewage disposal system in soils designated as unsuitable may necessitate the

installation of a non-conventional onsite sewage disposal system. For more information, please contact the Kendall County Health Department (811 W. John Street, Yorkville, IL; (630) 553-9100 ext. 8026).

Table 2: Soil Limitations

Soil Type	Small Commercial Buildings	Shallow Excavations	Lawns/Landscaping	Local Roads & Streets	Onsite Conventional Septic Systems
541B	Somewhat Limited	Somewhat Limited	Somewhat Limited	Very Limited	Suitable / Not Limited
541C2	Somewhat Limited	Very Limited	Somewhat Limited	Very Limited	Suitable / Not Limited

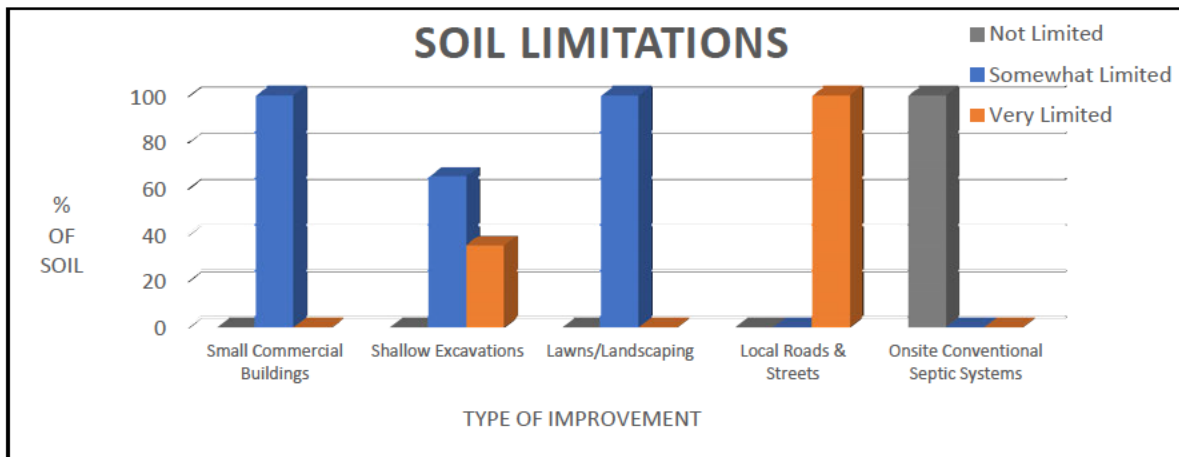


Figure 2: Soil Limitations

KENDALL COUNTY LAND EVALUATION AND SITE ASSESSMENT (LESA)

Decision-makers in Kendall County use the Land Evaluation and Site Assessment (LESA) system to determine the suitability of a land use change and/or a zoning request as it relates to agricultural land. The LESA system was developed by the United States Department of Agriculture-Natural Resources Conservation Service (USDA-NRCS) and takes into consideration local conditions such as physical characteristics of the land, compatibility of surrounding land-uses, and urban growth factors. The LESA system is a two-step procedure that includes:

- **Land Evaluation (LE):** The soils of a given area are rated and placed in groups ranging from the best to worst suited for a stated agriculture use, cropland, or forestland. The best group is assigned a value of 100 and all other groups are assigned lower values. The Land Evaluation is based on data from the Kendall County Soil Survey. The Kendall County Soil and Water Conservation District is responsible for this portion of the LESA system.
 - The Land Evaluation score for this site is **90 out of 100**, indicating that the soils are **well suited** for agricultural uses.
- **Site Assessment (SA):** The site is numerically evaluated according to important factors that contribute to the quality of the site. Each factor selected is assigned values in accordance with the local needs and objectives. The Site Assessment value is based on a 200-point scale and accounts for 2/3 of the total score. The Kendall County LESA Committee is responsible for this portion of the LESA system.
 - The Site Assessment score for this site is **106 out of 200**.

The **LESA Score for this site is 196 out of a possible 300, which indicates a low level of protection** for the proposed project site. Selecting the project site with the lowest total points will generally protect the best farmland located in the most viable areas and maintain and promote the agricultural industry in Kendall County.

WETLANDS

The U.S. Fish & Wildlife Service's National Wetlands Inventory map does not indicate the presence of wetland(s)/waters on the proposed project site. To determine if a wetland is present, a wetland delineation specialist, who is recognized by the U.S. Army Corps of Engineers, should determine the exact boundaries and value of the wetlands.

FLOODPLAIN

The Federal Emergency Management Agency's (FEMA) Flood Insurance Rate Map (FIRM) for Kendall County, Community Panel No. 17093C0145H (effective date 1/8/2014) was reviewed to determine the presence of floodplain and floodway areas within the project site. According to the map, the site does not appear to be located within the floodway or floodplain.

SEDIMENT AND EROSION CONTROL

Development on this site should include an erosion and sediment control plan in accordance with local, state, and federal regulations. Soil erosion on construction sites is a resource concern as suspended sediment from areas undergoing development is a primary nonpoint source of water pollution. Please consult the *Illinois Urban Manual* (<https://illinoisurbanmanual.org/>) for appropriate best management practices.

STORMWATER POLLUTION

A National Pollutant Discharge Elimination System (NPDES) permit (Permit No. ILR10) from the Illinois Environmental Protection Agency (IEPA) is required for stormwater discharges from construction sites that will disturb 1 or more acres of land. Conditions of the NPDES ILR10 permit require the development and implementation of a Stormwater Pollution Prevention Plan (SWPPP) to reduce stormwater pollutants on the construction site before they can cause environmental issues.

LAND USE FINDINGS:

The Kendall County Soil and Water Conservation District (SWCD) Board has reviewed the proposed site plans for Oakland Ave. Storage, LLC. The petitioner is requesting a change in zoning from A-1 Agricultural to B-3 Highway Business District on one, approximately 10.3-acre, parcel (Parcel Index Number 09-13-400-011) to utilize the site as a contractor’s yard. The parcel is in Section 13 of Seward Township (T.35N-R.8E) of the 3rd Principal Meridian in Kendall County, IL. Based on the information provided by the petitioner and a review of natural resource related data available to the Kendall County SWCD, the SWCD Board presents the following information.

The Kendall County SWCD has always had the opinion that prime farmland soils should be preserved whenever feasible due to their highly productive qualities for growing agriculturally important crops in our community. Of the soils found onsite, 64.8% are designated as prime farmland. A land evaluation (LE), which is a part of the Land Evaluation and Site Assessment (LESA), was conducted on this parcel. The soils on this parcel scored a 90 out of a possible 100 points indicating that the soils are well suited for agricultural uses. The total LESA score for this site is 196 out of a possible 300, which indicates a low level of protection for the proposed project site. Selecting the project site with the lowest total points will generally protect the best farmland located in the most viable areas and maintain and promote the agricultural industry in Kendall County.

Soils found on the project site are rated for specific uses and can have potential limitations for development. Soil types with severe limitations do not preclude the ability to develop the site for the proposed use, but it is important to note that the limitation may require soil reclamation, special design/engineering, or maintenance to obtain suitable soil conditions to support development with significant limitations. This report indicates that for soils located on the parcel, 100% are considered very limited for supporting local roads & streets and 35.2% are considered very limited for supporting shallow excavations. The remaining 64.8% of the site contains soils that are considered somewhat limited for supporting shallow excavations. For uses such as small commercial buildings or lawns/landscaping, 100% of soils are considered somewhat limited for supporting those uses. Additionally, 100% of the soils are considered suitable for conventional septic systems. This information is based on the soil in an undisturbed state. If the scope of the project may include the use of onsite septic systems, please consult with the Kendall County Health Department.

This site is located within the Upper Illinois River watershed and the Town of Seward – Aux Sable Creek sub watershed. This development should include a soil erosion and sediment control plan to be implemented during construction. It is critical to have vegetative cover during and after construction to protect the soil from erosion. Sediment may become a primary non-point source of pollution. Eroded soils during the construction phase can create unsafe conditions on roadways, degrade water quality, and destroy aquatic ecosystems lower in the watershed.

For intense use, it is recommended that a drainage tile survey be completed on the parcel to locate the subsurface drainage tile and should be taken into consideration during the land use planning process. Drainage tile expedites drainage and facilitates farming. It is imperative that these drainage tiles remain undisturbed. Impaired tile may affect a few acres or hundreds of acres of drainage.

The information that is included in this Natural Resources Information Report is to assure that the Land Developers take into full consideration the limitations of that land that they wish to develop. Guidelines and recommendations are also a part of this report and should be considered in the planning process. The Natural Resource Information Report is required by the Illinois Soil and Water Conservation District Act (Ill. Compiled Statues, Ch. 70, Par 405/22.02a).



SWCD Board Representative

5/24/2024

Date

PARCEL LOCATION

Located in the southeast ¼ of Section 13, Township 35 North, Range 8 East (Seward Township). This parcel contains approximately 10.3 acres and is located on the south side of U.S. Route 52, east of Ridge Road, north of Bell Road, and west of County Line Road in Minooka, IL.

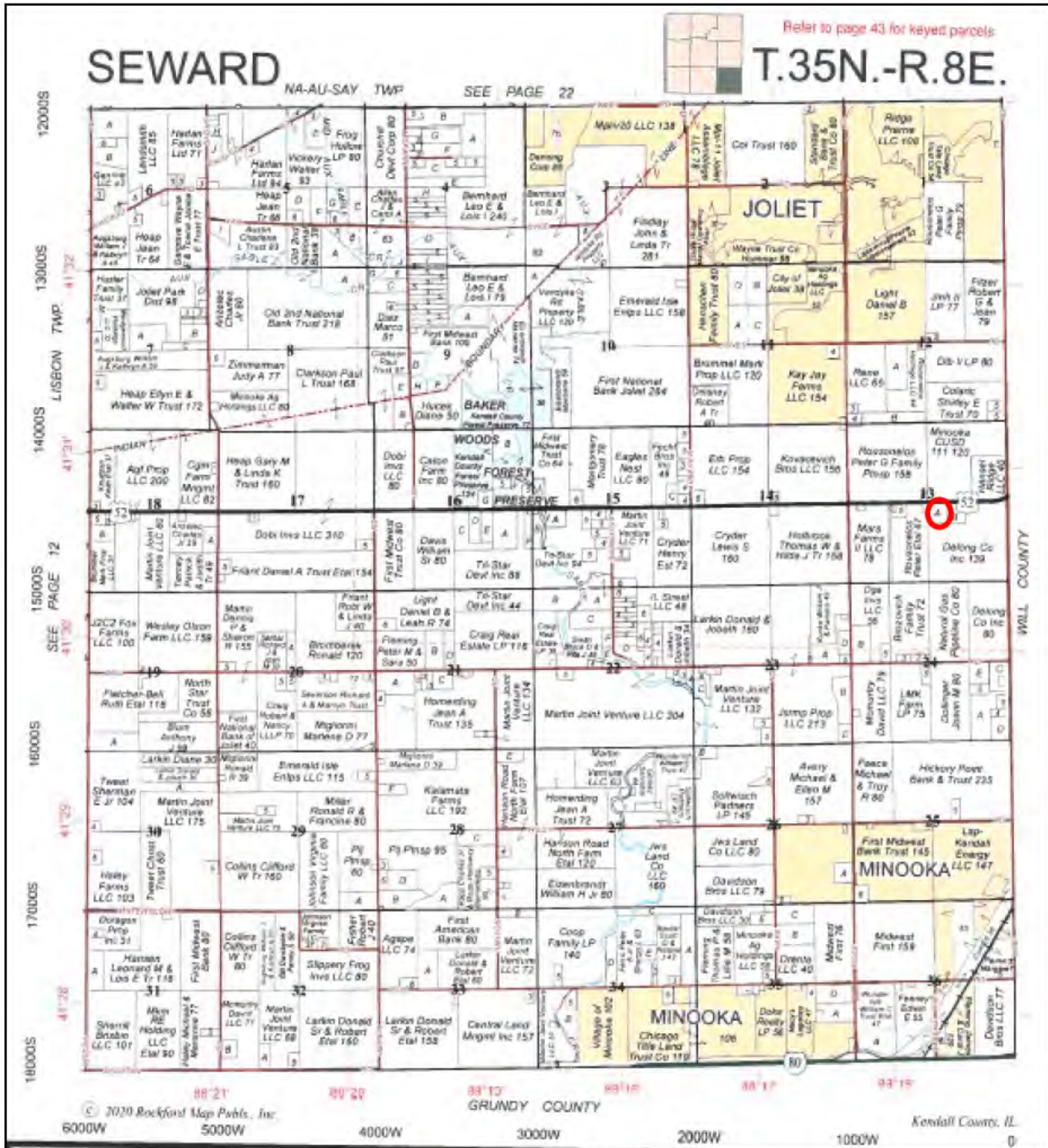


Figure 3: 2021 Plat Map

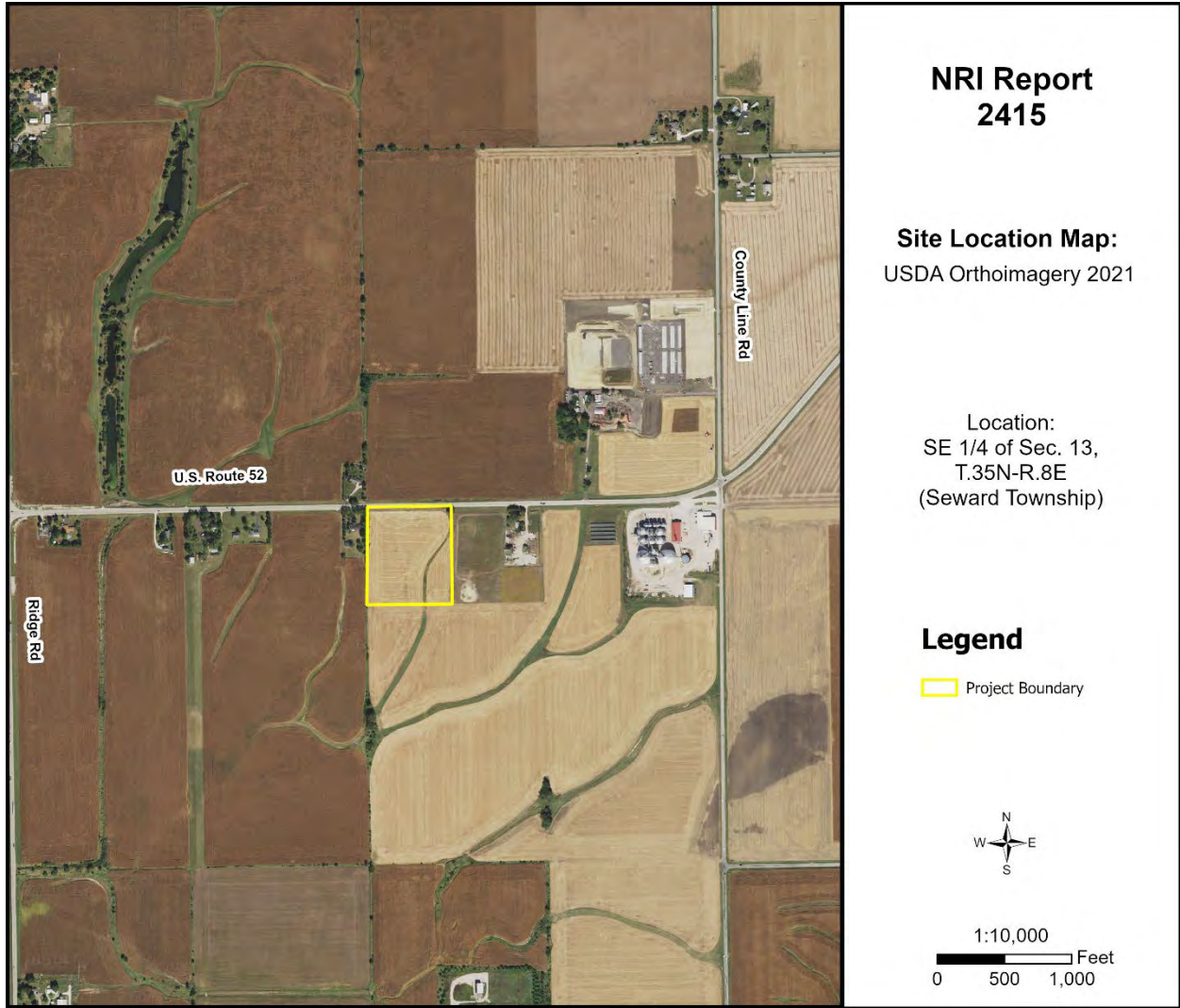


Figure 4: Aerial Map with NRI Project Boundary

ARCHAEOLOGIC/CULTURAL RESOURCES INFORMATION

Simply stated, cultural resources are all the past activities and accomplishments of people. They include the following: buildings; objects made or used by people; locations; and less tangible resources, such as stories, dance forms, and holiday traditions.

The Soil and Water Conservation District most often encounters cultural resources as historical properties. These may be prehistoric or historical sites, buildings, structures, features, or objects. The most common type of historical property that the Soil and Water Conservation District may encounter is non-structural archaeological sites. These sites often extend below the soil surface and must be protected against disruption by development or other earth moving activity if possible. Cultural resources are *non-renewable* because there is no way to “grow” a site to replace a disrupted site.

Landowners with historical properties on their land have ownership of that historical property. However, the State of Illinois owns all the following: human remains, grave markers, burial mounds, and artifacts associated with graves and human remains.

Non-grave artifacts from archaeological sites and historical buildings are the property of the landowner. The landowner may choose to disturb a historical property but may not receive federal or state assistance to do so. If an earth moving activity disturbs human remains, the landowner must contact the county coroner within 48 hours.

The Illinois State Historic Preservation Office has not been notified of the proposed land use change by the Kendall County SWCD. There may be historic features in the area. The applicant may need to contact them according to current Illinois law.

ECOLOGICALLY SENSITIVE AREAS

WHAT IS BIOLOGICAL DIVERSITY AND WHY SHOULD IT BE CONSERVED?¹

Biological diversity, or biodiversity, is the range of life on our planet. A more thorough definition is presented by botanist Peter H. Raven: “At the simplest level, biodiversity is the sum total of all the plants, animals, fungi and microorganisms in the world, or in a particular area; all of their individual variation; and all of the interactions between them. It is the set of living organisms that make up the fabric of the planet Earth and allow it to function as it does, by capturing energy from the sun and using it to drive all of life’s processes; by forming communities of organisms that have, through the several billion years of life’s history on Earth, altered the nature of the atmosphere, the soil and the water of our Planet; and by making possible the sustainability of our planet through their life activities now” (Raven 1994).

It is not known how many species occur on our planet. Presently, about 1.4 million species have been named. It has been estimated that there are perhaps 9 million more that have not been identified. What is known is that they are vanishing at an unprecedented rate. Reliable estimates show extinction occurring at a rate several orders of magnitude above “background” in some ecological systems (Wilson 1992, Hoose 1981).

The reasons for protecting biological diversity are complex, but they fall into four major categories. First, loss of diversity generally weakens entire natural systems. Healthy ecosystems tend to have many natural checks and balances. Every species plays a role in maintaining this system. When simplified by the loss of diversity, the system becomes more susceptible to natural and artificial perturbations. The chances of a system-wide collapse increase. In parts of the midwestern United States, for example, it was only the remnant areas of natural prairies that kept soil intact during the dust bowl years of the 1930s (Roush 1982).

Simplified ecosystems are almost always expensive to maintain. For example, when synthetic chemicals are relied upon to control pests, the target species are not the only ones affected. Their predators are almost always killed or driven away, exasperating the pest problem. In the meantime, people are unintentionally breeding pesticide-resistant pests. A process has begun where people become perpetual guardians of the affected area, which requires the expenditure of financial resources and human ingenuity to keep the system going.

A second reason for protecting biological diversity is that it represents one of our greatest untapped resources. Great benefits can be reaped from a single species. About 20 species provide 90% of the world’s food. Of these 20, just three, wheat, maize, and rice supply over one half of that food. American wheat farmers need new varieties every five to 15 years to compete with pests and diseases. Wild strains of wheat are critical genetic reservoirs for these new varieties.

Further, every species is a potential source of human medicine. In 1980, a published report identified the market value of prescription drugs from higher plants at over \$3 billion. Organic alkaloids, a class of

chemical compounds used in medicines, are found in an estimated 20% of plant species. Yet only 2% of plant species have been screened for these compounds (Hoose 1981).

The third reason for protecting diversity is that humans benefit from natural areas and depend on healthy ecosystems. The natural world supplies our air, our water, our food and supports human economic activity. Further, humans are creatures that evolved in a diverse natural environment between forest and grasslands. People need to be reassured that such places remain. When people speak of “going to the country,” they generally mean more than getting out of town. For reasons of their own sanity and wellbeing, they need a holistic, organic experience. Prolonged exposure to urban monotony produces neuroses, for which cultural and natural diversity cure.

Historically, the lack of attention to biological diversity, and the ecological processes it supports, has resulted in economic hardships for segments of the basin’s human population.

The final reason for protecting biological diversity is that species and natural systems are intrinsically valuable. The above reasons have focused on the benefits of the natural world to humans. All things possess intrinsic value simply because they exist.

BIOLOGICAL RESOURCES CONCERNING THE SUBJECT PARCEL

As part of the Natural Resources Information Report, staff checks office maps to determine if any nature preserves or ecologically sensitive areas are in the general vicinity of the parcel in question. If there is a nature preserve in the area, then that resource will be identified as part of the report. The SWCD recommends that every effort be made to protect that resource. Such efforts should include, but are not limited to erosion control, sediment control, stormwater management, and groundwater monitoring.

Office maps indicate that ecologically sensitive area(s) are not located on or near the parcel in question (PIQ).

¹Taken from *The Conservation of Biological Diversity in the Great Lakes Ecosystem: Issues and Opportunities*, prepared by the Nature Conservancy Great Lakes Program 79W. Monroe Street, Suite 1309, Chicago, IL 60603, January 1994.

SOILS INFORMATION

IMPORTANCE OF SOILS INFORMATION

Soils information comes from the Natural Resources Conservation Service Soil Maps and Descriptions for Kendall County. This information is important to all parties involved in determining the suitability of the proposed land use change.

Each soil polygon is given a number, which represents its soil type. The letter found after the soil type number indicates the soils slope class.

Each soil map unit has limitations for a variety of land uses such as septic systems, buildings with basements, and buildings without basements. It is important to remember that soils do not function independently of each other. The behavior of a soil depends upon the physical properties of adjacent soil types, the presence of artificial drainage, soil compaction, and its position in the local landscape.

The limitation categories (not limited, somewhat limited, or very limited) indicate the potential for difficulty in using that soil unit for the proposed activity and, thus, the degree of need for thorough soil borings and engineering studies. A limitation does not necessarily mean that the proposed activity cannot be done on that soil type. It does mean that the reasons for the limitation need to be thoroughly understood and dealt with to complete the proposed activity successfully. Very limited indicates that the proposed activity will be more difficult and costly to do on that soil type than on a soil type with a somewhat limited or not limited rating.

Soil survey interpretations are predictions of soil behavior for specified land uses and specified management practices. They are based on the soil properties that directly influence the specified use of the soil. Soil survey interpretations allow users of soil surveys to plan reasonable alternatives for the use and management of soils.

Soil interpretations do not eliminate the need for on-site study and testing of specific sites for the design and construction for specific uses. They can be used as a guide for planning more detailed investigations and for avoiding undesirable sites for an intended use. The scale of the maps and the range of error limit the use of the soil delineation.

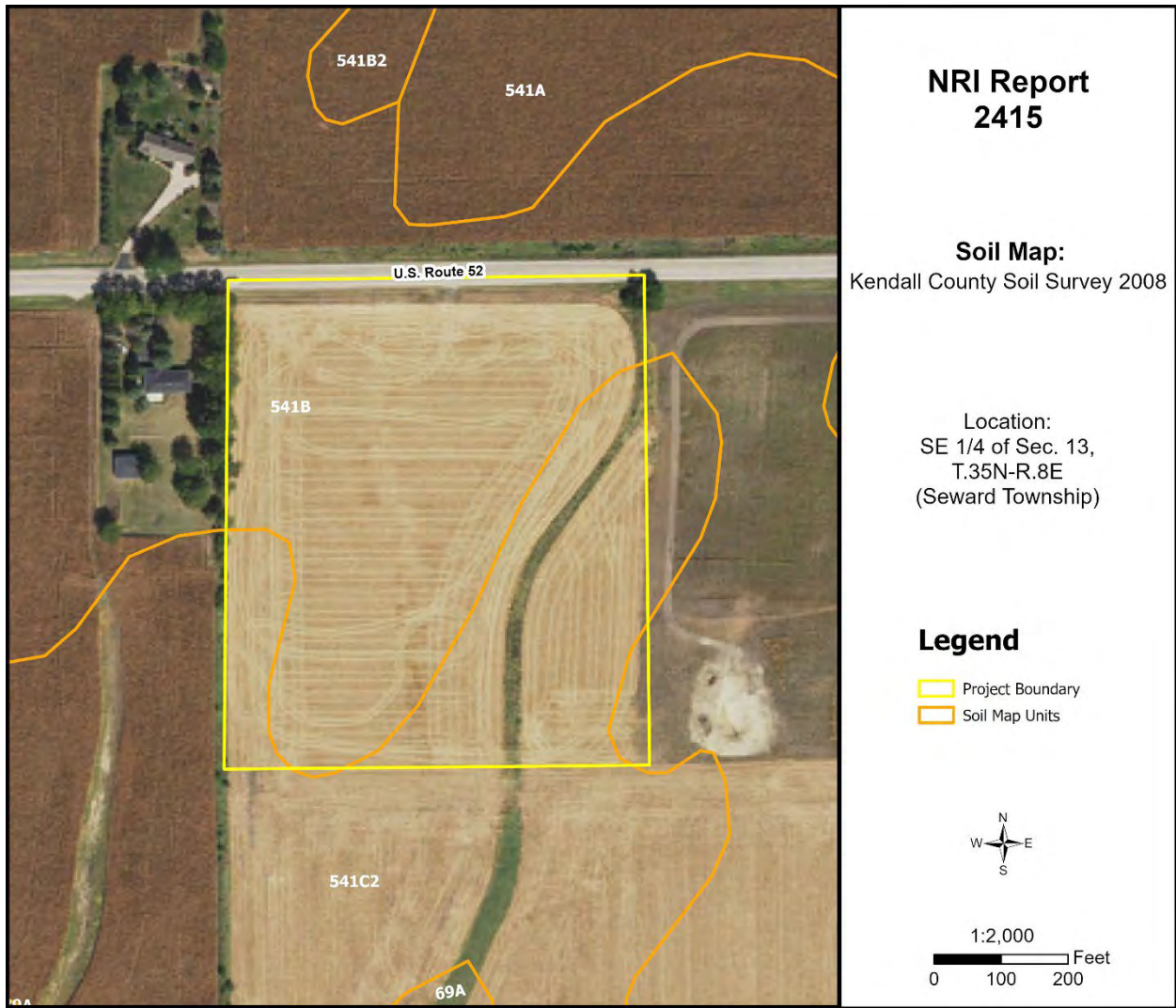


Figure 5: Soil Map

Table 3: Soil Map Unit Descriptions

Soil Type	Soil Name	Acreage	Percent
541B	Graymont silt loam, 2-5% slopes	6.7	64.8%
541C2	Graymont silt loam, 5-10% slopes, eroded	3.6	35.2%

Source: National Cooperative Soil Survey – USDA-NRCS

SOILS INTERPRETATIONS EXPLANATION

GENERAL – NONAGRICULTURAL

These interpretative ratings help engineers, planners, and others to understand how soil properties influence behavior when used for nonagricultural uses such as building site development or construction materials. This report gives ratings for proposed uses in terms of limitations and restrictive features. The tables list only the most restrictive features.

Other features may need treatment to overcome soil limitations for a specific purpose. Ratings come from the soil's "natural" state, that is, no unusual modification occurs other than that which is considered normal practice for the rated use. Even though soils may have limitations, an engineer may alter soil features or adjust building plans for a structure to compensate for most degrees of limitations. Most of these practices, however, are costly. The final decision in selecting a site for a particular use generally involves weighing the costs for site preparation and maintenance. Soil properties influence development of building sites, including the selection of the site, the design of the structure, construction, performance after construction, and maintenance. Soil limitation ratings of not limited, somewhat limited, and very limited are given for the types of proposed improvements that are listed or inferred by the petitioner as entered on the report application and/or zoning petition. The most common types of building limitation that this report gives limitations ratings for is septic systems. It is understood that engineering practices can overcome most limitations for buildings with and without basements, and small commercial buildings. Limitation ratings for these types of buildings are not commonly provided. Organic soils, when present on the parcel, are referenced in the hydric soils section of the report. This type of soil is considered unsuitable for all types of construction.

LIMITATIONS RATINGS

- **Not Limited:** This soil has favorable properties for the use. The degree of limitation is minor. The people involved can expect good performance and low maintenance.
- **Somewhat Limited:** This soil has moderately favorable properties for the use. Special planning, design, or maintenance can overcome this degree of limitation. During some part of the year, the expected performance is less desirable than for soils rated slight.
- **Very Limited:** This soil has one or more properties that are unfavorable for the rated use. These may include the following: steep slopes, bedrock near the surface, flooding, high shrink-swell potential, a seasonal high water table, or low strength. This degree of limitation generally requires major soil reclamation, special design, or intensive maintenance, which in most situations is difficult and costly.

BUILDING LIMITATIONS

BUILDING ON POORLY SUITED OR UNSUITABLE SOILS

Building on poorly suited or unsuitable soils can present problems to future property owners such as cracked foundations, wet basements, lowered structural integrity and high maintenance costs associated with these problems. The staff of the Kendall County SWCD strongly urges scrutiny by the plat reviewers when granting parcels with these soils exclusively.

Small Commercial Buildings – Ratings are for structures that are less than three stories high and do not have basements. The foundation is assumed to be spread footings of reinforced concrete built on disturbed soil at a depth of 2 feet or at the depth of maximum frost penetration, whichever is deeper. The ratings are based on soil properties that affect the capacity of the soil to support a load without movement and on the properties that affect excavation and construction costs.

Shallow Excavations – Trenches or holes dug to a maximum depth of 5 or 6 feet for utility lines, open ditches, or other purposes. Ratings are based on soil properties that influence the ease of digging and the resistance to sloughing.

Lawns and Landscaping – Require soils on which turf and ornamental trees and shrubs can be established and maintained (irrigation is not considered in the ratings). The ratings are based on the soil properties that affect plant growth and trafficability after vegetation is established.

Local Roads and Streets – They have an all-weather surface and carry automobile and light truck traffic all year. They have a subgrade of cut or fill soil material, a base of gravel, crushed rock or soil material stabilized by lime or cement; and a surface of flexible material (asphalt), rigid material (concrete) or gravel with a binder. The ratings are based on the soil properties that affect the ease of excavation and grading and the traffic-supporting capacity.

Onsite Conventional Sewage Disposal – The factors considered are the characteristics and qualities of the soil that affect the limitations for absorbing waste from domestic sewage disposal systems. The major features considered are soil permeability, percolation rate, groundwater level, depth to bedrock, flooding hazards, and slope. The table below indicates soils that are deemed unsuitable per the Kendall County Subdivision Control Ordinance. Installation of an on-site sewage disposal system in soils designated as unsuitable may necessitate the installation of a non-conventional onsite sewage disposal system. For more information please contact the Kendall County Health Department – Environmental Health at (630) 553-9100 x8026.

Table 4: Building Limitations

Soil Type	Small Commercial Buildings	Shallow Excavations	Lawns & Landscaping	Local Roads & Streets	Onsite Conventional Sewage Systems*	Acres	%
541B	Somewhat Limited: Shrink-swell	Somewhat Limited: Depth to saturated zone Dusty Unstable excavation walls	Somewhat Limited: Dusty	Very Limited: Frost action Low strength Shrink-swell Ponding Depth to saturated zone	Suitable/Not Limited	6.7	64.8%
541C2	Somewhat Limited: Slope Shrink-swell	Very Limited: Depth to saturated zone Dusty Unstable excavation walls Ponding	Somewhat Limited: Dusty	Very Limited: Frost action Low strength Shrink-swell Ponding Depth to saturated zone	Suitable/Not Limited	3.6	35.2%
% Very Limited	0%	35.2%	0%	100%	0%		

*This column indicates soils that are deemed unsuitable per the Kendall County Subdivision Control Ordinance. Please consult with the Kendall County Health Department to verify the limitations of your site for onsite conventional sewage disposal.

Figure 6A: Map of Building Limitations - Small Commercial Buildings & Lawns / Landscaping



Figure 6B: Map of Building Limitations - Shallow Excavations



Attachment 3, Page 24
Figure 6C: Map of Building Limitations - Local Roads & Streets



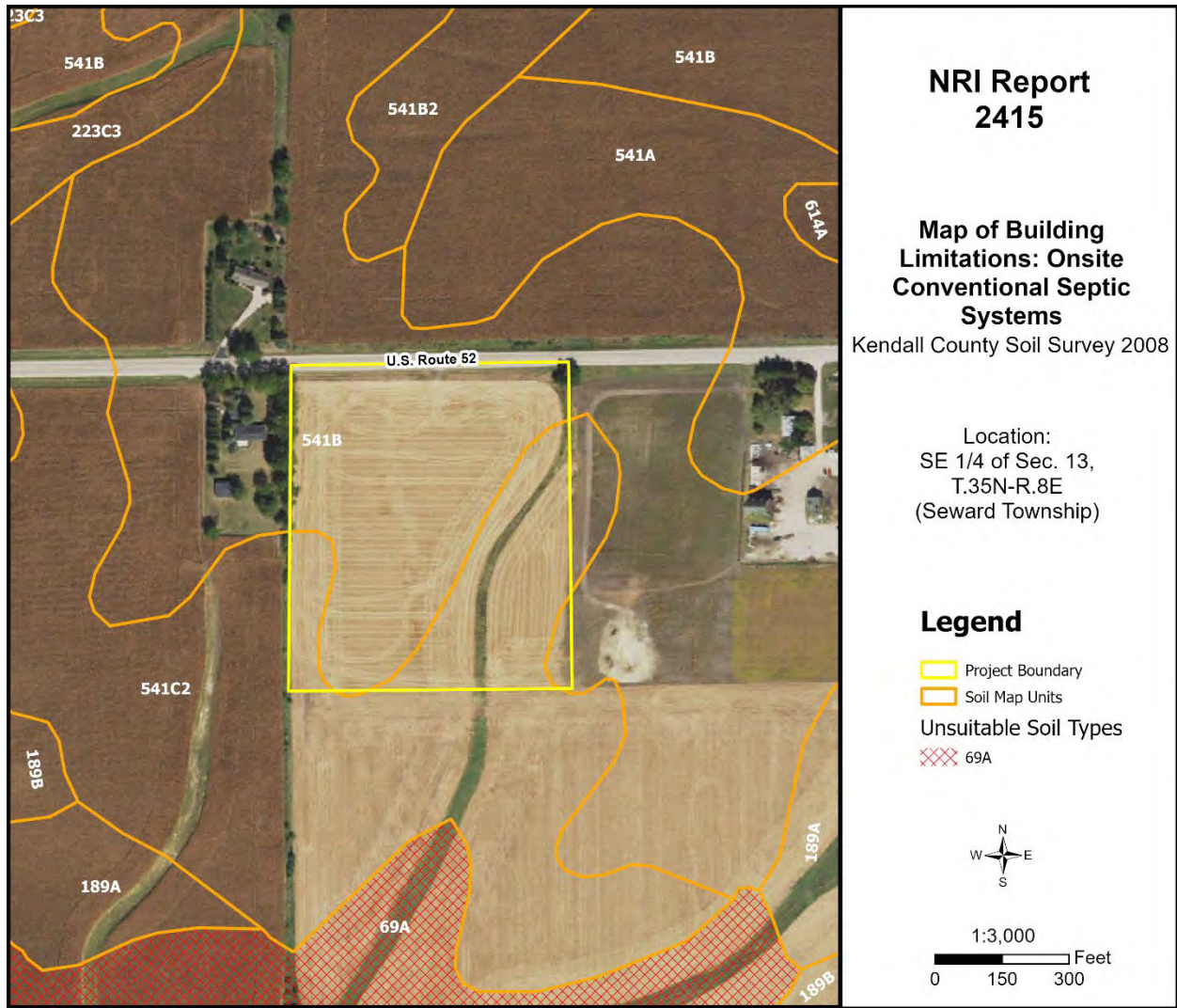


Figure 6D: Map of Building Limitations – Onsite Conventional Septic Systems

SOIL WATER FEATURES

Table 5, below, gives estimates of various soil water features that should be taken into consideration when reviewing engineering for a land use project.

HYDROLOGIC SOIL GROUPS (HSGs) – The groups are based on estimates of runoff potential. Soils are assigned to one of four groups according to the rate of water infiltration when the soils are not protected by vegetation, are thoroughly wet, and receive precipitation from long-duration storms.

- **Group A:** Soils having a high infiltration rate (low runoff potential) when thoroughly wet. These consist mainly of deep, well drained to excessively drained sands or gravelly sands. These soils have a high rate of water transmission.
- **Group B:** Soils having a moderate infiltration rate when thoroughly wet. These consist chiefly of moderately deep or deep, moderately well drained, or well drained soils that have moderately fine texture to moderately coarse texture. These soils have a moderate rate of water transmission.
- **Group C:** Soils having a slow infiltration rate when thoroughly wet. These consist chiefly of soils having a layer that impedes the downward movement of water or soils of moderately fine texture or fine texture. These soils have a slow rate of water transmission.
- **Group D:** Soils having a very slow infiltration rate (high runoff potential) when thoroughly wet. These consist chiefly of clays that have a high shrink-swell potential, soils that have a high water table, soils that have a claypan or clay layer at or near the surface, and soils that are shallow over nearly impervious material. These soils have a very slow rate of water transmission.

Note: If a soil is assigned to a dual hydrologic group (A/D, B/D or C/D) the first letter is for drained areas and the second is for undrained areas.

SURFACE RUNOFF – Surface runoff refers to the loss of water from an area by flow over the land surface. Surface runoff classes are based upon slope, climate and vegetative cover and indicates relative runoff for very specific conditions (it is assumed that the surface of the soil is bare and that the retention of surface water resulting from irregularities in the ground surface is minimal). The classes are negligible, very low, low, medium, high, and very high.

MONTHS – The portion of the year in which a water table, ponding, and/or flooding is most likely to be a concern.

WATER TABLE – Water table refers to a saturated zone in the soil and the data indicates, by month, depth to the top (upper limit) and base (lower limit) of the saturated zone in most years. These estimates are based upon observations of the water table at selected sites and on evidence of a saturated zone (grayish colors or mottles (redoximorphic features)) in the soil. Note: A saturated zone that lasts for less than a month is not considered a water table.

PONDING – Ponding refers to standing water in a closed depression, and the data indicates surface water depth, duration, and frequency of ponding.

- **Duration:** Expressed as *very brief* if less than 2 days, *brief* if 2 to 7 days, *long* if 7 to 30 days and *very long* if more than 30 days.
- **Frequency:** Expressed as: *none* meaning ponding is not possible; *rare* means unlikely but possible under unusual weather conditions (chance of ponding is 0-5% in any year); *occasional* means that it occurs, on the average, once or less in 2 years (chance of ponding is 5 to 50% in any year); and *frequent* means that it occurs, on the average, more than once in 2 years (chance of ponding is more than 50% in any year).

FLOODING – The temporary inundation of an area caused by overflowing streams, by runoff from adjacent slopes, or by tides. Water standing for short periods after rainfall or snowmelt is not considered flooding, and water standing in swamps and marshes is considered ponding rather than flooding.

- **Duration:** Expressed as: *extremely brief* if 0.1 hour to 4 hours; *very brief* if 4 hours to 2 days; *brief* if 2 to 7 days; *long* if 7 to 30 days; and *very long* if more than 30 days.
- **Frequency:** Expressed as: *none* means flooding is not probable; *very rare* means that it is very unlikely but possible under extremely unusual weather conditions (chance of flooding is less than 1% in any year); *rare* means that it is unlikely but possible under unusual weather conditions (chance of flooding is 1 to 5% in any year); *occasional* means that it occurs infrequently under normal weather conditions (chance of flooding is 5 to 50% in any year but is less than 50% in all months in any year); and *very frequent* means that it is likely to occur very often under normal weather conditions (chance of flooding is more than 50% in all months of any year).

Note: The information is based on evidence in the soil profile. In addition, consideration is also given to local information about the extent and levels of flooding and the relation of each soil on the landscape to historic floods. Information on the extent of flooding based on soil data is less specific than that provided by detailed engineering surveys that delineate flood-prone areas at specific flood frequency levels.

Table 5: Water Features

Soil Type	Hydrologic Group	Surface Runoff	Water Table	Ponding	Flooding
541B	C	Low	February – April Upper Limit: 2.0'-3.5' Lower Limit: 2.2'-4.3'	January – December Frequency: None	January – December Frequency: None
541C2	C	Medium	February – April Upper Limit: 2.0'-3.5' Lower Limit: 2.2'-4.3'	January – December Frequency: None	January – December Frequency: None

SOIL EROSION AND SEDIMENT CONTROL

Erosion is the wearing away of the soil by water, wind, and other forces. Soil erosion threatens the Nation's soil productivity and contributes the most pollutants in our waterways. Water causes about two thirds of erosion on agricultural land. Four properties, mainly, determine a soil's erodibility: texture, slope, structure, and organic matter content.

Slope has the most influence on soil erosion potential when the site is under construction. Erosivity and runoff increase as slope grade increases. The runoff then exerts more force on the particles, breaking their bonds more readily and carrying them farther before deposition. The longer water flows along a slope before reaching a major waterway, the greater the potential for erosion.

Soil erosion during and after this proposed construction can be a primary non-point source of water pollution. Eroded soil during the construction phase can create unsafe conditions on roadways, decrease the storage capacity of lakes, clog streams and drainage channels, cause deterioration of aquatic habitats, and increase water treatment costs. Soil erosion also increases the risk of flooding by choking culverts, ditches, and storm sewers and by reducing the capacity of natural and man-made detention facilities.

The general principles of erosion and sedimentation control measures include:

- Reducing/diverting flow from exposed areas, storing flows, or limiting runoff from exposed areas
- Staging construction to keep disturbed areas to a minimum
- Establishing or maintaining temporary or permanent groundcover
- Retaining sediment on site
- Properly installing, inspecting, and maintaining control measures

Erosion control practices are useful controls only if they are properly located, installed, inspected, and maintained. Soil erosion and sedimentation control plans, including maintenance responsibilities, should be clearly communicated to all contractors working on the site.

The SWCD recommends an erosion and sediment control plan for all building sites, especially if there is a wetland or stream nearby. Additionally, a National Pollutant Discharge Elimination System (NPDES) permit (Permit No. ILR10) from the Illinois Environmental Protection Agency (IEPA) is required for stormwater discharges from construction sites that will disturb 1 or more acres of land. Conditions of the NPDES ILR10 permit require the development and implementation of a Stormwater Pollution Prevention Plan (SWPPP) to reduce stormwater pollutants on the construction site before they can cause environmental issues.

Table 6: Soil Erosion Potential

Soil Type	Slope	Rating	Acreage	Percent
541B	2-5%	Slight	6.7	64.8%
541C2	5-10%	Moderate	3.6	35.2%

PRIME FARMLAND SOILS

Prime farmland soils are an important resource to Kendall County. Some of the most productive soils in the United States occur locally. Each soil map unit in the United States is assigned a prime or non-prime rating. Prime agricultural land does not need to be in the production of food & fiber.

Section 310 of the NRCS general manual states that urban or built-up land on prime farmland soils is not prime farmland. The percentages of soil map units on the parcel reflect the determination that urban or built-up land on prime farmland soils is not prime farmland.

Table 7: Prime Farmland Soils

Soil Type	Prime Designation	Acreage	Percent
541B	Prime Farmland	6.7	64.8%
541C2	Farmland of Statewide Importance	3.6	35.2%
% Prime Farmland	64.8%		

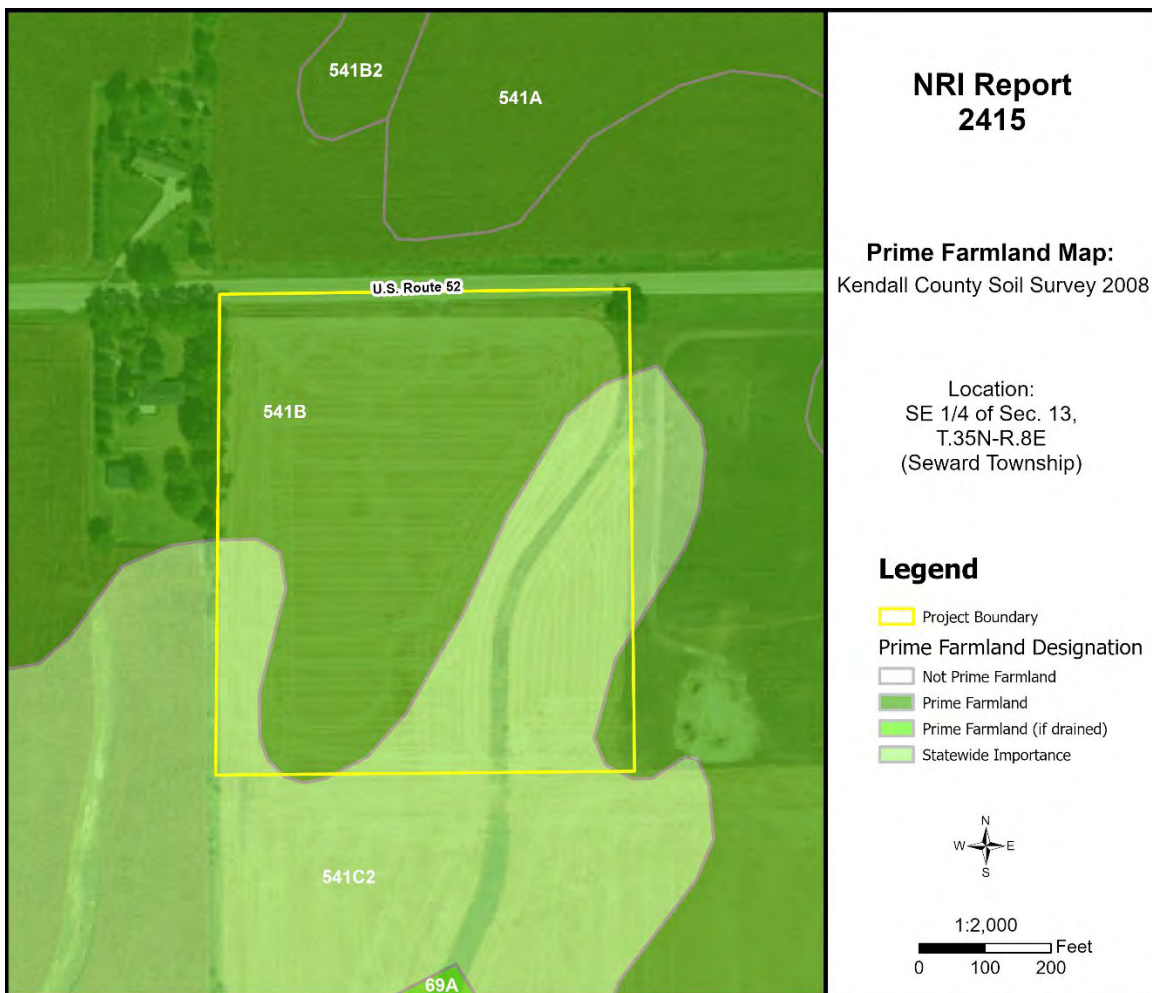


Figure 7: Map of Prime Farmland Soils

LAND EVALUATION AND SITE ASSESSMENT (LESA)

Decision-makers in Kendall County use the Land Evaluation and Site Assessment (LESA) system to determine the suitability of a land use change and/or a zoning request as it relates to agricultural land. The LESA system was developed by the United States Department of Agriculture-Natural Resources Conservation Service (USDA-NRCS) and takes into consideration local conditions such as physical characteristics of the land, compatibility of surrounding land-uses, and urban growth factors. The LESA system is a two-step procedure that includes:

LAND EVALUATION (LE)

The soils of a given area are rated and placed in groups ranging from the best to worst suited for a stated agriculture use, cropland, or forestland. The best group is assigned a value of 100, and all other groups are assigned lower values. The Land Evaluation is based on data from the Kendall County Soil Survey. The LE score is calculated by multiplying the relative value of each soil type by the number of acres of that soil. The sum of the products is then divided by the total number of acres; the answer is the Land Evaluation score on this site. The Kendall County Soil and Water Conservation District is responsible for this portion of the LESA system.

SITE ASSESSMENT (SA)

The site is numerically evaluated according to important factors that contribute to the quality of the site. Each factor selected is assigned values in accordance with the local needs and objectives. The value group is a predetermined value based upon prime farmland designation. The Kendall County LESA Committee is responsible for this portion of the LESA system.

Please Note: A land evaluation (LE) score will be compiled for every project parcel. However, when a parcel is located within municipal planning boundaries, a site assessment (SA) score is not compiled as the scoring factors are not applicable. As a result, only the LE score is available, and a full LESA score is unavailable for the parcel.

Table 8A: Land Evaluation Computation

Soil Type	Value Group	Relative Value	Acres*	Product (Relative Value x Acres)
541B	2	94	6.7	629.8
541C2	5	82	3.6	295.2
			10.3	925.0
LE Calculation			(Product of relative value / Total Acres) 925.0 / 10.3 = 89.8	
LE Score			LE = 90	

*Acreage listed in this chart provides a generalized representation and may not precisely reflect exact acres of each soil type.

The Land Evaluation score for this site is 90, indicating that this site is designated as land that is well suited for agricultural uses considering the Land Evaluation score is above 80.

Table 8B: Site Assessment Computation

A.	Agricultural Land Uses	Points
	1. Percentage of area in agricultural uses within 1.5 miles of site. (20-10-5-0)	20
	2. Current land use adjacent to site. (30-20-15-10-0)	20
	3. Percentage of site in agricultural production in any of the last 5 years. (20-15-10-5-0)	20
	4. Size of site. (30-15-10-0)	0
B.	Compatibility / Impact on Uses	
	1. Distance from city or village limits. (20-10-0)	10
	2. Consistency of proposed use with County Land Resource Management Concept Plan and/or municipal comprehensive land use plan. (20-10-0)	0
	3. Compatibility of agricultural and non-agricultural uses. (15-7-0)	7
C.	Existence of Infrastructure	
	1. Availability of public sewage system. (10-8-6-0)	8
	2. Availability of public water system. (10-8-6-0)	8
	3. Transportation systems. (15-7-0)	7
	4. Distance from fire protection service. (10-8-6-2-0)	6
	Site Assessment Score:	106

Land Evaluation Value: 90 + Site Assessment Value: 106 = LESA Score: 196

Table 9: LESA Score Summary

LESA SCORE	LEVEL OF PROTECTION
0-200	Low
201-225	Medium
226-250	High
251-300	Very High

The LESA Score for this site is 196 which indicates a low level of protection for the proposed project site. Selecting the project site with the lowest total points will generally protect the best farmland located in the most viable areas and maintain and promote the agricultural industry in Kendall County.

LAND USE PLANS

Many counties, municipalities, villages, and townships have developed land-use plans. These plans are intended to reflect the existing and future land-use needs of a given community. Please contact Kendall County Planning, Building & Zoning for information regarding their comprehensive land use plan and map.

DRAINAGE, RUNOFF, AND FLOOD INFORMATION

U.S.G.S Topographic maps give information on elevations, which are important mostly to determine slopes, drainage directions, and watershed information.

Elevations determine the area of impact of floods of record. Slope information determines steepness and erosion potential. Drainage directions determine where water leaves the PIQ, possibly impacting surrounding natural resources.

Watershed information is given for changing land use to a subdivision type of development on parcels greater than 10 acres.

WHAT IS A WATERSHED?

Simply stated, a watershed is the area of land that contributes water to a certain point. The watershed boundary is important because the area of land in the watershed can now be calculated using an irregular shape area calculator such as a dot counter or planimeter.

Using regional storm event information, and site-specific soils and land use information, the peak stormwater flow through the point marked "O" for a specified storm event can be calculated. This value is called a "Q" value (for the given storm event) and is measured in cubic feet per second (CFS).

When construction occurs, the Q value naturally increases because of the increase in impermeable surfaces. This process decreases the ability of soils to accept and temporarily hold water. Therefore, more water runs off and increases the Q value.

Theoretically, if each development, no matter how large or small, maintains their preconstruction Q value after construction by the installation of stormwater management systems, the streams and wetlands and lakes will not suffer damage from excessive urban stormwater.

For this reason, the Kendall County SWCD recommends that the developer for intense uses, such as a subdivision, calculate the preconstruction Q value for the exit point(s). A stormwater management system

should be designed, installed, and maintained to limit the postconstruction Q value to be at or below the preconstruction value.

IMPORTANCE OF FLOOD INFORMATION

A floodplain is defined as land adjoining a watercourse (riverine) or an inland depression (non-riverine) that is subject to periodic inundation by high water. Floodplains are important areas demanding protection since they have water storage and conveyance functions which affect upstream and downstream flows, water quality and quantity, and suitability of the land for human activity. Since floodplains play distinct and vital roles in the hydrologic cycle, development that interferes with their hydrologic and biologic functions should be carefully considered.

Flooding is both dangerous to people and destructive to their properties. The following maps, when combined with wetland and topographic information, can help developers and future homeowners to “sidestep” potential flooding or ponding problems.

Flood Insurance Rate Maps (FIRMs), produced by the Federal Emergency Management Agency (FEMA), define flood elevation adjacent to tributaries and major bodies of water and superimpose that onto a simplified USGS topographic map. The scale of the FIRM maps is generally dependent on the size and density of parcels in that area. This is to correctly determine the parcel location and floodplain location. The FIRM map has three (3) zones. Zone A includes the 100-year flood (1% annual chance flood), Zone B or Zone X (shaded) is the 100 to 500-year flood (between limits of the 1% and the 0.2% annual chance flood), and Zone C or Zone X (unshaded) is outside the floodplain (outside the 0.2% annual chance flood).

The Hydrologic Atlas (H.A.) Series of the Flood of Record Map is also used for the topographic information. This map is different from the FIRM map mainly because it will show isolated or pocketed flooded areas. Kendall County uses both these maps in conjunction with each other for flooded area determinations. The Flood of Record maps show the areas of flood for various years. Both maps stress that the recurrence of flooding is merely statistical. A 100-year flood may occur twice in one year, or twice in one week, for that matter.

It should be noted that greater floods than those shown on the two maps are possible. The flood boundaries indicated provide a historic record only until the map publication date. Additionally, these flood boundaries are a function of the watershed conditions existing when the maps were produced. Cumulative changes in runoff characteristics caused by urbanization can result in an increase in flood height of future flood episodes.

Floodplains play a vital role in reducing the flood damage potential associated with an urbanizing area and, when left in an undisturbed state, also provide valuable wildlife habitat benefits. If it is the petitioner's intent to conduct floodplain filling or modification activities, the petitioner, and the Unit of Government responsible need to consider the potentially adverse effects this type of action could have on adjacent properties. The change or loss of natural floodplain storage often increases the frequency and severity of flooding on adjacent property.

If the available maps indicate the presence of a floodplain on the PIQ, the petitioner should contact the IDNR-OWR and FEMA to delineate a floodplain elevation for the parcel. If a portion of the property is indeed floodplain, applicable state, county, and local regulations will need to be reflected in the site plans. Another indication of flooding potential can be found in the soils information. Hydric soils indicate the presence of drainage ways, areas subject to ponding, or a naturally occurring high water table. These need to be considered along with the floodplain information when developing the site plan and the stormwater management plan. Development on hydric soils can contribute to the loss of water storage within the soil and the potential for increased flooding in the area.

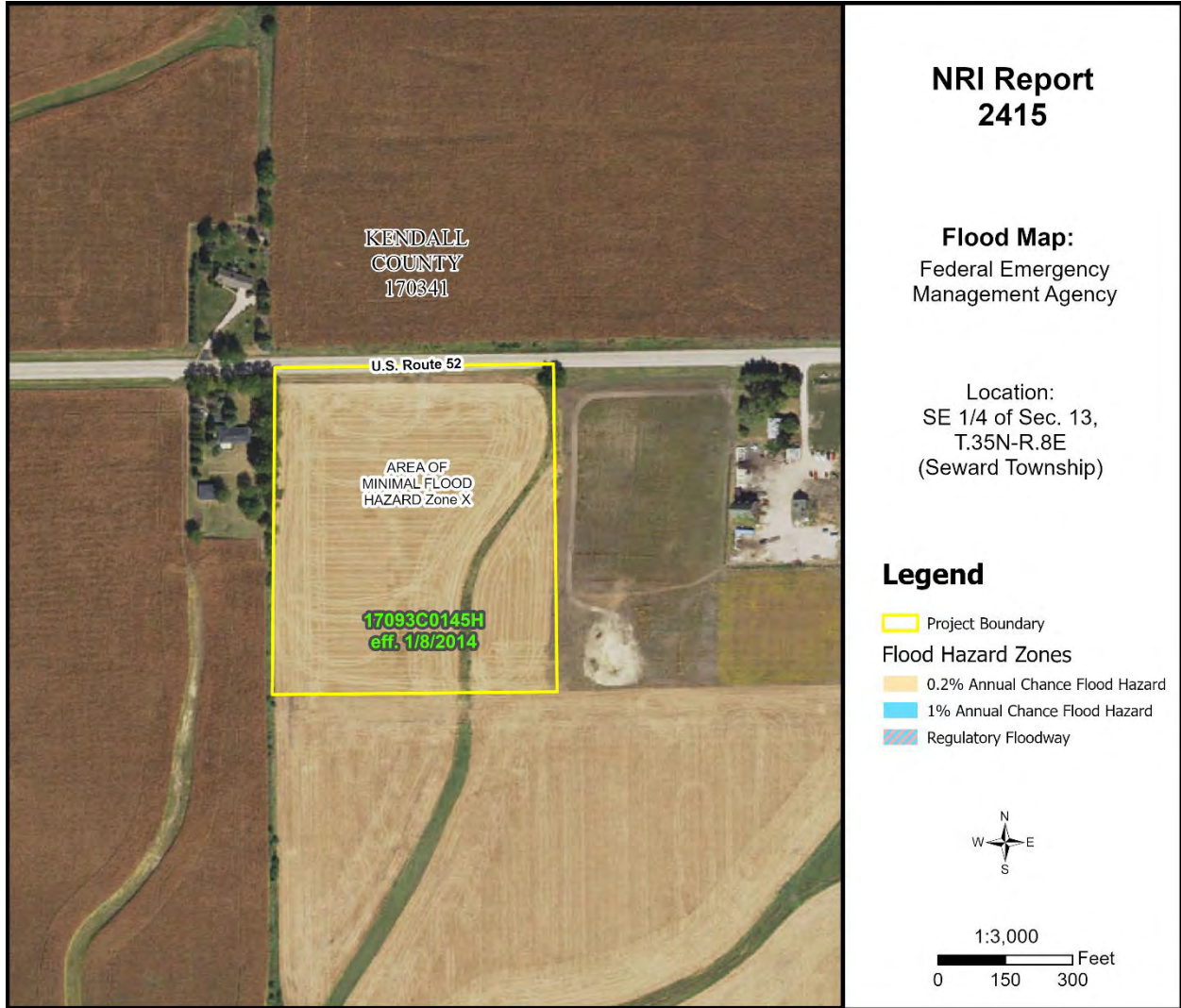


Figure 8: Flood Map

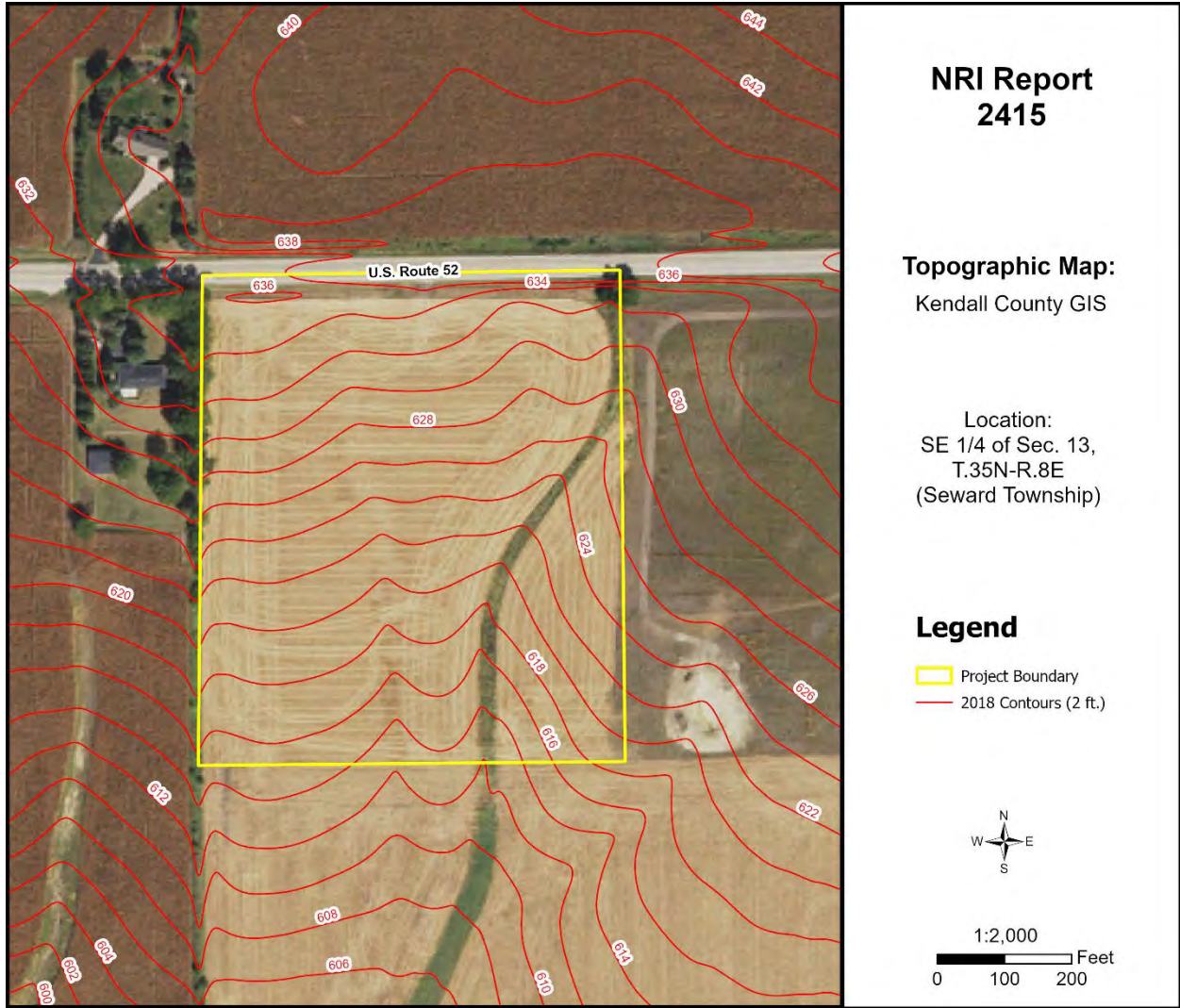


Figure 9: Topographic Map

This parcel contains soils with slopes of 2-10% and an elevation of approximately 614'-636' above sea level. The highest point is at the northwest corner, and the lowest point is at the south end of the site. According to the Federal Emergency Management Agency (FEMA) Flood Map (Figure 8), the parcel does not appear to contain areas of floodplain or floodway. It is mapped as Zone X, an area of minimal flood hazard determined to be outside of the 0.2% annual chance floodplain.

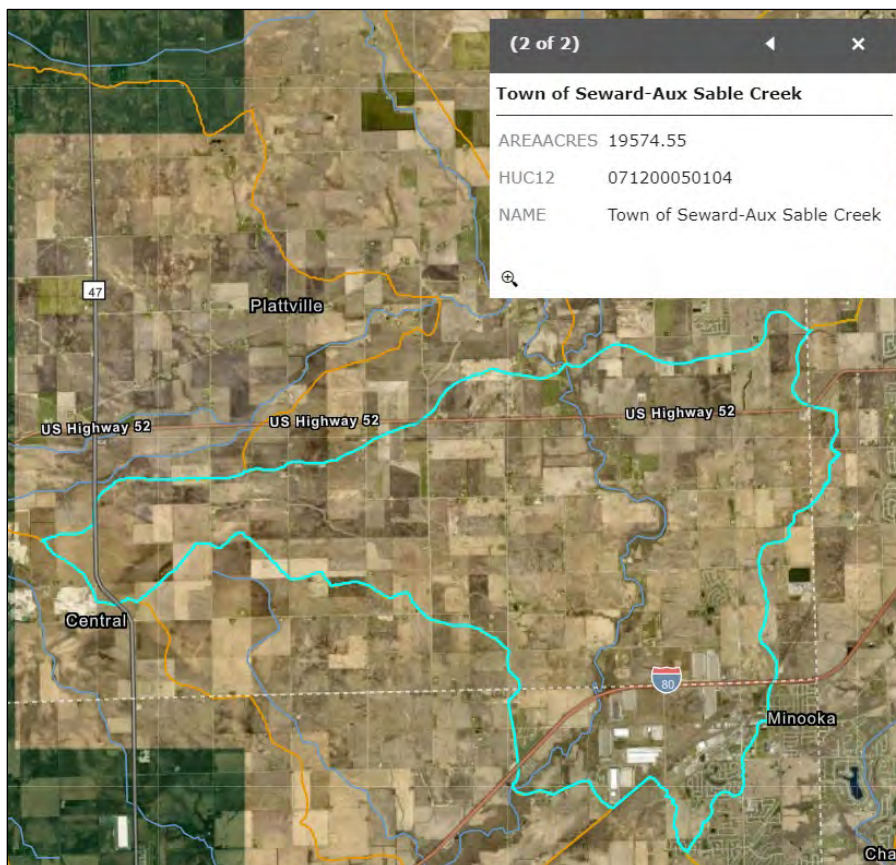
WATERSHED PLANS

WATERSHED AND SUB WATERSHED INFORMATION

A watershed is the area of land that drains into a specific point including a stream, lake, or other body of water. High points on the Earth's surface, such as hills and ridges define watersheds. When rain falls in the watershed, it flows across the ground towards a stream or lake. Rainwater carries pollutants such as oils, pesticides, and soil.

Everyone lives in a watershed. Their actions can impact natural resources and people living downstream. Residents can minimize this impact by being aware of their environment and the implications of their activities, implementing practices recommended in watershed plans, and educating others about their watershed.

The following are recommendations to developers for protection of this watershed: Preserve open space; maintain wetlands as part of development; use natural water management; prevent soil from leaving a construction site; protect subsurface drainage; use native vegetation; retain natural features; mix housing styles and types; decrease impervious surfaces; reduce area disturbed by mass grading; shrink lot size and create more open space; maintain historical and cultural resources; treat water where it falls; preserve views; and establish and link trails.



This site is located within the Upper Illinois River watershed and the Town of Seward – Aux Sable Creek sub watershed (HUC 12 – 071200050104). The Town of Seward – Aux Sable Creek sub watershed comprises 19,574.55 acres.

Figure 10: Sub Watershed Map

WETLAND INFORMATION

IMPORTANCE OF WETLAND INFORMATION

Wetlands function in many ways to provide numerous benefits to society. They control flooding by offering a slow release of excess water downstream or through the soil. They cleanse water by filtering out sediment and some pollutants and can function as rechargers of our valuable groundwater. They also are essential breeding, rearing, and feeding grounds for many species of wildlife.

These benefits are particularly valuable in urbanizing areas as development activity typically adversely affects water quality, increases the volume of stormwater runoff, and increases the demand for groundwater. In an area where many individual homes rely on shallow groundwater wells for domestic water supplies, activities that threaten potential groundwater recharge areas are contrary to the public good. The conversion of wetlands, with their sediment trapping and nutrient absorbing vegetation, to biologically barren stormwater detention ponds can cause additional degradation of water quality in downstream or adjacent areas.

It has been estimated that over 95% of the wetlands that were historically present in Illinois have been destroyed while only recently has the true environmental significance of wetlands been fully recognized. America is losing 100,000 acres of wetland a year and has saved 5 million acres total (since 1934). One acre of wetland can filter 7.3 million gallons of water a year. These are reasons why our wetlands are high quality and important.

This section contains the National Wetlands Inventory, which is the most comprehensive inventory to date. The National Wetlands Inventory is reproduced from an aerial photo at a scale of 1" equals 660 feet. The NRCS developed these maps in cooperation with U.S. EPA (Environmental Protection Agency,) and the U.S. Fish and Wildlife Service, using the National Food Security Act Manual, 3rd Edition. The main purpose of these maps is to determine wetland areas on agricultural fields and areas that may be wetlands but are in a non-agriculture setting.

The National Wetlands Inventory in no way gives an exact delineation of the wetlands, but merely an outline, or the determination that there is a wetland within the outline. For the final, most accurate wetland **determination** of a specific wetland, a wetland **delineation** must be certified by NRCS staff using the National Food Security Act Manual (on agricultural land.) On urban land, a certified wetland delineator must perform the delineation using the ACOE 1987 Manual. *See the glossary section for the definitions of "delineation" and "determination."*

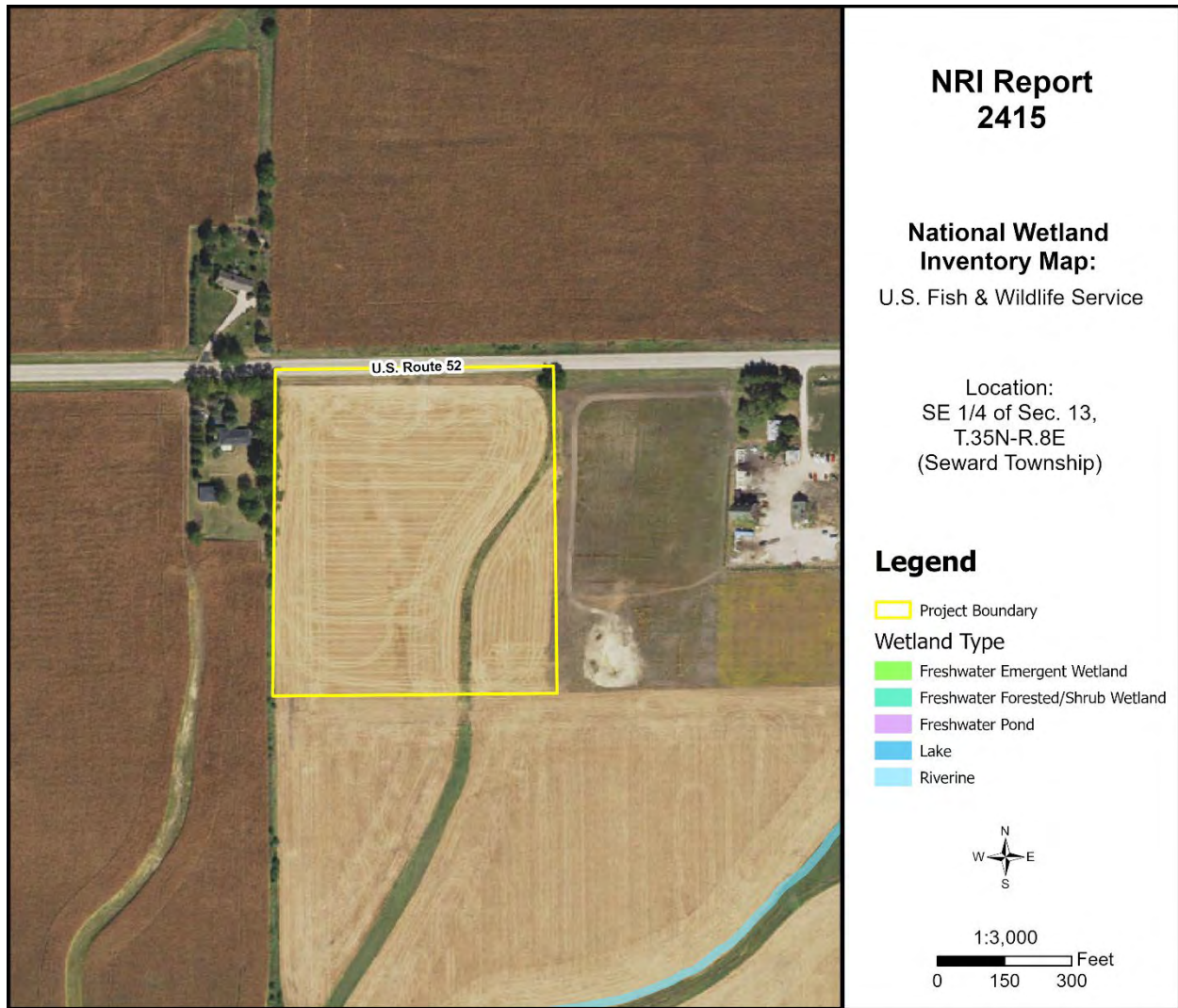


Figure 11: Wetland Map

Office maps indicate that mapped wetlands/waters are not present on the parcel in question (PIQ). A riverine waterway is mapped to the south of the PIQ. To determine the presence of wetlands, a wetland delineation specialist, who is recognized by the U.S. Army Corps of Engineers, should determine the exact boundaries and value of the wetlands.

HYDRIC SOILS

Soils information gives another indication of flooding potential. The soils map on the following page indicates the soil(s) on the parcel that the Natural Resources Conservation Service indicates as hydric. Hydric soils, by definition, have seasonal high water at or near the soil surface and/or have potential flooding or ponding problems. All hydric soils range from poorly suited to unsuitable for building. One group of the hydric soils are the organic soils, which formed from dead organic material. Organic soils are unsuitable for building because of not only the high water table but also their subsidence problems.

It is important to add the possibility of hydric inclusions in a soil type. An inclusion is a soil polygon that is too small to appear on these maps. While relatively insignificant for agricultural use, hydric soil inclusions become more important to more intense uses such as a residential subdivision.

While considering hydric soils and hydric inclusions, it is noteworthy to mention that subsurface agriculture drainage tile occurs in almost all poorly drained and somewhat poorly drained soils. Drainage tile expedites drainage and facilitates farming. It is imperative that these drainage tiles remain undisturbed. A damaged subsurface drainage tile may return original hydrologic conditions to all the areas that drained through the tile (ranging from less than one acre to many square miles.)

For an intense land use, the Kendall County SWCD recommends the following: a topographical survey with 1 foot contour intervals to accurately define the flood area on the parcel, an intensive soil survey to define most accurately the locations of the hydric soils and inclusions, and a drainage tile survey on the area to locate the tiles that must be preserved to maintain subsurface drainage.

Table 10: Hydric Soils

Soil Types	Drainage Class	Hydric Designation	Hydric Inclusions Likely	Hydric Rating %	Acreage	Percent
541B	Moderately Well Drained	Non-Hydric	Yes	5%	6.7	64.8%
541C2	Moderately Well Drained	Non-Hydric	Yes	3%	3.6	35.2%

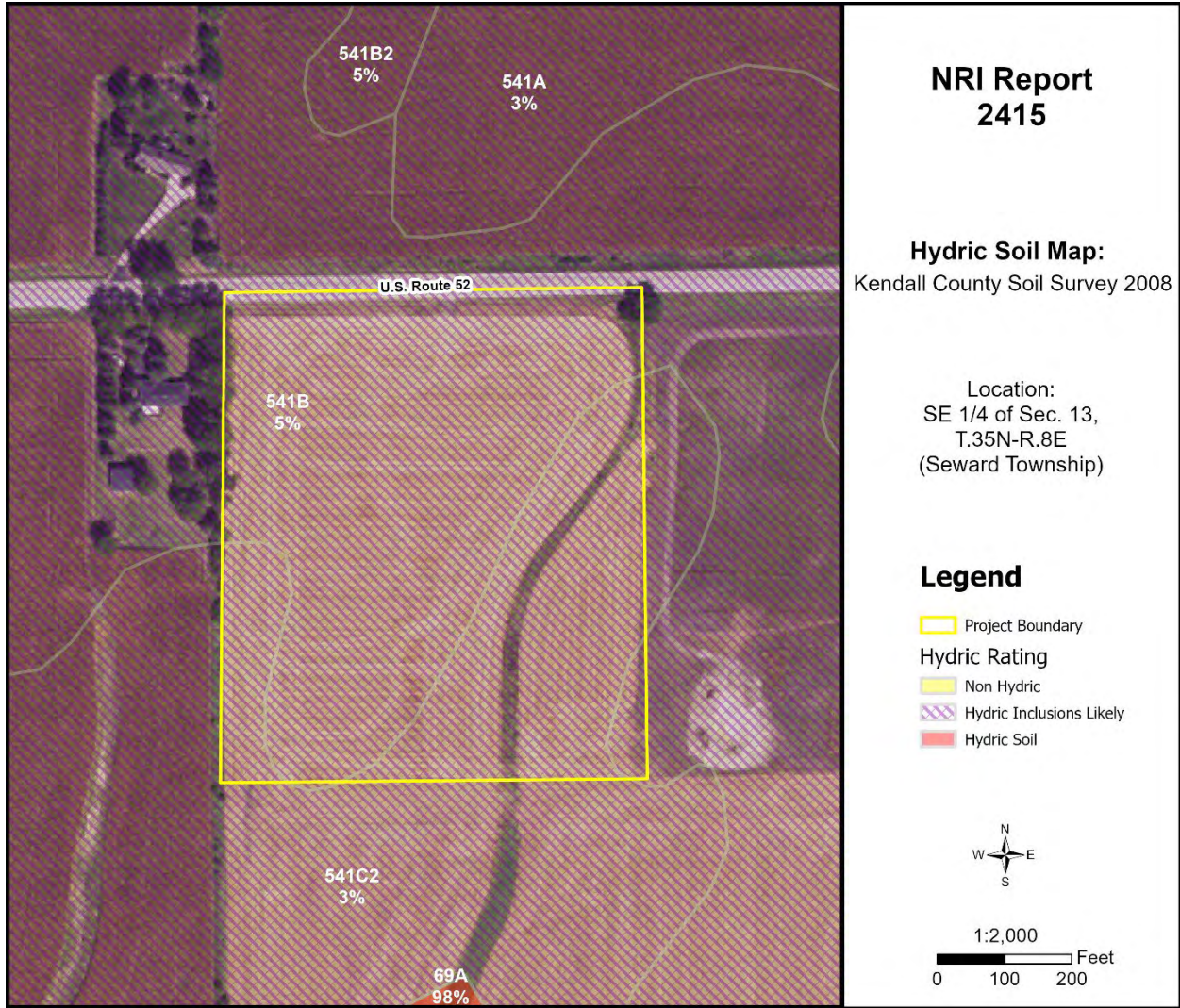


Figure 12: Hydric Soils Map

WETLAND AND FLOODPLAIN REGULATIONS

PLEASE READ THE FOLLOWING IF YOU ARE PLANNING TO DO ANY WORK NEAR A STREAM (THIS INCLUDES SMALL UNNAMED STREAMS), LAKE, WETLAND OR FLOODWAY.

The laws of the United States and the State of Illinois assign certain agencies specific and different regulatory roles to protect the waters within the State's boundaries. These roles, when considered together, include protection of navigation channels and harbors, protection against floodway encroachments, maintenance and enhancement of water quality, protection of fish and wildlife habitat and recreational resources, and, in general, the protection of total public interest. Unregulated use of the waters within the State of Illinois could permanently destroy or alter the character of these valuable resources and adversely impact the public. Therefore, please contact the proper regulatory authorities when planning any work associated with Illinois waters so that proper consideration and approval can be obtained.

WHO MUST APPLY?

Anyone proposing to dredge, fill, rip rap, or otherwise alter the banks or beds of, or construct, operate, or maintain any dock, pier, wharf, sluice, dam, piling, wall, fence, utility, floodplain or floodway subject to State or Federal regulatory jurisdiction should apply for agency approvals.

REGULATORY AGENCIES

- **Wetland or U.S. Waters:** U.S. Army Corps of Engineers, Chicago District, 231 South LaSalle Street, Suite 1500, Chicago, IL 60604. Phone: (312) 846-5530
- **Floodplains:** Illinois Department of Natural Resources - Office of Water Resources, One Natural Resources Way, Springfield, IL 62702-1270. Phone: (217) 782-6302
- **Water Quality/Erosion Control:** Illinois Environmental Protection Agency, 1021 North Grand Avenue East, P.O. Box 19276, Springfield, IL 62794-9276. Phone: (217) 782-3397

COORDINATION

We recommend early coordination with the regulatory agencies BEFORE finalizing work plans. This allows the agencies to recommend measures to mitigate or compensate for adverse impacts. Also, the agency can make possible environmental enhancement provisions early in the project planning stages. This could reduce time required to process necessary approvals.

CAUTION: Contact with the United States Army Corps of Engineers is strongly advised before commencement of any work in or near a Waters of the United States. This could save considerable time and expense. Persons responsible for willful and direct violation of Section 10 of the River and Harbors Appropriation Act of 1899 or Section 404 of the Clean Water Act are subject to fines ranging up to \$16,000 per day of violation, with a maximum cap of \$187,500 in any single enforcement action, as well as criminal enforcement.

GLOSSARY

AGRICULTURAL PROTECTION AREAS (AG AREAS) - Allowed by P.A. 81-1173. An AG AREA consists of a minimum of 350 acres of farmland, as contiguous and compact as possible. Petitioned by landowners, AG AREAS protect for a period of ten years initially, then reviewed every eight years thereafter. AG AREA establishment exempts landowners from local nuisance ordinances directed at farming operations, and designated land cannot receive special tax assessments on public improvements that do not benefit the land, e.g. water and sewer lines.

AGRICULTURE - The growing, harvesting and storing of crops including legumes, hay, grain, fruit and truck or vegetable including dairying, poultry, swine, sheep, beef cattle, pony and horse production, fur farms, and fish and wildlife farms; farm buildings used for growing, harvesting and preparing crop products for market, or for use on the farm; roadside stands, farm buildings for storing and protecting farm machinery and equipment from the elements, for housing livestock or poultry and for preparing livestock or poultry products for market; farm dwellings occupied by farm owners, operators, tenants or seasonal or year around hired farm workers.

BEDROCK - Indicates depth at which bedrock occurs. Also lists hardness as rippable or hard.

FLOODING - Indicates frequency, duration, and period during year when floods are likely to occur.

HIGH WATER TABLE - A seasonal high water table is a zone of saturation at the highest average depth during the wettest part of the year. May be apparent, perched, or artesian kinds of water tables.

- **Water table, Apparent:** A thick zone of free water in the soil. An apparent water table is indicated by the level at which water stands in an uncased borehole after adequate time is allowed for adjustment in the surrounding soil.
- **Water table, Artesian:** A water table under hydrostatic head, generally beneath an impermeable layer. When this layer is penetrated, the water level rises in an uncased borehole.
- **Water table, Perched:** A water table standing above an unsaturated zone. In places an upper, or perched, water table is separated from a lower one by a dry zone.

DELINEATION - For Wetlands: A series of pink or orange flags placed on the ground by a certified professional that outlines the wetland boundary on a parcel.

DETERMINATION - A polygon drawn on a map using map information that gives an outline of a wetland.

HYDRIC SOIL - This type of soil is saturated, flooded, or ponded long enough during the growing season to develop anaerobic conditions in the upper part (USDA Natural Resources Conservation Service 1987).

INTENSIVE SOIL MAPPING - Mapping done on a smaller more intensive scale than a modern soil survey to determine soil properties of a specific site, e.g. mapping for septic suitability.

LAND EVALUATION AND SITE ASSESSMENT (L.E.S.A.) - LESA is a systematic approach for evaluating a parcel of land and to determine a numerical value for the parcel for farmland preservation purposes.

MODERN SOIL SURVEY - A soil survey is a field investigation of the soils of a specific area, supported by information from other sources. The kinds of soil in the survey area are identified and their extent shown on a map, and an accompanying report describes, defines, classifies, and interprets the soils. Interpretations predict the behavior of the soils under different used and the soils' response to management. Predictions are made for areas of soil at specific places. Soils information collected in a soil survey is useful in developing land-use plans and alternatives involving soil management systems and in evaluating and predicting the effects of land use.

PERMEABILITY - Values listed estimate the range (in rate and time) it takes for downward movement of water in the major soil layers when saturated but allowed to drain freely. The estimates are based on soil texture, soil structure, available data on permeability and infiltration tests, and observation of water movement through soils or other geologic materials.

PIQ - Parcel in question

POTENTIAL FROST ACTION - Damage that may occur to structures and roads due to ice lens formation causing upward and lateral soil movement. Based primarily on soil texture and wetness.

PRIME FARMLAND - Prime farmland soils are lands that are best suited to food, feed, forage, fiber and oilseed crops. It may be cropland, pasture, woodland, or other land, but it is not urban and built up land or water areas. It either is used for food or fiber or is available for those uses. The soil qualities, growing season, and moisture supply are those needed for a well-managed soil economically to produce a sustained high yield of crops. Prime farmland produces in highest yields with minimum inputs of energy and economic resources and farming the land results in the least damage to the environment. Prime farmland has an adequate and dependable supply of moisture from precipitation or irrigation. The temperature and growing season are favorable. The level of acidity or alkalinity is acceptable. Prime farmland has few or no rocks and is permeable to water and air. It is not excessively erodible or saturated with water for long periods and is not frequently flooded during the growing season. The slope ranges mainly from 0 to 5 percent (USDA Natural Resources Conservation Service).

SEASONAL - When used in reference to wetlands indicates that the area is flooded only during a portion of the year.

SHRINK-SWELL POTENTIAL - Indicates volume changes to be expected for the specific soil material with changes in moisture content.

SOIL MAPPING UNIT - A map unit is a collection of soil areas of miscellaneous areas delineated in mapping. A map unit is generally an aggregate of the delineations of many different bodies of a kind of soil or miscellaneous area but may consist of only one delineated body. Taxonomic class names and accompanying phase terms are used to name soil map units. They are described in terms of ranges of soil properties within the limits defined for taxa and in terms of ranges of taxadjuncts and inclusions.

SOIL SERIES - A group of soils, formed from a particular type of parent material, having horizons that, except for texture of the A or surface horizon, are similar in all profile characteristics and in arrangement in the soil profile. Among these characteristics are color, texture, structure, reaction, consistence, and mineralogical and chemical composition.

SUBSIDENCE - Applies mainly to organic soils after drainage. Soil material subsides due to shrinkage and oxidation.

TOPSOIL - That portion of the soil profile where higher concentrations of organic material, fertility, bacterial activity and plant growth take place. Depths of topsoil vary between soil types.

WATERSHED - An area of land that drains to an associated water resource such as a wetland, river or lake. Depending on the size and topography, watersheds can contain numerous tributaries, such as streams and ditches, and ponding areas such as detention structures, natural ponds and wetlands.

WETLAND - An area that has a predominance of hydric soils and that is inundated or saturated by surface or groundwater at a frequency and duration sufficient enough to support, and under normal circumstances does support, a prevalence of hydrophytic vegetation typically adapted for life in saturated soil conditions.

REFERENCES

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- Nature Conservancy (U.S.) Great Lakes Program. 1994. *The Conservation of Biological Diversity in the Great Lakes Ecosystem: Issues and Opportunities*. The Program, 1994.

Matt Asselmeier

From: Peter Fleming <[REDACTED]>
Sent: Tuesday, May 14, 2024 10:37 PM
To: Matt Asselmeier
Cc: Tim O'Brien
Subject: [External]Follow Up from Seward Twp.

CAUTION - This email originated from outside the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

Matt,

Our planning commission met this evening and approved the zoning change request for the roofing company on Rt. 52 proposed by Filotto. This will go to the next Twp Board Meeting in June.

On another couple matters. Can you please have your code enforcement officer look into these two matters.

- [REDACTED]
- [REDACTED]

Thanks Matt and please feel free to contact me with any questions.

Pete Fleming
[REDACTED] cell

**ZONING, PLATTING & ADVISORY COMMITTEE (ZPAC)
May 7, 2024 – Unapproved Meeting Minutes**

PBZ Chairman Seth Wormley called the meeting to order at 9:00 a.m.

Present:

Matt Asselmeier – PBZ Department
Meagan Briganti – GIS Department
David Guritz – Forest Preserve (Arrived at 9:02 a.m.)
Brian Holdiman – PBZ Department
Fran Klaas – Highway Department
Commander Jason Langston – Sheriff's Department
Alyse Olson – Soil and Water Conservation District (Arrived at 9:02 a.m.)
Aaron Rybski – Health Department
Seth Wormley – PBZ Committee Chair

Absent:

Greg Chismark – WBK Engineering, LLC

Audience:

Tim O'Brien, Pete Fleming, Michael Korst, Jim Filotto, Ryan Solum, Bruce Miller, Alex Schuster, and Gloria Foxman

PETITIONS

Petition 24-11 James W. Filotto on Behalf of Oakland Avenue Storage, LLC

Mr. Asselmeier summarized the request.

The Petitioner would like a map amendment rezoning approximately eleven more or less (11 +/-) acres located on south side of Route 52 between 276 and 514 Route 52 on the south side of Route 52 from A-1 Agricultural District to B-3 Highway Business District in order to operate a contractor's office at the property.

The Petitioner has also submitted an application for a conditional use permit for construction services business at the property (see Petition 24-12).

If the requested map amendment and conditional use permit are approved, the Petitioner will submit an application for site plan approval.

The application materials and zoning plat were provided.

The property was located between 276 and 514 Route 52.

The property was approximately eleven (11) acres in size.

The existing land use was Agricultural.

The County's Future Land Use Map calls for the property to be Commercial. The Village of Shorewood's Plan calls for the property to be Mixed Use.

Route 52 is a State maintained Arterial Road.

There is a trail planned along Route 52.

There are no floodplains or wetlands on the property.

The adjacent properties were used for Agricultural, Single-Family Residential, and a landscaping business.

The adjacent properties were zoned A-1 and A-1 SU.

Properties within one half (1/2) of a mile were zoned A-1, A-1 SU, B-2, B-3 SU, B-4 and Will County Zoning.

The A-1 special use permits to east are for a landscaping business and fertilizer plant.

The A-1 special use permit to the west is for a landing strip.

The B-3 special use permit to the east is for indoor and outdoor storage.

The property to the north of the subject property is planned to be a school.

ZPAC Meeting Minutes 05.07.24

EcoCAT Report submitted and consultation was terminated.

The application for NRI was submitted on April 22, 2024.

Petition information was sent to Seward Township on April 30, 2024.

Petition information was sent to the Village of Shorewood on April 30, 2024.

Petition information was sent to the Minooka Fire Protection District on April 30, 2024.

The Petitioner would like to rezone the property to operate a construction services/contractor service at the subject property.

The site is currently farmed. Any future buildings would have to meet applicable building codes.

No utilities are onsite.

The property fronts Route 52. Access would have to be approved by IDOT.

Parking and driving aisles would be evaluated as part of the site plan review process.

Based on the proposed uses, no new odors are foreseen. The owners of the property would have to follow applicable odor control regulations based on potential other future B-3 allowable uses.

Lighting would need to be evaluated as part of site plan review.

Landscaping would need to be evaluated as part of site plan review.

Any signage would have to meet applicable regulations and secure permits.

The owners of the property would have to follow applicable noise control regulations based on future land uses. Noise control measures would need to be evaluated as part of site plan approval.

Stormwater control would be evaluated as part of site plan review.

The proposed Findings of Fact were as follows:

Existing uses of property within the general area of the property in question. The surrounding properties are used for agricultural purposes, single-family residential, and a landscaping business.

The Zoning classification of property within the general area of the property in question. The surrounding properties are zoned A-1 and A-1 with a special use permit for a landscaping business. Other properties in the vicinity possess business zoning classifications.

The suitability of the property in question for the uses permitted under the existing zoning classification. The Petitioners proposed use of the property, for the operation of a construction/contractor business, is not allowed in the A-1 Zoning District.

The trend of development, if any, in the general area of the property in question, including changes, if any, which may have taken place since the day the property in question was in its present zoning classification. The Zoning Board of Appeals shall not recommend the adoption of a proposed amendment unless it finds that the adoption of such an amendment is in the public interest and is not solely for the interest of the applicant. The Zoning Board of Appeals may recommend the adoption of an amendment changing the zoning classification of the property in question to any higher classification than that requested by the applicant. For the purpose of this paragraph the R-1 District shall be considered the highest classification and the M-2 District shall be considered the lowest classification. The trend of development in the area is a mix of agricultural, commercial, and public/institutional. s

Consistency with the purpose and objectives of the Land Resource Management Plan and other adopted County or municipal plans and policies. The subject property is classified as Commercial on the Future Land Use Map and the B-3 Zoning District is consistent with this land classification.

ZPAC Meeting Minutes 05.07.24

Staff recommended approval of the proposed map amendment.

Mr. Rybski made a motion, seconded by Mr. Klaas, to recommend approval of map amendment.

Seward Township's proposed future land use map did not propose a re-classification for this property.

The votes were follows:

Ayes (9): Asselmeier, Briganti, Guritz, Holdiman, Klaas, Langston, Olson, Rybski, and Wormley

Nays (0): None

Abstain (0): None

Absent (1): Chismark

The motion passed.

The proposal goes to the Kendall County Regional Planning Commission on May 22, 2024.

PUBLIC COMMENT

None

ADJOURNMENT

Mr. Guritz made a motion, seconded by Mr. Rybski, to adjourn.

With a voice vote of nine (9) ayes, the motion carried.

The ZPAC, at 9:54 a.m., adjourned.

Respectfully Submitted,
Matthew H. Asselmeier, AICP, CFM
Director

Enc.

**KENDALL COUNTY
ZONING & PLATTING ADVISORY COMMITTEE
MAY 7, 2024**

IF YOU WOULD LIKE TO BE CONTACTED ON FUTURE MEETINGS REGARDING THIS TOPIC, PLEASE PROVIDE YOUR ADDRESS OR EMAIL ADDRESS

NAME	ADDRESS (OPTIONAL)	EMAIL ADDRESS (OPTIONAL)
<i>Jim O'Brien</i>		
<i>Pete Fleming</i>		
<i>Michael Korst</i>		
<i>Jim Filotto</i>		
<i>Ryan Solum</i>		
<i>BRUCE MILLER</i>		
<i>ALEX Schuster</i>		

Matt Asselmeier

From: Short, Michael A <Michael.Short@illinois.gov>
Sent: Wednesday, May 8, 2024 9:06 AM
To: Matt Asselmeier
Cc: Fran Klaas; Seth Wormley; Christina Burns
Subject: [External]RE: 09-13-400-011

CAUTION - This email originated from outside the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

IDOT has no concerns at this time.

Thanks,

Michael Short

Program Development Engineer
Illinois Department of Transportation, District 3
700 East Norris Drive
Ottawa, IL 61350
Michael.Short@illinois.gov
815-434-8450

From: Matt Asselmeier <masselmeier@kendallcountyil.gov>
Sent: Friday, April 26, 2024 9:42 AM
To: Short, Michael A <Michael.Short@illinois.gov>
Cc: EXT Klaas, Francis <FKlaas@kendallcountyil.gov>; Seth Wormley <swormley@kendallcountyil.gov>; Christina Burns <cburns@kendallcountyil.gov>
Subject: [External] 09-13-400-011

Michael:

Kendall County received a request to rezone this property from A-1 to B-3 in order to have a construction services business at the property.

Does IDOT have any concerns regarding this request?

Thanks,

Matthew H. Asselmeier, AICP, CFM
Director
Kendall County Planning, Building & Zoning
111 West Fox Street
Yorkville, IL 60560-1498
PH: 630-553-4139
Fax: 630-553-4179

Matt Asselmeier

From: Engel_Natalie <nengel@shorewoodil.gov>
Sent: Wednesday, May 22, 2024 4:10 PM
To: Matt Asselmeier; Debold_Clarence; Klima_Aaron
Subject: [External]Petition 24-11

CAUTION - This email originated from outside the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

Dear Mr. Asselmeier and Kendall County Regional PZC:

Thank you for forwarding the application for Oakland Ave. Storage, LLC at 276 Route 52 in unincorporated Kendall County. Unfortunately, several members of the Shorewood administrative team and I are out of town for a convention so we are not able to send a representative to this evening's meeting. We would appreciate it if this email could be read at the meeting.

As a municipality on the suburban fringe, we feel that it is our duty to work together with the adjacent counties to ensure that any new development occurs in a thoughtful manner and that we avoid urban sprawl. We believe that new development should occur within the municipalities and should be in conformance with its comprehensive plan. We believe that the agricultural nature of the unincorporated areas should be maintained until the land is developed and that any new development needs to be sensitive to the existing agricultural uses.

Shorewood's 2023 comprehensive plan, which was written by Teska Associates with substantial input from Shorewood residents as well as several residents from the nearby unincorporated areas, calls for single-family residential uses on the property. We feel that this is the most appropriate use for the property and that the industrial nature of the proposed contractor office and yard as well as the rezoning to B-3 are not appropriate for the site.

We request that the planning and zoning commission recommend denial of the request.

We would be happy to meet with the applicant or to bring them forward to discuss their proposals with the Shorewood PZC and Village Board. We would work with them to find a date that works with their schedule.

I'm sorry that I am not able to attend the meeting in person. Thank you for your careful consideration of Shorewood's concerns

Natalie Engel, AICP
Economic Development Director
Village of Shorewood

<div style="color: black; background-color: #F8C471;"><h3>Important:</h3><h4> The Village of Shorewood has moved to a new domain.</h4> Our domain has moved from "<i>vil.shorewood.il.us</i>" to "<u>shorewoodil.gov</u>".

Please update our contact details in your records including any junk or spam filtering.
 Emails sent to "<i>vil.shorewood.il.us</i>" will continue to be delivered until January 1 2024.
 </div>

Matt Asselmeier

From: Engel_Natalie <nengel@shorewoodil.gov>
Sent: Thursday, June 20, 2024 10:19 AM
To: Matt Asselmeier
Cc: Michael Korst; Jim Filotto
Subject: [External]Petition 24-11

CAUTION - This email originated from outside the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

Dear Mr. Asselmeier,

Over the last month, we have had the opportunity to meet with the applicant for Petition 24-11. He shared his plans to construct a 16,000 SF building for his business Filotto Roofing. He explained that the building will be used to house materials and equipment and that there will be no outdoor storage.

Although we would prefer that the property was developed for residential uses within the Village limits, we appreciate that the proposed use will not be very intensive so we no longer wish to object to the petition. We do, however, request that a prohibition on outdoor storage be included in the approvals for the conditional use permit.

Thank you for giving us the opportunity to provide input.

Natalie Engel, AICP
Economic Development Director



Village of Shorewood
One Towne Center Blvd | Shorewood, IL 60404
815.553.2314

Important:

The Village of Shorewood has moved to a new domain.

Our domain has moved from "*vil.shorewood.il.us*" to "**shorewoodil.gov**".

Please update our contact details in your records including any junk or spam filtering.

Emails sent to "*vil.shorewood.il.us*" will continue to be delivered until January 1 2024.

MINUTES – UNOFFICIAL UNTIL APPROVED
KENDALL COUNTY
ZONING BOARD OF APPEALS MEETING
111 WEST FOX STREET, COUNTY BOARD ROOM (ROOMS 209 and 210)
YORKVILLE, IL 60560
May 28, 2024 – 7:00 p.m.

CALL TO ORDER

Chairman Randy Mohr called the Zoning Board of Appeals meeting to order at 7:00 p.m.

ROLL CALL:

Members Present: Scott Cherry (Arrived at 7:02 p.m.) Cliff Fox, Tom LeCuyer, Randy Mohr, Jillian Prodehl, and Dick Thompson, and Dick Whitfield

Members Absent: None

Staff Present: Matthew Asselmeier, AICP, CFM, Director and Wanda Rolf, Office Assistant

Others Present: Tim O'Brien, Joan Soltwisch, Ron Miller, Pete Fleming, Bruce Miller, Rao Addepalli, and Gloria Foxman

MINUTES:

Chairman Mohr swore in Tim O'Brien, Joan Soltwisch, Ron Miller, Pete Fleming, Bruce Miller, Rao Addepalli, and Gloria Foxman.

The Zoning Board of Appeals started their review of Petition 24-11 at 7:03 p.m.

PETITIONS:

Petition **24 – 11 – James W. Filotto on Behalf of Oakland Avenue Storage, LLC**

Request: Map Amendment Rezoning the Subject Property from A-1 Agricultural District to B-3 Highway Business District

PIN: 09-13-400-011

Location: Between 276 and 514 Route 52, Minooka in Seward Township

Purpose: Petitioner Wants to Rezone the Property in Order to Operate a Construction/Contractor's Office

Mr. Asselmeier reported that the Petitioner requested a continuance in order to address concerns raised by the Village of Shorewood.

Member Fox made a motion, seconded by Member Thompson, to continue the hearing to July 1, 2024. With a voice vote of seven (7) ayes the motion carried.

The proposal will be on the July 1, 2024, Zoning Board of Appeals agenda.

The Zoning Board of Appeals concluded their review of Petition 24-11 at 7:03 p.m.

The Zoning Board of Appeals started their review of Petition 24-13 at 7:04 p.m.

PUBLIC COMMENTS

Gloria Foxman, on behalf of Petition 24-13 James C. Marshall on Behalf of TurningPointEnergy, LLC Through TPE IL KE240 (Tenant) and Frank J. Santoro (Owner), asked if they could continue the hearing one (1) additional month to July 29, 2024, instead of July 1, 2024. Member LeCuyer made a motion, seconded by Member Whitfield, to rescind the previous motion to continue Petition 24-13 to July 1, 2024. With a voice vote of seven (7) ayes, the motion carried. Member LeCuyer made a motion, seconded by Member Whitfield, to continue the hearing on Petition 24-13 to July 29, 2024. With a voice vote of seven (7) ayes, the motion carried.

ADJOURNMENT OF THE ZONING BOARD OF APPEALS

Member Whitfield made a motion, seconded by Member LeCuyer, to adjourn.

With a voice vote of seven (7) ayes, the motion carried.

The Zoning Board of Appeals meeting adjourned at 7:55 p.m.

The next regularly scheduled meeting/hearing will be on July 1, 2024.

Respectfully submitted by,
Wanda A. Rolf
Administrative Assistant

Exhibits

1. Memo on Petition 24-11 Dated May 23, 2024



**KENDALL COUNTY
ZONING BOARD OF APPEALS
MAY 28, 2024**

In order to be allowed to present any testimony, make any comment, engage in cross-examination, or ask any question during this public hearing, you must enter your name, address, and signature on this form prior to the commencement of the public hearing. By signing this registration sheet, you agree that you understand that anything you say will be considered sworn testimony, and that you will tell the truth, the whole truth and nothing but the truth.

NAME	ADDRESS	SIGNATURE
<i>Jim O'Brien</i>		
RAO ADDEPALLI		
Ron Miller		
Pete Fleming		
FRUE MILLER		
<i>Jean Seltman</i>		
Gloria Foxman		



DEPARTMENT OF PLANNING, BUILDING & ZONING

111 West Fox Street • Room 204

Yorkville, IL • 60560

(630) 553-4141

Fax (630) 553-4179

MEMORANDUM

To: Kendall County Zoning Board of Appeals
From: Matthew H. Asselmeier, AICP, CFM, Director
Date: May 23, 2024
Re: Petition 24-11 Proposed Map Amendment for Property between 276 and 514 Route 52

James W. Filotto on Behalf of Oakland Avenue Storage, LLC submitted a request to rezone the property between 276 and 514 Route 52 (PIN: 09-13-400-011) in Seward Township from A-1 Agricultural District to B-3 Highway Business District with the intention of placing a construction/contractor's office (specifically a roofing company) at the subject property.

On the afternoon of May 22, 2024, the Village of Shorewood submitted an email to the County requesting the Kendall County Regional Planning Commission to recommend denial of the map amendment.

At the Kendall County Regional Planning Commission meeting on May 22, 2024, the Petitioner's Attorney requested that the matter be laid over until the June 26, 2024, Kendall County Regional Planning Commission meeting in order to give the Petitioner an opportunity to meet with Shorewood and resolve Shorewood's concerns. The Kendall County Regional Planning Commission agreed to this request.

Accordingly, the Petitioner is requesting a continuation of the public hearing on this proposal to July 1, 2024.

If you have any questions regarding this memo, please let me know.

MHA

Attachment 10, Page 1
KENDALL COUNTY
REGIONAL PLANNING COMMISSION

Kendall County Office Building
Rooms 209 and 210
111 W. Fox Street, Yorkville, Illinois

Approved - Meeting Minutes of May 22, 2024 - 7:00 p.m.

Chairman Bill Ashton called the meeting to order at 7:00 p.m.

ROLL CALL

Members Present: Bill Ashton, Eric Bernacki, Tom Casey, Dave Hamman (Arrived at 7:08 p.m.), Larry Nelson, Ruben Rodriguez, Claire Wilson, and Seth Wormley (Arrived at 7:40 p.m.)

Members Absent: Karin McCarthy-Lange and Bob Stewart

Staff Present: Matthew H. Asselmeier, Director, and Wanda A. Rolf, Office Assistant

Others Present: Tim O'Brien, Dave Koehler, Joan Soltwisch, Marcia Rousonelo, Ray Jackinowski, Kyle Barry, Erin Bowen, Katherine Carlson, Tom Huddleston, Paul Yearsley, Joy Lieser, Greg Henderson, Carrie Kennedy, Andrew Daylor, Kristine Henderson, Michael Korst, Bruce Miller, and Gloria Foxman

Petition 24-11 James W. Filotto on Behalf of Oakland Avenue Storage, LLC

Mr. Asselmeier summarized the request.

The Petitioner would like a map amendment rezoning approximately eleven more or less (11 +/-) acres located on south side of Route 52 between 276 and 514 Route 52 on the south side of Route 52 from A-1 Agricultural District to B-3 Highway Business District in order to operate a contractor's office at the property.

The Petitioner has also submitted an application for a conditional use permit for construction services business at the property (see Petition 24-12).

If the requested map amendment and conditional use permit are approved, the Petitioner will submit an application for site plan approval.

The application materials and zoning plat were provided.

The property was located between 276 and 514 Route 52.

The property was approximately eleven (11) acres in size.

The existing land use was Agricultural.

The County's Future Land Use Map calls for the property to be Commercial. The Village of Shorewood's Plan calls for the property to be Mixed Use.

Route 52 is a State maintained Arterial Road.

There is a trail planned along Route 52.

There are no floodplains or wetlands on the property.

The adjacent properties were used for Agricultural, Single-Family Residential, and a landscaping business.

The adjacent properties were zoned A-1 and A-1 SU.

Properties within one half (1/2) of a mile were zoned A-1, A-1 SU, B-2, B-3 SU, B-4 and Will County Zoning.

The A-1 special use permits to east are for a landscaping business and fertilizer plant.

The A-1 special use permit to the west is for a landing strip.

The B-3 special use permit to the east is for indoor and outdoor storage.

The property to the north of the subject property is planned to be a school.

EcoCAT Report submitted and consultation was terminated.

The application for NRI was submitted on April 22, 2024. The LESA Score was 196 indicating a low level of protection. The draft NRI Report was provided.

Petition information was sent to Seward Township on April 30, 2024. The Seward Township Planning Commission reviewed the proposal at their meeting on May 14, 2024, and approved the requested map amendment. The proposal goes to the Seward Township Board in June. An email with this information was provided.

Petition information was sent to the Village of Shorewood on April 30, 2024. Mr. Asselmeier read an email from the Village of Shorewood requesting that the Commission recommend denial of the request.

Petition information was sent to the Minooka Fire Protection District on April 30, 2024. No comments were received.

ZPAC reviewed this proposal at their meeting on May 7, 2024. Seward Township's proposed new Future Land Use Map did not change the classification of this property. ZPAC recommended approval of the proposal by a vote of nine (9) in favor and zero (0) in opposition with one (1) member absent. The minutes were provided.

The Petitioner would like to rezone the property to operate a construction services/contractor service at the subject property.

The site is currently farmed. Any future buildings would have to meet applicable building codes.

No utilities are onsite.

The property fronts Route 52. Access would have to be approved by IDOT. IDOT submitted an email expressing no objections to this request. The email was provided.

Parking and driving aisles would be evaluated as part of the site plan review process.

Based on the proposed uses, no new odors are foreseen. The owners of the property would have to follow applicable odor control regulations based on potential other future B-3 allowable uses.

Lighting would need to be evaluated as part of site plan review.

Landscaping would need to be evaluated as part of site plan review.

Any signage would have to meet applicable regulations and secure permits.

The owners of the property would have to follow applicable noise control regulations based on future land uses. Noise control measures would need to be evaluated as part of site plan approval.

Stormwater control would be evaluated as part of site plan review.

The proposed Findings of Fact were as follows:

Existing uses of property within the general area of the property in question. The surrounding properties are used for agricultural purposes, single-family residential, and a landscaping business.

The Zoning classification of property within the general area of the property in question. The surrounding properties are zoned A-1 and A-1 with a special use permit for a landscaping business. Other properties in the vicinity possess business zoning classifications.

The suitability of the property in question for the uses permitted under the existing zoning classification. The Petitioners proposed use of the property, for the operation of a construction/contractor business, is not allowed in the A-1 Zoning District.

The trend of development, if any, in the general area of the property in question, including changes, if any, which may have taken place since the day the property in question was in its present zoning classification. The Zoning Board of Appeals shall not recommend the adoption of a proposed amendment unless it finds that the adoption of such an amendment is in the public interest and is not solely for the interest of the applicant. The Zoning Board of Appeals may recommend the adoption of an amendment changing the zoning classification of the property in question to any higher classification than that requested by the applicant. For the purpose of this paragraph the R-1 District shall be considered the highest classification and the M-2 District shall be considered the lowest classification. The trend of development in the area is a mix of agricultural, commercial, and public/institutional.

Consistency with the purpose and objectives of the Land Resource Management Plan and other adopted County or municipal plans and policies. The subject property is classified as Commercial on the Future Land Use Map and the B-3 Zoning District is consistent with this land classification.

Staff recommended approval of the proposed map amendment.

Marcia Rousonelo was concerned about a storage facility coming to the area. She expressed concerns about aesthetics, drainage, noise, and property devaluation.

Ray Jackinowski provided pictures of the storage facility's current operations in Crest Hill. He did not want to live next to that type of use. He favored residential use of the neighboring property.

Michael Korst, Attorney for the Petitioner, said the property would not be used for storage. The proposed use is a contractor's yard, specifically a roofing company. There would be not outside storage and the property would be fenced.

Member Wormley asked how the Petitioner planned to address the objection from Shorewood. Mr. Korst responded that in discussing the proposal with Shorewood prior to application submittal, the area was planned to be mixed use. They plan to meet with Shorewood in the future. Member Wormley said that he would vote no unless the Petitioner resolved the matter with Shorewood.

Mr. Korst requested the proposal be tabled until the next meeting to allow the Petitioner an opportunity to talk with Shorewood.

Chairman Ashton favored having the Petitioner's name match the proposed use instead of having storage in the applicant's name. Oakland Avenue Storage, LLC was the legal owner of the property.

Member Nelson made a motion, seconded by Member Rodriguez, to layover the proposal to the next meeting at the Petitioner's request.

The votes were as follows:

Ayes (8): Ashton, Bernacki, Casey, Hamman, Nelson, Rodriguez, Wilson, and Wormley

Nays (0): None

Absent (2): McCarthy-Lange and Stewart

Abstain (0): None

The proposal will be continued at the Kendall County Zoning Board of Appeals on May 28, 2024, and will come back to the Regional Planning Commission on June 26, 2024.

OTHER BUSINESS/ANNOUNCEMENTS

Mr. Asselmeier reported that Petition 24-10 and 24-11 will be on the agenda for the June meeting.

ADJOURNMENT

Member Wilson made a motion, seconded by Member Nelson, to adjourn. With a voice vote of seven (7) ayes, the motion carried.

The Kendall County Regional Planning Commission meeting adjourned at 9:59 p.m.

Respectfully submitted by,
Wanda A. Rolf, Administrative Assistant

**KENDALL COUNTY
REGIONAL PLANNING COMMISSION
MAY 22, 2024**

IF YOU WOULD LIKE TO BE CONTACTED ON FUTURE MEETINGS REGARDING THIS TOPIC, PLEASE PROVIDE YOUR ADDRESS OR EMAIL ADDRESS

NAME	ADDRESS (OPTIONAL)	EMAIL ADDRESS (OPTIONAL)
Tim O'Brien		
DAVE Koehler		
BELVE MILLER		
Joan Seltman		
marcia Rousonolo		
Ray Johnson 514 RT 52		
Mike Barry		
Gloria Foxman		

**KENDALL COUNTY
REGIONAL PLANNING COMMISSION
MAY 22, 2024**

IF YOU WOULD LIKE TO BE CONTACTED ON FUTURE MEETINGS REGARDING THIS TOPIC, PLEASE PROVIDE YOUR ADDRESS OR EMAIL ADDRESS

NAME	ADDRESS (OPTIONAL)	EMAIL ADDRESS (OPTIONAL)
Erin Bowen		
Katherine Carlson		
TOM HUDDLESTON		
Paul Yearley		
DAVE Koehler		
Jay Lieser		

Attachment 11, Page 1
KENDALL COUNTY
REGIONAL PLANNING COMMISSION

Kendall County Office Building
Rooms 209 and 210
111 W. Fox Street, Yorkville, Illinois

Unapproved - Meeting Minutes of June 26, 2024 - 7:00 p.m.

Chairman Bill Ashton called the meeting to order at 7:01 p.m.

ROLL CALL

Members Present: Bill Ashton, Eric Bernacki, Tom Casey, Dave Hamman, Karin McCarthy-Lange, Larry Nelson, Bob Stewart, Claire Wilson, and Seth Wormley (Arrived at 7:03 p.m.)

Members Absent: Ruben Rodriguez

Staff Present: Matthew H. Asselmeier, Director, and Wanda A. Rolf, Office Assistant

Others Present: Alex Schuster, Marcia Rousonelos, Ray Jackinowski, Michael Korst, and Jim Filotto

PETITIONS

Petition 24-11 James W. Filotto on Behalf of Oakland Avenue Storage, LLC

Mr. Asselmeier provided an update.

The Zoning Board of Appeals initiated and continued the public hearing on this proposal.

The NRI Report was finalized; the LESA Score remained 196 indicating a low level of protection.

The Village of Shorewood withdrew their intent to file a formal objection, provided no outdoor storage occurred at the property; an email stating that intention was provided.

Member Wilson asked if the Petitioner had spoken to the person that lived in the house to the west of the property. James Filotto, Petitioner, responded no. Michael Korst, Attorney for the Petitioner, felt that the concerns had been addressed by assuring the neighbor that the proposed use would not involve outside storage; all storage would be inside the building. Member Wilson expressed disappointment that the Petitioner did not talk the neighbor prior to the meeting and advised him to talk with the neighbor before submitting an application for site plan approval.

Member Bernacki asked about talks with the Village Shorewood. Mr. Korst said the talks went great and Shorewood withdrew their objections once it became clear that no outside storage would occur.

Ray Jackinowski asked why the Petitioner had outdoor storage at his other facility. Mr. Filotto said that they stored items outdoors at the other facility because they were out of space. Discussion occurred regarding the amount of space at their existing property.

The proposed location would only be a roofing business.

Discussion occurred regarding truck traffic at the subject property.

Mr. Jackinowski said that he did not want outdoor storage next to his property.

Mr. Filotto had not determined the specific location of the future building. Discussion occurred regarding obtaining a special use permit for outside storage and buffering requirements.

Member Wilson asked where shingle deliveries will occur. Mr. Filotto said shingles would be delivered to the job site.

The proposed building would be approximately fifteen thousand (15,000 square feet). The building would have a storage component.

Having storage in the name of the property created confusion.

Marcia Rousonelos discussed the tree business, storage facility, and dome in the area. She felt that these were eyesores in the area. She asked what was required to make the property a storage facility. A special use permit would be required to have outdoor storage. Discussion occurred regarding notice requirements. She expressed concerns about declining property values and to live in a nice neighborhood. Foresters are exempt from zoning and the storage facility and sports dome received applicable permits. The forty (40) acre rule does not apply for properties zoned B-3; the minimum lot size is ten thousand (10,000) square feet.

Discussion occurred regarding other uses that could be placed at the property, including more intense agricultural uses and a banquet facility.

Member Hamman made a motion, seconded by Member Bernacki, to recommend approval of the map amendment.

The votes were as follows:

Ayes (9): Ashton, Bernacki, Casey, Hamman, McCarthy-Lange, Nelson, Stewart, Wilson, and Wormley
Nays (0): None
Absent (1): Rodriguez
Abstain (0): None

The motion carried

The proposal goes to the Kendall County Zoning Board of Appeals on July 1, 2024.

CITIZENS TO BE HEARD/PUBLIC COMMENT

None

OTHER BUSINESS/ANNOUNCEMENTS

Chairman Ashton announced that a proposed amendment to the pipeline depth regulations will be on the agenda for the July meeting. Member Nelson discussed the TransCanada project in Kendall County. The proposal would require pipelines to be buried at least five feet (5') in the ground as measured from the top of the pipe.

Mr. Asselmeier reported that the owner of 7789 Route 47 wants a waiver to the landscaping requirements as part of site plan review.

Member Casey asked about an asphalt business on Route 52. Mr. Asselmeier responded that the Department was investigating the matter.

Member Bernacki reported that the Village of Plainfield discussed a development at the northwest corner of Ridge Road and Johnson Road. The proposal was condos and mixed use with industrial on the western portion; the proposal was denied by the Village Trustees. Discussion occurred regarding industrial going west of Ridge Road and planned infrastructure improvements in the area.

Member Nelson reported that the City of Plano has hired Teska Associates to update their Comprehensive Plan. Member Nelson was of the opinion that, since the Microsoft data center announcement, the drive for more solar panels outside of Plano will slow. Discussion occurred regarding a new transformer along the railroad tracks near Corneils Road.

Member Bernacki asked about the proposed solar farm on Simons Road. Mr. Asselmeier stated that the proposal was laid over at the Petitioner's request until the July 29, 2024, zoning hearing.

ADJOURNMENT

Member Bernacki made a motion, seconded by Member McCarthy-Lange, to adjourn. With a voice vote of nine (9) ayes, the motion carried.

The Kendall County Regional Planning Commission meeting adjourned at 7:56 p.m.

Respectfully submitted by,
Matthew H. Asselmeier, AICP, CFM, Director
Encs.



**KENDALL COUNTY
REGIONAL PLANNING COMMISSION
JUNE 26, 2024**

IF YOU WOULD LIKE TO BE CONTACTED ON FUTURE MEETINGS REGARDING THIS TOPIC, PLEASE PROVIDE YOUR ADDRESS OR EMAIL ADDRESS

NAME	ADDRESS (OPTIONAL)	EMAIL ADDRESS (OPTIONAL)
ALEX SCHUSTER		
Michael Korst		
Jim Filotto		
Marcia Ranson		
[Handwritten Signature]		

MINUTES – UNOFFICIAL UNTIL APPROVED
KENDALL COUNTY
ZONING BOARD OF APPEALS MEETING
111 WEST FOX STREET, COUNTY BOARD ROOM (ROOMS 209 and 210)
YORKVILLE, IL 60560
July 1, 2024 – 7:00 p.m.

CALL TO ORDER

Vice-Chairman Tom LeCuyer called the Zoning Board of Appeals meeting to order at 7:05 p.m.

ROLL CALL:

Members Present: Scott Cherry, Cliff Fox, Tom LeCuyer, and Dick Thompson,

Members Absent: Randy Mohr, Jillian Prodehl, and Dick Whitfield

Staff Present: Matthew Asselmeier, AICP, CFM, Director and Wanda Rolf, Office Assistant

Others Present: Alex Schuster, Katherine Rousonelos, Ray Jackinowski, and Jim Filotto

PETITIONS:

The Zoning Board of Appeals started their review of Petition 24-11 at 7:22 p.m.

PETITIONS:

Petition **24 – 11 – James W. Filotto on Behalf of Oakland Avenue Storage, LLC**

Request: Map Amendment Rezoning the Subject Property from A-1 Agricultural District to B-3 Highway Business District

PIN: 09-13-400-011

Location: Between 276 and 514 Route 52, Minooka in Seward Township

Purpose: Petitioner Wants to Rezone the Property in Order to Operate a Construction/Contractor’s Office

Mr. Asselmeier summarized the request.

The Petitioner would like a map amendment rezoning approximately eleven more or less (11 +/-) acres located on south side of Route 52 between 276 and 514 Route 52 on the south side of Route 52 from A-1 Agricultural District to B-3 Highway Business District in order to operate a contractor’s office at the property.

The Petitioner has also submitted an application for a conditional use permit for construction services business at the property (see Petition 24-12).

If the requested map amendment and conditional use permit are approved, the Petitioner will submit an application for site plan approval.

The application materials and zoning plat were provided.

The Petitioner would like a map amendment rezoning approximately eleven more or less (11 +/-) acres located on south side of Route 52 between 276 and 514 Route 52 on the south side of Route 52 from A-1 Agricultural District to B-3 Highway Business District in order to operate a contractor's office at the property.

The Petitioner has also submitted an application for a conditional use permit for construction services business at the property (see Petition 24-12).

If the requested map amendment and conditional use permit are approved, the Petitioner will submit an application for site plan approval.

The application materials and zoning plat were provided.

The property was located between 276 and 514 Route 52.

The property was approximately eleven (11) acres in size.

The existing land use was Agricultural.

The County's Future Land Use Map calls for the property to be Commercial. The Village of Shorewood's Plan calls for the property to be Mixed Use.

Route 52 is a State maintained Arterial Road.

There is a trail planned along Route 52.

There are no floodplains or wetlands on the property.

The adjacent properties were used for Agricultural, Single-Family Residential, and a landscaping business.

The adjacent properties were zoned A-1 and A-1 SU.

Properties within one half (1/2) of a mile were zoned A-1, A-1 SU, B-2, B-3 SU, B-4 and Will County Zoning.

The A-1 special use permits to east are for a landscaping business and fertilizer plant.

The A-1 special use permit to the west is for a landing strip.

The B-3 special use permit to the east is for indoor and outdoor storage.

The property to the north of the subject property is planned to be a school.

EcoCAT Report submitted and consultation was terminated.

The application for NRI was submitted on April 22, 2024. The LESA Score was 196 indicating a low level of protection. The NRI Report was provided.

Petition information was sent to Seward Township on April 30, 2024. The Seward Township Planning Commission reviewed the proposal at their meeting on May 14, 2024, and approved the requested map amendment. The proposal goes to the Seward Township Board in July. An email with this information was provided.

Petition information was sent to the Village of Shorewood on April 30, 2024. On May 22, 2024, the Village of Shorewood submitted an email requesting that the Kendall County Regional Planning Commission recommend denial. This email was provided. On June 20, 2024, the Village of Shorewood submitted an email stating they would not object to the map amendment and requested no outdoor storage at the property. This email was provided.

Petition information was sent to the Minooka Fire Protection District on April 30, 2024. No comments received.

ZPAC reviewed this proposal at their meeting on May 7, 2024. Seward Township's proposed new Future Land Use Map did not change the classification of this property. ZPAC recommended approval of the proposal by a vote of nine (9) in favor and zero (0) in opposition with one (1) member absent. The minutes were provided

The Kendall County Regional Planning Commission started their review of this proposal their meeting on May 22, 2024. The proposal was laid over at the Petitioner's request until the Village of Shorewood's concerns could be addressed. The Kendall County Regional Planning Commission finished their review of the proposal at their meeting on June 26, 2024. Discussion occurred regarding traffic at the property. The final location of the building had not been determined. Outdoor storage would not occur at the property. One (1) neighbor said that he did not want the use at the property and another neighbor expressed concerns about the appearance of the neighborhood and concerns about property values. Discussion also occurred regarding other uses that might go on the property. The Kendall County Regional Planning Commission recommended approval of the proposal by a vote of nine (9) in favor and zero (0) in opposition with one (1) member absent. The minutes of the May 22, 2024, meeting and the minutes of the June 26, 2024, meeting were provided.

The Kendall County Zoning Board of Appeals initiated a public hearing on this proposal on May 28, 2024. The hearing was continued until July 1, 2024, at the Petitioner's request. This information was provided.

The Petitioner would like to rezone the property to operate a construction services/contractor service at the subject property.

The site is currently farmed. Any future buildings would have to meet applicable building codes.

No utilities are onsite.

The property fronts Route 52. Access would have to be approved by IDOT. IDOT submitted an email expressing no objections to this request. The email was provided.

Parking and driving aisles would be evaluated as part of the site plan review process.

Based on the proposed uses, no new odors are foreseen. The owners of the property would have to follow applicable odor control regulations based on potential other future B-3 allowable uses.

Lighting would need to be evaluated as part of site plan review.

Landscaping would need to be evaluated as part of site plan review.

Any signage would have to meet applicable regulations and secure permits.

The owners of the property would have to follow applicable noise control regulations based on future land uses. Noise control measures would need to be evaluated as part of site plan approval.

Stormwater control would be evaluated as part of site plan review.

The proposed Findings of Fact were as follows:

Existing uses of property within the general area of the property in question. The surrounding properties are used for agricultural purposes, single-family residential, and a landscaping business.

The Zoning classification of property within the general area of the property in question. The surrounding properties are zoned A-1 and A-1 with a special use permit for a landscaping business. Other properties in the vicinity possess business zoning classifications.

The suitability of the property in question for the uses permitted under the existing zoning classification. The Petitioner's proposed use of the property, for the operation of a construction/contractor business, is not allowed in the A-1 Zoning District.

The trend of development, if any, in the general area of the property in question, including changes, if any, which may have taken place since the day the property in question was in its present zoning classification. The Zoning Board of Appeals shall not recommend the adoption of a proposed amendment unless it finds that the adoption of such an amendment is in the public interest and is not solely for the interest of the applicant. The Zoning Board of Appeals may recommend the adoption of an amendment changing the zoning classification of the property in question to any higher classification than that requested by the applicant. For the purpose of this paragraph the R-1 District shall be considered the highest classification and the M-2 District shall be considered the lowest classification. The trend of development in the area is a mix of agricultural, commercial, and public/institutional.

Consistency with the purpose and objectives of the Land Resource Management Plan and other adopted County or municipal plans and policies. The subject property is classified as Commercial on the Future Land Use Map and the B-3 Zoning District is consistent with this land classification.

Staff recommended approval of the proposed map amendment.

Vice Chairman LeCuyer opened the public hearing at 7:28 p.m. and swore in James Filotto.

Member Cherry asked the Petitioner what kind of business will be operating at the property. Mr. Filotto responded that he will be operating a roofing business.

Member Cherry asked what kind of equipment will be on the property. Mr. Filotto stated there will be forklifts, pickup trucks, and dump trailers.

Member Cherry asked how many employees will be at the property. Mr. Filotto responded he has six (6) employees in the office.

Vice Chairman LeCuyer swore in Katherine Rousonelos and Ray Jackinowski.

Mr. Jackinowski brought photos of the Petitioner's other business in Crest Hill that has outdoor storage. Mr. Jackinowski said that he did not want outdoor storage next to his property. Mr. Filotto stated he would not have any outdoor storage at this facility. Mr. Jackinowski did not leave the pictures for the file.

Mr. Jackinowski asked if the Zoning Board of Appeals members would want to live next to the proposed use. Member Cherry responded that he would prefer to live next to farms, but the County was changing.

Mr. Filotto stated that the proposed location would only be a roofing business and all equipment will be inside the building. It was noted that, if the map amendment is approved, the Petitioner has to provide a site plan.

The Petitioner owns eleven (11) acres of land.

Ms. Rousonelos asked how far would the setback be. Mr. Filotto responded the setback would be approximately one hundred (100') feet.

Mr. Jackinowski asked if the Petitioner first requested a roofing contractor building or an outdoor storage facility. Mr. Asselmeier answered that the Petitioner requested a contractor's building with no outdoor storage. Mr. Asselmeier stated this meeting was to determine if the property can be rezoned from A-1 to B-3. If this is approved, the Petitioner will receive B-3 zoning and could obtain the requested conditional use permit.

Mr. Jackinowski and Ms. Rousonelos asked where the building would be. Mr. Asselmeier stated the Petitioner would have to obtain site plan approval.

Member Thompson asked if the Petition could have conditions. Mr. Asselmeier stated this meeting is for zoning only and map amendments cannot be conditioned.

Mr. Filotto stated he will have a building that looks like a farm building. He will have paved roads on his property and a fence line so that the neighbors will not be able to see the business.

Vice Chairman LeCuyer stated that the Land Resource Management Plan allows for the zoning that the Petitioner is requesting.

Vice Chairman LeCuyer adjourned the public hearing at 7:48 p.m.

Member Fox made a motion, seconded by Member Cherry, to approve the Findings of Fact.

The votes were as follows:

Ayes (4): Cherry, Fox, LeCuyer, and Thompson

Nays (0): None

Abstain (0): None

Absent (3): Mohr, Prodehl, and Whitfield

The motion carried.

Member Cherry made a motion, seconded by Member Thompson, to recommend approval of the map amendment.

The votes were as follows:

Ayes (4): Cherry, Fox, LeCuyer and Thompson

Nays (0): None

Abstain (0): None

Absent (3): Mohr, Prodehl, and Whitfield

The motion carried.

The proposal goes to the Kendall County Planning, Building and Zoning Committee on July 8, 2024.

The Zoning Board of Appeals concluded their review of Petition 24-11 at 7:49 p.m.

PUBLIC COMMENTS

Mr. Asselmeier stated the next ZBA hearing will be on July 29, 2024 with two agenda items. One is regarding the solar panels on Simons Road and the other is a proposed text amendment, the Planning, Building, and Zoning is requesting regarding the depth of pipelines.

ADJOURNMENT OF THE ZONING BOARD OF APPEALS

Member Fox made a motion, seconded by Member Cherry, to adjourn.

With a voice vote of four (4) ayes, the motion carried.

The Zoning Board of Appeals meeting adjourned at 7:50 p.m.

ZBA Meeting Minutes 7.1.24

Page 6 of 7

The next regularly scheduled meeting/hearing will be on July 29, 2024.

Respectfully submitted by,
Wanda A. Rolf
Administrative Assistant

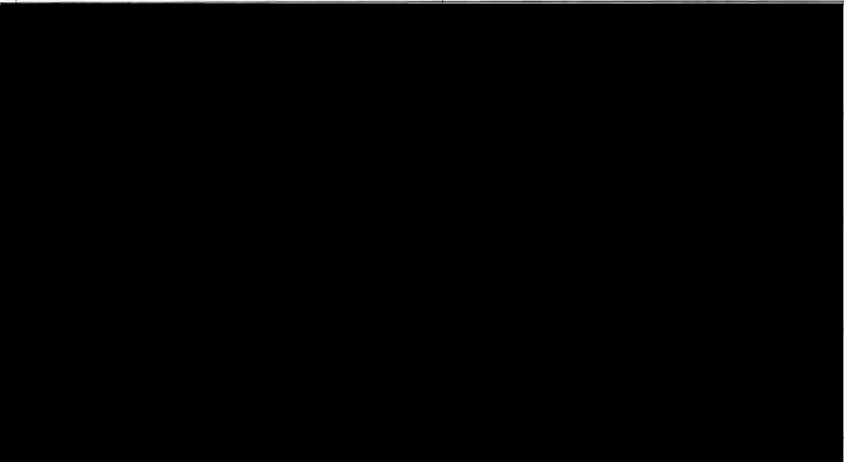
Exhibits

1. Memo on Petition 24-11 Dated June 28, 2024
2. Certificate of Publication and Certified Mail Receipts for Petition 24-11 (Not Included with Report but on file in Planning, Building and Zoning Office)



**KENDALL COUNTY
ZONING BOARD OF APPEALS
JULY 1, 2024**

In order to be allowed to present any testimony, make any comment, engage in cross-examination, or ask any question during this public hearing, you must enter your name, address, and signature on this form prior to the commencement of the public hearing. By signing this registration sheet, you agree that you understand that anything you say will be considered sworn testimony, and that you will tell the truth, the whole truth and nothing but the truth.

NAME	ADDRESS	SIGNATURE
Jim Filotto		
ALEX Schubert		
Katherine Rousseau		
Ray Jackson		

State of Illinois
County of Kendall

Zoning Petition
#24-11

ORDINANCE NUMBER 2024-_____

MAP AMENDMENT FOR APPROXIMATELY ELEVEN ACRES LOCATED BETWEEN 276 AND 514 ROUTE 52, MINOOKA (PIN: 09-13-400-011) IN SEWARD TOWNSHIP

Rezone from A-1 to B-3

WHEREAS, Section 13:07 of the Kendall County Zoning Ordinance permits the Kendall County Board to approve map amendments and provides the procedure through which map amendments are granted; and

WHEREAS, the property which is the subject of this Ordinance has been, at all relevant times, and remains currently located within the A-1 Agricultural Zoning District and consists of approximately 11 acres located between 276 and 514 Route 52, Minooka (PIN: 09-13-400-011) in Kendall Township. The legal description for the subject property is set forth in Exhibit A attached hereto and incorporated by reference, and this property shall hereinafter be referred to as “the subject property”; and

WHEREAS, the subject property is currently owned by Oakland Avenue Storage, LLC as represented by James W. Filotto and shall hereinafter be referred to as “Petitioner”; and

WHEREAS, on or about April 23, 2024, Petitioner filed a petition for a Map Amendment rezoning the subject property from A-1 Agricultural District to B-3 Highway Business; and

WHEREAS, following due and proper notice by publication in the Kendall County Record on May 2, 2024, due and proper notification to the Village of Shorewood on or about May 1, 2024, due and proper notification to Seward Township on or about May 1, 2024, and due and proper notification to all property owners of record of properties located within five hundred feet of the subject property on or about May 1, 2024, the Kendall County Zoning Board of Appeals initiated a public hearing on May 28, 2024, at 7:00 p.m., in the County Office Building at 111 W. Fox Street in Yorkville, and continued the public hearing to July 1, 2024, at the same time and location, at which the Petitioner presented evidence, testimony, and exhibits in support of the requested Map Amendment and zero members of the public testified in favor of the request and two members of the public testified in opposition of the requested Map Amendment; and

WHEREAS, based on the evidence, testimony, and exhibits, the Kendall County Zoning Board of Appeals has made their Findings of Fact and recommended approval of the Map Amendment as set forth in the Findings of Fact and Recommendation of the Kendall County Zoning Board of Appeals, dated July 1, 2024, a true and correct copy of which is attached hereto as Exhibit B; and

WHEREAS, the Kendall County Planning, Building and Zoning Committee of the Kendall County Board has reviewed the testimony presented at the aforementioned public hearing and has considered the Findings of Fact and Recommendation of the Kendall County Zoning Board of Appeals, and has forwarded to the Kendall County Board a recommendation of **approval/denial/neutral** of the requested Map Amendment; and

WHEREAS, the Kendall County Board has considered the recommendation of the Planning, Building and Zoning Committee and the Findings of Fact and Recommendation of the Kendall County Zoning Board of Appeals, and has determined that said petition is in conformance with the provisions and intent of the Kendall County Zoning Ordinance; and

NOW, THEREFORE, BE IT ORDAINED, BY THE COUNTY BOARD OF KENDALL COUNTY, ILLINOIS, as follows:

1. The Findings of Fact and Recommendation of the Kendall County Zoning Board of Appeals attached

State of Illinois
County of Kendall

Zoning Petition
#24-11

hereto as Exhibit B is hereby accepted and the Findings of Fact set forth therein are hereby adopted as the Findings of Fact and Conclusions of this Kendall County Board.

2. The Kendall County Board hereby grants approval of Petitioner's petition for a Map Amendment rezoning the subject property from A-1 Agricultural District to B-3 Highway Business District.
3. The Zoning Administrator and other appropriate County Officials are hereby authorized and directed to amend the Official Zoning Map of Kendall County to reflect this Map Amendment.

IN WITNESS OF, this ordinance has been enacted by a majority vote of the Kendall County Board and is effective this 16th day of July, 2024.

Attest:

Kendall County Clerk
Debbie Gillette

Kendall County Board Chairman
Matt Kellogg

Exhibit A

THE WEST HALF OF THE NORTH 806.65 FEET OF THE WEST 1296.0 FEET OF THE SOUTHEAST QUARTER OF SECTION 13, TOWNSHIP 35 NORTH, RANGE 8 EAST OF THE THIRD PRINCIPAL MERIDIAN, EXCEPT THE SOUTH 80.67 FEET THEREOF, IN KENDALL COUNTY, ILLINOIS

PIN; 09-13-400-011

Exhibit B

The Kendall County Zoning Board of Appeals held a public hearing on the Petition 24-11 on July 1, 2024. On the same date, the Kendall County Zoning Board of Appeals issued the following findings of fact and recommendation by a vote of four (4) in favor and zero (0) in opposition. Members Mohr, Prodehl, and Whitfield were absent.

FINDINGS OF FACT

*Existing uses of property within the general area of the property in question. **The surrounding properties are used for agricultural purposes, single-family residential, and a landscaping business.***

*The Zoning classification of property within the general area of the property in question. **The surrounding properties are zoned A-1 and A-1 with a special use permit for a landscaping business. Other properties in the vicinity possess business zoning classifications.***

*The suitability of the property in question for the uses permitted under the existing zoning classification. **The Petitioner's proposed use of the property, for the operation of a construction/contractor business, is not allowed in the A-1 Zoning District.***

*The trend of development, if any, in the general area of the property in question, including changes, if any, which may have taken place since the day the property in question was in its present zoning classification. **The Zoning Board of Appeals shall not recommend the adoption of a proposed amendment unless it finds that the adoption of such an amendment is in the public interest and is not solely for the interest of the applicant. The Zoning Board of Appeals may recommend the adoption of an amendment changing the zoning classification of the property in question to any higher classification than that requested by the applicant. For the purpose of this paragraph the R-1 District shall be considered the highest classification and the M-2 District shall be considered the lowest classification. The trend of development in the area is a mix of agricultural, commercial, and public/institutional.***

*Consistency with the purpose and objectives of the Land Resource Management Plan and other adopted County or municipal plans and policies. **The subject property is classified as Commercial on the Future Land Use Map and the B-3 Zoning District is consistent with this land classification.***

RECOMMENDATION

Approval



Kendall County Agenda Briefing

Meeting Type: Planning, Building and Zoning
Meeting Date: 7/8/2024
Subject: Approval of Petition 24-12, Conditional Use Permit for a Roofing Contractor with No Outdoor Storage at the Property between 276 and 514 Route 52
Prepared by: Matthew H. Asselmeier, AICP, CFM
Department: Planning, Building and Zoning

Action Requested:

Approval of Petition 24-12, a Request from James W. Filotto on Behalf of Oakland Avenue Storage, LLC for a Conditional Use Permit to Operate a Construction/Contractor's Business at the Property Between 276 and 514 Route 52 (PIN: 09-13-400-011) in Seward Township

Previous Board/Committee Review:

N/A

Fiscal impact:

N/A

Background and Discussion:

The Petitioner would like to rezone the property to operate a contractor's office or shop (roofing contractor) where no fabrication is done on the premises and where all storage of materials and equipment is within a building. (See Petition 24-11 for the Rezoning Request)

Staff Recommendation:

Approval Subject to the Following Conditions:

1. This conditional use permit shall not become effective unless or until the subject property is rezoned to the B-3 Highway Business District.
2. No fabrication of materials occurs on the premises.
3. Except for the purposes of loading and unloading, all materials and equipment is stored within a building.
4. The property owner and owner of the use allowed by this conditional use permit shall follow all applicable Federal, State, and Local laws related to the operation of this type of use and development of the site, including, but not limited to, obtaining site plan approval as required by the Kendall County Zoning Ordinance.

5. Failure to comply with one or more of the above conditions or restrictions could result in the amendment or revocation of the conditional use permit.
6. If one or more of the above conditions is declared invalid by a court of competent jurisdiction, the remaining conditions shall remain valid.
7. This conditional use permit shall be treated as a covenant running with the land and is binding on the successors, heirs, and assigns as to the same use conducted on the property.

Attachments:

Draft Conditional Use Permit



PLANNING, BUILDING & ZONING DEPARTMENT

111 WEST FOX STREET - ROOM 203 YORKVILLE, ILLINOIS 60560-1498

630/553-4141 • FAX 630/553-4179

www.kendallcountyil.gov

July 9, 2024

James W. Filotto (Sent by Email to Michael Korst)
Oakland Avenue Storage, LLC



RE: *B-3 Conditional Use-Contractor's Office or Shop (Roofing Contractor) Where No Fabrication is Done on the Premises and Where All Storage of Materials and Equipment is Within a Building (PIN # 09-13-400-011)*

Petition #24-12

Dear James W. Filotto:

This letter serves as a copy of the approved B-3 Conditional Use for a Contractor's Office or Shop (Roof Contractor) where no fabrication done on the premises and where all storage of materials and equipment is within a building for the property located between 276 and 514 Route 52, on the south side of Route 52, Minooka, identified by parcel identification number 09-13-400-011 in Seward Township. The B-3 Conditional Use applies specifically to the property described in attached Exhibit A.

At their meeting on July 8, 2024, the Kendall County Planning, Building and Zoning Committee approved the issuance of the conditional use permit subject to the following conditions:

1. This conditional use permit shall not become effective unless or until the subject property is rezoned to the B-3 Highway Business District.
2. No fabrication of materials occurs on the premises.
3. Except for the purposes of loading and unloading, all materials and equipment is stored within a building.
4. The property owner and owner of the use allowed by this conditional use permit shall follow all applicable Federal, State, and Local laws related to the operation of this type of use and development of the site, including, but not limited to, obtaining site plan approval as required by the Kendall County Zoning Ordinance.
5. Failure to comply with one or more of the above conditions or restrictions could result in the amendment or revocation of the conditional use permit.
6. If one or more of the above conditions is declared invalid by a court of competent jurisdiction, the remaining conditions shall remain valid.
7. This conditional use permit shall be treated as a covenant running with the land and is binding on the successors, heirs, and assigns as to the same use conducted on the property.

This conditional use is valid indefinitely and will run with the land. At the time of application for the building permit and Health Department permits, the applicant will be required to supply a copy of this letter with the applications.

Should you have any questions or concerns about this matter, please feel free to contact me at (630) 553-4139.

Sincerely,

Seth Wormley
PBZ Chairman

Matthew H. Asselmeier, AICP, CFM
Director of Planning, Building and Zoning/ Zoning Administrator

CC: Brian Holdiman, Code Inspector
Aaron Rybski, Director of Environmental Health

ENC: Exhibit A Legal Description

Exhibit A

THE WEST HALF OF THE NORTH 806.65 FEET OF THE WEST 1296.0 FEET OF THE SOUTHEAST QUARTER OF SECTION 13, TOWNSHIP 35 NORTH, RANGE 8 EAST OF THE THIRD PRINCIPAL MERIDIAN, EXCEPT THE SOUTH 80.67 FEET THEREOF, IN KENDALL COUNTY, ILLINOIS

PIN; 09-13-400-011



Kendall County Agenda Briefing

Meeting Type: Planning, Building and Zoning
Meeting Date: 7/8/2024
Subject: Approval to Extend the Deadline for Installing Vegetation at the Property Identified by Parcel ID Number 07-05-400-003
Prepared by: Matthew H. Asselmeier, AICP, CFM
Department: Planning, Building and Zoning

Action Requested:

Approval of a Request to the Extend the Deadline for Installing Vegetation at the Property Identified by Parcel ID Number 07-05-400-003 in the 16000 Block of Newark Road in Big Grove Township; Property is Zoned A-1 with a Special Use Permit for a Public or Private Utility Other

Previous Board/Committee Review:

N/A

Fiscal impact:

N/A

Background and Discussion:

In 2018, by Ordinance 2018-15, the Kendall County Board approved a special use permit for a public or private utility other (solar panels) at the subject property.

On March 13, 2023, the Planning, Building and Zoning Committee approved a minor amendment to the special use permit extending the deadline for installing landscaping to August 21, 2024, and granting the Committee the ability to grant extensions to this deadline.

On June 20, 2024, the project manager for the project submitted a request to extend the deadline for installing landscaping to October 31, 2024.

Staff Recommendation:

Approval

Attachments:

Email from Grant Mullen Dated June 20, 2024

Major Amendment to the Special Use Permit

Ordinance 2018-15

Matt Asselmeier

From: Grant Mullen <grant.mullen@standardsolar.com>
Sent: Thursday, June 20, 2024 3:25 PM
To: Matt Asselmeier; nancyharazin [REDACTED]
Cc: Pam Herber; Brian Holdiman; Jake Longhany; Cena Langary; Megan Kane; McKenzie Cornell; Joseph Good; Sarah Dolan; Dan Kennard; Seth Wormley; Christina Burns; Megan Kane; Chuck VonDrehle
Subject: RE: [External]Kendall, Solar Array Permit - Parcel 07-05-400-003

Apologies, October 31st, 2024, this year.

Thank you,

Grant Mullen
Project Manager

D 301-944-5290 | **M** 207-415-4908
grant.mullen@standardsolar.com | www.standardsolar.com
530 Gaither Road Suite 900 Rockville, MD 20850



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From: Matt Asselmeier <masselmeier@kendallcountyl.gov>
Sent: Thursday, June 20, 2024 2:24 PM
To: Grant Mullen <grant.mullen@standardsolar.com>; nancyharazin [REDACTED]
Cc: Pam Herber <pherber@kendallcountyl.gov>; Brian Holdiman <BHoldiman@kendallcountyl.gov>; Jake Longhany <jake.longhany@standardsolar.com>; Cena Langary <cena.langary@standardsolar.com>; Megan Kane <mkane@langan.com>; McKenzie Cornell <mcornell@langan.com>; Joseph Good <jgood@Langan.com>; Sarah Dolan <Sdolan@langan.com>; Dan Kennard <dkennard@pepperconstruction.com>; Seth Wormley <swormley@kendallcountyl.gov>; Christina Burns <cburns@kendallcountyl.gov>; Megan Kane <mkane@langan.com>; Chuck VonDrehle <chuck.vondrehle@standardsolar.com>
Subject: RE: [External]Kendall, Solar Array Permit - Parcel 07-05-400-003

CAUTION EXTERNAL EMAIL: DO NOT CLICK ON LINKS OR OPEN ATTACHMENTS UNLESS YOU KNOW THE CONTENT IS SAFE. Please report suspicious emails [here](#)

October 31, 2024 or October 31, 2025?

Matthew H. Asselmeier, AICP, CFM
Director
Kendall County Planning, Building & Zoning
111 West Fox Street
Yorkville, IL 60560-1498
PH: 630-553-4139

Fax: 630-553-4179

From: Grant Mullen <grant.mullen@standardsolar.com>

Sent: Thursday, June 20, 2024 3:22 PM

To: Matt Asselmeier <masselmeier@kendallcountylvil.gov>; nancyharazin@██████████

Cc: Pam Herber <pherber@kendallcountylvil.gov>; Brian Holdiman <BHoldiman@kendallcountylvil.gov>; Jake Longhany <jake.longhany@standardsolar.com>; Cena Langary <cena.langary@standardsolar.com>; Megan Kane <mkane@langan.com>; McKenzie Cornell <mcornell@langan.com>; Joseph Good <jgood@Langan.com>; Sarah Dolan <Sdolan@langan.com>; Dan Kennard <dkennard@pepperconstruction.com>; Seth Wormley <swormley@kendallcountylvil.gov>; Christina Burns <cburns@kendallcountylvil.gov>; Megan Kane <mkane@langan.com>; Chuck VonDrehle <chuck.vondrehle@standardsolar.com>

Subject: RE: [External]Kendall, Solar Array Permit - Parcel 07-05-400-003

Hi Matthew,

Thanks for taking my call just now. We would like to request a planting extension to be pushed out to an October 31st, 2025, deadline. This request is based on our Civil Engineer, Langan, letting us know that the best planting window for arborvitae in the area is Sept 1 – Oct 15th.

Please let me know if there is additional information needed to process this extension request.

Thank you,

Grant Mullen
Project Manager

D 301-944-5290 | **M** 207-415-4908
grant.mullen@standardsolar.com | www.standardsolar.com
530 Gaither Road Suite 900 Rockville, MD 20850



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MINOR AMENDMENT TO EXISTING SPECIAL USE

**EXTENDING THE DEADLINE FOR INSTALLING AN ARBORVITAE BUFFER ON
PROPERTY LOCATED APPROXIMATELY 0.2 MILES EAST OF ILLINOIS ROUTE 71 ON
THE SOUTH SIDE OF NEWARK ROAD AND IDENTIFIED BY PARCEL IDENTIFICATION
NUMBER 07-05-400-003 IN BIG GROVE TOWNSHIP**

WHEREAS, Section 13:08 of the Kendall County Zoning Ordinance permits the Kendall County Planning, Building and Zoning Committee of the Kendall County Board to approve minor amendments to existing special use permits and provides the procedure through which minor amendments to existing special use permits are granted; and

WHEREAS, the property which is the subject of this Ordinance has been, at all relevant times, and remains currently located within the A-1 Agricultural District and consists of approximately 60 acres located approximately 0.2 miles east of the intersection of Illinois Route 71 and Newark Road on the south side of Newark Road (PIN: 07-05-400-003), in Big Grove Township. The legal description for the subject property is set forth in Exhibit A attached hereto and incorporated by reference, and this property shall hereinafter be referred to as “the subject property.”; and

WHEREAS, on August 21, 2018, the Kendall County Board approved Ordinance 2018-15 which granted a special use permit for a public or private utility other (solar panels) at the subject property; and

WHEREAS, Condition Number 2.C of Ordinance 2018-15 stated that the arborvitae shall be planted in sufficient numbers to create a complete buffer within five (5) years of the approval of this special use permit; and

WHEREAS, the subject property is currently owned by Nancy L. Harazin Trust Number 101 as represented by Nancy L. Harazin and hereinafter shall be referred to as “Petitioner”; and

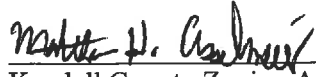
WHEREAS, on or about February 23, 2023, Petitioner’s representative filed a petition for a minor amendment to Condition Number 2.C of Ordinance 2018-15 to extend the deadline for planting the arborvitae to August 21, 2024; and

NOW, THEREFORE, BE IT ORDAINED, BY THE PLANNING, BUILDING AND ZONING COMMITTEE OF THE COUNTY BOARD OF KENDALL COUNTY, ILLINOIS, as follows:

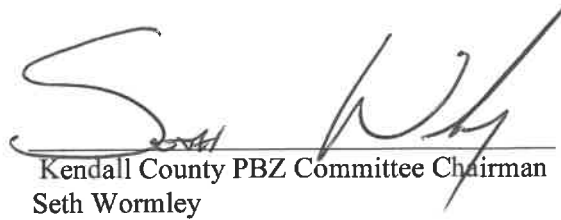
1. The Planning, Building and Zoning Committee of the Kendall County Board finds that the requested minor amendment will result in equal or better performance than the original condition imposed and the property will still be in substantial compliance with the previously approved Ordinance 2018-15.
2. The Planning, Building and Zoning Committee of the Kendall County Board hereby grants approval of Petitioner’s petition for a minor amendment to Condition Number 2.C of Ordinance 2018-15 by allowing the deadline for installing the arborvitae buffer outlined in Ordinance 2018-15 to be extending until August 21, 2024; this deadline may be extended beyond August 21, 2024 if requested by the property owner and if the Planning, Building and Zoning Committee deems such an extension necessary.
3. This minor amendment shall be treated as a covenant running with the land and is binding on the successors, heirs, and assigns as to the same special use conducted on the property.

IN WITNESS OF, this minor amendment to an existing special use permit has been enacted by a majority vote of the Planning, Building and Zoning Committee of the Kendall County Board and is effective this 13th day of March, 2023.

Attest:



Kendall County Zoning Administrator
Matthew H. Asselmeier



Kendall County PBZ Committee Chairman
Seth Wormley

Exhibit A

K:\Psddata\2018 Projects\18.0028\18.0028-01 LTS\Legal Descriptions\2018-02-01 Project Area Legal.docx

THAT PART OF THE EAST HALF OF SECTION 5, TOWNSHIP 35 NORTH, RANGE 6 EAST OF THE THIRD PRINCIPAL MERIDIAN, DESCRIBED AS FOLLOWS: COMMENCING AT THE SOUTHEAST CORNER OF SAID SECTION 5; THENCE NORTH 00 DEGREES 30 MINUTES 06 SECONDS EAST, ALONG THE EAST LINE OF THE SOUTHEAST QUARTER OF SAID SECTION 5, A DISTANCE OF 588.72 FEET TO AN EXISTING FENCE LINE; THENCE SOUTH 89 DEGREES 18 MINUTES 45 SECONDS WEST, ALONG SAID FENCE LINE, 712.10 FEET; THENCE NORTH 00 DEGREES 56 MINUTES 36 SECONDS WEST, 1273.42 FEET TO THE POINT OF BEGINNING; THENCE SOUTH 90 DEGREES 00 MINUTES 00 SECONDS WEST, 1266.62 FEET; THENCE NORTH 00 DEGREES 56 MINUTES 50 SECONDS WEST, 774.88 FEET TO THE CENTER LINE OF NEWARK ROAD; THENCE NORTH 89 DEGREES 10 MINUTES 47 SECONDS EAST ALONG SAID CENTER LINE, 1266.50 FEET; THENCE SOUTH 00 DEGREES 56 MINUTES 36 SECONDS EAST, 793.01 FEET TO THE POINT OF BEGINNING; IN BIG GROVE TOWNSHIP, KENDALL COUNTY, ILLINOIS.

ORDINANCE NUMBER 2018- 15

GRANTING A SPECIAL USE PERMIT ON PROPERTY ZONED A-1 AGRICULTURAL FOR A PUBLIC OR PRIVATE UTILITY – OTHER (SOLAR PANELS) FOR A 60.0 ACRE +/- PARCEL LOCATED APPROXIMATELY 0.2 MILES EAST OF ILLINOIS ROUTE 71 ON THE SOUTH SIDE OF NEWARK ROAD AND IDENTIFIED BY PARCEL IDENTIFICATION NUMBER 07-05-400-003 AND ALSO KNOWN AS 16400 NEWARK ROAD IN BIG GROVE TOWNSHIP

WHEREAS, Section 13.08 of the Kendall County Zoning Ordinance permits the Kendall County Board to issue special use permits and place conditions on special use permits and provides the procedure through which special use permits are granted; and

WHEREAS, the property which is the subject of this Ordinance has been, at all relevant times, and remains currently located within the A-1 Agricultural Zoning District and consists of approximately 60.0 acres located on the south side of Newark Road approximately 0.2 miles east of Illinois Route 71 (PIN: 07-05-400-003) and is also known as 16400, Newark Road, in Big Grove Township. The legal description for the subject property is set forth in Exhibit A attached hereto and incorporated by reference, and this property shall hereinafter be referred to as “the subject property.”; and

WHEREAS, the subject property is currently owned by the Nancy L. Harazin Trust Number 101 and is represent by Nancy L. Harazin and shall hereinafter be referred to as “Petitioner”; and

WHEREAS, on or about April 17, 2018, Petitioner filed a petition for a Special Use Permit allowing the placement of a Public or Private Utility – Other (Solar Panels) on the subject property and the energy generated from the proposed use would be consumed offsite; and

WHEREAS, following due and proper notice by publication in the Kendall County Chronicle not less than fifteen days prior thereto, the Kendall County Zoning Board of Appeals conducted a public hearing on June 4, 2018, at 7:00 p.m., in the County Office Building at 111 W. Fox Street in Yorkville, at which the Petitioner and representatives from the solar company presented evidence, testimony, and exhibits in support of the requested special use permit and two members of the public testified in opposition to the request and one member of the public asked questions about the request; and

WHEREAS, based on the evidence, testimony, and exhibits, the Kendall County Zoning Board of Appeals has made their Findings of Fact and recommended denial of the Special Use Permit with conditions as set forth in the Findings of Fact and Recommendation of the Kendall County Zoning Board of Appeals, dated June 4, 2018, a true and correct copy of which is attached hereto as Exhibit B; and

WHEREAS, the Kendall County Planning, Building and Zoning Committee of the Kendall County Board has reviewed the testimony presented at the aforementioned public hearing and has considered the Findings of Fact and Recommendation of the Kendall County Zoning Board of Appeals, and has forwarded to the Kendall County Board a recommendation of approval of the requested Special Use Permit with conditions; and

WHEREAS, the Kendall County Board has considered the recommendation of the Planning, Building and Zoning Committee and the Findings of Fact and Recommendation of the Kendall County Zoning Board of Appeals, and has determined that said petition is in conformance with the provisions and intent of the Kendall County Zoning Ordinance; and

WHEREAS, this Special Use Permit shall be treated as a covenant running with the land and is binding on the successors, heirs, and assigns as to the same special use conducted on the property; and

NOW, THEREFORE, BE IT ORDAINED, BY THE COUNTY BOARD OF KENDALL COUNTY, ILLINOIS, as follows:

1. The Findings of Fact and Recommendation of the Kendall County Zoning Board of Appeals attached hereto as Exhibit B is hereby accepted and the Findings of Fact set forth therein are hereby adopted as the Findings of Fact and Conclusions of this Kendall County Board.
2. The Kendall County Board hereby grants approval of Petitioner's petition for a Special Use Permit allowing the placement of a Public or Private Utility – Other (Solar Panels) to be placed on the subject property subject to the following conditions:
 - A. The site will be developed in accordance with the Site Plan attached hereto as Exhibit C.
 - B. Lighting will be installed in accordance with the Site Plan attached hereto as Exhibit C. Lighting shall not be visible from neighboring properties.
 - C. The landscaping shall occur in accordance with the Landscaping Plan attached hereto as Exhibit C. The owner and/or operation shall plant arborvitaes at least seven feet (7') in height as measured from the top of the root ball at the time of planting along the north side of the property to block the visibility of the solar panels from the property north of the subject property. The arborvitaes shall be planted in sufficient numbers to create a complete buffer within five (5) years of the approval of this special use permit. Damaged or dead arborvitaes shall be replaced on a timeframe approved by the Kendall County Planning, Building and Zoning Department.
 - D. Replacement of dead and/or damaged vegetation shall occur on a timetable agreed to between the property owner and the Kendall County Planning, Building and Zoning Department.
 - E. Signage shall be installed as described in Exhibit C. In addition, at least one (1) sign shall be placed at the vehicle access gate stating emergency contact information.
 - F. The site shall be decommissioned in accordance with the Decommissioning Plan attached hereto as Exhibit C. In the event the Decommissioning Plan changes, the property owner shall supply the Kendall County Planning, Building and Zoning Department with revised plans as soon as they are available. The owner or operator shall establish a decommissioning bond in the amount of Two Hundred Thirty-Thousand Dollars (\$230,000). Said bond shall be maintained for the duration of the special use permit.
 - G. The Decommissioning Plan shall be initiated by a simple a majority vote of the Kendall County Board if the solar panels are not used for ninety (90) consecutive days.
 - H. The property owner or operator shall have six (6) months from the date of the vote of the Kendall County Board to initiate the Decommissioning Plan and to complete the Decommissioning Plan and remove the solar panels and related equipment from the property.
 - I. On or before February 1st of each year, the owner or operator shall provide the Kendall County Planning, Building and Zoning Department with a report outlining the amount of energy produced at the property during the previous year.

- J. In addition to other applicable fees, the following fees should be paid to the County prior to the installation of the solar panels:
- Building Permit Fees
- | | |
|-----------|--------|
| 0-10 KW | \$150 |
| 51-100 | \$300 |
| 101-500 | \$600 |
| 501-1000 | \$1200 |
| 1001-1500 | \$2750 |
| 1501-2000 | \$6000 |
- Over 2000 KW \$200 for Each Additional 0-100 KW
Fees Double if Construction Commences before Obtaining Building Permit.
- K. The property owner or operator shall maintain current liability policy covering bodily injury and property damage at least Three Million Dollars per occurrence and Five Million Dollars in aggregate and must have policy for the duration of the special use permit, such insurance may be provided pursuant to a plan of self-insurance by a party with a net worth of Twenty Million Dollars or more and the County shall be named as additional insured to the extent that the County is entitled to indemnification.
- L. The property owner or operator shall indemnify, and hold harmless the County and its officials, employees, and agents (collectively and individually, the "Indemnified Parties") from and against any and all claims, demands, losses, suits, causes of actions, damages, injuries, costs, expenses, and liabilities whatsoever, including reasonable attorney's fees, except to the extent arising in whole or part out of negligence or intentional acts of such Indemnified Parties (such liabilities together known as "liability") arising out of Applicant, Owner, or Operators selection, construction, operation, and removal of the solar energy system and affiliated equipment including, without limitation, liability for property damage or personal injury (including death), whether said liability is premised on contract or on tort (including without limitation strict liability or negligence). This general indemnification shall not be construed as limited or qualifying the County's other indemnification rights available under the law.
- M. Within sixty (60) days of the approval of this special use permit ordinance, the owner shall dedicate a fifteen foot (15') wide strip along the northern portion of the property in accordance with the Site Plan attached hereto as Exhibit C to Kendall County to be used as Newark Road right-of-way.
- N. The property owner or operator shall be responsible for ensuring that the operations of the solar panels allowed by this special use permit comply with all applicable Federal, State, and Local laws.
- O. Damaged or non-functioning solar panels shall be replaced or repaired on a timetable agreed to between the property owner and the Kendall County Planning, Building and Zoning Committee. If no timetable is agreed to between the property owner and the Kendall County Planning, Building and Zoning Committee within ninety (90) days of Kendall County's written request for a timetable, then the Kendall County Board may vote to initiate the Decommissioning Plan.
- P. The property owner or operator shall repair and if necessary re-route any drain tile damaged

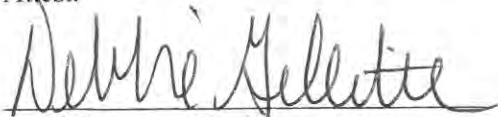
as a result of the installation, decommissioning, maintenance, or operation of the solar panels and related supporting infrastructure on a timeline approved by the Kendall County Planning, Building and Zoning Department. The site plan shall show a plan to address sheet erosion on the northern and eastern portions of the property with a prairie mix as shown on the Site Plan attached hereto as Exhibit C.

- Q. If requested by the Newark Fire Protection District, the owner and/or operator shall provide at their sole expense training to address any fire related or public health issues caused by the issuance of this special use permit. The training topics and the timeframe for the training shall be approved by the Newark Fire Protection District.
- R. Failure to comply with the above conditions or restrictions could result in the amendment or revocation of the special use permit or the initiation the Decommissioning Plan by the Kendall County Board.
- S. If one or more of the above conditions is declared invalid by a court of competent jurisdiction, the remaining conditions shall remain valid.
- T. The property owner and operator shall execute an Agricultural Impact Mitigation Agreement with Kendall County. The Agricultural Impact Mitigation Agreement shall be modeled on the State of Illinois template Agreement that existed on the date of the adoption of this ordinance.

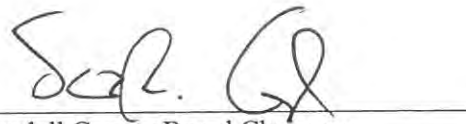
- 3. The Zoning Administrator and other appropriate County Officials are hereby authorized and directed to amend the Official Zoning Map of Kendall County to reflect this Special Use Permit.

IN WITNESS OF, this ordinance has been enacted by a majority vote of the Kendall County Board and is effective this 21st day of August, 2018.

Attest:



Kendall County Clerk
Debbie Gillette



Kendall County Board Chairman
Scott R. Gryder

Exhibit A

K:\Psdata\2018 Projects\18.0028\18.0028-01 LTS\Legal Descriptions\2018-02-01 Project Area Legal.docx

THAT PART OF THE EAST HALF OF SECTION 5, TOWNSHIP 35 NORTH, RANGE 6 EAST OF THE THIRD PRINCIPAL MERIDIAN, DESCRIBED AS FOLLOWS: COMMENCING AT THE SOUTHEAST CORNER OF SAID SECTION 5; THENCE NORTH 00 DEGREES 30 MINUTES 06 SECONDS EAST, ALONG THE EAST LINE OF THE SOUTHEAST QUARTER OF SAID SECTION 5, A DISTANCE OF 588.72 FEET TO AN EXISTING FENCE LINE; THENCE SOUTH 89 DEGREES 18 MINUTES 45 SECONDS WEST, ALONG SAID FENCE LINE, 712.10 FEET; THENCE NORTH 00 DEGREES 56 MINUTES 36 SECONDS WEST, 1273.42 FEET TO THE POINT OF BEGINNING; THENCE SOUTH 90 DEGREES 00 MINUTES 00 SECONDS WEST, 1266.62 FEET; THENCE NORTH 00 DEGREES 56 MINUTES 50 SECONDS WEST, 774.88 FEET TO THE CENTER LINE OF NEWARK ROAD; THENCE NORTH 89 DEGREES 10 MINUTES 47 SECONDS EAST ALONG SAID CENTER LINE, 1266.50 FEET; THENCE SOUTH 00 DEGREES 56 MINUTES 36 SECONDS EAST, 793.01 FEET TO THE POINT OF BEGINNING; IN BIG GROVE TOWNSHIP, KENDALL COUNTY, ILLINOIS.

Exhibit B

Findings of Fact

*That the establishment, maintenance, or operation of the special use will not be detrimental to or endanger the public health, safety, morals, comfort, or general welfare. **Provided that the site is developed in accordance with an approved site plan, provided that the landscaping plan and fencing as presented is implemented, provided the decommissioning plan is followed, and provided that the property owner or operation maintains, repairs, and or replaces damaged solar panels, the proposed use will not be detrimental to or endanger the public health, safety, or general welfare of the community. The proposed special use may be detrimental to the morals and comfort of the neighbors.***

*That the special use will not be substantially injurious to the use and enjoyment of other property in the immediate vicinity for the purposes already permitted, nor substantially diminish and impair property values within the neighborhood. The Zoning classification of property within the general area of the property in question shall be considered in determining consistency with this standard. The proposed use shall make adequate provisions for appropriate buffers, landscaping, fencing, lighting, building materials, open space and other improvements necessary to insure that the proposed use does not adversely impact adjacent uses and is compatible with the surrounding area and/or the County as a whole. **The Petitioner provided evidence that the installation of solar panels does not negatively impact property values or harm the environment. Appropriate restrictions (including requiring an updated decommissioning plan, a landscaping plan, and fencing requirements) can ensure the proposed use does not adversely impact adjacent uses.***

*That adequate utilities, access roads and points of ingress and egress, drainage, and/or other necessary facilities have been or are being provided. **True, adequate utilities, access roads and points of ingress and egress are provided. Appropriate conditions (including the dedication of land for additional right-of-way and developing the site in accordance with the submitted site plans and landscaping plans) can ensure that adequate drainage infrastructure will be provided.***

*That the special use shall in all other respects conform to the applicable regulations of the district in which it is located, except as such regulations may in each instance be modified by the County Board pursuant to the recommendation of the Zoning Board of Appeals. **True, the proposed use conforms to the setback, height, and development requirements of the A-1 Agricultural Zoning District.***

*That the special use is consistent with the purpose and objectives of the Land Resource Management Plan and other adopted County or municipal plans and policies. **True, the proposed use is consistent with Section 3.3.G of the Kendall County Land Resource Management Plan which states as an objective: "support the public and private use of sustainable energy systems (examples include wind, solar, and geo-thermal)" (Page 3-4).***

SITE USE PLANS

16400 NEWARK ROAD, NEWARK, IL 60541
 516.670 W DC STC RATED SOLAR ELECTRIC SYSTEM

NOT FOR CONSTRUCTION



SITE USE PLANS
 16400 NEWARK ROAD,
 NEWARK, IL 60541

REV	DATE	BY	DESCRIPTION
06/29/18	JB	JC	SITE USE PLAN SET

PROJECT NUMBER: 907-0142

DRAWING LIST

Sheet Number	Sheet Title
T-1	TITLE PAGE
C-1-D	EXISTING CONDITIONS PLAN
C-2-D	LAYOUT AND MATERIALS PLAN
C-3-D	GRADING AND EROSION CONTROL PLAN
C-4-D	CBL DETAILS
C-5-D	DECOMMISSIONING PLAN
C-6-D	LANDSCAPE PLAN
C-6-1	LANDSCAPE NOTES AND DETAILS
E-6-0	PLACARDS

LOCATION MAP



PROJECT SCOPE

THIS PROJECT CONSISTS OF THE INSTALLATION OF SOLAR MODULES PER THE SYSTEM DESCRIPTION, RACKING SYSTEM, AND WIRING. THE MODULES WILL BE WIRED IN SERIES STRINGS AND CONNECTED IN PARALLEL TO THE INVERTERS, WHICH CONVERT THE PHOTOVOLTAGE OUTPUT POWER FROM DC TO AC. THE SOLAR ELECTRIC SYSTEM WILL BE DESIGNED IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE AND ANY APPLICABLE LOCAL ELECTRICAL CODES AND STANDARDS. THE SYSTEM WILL BE INSTALLED IN ACCORDANCE WITH THE APPLICABLE ELECTRICAL CODE AND ANY APPLICABLE LOCAL ELECTRICAL CODES AND STANDARDS.

GENERAL NOTES

- AS CONTAINED HEREIN, "CONTRACTOR" IS ASSIGNED TO BE BORRERO SOLAR SYSTEMS, INC. AND "SUBCONTRACTOR" IS BORRERO'S INSTALLATION SUBCONTRACTOR.
- THESE NOTES TO THE EXHIBIT SHOWN SHALL BE READ IN CONJUNCTION WITH THE GENERAL NOTES TO THE BUILDING CODE, LOCAL ELECTRICAL CODE, AND ANY APPLICABLE LOCAL ELECTRICAL CODES AND STANDARDS LISTED IN THESE DRAWINGS AND IN THE SUBCONTRACTOR AGREEMENT.
- EXCEPTIONS TO THE CONTRACT DOCUMENTS ARE PERMITTED ONLY WITH THE APPROVAL OF CONTRACTOR. THESE DRAWINGS WITH SPECIFICATIONS AND MANUFACTURER INSTALLATION AND OPERATION MANUALS AND NOTIFY BORRERO OF ANY DISCREPANCIES PRIOR TO BEGINNING WORK.
- THESE DRAWINGS HAVE BEEN PREPARED IN ACCORDANCE WITH ALL LISTING REQUIREMENTS, AND THE BUILDING CODE FOR THE MATERIALS SPECIFIED. IF AN ALTERNATE OR SUBSTITUTED MATERIAL IS ACCEPTED AS AN EQUAL BY BORRERO, THE SUBCONTRACTOR WILL ASSUME THE RESPONSIBILITY FOR WHETHER CONSTRUCTION MODIFICATION AND/OR ADDITIONAL COST THAT PRIOR TO THE COMMENCEMENT OF ANY WORK, EACH TRADE SHALL VERIFY EXISTING CONDITIONS AND NOTIFY BORRERO OF ANY DISCREPANCIES TO THAT WHICH IS SHOWN IN THESE DRAWINGS. THE SUBCONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL ELECTRICAL, STRUCTURAL, AND MECHANICAL CONDITIONS PRIOR TO COMMENCEMENT OF ANY WORK. ANY WORK PERFORMED IN CONFLICT WITH THE CONTRACT DOCUMENTS OR ANY CODE REQUIREMENTS SHALL BE CORRECTED BY THE SUBCONTRACTOR. ANY CHANGES SHALL BE SUBMITTED IN WRITING TO BORRERO FOR APPROVAL PRIOR TO MAKING ANY CHANGES. APPROVED CHANGES REQUIRE A DRAWING REVISION TO MAINTAIN RECORD OVER THE LIFE OF THE PROJECT. THE SUBCONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE ACCURACY OF ALL INFORMATION PROVIDED BY THE OWNER. UNLESS INDICATED AS EXISTING (E), ALL PROPOSED MATERIALS AND EQUIPMENT ARE NEW. ALL ITEMS TO BE REMOVED AND RELOCATED OR REPLACED SHALL BE HANDLED WITH PROPER CARE AND STORED IN A SAFE PLACE TO PREVENT DAMAGE, OR BE REPLACED AT THE SUBCONTRACTOR'S EXPENSE.
- ALL EQUIPMENT SHALL BE MOUNTED AS SHOWN WHERE DETAILS ARE NOT PROVIDED, THE SUBCONTRACTOR SHALL USE DILIGENT EFFORTS TO MOUNT EQUIPMENT SUCH THAT IT WILL BE CLEAN, LEVEL AND SOLID.
- ALL SURFACES TO BE FINISHED AND PAINTED AROUND NEW DEVICES AND EQUIPMENT TO MATCH EXISTING FINISHES.
- ANY METAL SHIMMING RESULTING FROM SITE WORK SHALL BE CLEANED FROM SURFACES, ENCLOSURES AND ANY ADJACENT AREAS TO PREVENT CORROSION OF METAL SURFACES. UNLESS OTHERWISE SPECIFIED, ALL SURFACES SHALL BE PROTECTED FROM DAMAGE.
- NO STRUCTURAL MEMBER SHALL BE DRILLED UNLESS SPECIFICALLY AUTHORIZED BY BORRERO.
- ALL COMPONENTS TO BE INSTALLED TO PROPERLY RESIST WIND LOADS, SUCH AS BALLAST, WIND DEFLECTORS, ETC. IT IS THE RESPONSIBILITY OF THE SUBCONTRACTOR TO PROVIDE TEMPORARY MEANS TO RESIST WIND LOADS FOR ALL COMPONENTS NOT YET INSTALLED. COVERING, BALLAST OR ANY OTHER MEANS, DAMAGE TO ANY INSTALLED SYSTEM COMPONENT OR THE EXISTING FACILITY AS A RESULT OF THE UNFINISHED CONDITION NOT ADEQUATELY RESISTING WIND SHALL BE THE RESPONSIBILITY OF THE SUBCONTRACTOR TO REPAIR OR REPLACE AS NECESSARY.
- TREES MAY GROW DURING THE LIFE OF THE SYSTEM AND IMPACT THE PRODUCTION.

SYSTEM DESCRIPTION

SYSTEM SIZE (DC STD)	2.516670 MW	SYSTEM SIZE (AC)	2.000 MW
MODULES	(6453) HANWHA Q.PEAK (10) L-52.30W		
MODULES PER STRING	27	# OF STRINGS	239
RACKING	ARRAY TECH - DURATRACKZ	TILT ANGLE	-52 / 52
		CEC EFFICIENCY	88.5% %
INVERTERS	(16) SUNGROW S0125H4		
AZIMUTH	180° (SOUTH = 180°)		

GENERAL AVIATION REVIATIONS

(E)	EXISTING - HAVING JURISDICTION
A	ALUMINUM
APPROX	APPROXIMATE
AS BLDG	AS BUILT
BSS	BORRERO SOLAR SYSTEM
CL	CENTERLINE
DA	DIAMETER
DD	DITTO
EW	EAST-WEST
FR	FURNISHED BY OTHERS
GA	GENERAL ANGLE
HD	HOT DIP GALVANIZED
HMC	HIGH MODULUS POLYETHYLENE
HT	HOT TAP
ID	INSIDE DIAMETER
MP	MANUFACTURER
MO	SOLAR MODULE

PROJECT DIRECTORY

LANDOWNERS
 32 SPOCKWOOD LAKE
 OSWEGO, IL 60543
 (830)-544-9237

AUTHORITY-HAVING JURISDICTION
 KENDALL COUNTY PREL DEPARTMENT
 MATTHEW ASSELMAYER - SENIOR PLANNER
 100 WEST 1ST
 YORKVILLE, IL 60594
 (830)-553-4141

UTILITY
 AUREN
 MASSIE/BERCO/KENDALL/IL

PROJECT MANAGER
 CONTACT: MIKE DAUGHERTY
 PHONE: (819)-861-4338

SALE ENGINEER
 CONTACT: KEVIN WILLIAMS, P.E.
 PHONE: (781)-929-1651

STRUCTURAL ENGINEER
 CONTACT: MICHAEL KLUG
 PHONE: (978)-271-3999

ELECTRICAL ENGINEER
 CONTACT: DAN RETTELLE, P.E., PAUP
 PHONE: (878)-510-2854

DESIGN ENGINEER
 CONTACT: JOHN LAGASSE
 PHONE: (878)-973-5022

APPLICABLE CODES AND STANDARDS

- 2008 NATIONAL ELECTRICAL CODE
- 2012 INTERNATIONAL BUILDING CODE
- UL-1703 - SOLAR MODULES
- UL-2703 - RACKING, WIRING SYSTEMS AND CLAMPING DEVICES FOR PV MODULES

ENGINEER OF RECORD
 CIVIL ENGINEER
 STATE OF ILLINOIS
 LICENSE NO. 001-000000000
 PROJECT NO. 15-000000000
 SHEET NO. C-1.0
 DATE: 06/29/15

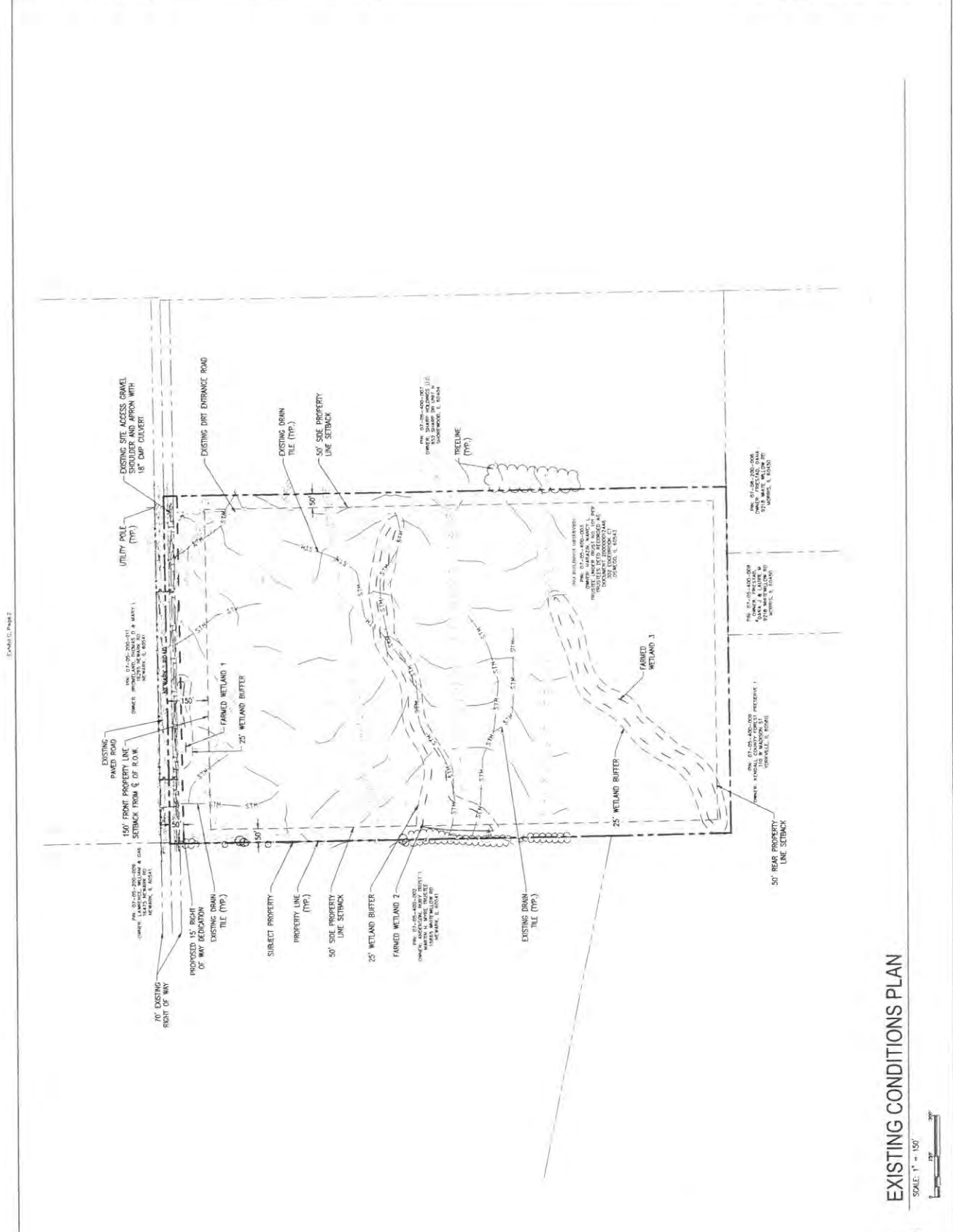
NOT FOR
 CONSTRUCTION



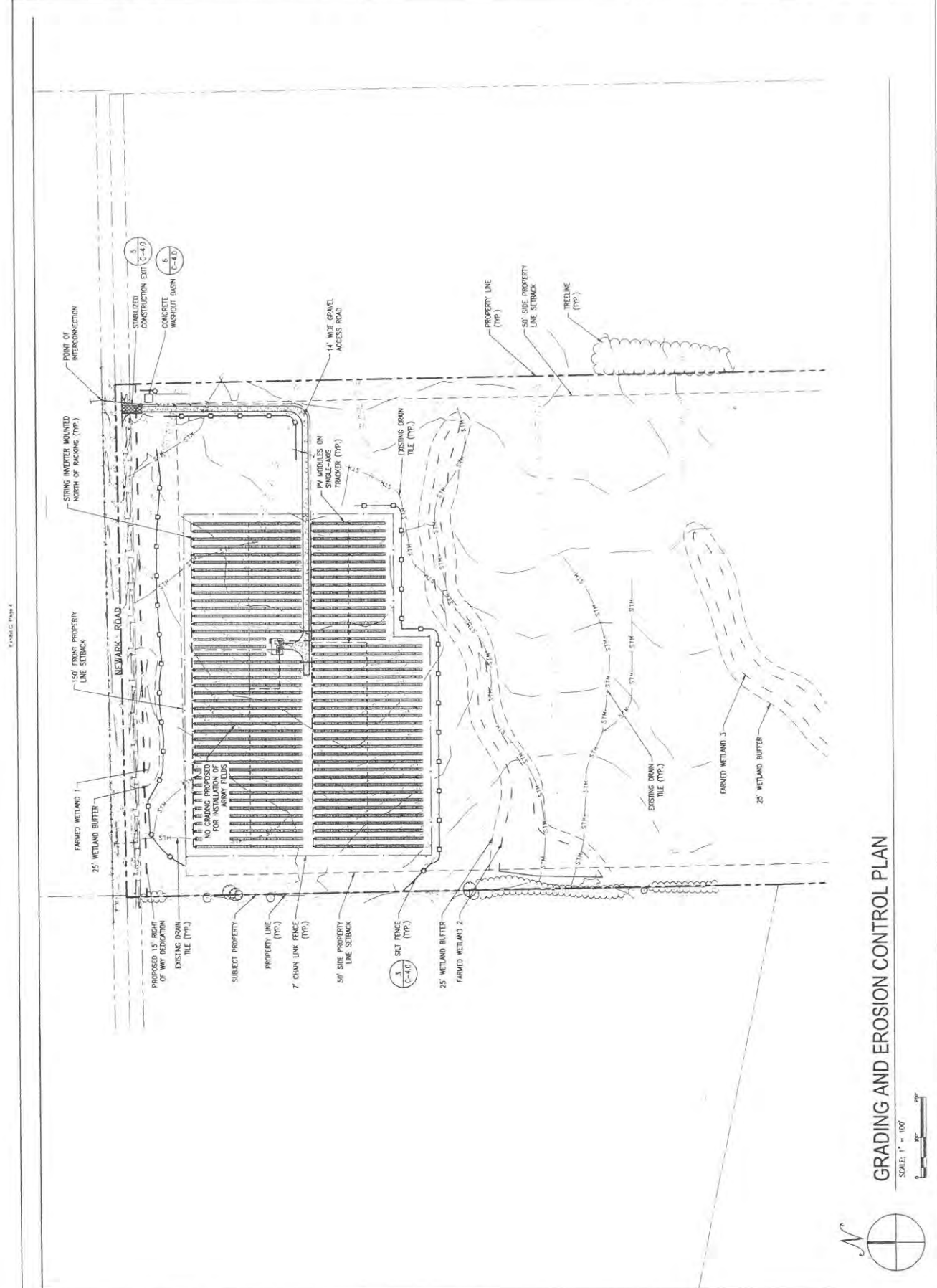
SITE USE PLANS
 16400 NEWARK ROAD
 NEWARK, IL 60541

REV	DATE	BY	CHKD	REASON
01	06/29/15	JR	JR	SITE USE PLAN SET

EXISTING CONDITIONS PLAN
 C-1.0



EXISTING CONDITIONS PLAN
 SCALE: 1" = 150'



GRADING AND EROSION CONTROL PLAN
 SCALE: 1" = 100'

DECOMMISSIONING PLAN
 SCALE: 1" = 100'

REMOVE OVERHEAD WIRING.
 REMOVE 4 UTILITY POLES. SEE DECOMMISSIONING REPORT.

REMOVE 400 CY OF 8" GRAVEL, EXISTING CURB AND RE-GRADE TO MATCH EXISTING. SEE DECOMMISSIONING REPORT.

EXISTING DRAIN TILE LOCATIONS SUBJECT TO CHANGE. VERIFY DECOMMISSIONING. TILES TO REMAIN AND BE PROTECTED.

REMOVE 3,180 LF OF ELECTRICAL TRENCH. SEE DECOMMISSIONING REPORT.

REMOVE ELECTRICAL EQUIPMENT (TYP.) SEE DECOMMISSIONING REPORT.

REMOVE 6 CY OF 8" CONCRETE AND STONE ELECTRICAL PAD. SEE DECOMMISSIONING REPORT.

REMOVE 6,453 PV MODULES ON SINGLE-AXIS TRACKER. SEE DECOMMISSIONING REPORT.

REMOVE 2,915 LF OF 7 FT. SEE DECOMMISSIONING REPORT.

SUBJECT PROPERTY
 PROPERTY LINE (TYP.)



REMOVE 6,453 PV MODULES ON SINGLE-AXIS TRACKER. SEE DECOMMISSIONING REPORT.

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PRELIMINE (TYP.)

FARMED WETLAND 1

FARMED WETLAND 2

FARMED WETLAND 3

PROPERTY LINE (TYP.)

NEWARK ROAD

REMOVE 400 CY OF 8" GRAVEL, EXISTING CURB AND RE-GRADE TO MATCH EXISTING. SEE DECOMMISSIONING REPORT.

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PROPERTY LINE (TYP.)

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PRELIMINE (TYP.)

FARMED WETLAND 1

FARMED WETLAND 2

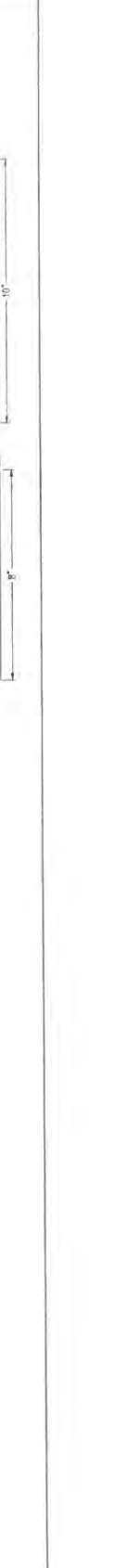
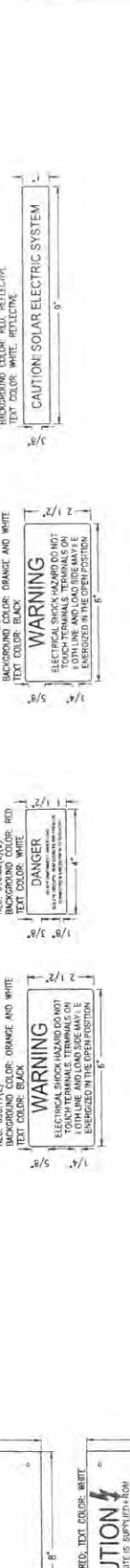
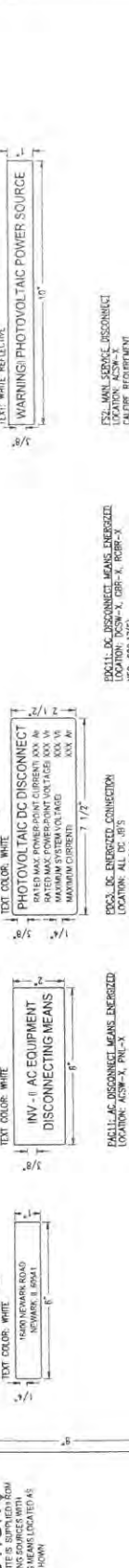
FARMED WETLAND 3

PROPERTY LINE (TYP.)

NEWARK ROAD

GENERAL PLACARD NOTES DESCRIBED IN THESE NOTES MAY APPLY TO THIS PROJECT. ELECTRICAL SUBCONTRACTOR SHALL PROVIDE ALL PLACARDS AS REQUIRED BY THE NEC, LOCAL FIRE DEPARTMENT, THE AUTHORITY HAVING JURISDICTION, AND LOCAL UTILITY REQUIREMENTS. PLACARDS IN ADDITION TO THOSE SPECIFICALLY LISTED SHALL BE REQUIRED BY THE NEC AND ARE THE RESPONSIBILITY OF THE SUBCONTRACTOR. PLACARDS SHALL BE WEATHER RESISTANT AND SUITABLE FOR THE ENVIRONMENT AND COMPLY WITH ANSI Z39-4-2011. PLACARDS SHALL BE ADHERED WHEN PRESSURE AND USE WITH ULTRA STAPLERS. IF PLACARDS ARE TO BE ADHERED TO EQUIPMENT, THE ADHESIVE SHOULD BE USED TO SECURE PLACARDS TO EQUIPMENT. HARDWARE SHALL NOT BE DRILLED. SURFACES SHALL BE USED TO MAINTAIN EQUIPMENT LISTINGS WHERE REQUIRED. NEAR BY EQUIPMENT SHALL BE LOCATED PER THE MANUFACTURER'S REQUIREMENTS. NUMBERED PER PLANS IF ATTACHING TO MOBILE FRAME ADHESIVE SHALL BE USED TO NOT DRILL OR NUT THE MIDDLE FRAMES.

1. SUBCONTRACTOR SHALL LABEL ALL ARRAYS, PULL BOXES, JUNCTION BOXES, COMBIBOX BOXES, DC SAFETY SWITCHES, CIRCUIT BREAKER SAFETY SWITCHES, MULTIPLE DISCONNECT SAFETY SWITCHES, DC CIRCUIT BREAKERS, SAFETY SWITCHES, TRANSFORMERS, CIRCUIT BREAKERS, SWITCHES, RECTIFIERS, DATA MONITORING ENCLOSURES, AND METERING CABINETS. A PARTIAL LIST OF PLACARDS IS SHOWN HERE.
2. EQUIPMENT IDENTIFICATION TAGS SHALL BE USED FOR EACH REQUIRED EQUIPMENT ID PLACARD. EQUIPMENT IDENTIFICATION TAGS SHALL BE USED FOR EACH REQUIRED EQUIPMENT ID PLACARD. EQUIPMENT IDENTIFICATION TAGS SHALL BE USED FOR EACH REQUIRED EQUIPMENT ID PLACARD.
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PLACARD TYPES: E1-DIRECTIONAL MAP (WHITE), E2-BARRICADE (ORANGE), E3-ADDITIONAL SOURCE (ORANGE), E4-DIRECTIONAL MAP (WHITE), E5-ADDITIONAL SOURCE (ORANGE), E6-DIRECTIONAL MAP (WHITE), E7-ADDITIONAL SOURCE (ORANGE), E8-DIRECTIONAL MAP (WHITE), E9-ADDITIONAL SOURCE (ORANGE), E10-DIRECTIONAL MAP (WHITE), E11-ADDITIONAL SOURCE (ORANGE), E12-PHOTOVOLTAIC DC DISCONNECT X OF Y (WHITE), E13-PHOTOVOLTAIC DC DISCONNECT X OF Y (WHITE), E14-PHOTOVOLTAIC DC DISCONNECT X OF Y (WHITE), E15-PHOTOVOLTAIC DC DISCONNECT X OF Y (WHITE), E16-PHOTOVOLTAIC DC DISCONNECT X OF Y (WHITE), E17-PHOTOVOLTAIC DC DISCONNECT X OF Y (WHITE), E18-PHOTOVOLTAIC DC DISCONNECT X OF Y (WHITE), E19-PHOTOVOLTAIC DC DISCONNECT X OF Y (WHITE), E20-PHOTOVOLTAIC DC DISCONNECT X OF Y (WHITE), E21-PHOTOVOLTAIC DC DISCONNECT X OF Y (WHITE), E22-PHOTOVOLTAIC DC DISCONNECT X OF Y (WHITE), E23-PHOTOVOLTAIC DC DISCONNECT X OF Y (WHITE), E24-PHOTOVOLTAIC DC DISCONNECT X OF Y (WHITE), E25-PHOTOVOLTAIC DC DISCONNECT X OF Y (WHITE), E26-PHOTOVOLTAIC DC DISCONNECT X OF Y (WHITE), E27-PHOTOVOLTAIC DC DISCONNECT X OF Y (WHITE), E28-PHOTOVOLTAIC DC DISCONNECT X OF Y (WHITE), E29-PHOTOVOLTAIC DC DISCONNECT X OF Y (WHITE), E30-PHOTOVOLTAIC DC DISCONNECT X OF Y (WHITE), E31-PHOTOVOLTAIC DC DISCONNECT X OF Y (WHITE), E32-PHOTOVOLTAIC DC DISCONNECT X OF Y (WHITE), E33-PHOTOVOLTAIC DC DISCONNECT X OF Y (WHITE), E34-PHOTOVOLTAIC DC DISCONNECT X OF Y (WHITE), E35-PHOTOVOLTAIC DC DISCONNECT X OF Y (WHITE), E36-PHOTOVOLTAIC DC DISCONNECT X OF Y (WHITE), E37-PHOTOVOLTAIC DC DISCONNECT X OF Y (WHITE), E38-PHOTOVOLTAIC DC DISCONNECT X OF Y (WHITE), E39-PHOTOVOLTAIC DC DISCONNECT X OF Y (WHITE), E40-PHOTOVOLTAIC DC DISCONNECT X OF Y (WHITE), E41-PHOTOVOLTAIC DC DISCONNECT X OF Y (WHITE), E42-PHOTOVOLTAIC DC DISCONNECT X OF Y (WHITE), E43-PHOTOVOLTAIC DC DISCONNECT X OF Y (WHITE), E44-PHOTOVOLTAIC DC DISCONNECT X OF Y (WHITE), E45-PHOTOVOLTAIC DC DISCONNECT X OF Y (WHITE), E46-PHOTOVOLTAIC DC DISCONNECT X OF Y (WHITE), E47-PHOTOVOLTAIC DC DISCONNECT X OF Y (WHITE), E48-PHOTOVOLTAIC DC DISCONNECT X OF Y (WHITE), E49-PHOTOVOLTAIC DC DISCONNECT X OF Y (WHITE), E50-PHOTOVOLTAIC DC DISCONNECT X OF Y (WHITE), E51-PHOTOVOLTAIC DC DISCONNECT X OF Y (WHITE), E52-PHOTOVOLTAIC DC DISCONNECT X OF Y (WHITE), E53-PHOTOVOLTAIC DC DISCONNECT X OF Y (WHITE).

Matt Asselmeier

From: Brian Holdiman
Sent: Tuesday, July 2, 2024 8:05 AM
To: Matt Asselmeier
Subject: RE: 7782 Tanglewood

3

Respectfully,

Brian Holdiman
Kendall County Code Official

From: Matt Asselmeier <masselmeier@kendallcountyil.gov>
Sent: Tuesday, July 2, 2024 8:04 AM
To: Brian Holdiman <BHoldiman@kendallcountyil.gov>
Subject: RE: 7782 Tanglewood

How many months?

Matthew H. Asselmeier, AICP, CFM
Director
Kendall County Planning, Building & Zoning
111 West Fox Street
Yorkville, IL 60560-1498
PH: 630-553-4139
Fax: 630-553-4179

From: Brian Holdiman <BHoldiman@kendallcountyil.gov>
Sent: Tuesday, July 2, 2024 5:27 AM
To: Matt Asselmeier <masselmeier@kendallcountyil.gov>
Subject: RE: 7782 Tanglewood

Matt,

He continuous to make progress. I think he will need one more extension.

Respectfully,

Brian Holdiman
Kendall County Code Official

From: Matt Asselmeier <masselmeier@kendallcountyil.gov>
Sent: Monday, July 1, 2024 7:36 AM
To: Brian Holdiman <BHoldiman@kendallcountyil.gov>
Subject: Re: 7782 Tanglewood

Any update?

2024 VIOLATIONS

Violation	Name	Parcel #	Address	Subdivision	Description	Opened	Follow up	PBZ	SAO	Closed
V24-001	Gonzalez	03-09-152-019	14 Ridgely Rd.	Boulder Hill	RV/Trailer parked in F/Y setback	11/6/2023	12/10/2023			1/4/2024
V24-002	Galvan	03-05-430-019	42 S Bereman Rd.	Boulder Hill	Trailer parked in F/Y setback	12/6/2023	1/11/2024			2/22/2024
V24-003	Sanches	03-08-279-007	110 Circle Drive W	Boulder Hill	Trailer parked in F/Y setback	11/6/2023	1/11/2024			Rec'd 11 Aug 24
V24-004	Nickels	05-04-178-006	53 Crooked Creek Dr	Crooked Creek	Junk & Debris	11/15/2023	4/2/2024			
V24-005	Mason	03-04-378-018	81 Pueblo Rd.	Boulder Hill	Trailer parked in F/Y setback	11/6/2023	1/11/2024			7/23/2024
V24-006	Silva	03-04-152-013	22 Greenbriar rd.	Boulder Hill	Trailer parked in F/Y setback	11/6/2023	1/11/2024			8630 fine & 3 months probation
V24-007	Rosier - Ref to V23-015	02-35-151-017	7821 Route 71		Stormwater Violation	11/6/2023	4/2/2024			1600 fine + \$100 fine
V24-008	Schuster	03-22-400-001	2142 Woolley Rd.		Landscaping Business	1/4/2024	4/24/2024	MA		5/24/2024
V24-009	Oak Plaza Properties LLC	02-17-226-004	2215 B Route 47		Junk & Debris	11/7/2023	4/1/2024	MA		HOLD SAO
V24-010	Leifheit	01-29-351-010	16789 Griswold Springs Rd	Billy R Williams	Stormwater Violation	7/31/2023	2/28/2024	MA		7/30/2024
V24-011	Bohr	01-29-351-011	16751 Griswold Springs Rd	Billy R Williams	Stormwater Violation	7/31/2023	2/28/2024	MA		7/30/2024
V24-012	Ortega	01-29-351-008	16859 Griswold Springs Rd.	Billy R Williams	Stormwater Violation	7/31/2023	2/28/2024	MA		7/30/2024
V24-013	Widlice	01-29-351-009	16815 Griswold Springs Rd.	Billy R Williams	Stormwater Violation	7/31/2023	2/28/2024	MA		7/30/2024
V24-014	Hurtado	03-04-277-023	2 Arton Dr.	Boulder Hill	Trailer parked in F/Y setback	2/6/2024	4/12/2024			Closed

Holds are due to writings on form.

Court 7/30/24
Rec'd 11 Aug 24
8630 fine & 3 months probation
1600 fine + \$100 fine

2023 VIOLATIONS

Violation	Name	Parcel #	Address	Subdivision	Description	Opened	Follow up	PBZ	SAO	Closed
V23-001	MUND/STADLER	02-34-176-004	34 RIVERSIDE ST	FOX RIVER GARDENS	Work in Floodplain w/o permit	5/15/2023	MA Stormwater			7/3/2023
V23-002	HAREKOPF	03-04-253-010	44 INGLESHERE RD	BOULDER HILL	INOPERABLE VEHICLE	10/14/2022	12/1/2023		\$2400 Jdgmnt	10/24/2023
V23-003	VANDERBERG	03-04-176-006	90 FERNWOOD RD	BOULDER HILL	PROHIBITED PARKING-TRAILER	3/23/2023				8/6/2023
V23-004	BUTZ	03-04-305-023	16 WYNDHAM DR	BOULDER HILL	MULTIPLE VIOLATIONS	9/8/2022			COURT 5/7/2024	17000 Fine + \$100
V23-005	RUIZ	03-03-352-001	132 SAUGATUCK RD	BOULDER HILL	PROH. PKG. COMMERCIAL VEHICLE	12/27/2022	\$500 fine tbr 4/3/24		10/18/2023	10/24/2023
V23-006	RAMIREZ	03-04-282-007	13 SONORA DR	BOULDER HILL	INOPERABLE VEHICLE	6/6/2023	Removed			1/3/2024
V23-007	OROS	03-05-432-012	28 SENECA DR	BOULDER HILL	JUNK & DEBRIS	5/10/2023			COURT 5/7/2024	Dismissed
V23-008	CRUZ/KOKOSIOUUS	03-04-307-005	17 WYNDHAM DR	BOULDER HILL	INOPERABLE VEHICLE	6/15/2023				10/12/2023
V23-009	DILLER, JR. LIV TR	06-15-100-007	8150 S SCHLAPP RD		STORMWATER VIOLATION	12/8/2023	3/21/2024		8/9/2023	Re-opened 2/28/24
V23-010	RIVERA/ROSIER	02-35-151-017	7821 ROUTE 71		MULTIPLE VIOLATIONS	8/21/2023	MA		Court 6/5/2024	Filed
V23-011	SANCHEZ	03-12-203-011	29 GASTVILLE ST	GASTVILLE ACRES	LANDSCAPE/PALLET BUSINESS	1/23/2023			Bench Trial	7/3/24
V23-012	FLORES	08-11-100-014	7701 PLATTVILLE RD		INOPERABLE VEH/ JUNK & DEBRIS	9/12/2023	4/2/2024			with fingerprint
V23-013	RAMIREZ/RENDON	03-04-430-015	144 LONGBEACH RD	BOULDER HILL	PROHIBITED PARKING-TRAILER	7/19/2023	10/11/2023			10/25/2023
V23-014	TOSO	09-24-400-027	15625 COUNTY LINE RD		PROHIBITED SIGN	6/15/2023	2nd Citation coming			12/4/2023
V23-015/N24-007	RIVERA/ROSIER	02-35-151-017	7821 ROUTE 71		STORMWATER VIOLATION	11/7/2023			Court 5/1/2024	Filed
V23-015	EXQUIVEL	03-08-106-014	31 BOAT LN	MARINA VILLAGE	MULTIPLE VIOLATIONS	8/22/2023				4/15/2024

deceased
need to serve
CVA

2022 VIOLATIONS

Violation	Name	Parcel #	Address	Subdivision	Description	Opened	Follow up	PBZ	SAO	Closed
V22-001	Aguilar	03-07-277-001	20 Shore Ct.	Marina Village	Parking on Lawn	11/9/2021	1/23/2022			2/9/2022
V22-002	Jones	03-05-279-020	44 Briarcliff Rd.	Boulder Hill	Illegal fence height	8/6/2021	1/23/2022			4/27/2022
V22-003	Cabrera	03-04-306-027	44 Hampton Rd.	Boulder Hill	Multiple Violations	8/3/2021	1/23/2022			5/9/2022
V22-004	Lemaster	03-04-253-024	16 Winrock Rd.	Boulder Hill	Inoperable Vehicles	8/18/2021	1/23/2022		11/8/2022	11/23/2022
V22-005	Johnson	03-04-477-025	54 Springdale Rd.	Boulder Hill	Trailer parking	11/22/2021	1/23/2022			4/22/2022
V22-006	Haehlen	03-04-277-011	235 Fernwood Rd.	Boulder Hill	RV parking	11/24/2021	1/23/2022			2/24/2022
V22-007	Joquin	03-27-377-015	2543 Simons Rd		Banquet facility	11/15/2021			5/16/2022	5/17/2022
V22-008	Bilek	01-34-300-008	14824 Millhurst Rd		Air B&B	1/3/2022	3/11/2022			2/24/2022
V22-009	VOID									
V22-010	Faulkner	03-26-100-004	1539 Collins Rd.		Multiple Violations	7/13/2021	8/4/2021			Ongoing
V22-011	Amstadt	02-35-380-001	7796 Madeline Dr.	FOFC	RV parking	5/24/2022	6/24/2022		9/7/2022	10/18/2022
V22-012	Gomez	09-27-200-004	2511 Wildy Rd.		Stormwater	8/1/2022	4/11/2023	1/17/2024	8/13/2024	Onr +
V22-013	Utility Dynamics	03-07-227-002	5327 Light Rd.		Stormwater	9/8/2022	10/11/2022			9/19/2022

2024 PRE VIOLATION REPORT

Date Opened	Parcel #	Address	Subdivision	Description of Complaint	Inspection Date	Comments	F/U p	Closed
1/9/2024	03-22-400-001	2142 Woolley Rd Oswego		Landscape Business	1/11/2024	30 Day Warning Notice Reg-Cert	2/23/2024	V24-008
1/9/2024	09-19-200-009	17660 Sedgewick Rd. Plano		Occupied Act Bldg & Addition-No permit	1/18/2024	No Visible Violations-Emailled complainant	1/18/2024	
1/17/2024	03-04-451-051	13 Pomeroy Rd. Montgomery	Boulder Hill	Junk & Debris / Inoperable Vehicle	1/18/2024	BLH-spoke with owner-30 Day Reg-Cert 3/25	4/25/2024	4/25/2024
1/18/2024	03-04-327-009	33 Surrey Rd. Montgomery	Boulder Hill	Prohibited Trailer in required F/Yard setback	1/11/2024	30 Day Warning Notice Reg-Cert	2/19/2024	2/26/2024
1/18/2024	03-05-430-020	44 S Bereman Rd. Montgomery	Boulder Hill	3 Trailers - Exceeds # allowed	1/11/2024	30 Day Warning Notice Reg-Cert	2/19/2024	2/26/2024
1/18/2024	03-04-305-021	12 Wyndham Dr. Montgomery	Boulder Hill	Prohibited Trailer in required F/Yard setback	1/11/2024	30 Day Warning Notice Reg-Cert	2/19/2024	2/26/2024
1/18/2024	03-05-253-012	43 N Bereman Rd. Montgomery	Boulder Hill	Inoperable Vehicle	1/11/2024	30 Day Warning Notice Reg-Cert	2/19/2024	1/22/2024
1/18/2024	03-05-276-008	32 N Bereman Rd. Montgomery	Boulder Hill	Prohibited Trailer in required F/Yard setback	1/11/2024	30 Day Warning Notice Reg-Cert	2/19/2024	2/23/2024
1/18/2024	03-05-430-014	32 Seneca Dr. Montgomery	Boulder Hill	Prohibited Trailer in required F/Yard setback	1/11/2024	30 Day Warning Notice Reg-Cert	4/1/2024	Close
1/23/2024		2015 Route 34 Oswego		Possible living quarters in storage unit	1/29/2024	Monitor - Follow up 30 Days	4/1/2024	3/21/2024
1/24/2024	03-08-326-001	1626 Route 31 Oswego	Prospect Villa	Confirming compliance with Sp Use	1/25/2024	Compliant	4/7/2024	0.1501K
1/25/2024	03-24-400-008	63 Scotch Rd Plainfield		Illegal Landscaping business	1/29/2024	Not a violation - Nursery	4/1/2024	1/29/2024
1/29/2024	09-09-300-009	13916 McKanna Rd. Minooka		Semi Truck business	1/29/2024	Follow up 30 Days	4/1/2024	3/8/2024
1/30/2024	03-18-451-002	5462 Route 34 Oswego	Riverview Heights	Unit C - Possible living quarters	2/16/2024	30 Day Warning Notice Reg-Cert	6/1/2024	Close
2/6/2024	04-16-353-005	8304 Fox River Dr. Millbrook		Vehicles parked on non approved surface	2/9/2024	30 Day Warning Notice Reg-Cert	3/11/2024	3/11/2024
2/6/2024	03-04-277-023	2 Afton Dr. Montgomery	Boulder Hill	Trailer parked in Side Yard setback	2/23/2024	30 Day Warning Notice Reg-Cert	3/26/2024	V24-014
2/13/2024	03-05-453-003	5 Codorus Rd. Montgomery	Boulder Hill	Vehicle Sales Business	2/16/2024	30 Day Warning Notice Reg-Cert	3/16/2024	3/21/2024
2/16/2024	02-35-380-015	7694 Madeline Dr. Yorkville	FOFC	Accessory Building - Gazebo No permit	2/16/2024	30 Day Warning Notice Reg-Cert	4/13/2024	5/28/2024
2/21/2024	03-05-429-011	24 Greenfield Rd. Montgomery	Boulder Hill	Rooster		Monitoring per BLH	3/16/2024	Close
2/22/2024	03-04-328-015	24 Whitney Way Montgomery	Boulder Hill	Parking In grass	2/23/2024	30 Day Warning Notice Reg-Cert	3/23/2024	3/21/2024
2/23/2024	03-04-155-044	6 Pembroke Rd. Montgomery	Boulder Hill	Trailer parked in Front yard setback	2/23/2024	30 Day Warning Notice Reg-Cert - V	4/1/2024	4/25/2024
2/23/2024	03-04-303-029	40 Marnel Rd. Montgomery	Boulder Hill	Parking In grass	2/23/2024	30 Day Warning Notice Reg-Cert	3/23/2024	3/12/2024
2/23/2024	02-14-428-006	29 Charles St. Oswego	Lynwood	Parking In grass	2/23/2024	30 Day Warning Notice Reg-Cert	4/25/2024	4/26/2024
2/23/2024	03-04-354-013	93 Circle Dr. E Montgomery	Boulder Hill	Dryway expansion - No permit	2/23/2024	30 Day Warning Notice Reg-Cert	4/19/2024	4/23/2024
2/26/2024	01-10-301-003	1700 Little Rock Rd. Plano	Snyder	Addition to South Side of Main post bldg - No permit		Monitoring per BLH	3/15/2024	4/30/2024
2/27/2024	09-15-300-001	14757 Jughandle Rd. Minooka		Conversion of Ag Bldg to single family home		15 Day Notice for onsite meeting	3/15/2024	4/30/2024
2/28/2024	08-02-451-006	11 Pletcher Dr. Yorkville	Petchers	Fire - Unsafe structure	2/27/2024	Demo Permit to be submitted per email		3/4/2024
3/1/2024	01-10-301-003	1700 Little Rock Rd. Plano		Addition to Storage unit - No Permit				
4/11/2024	03-08-303-005	109 Dolores St. Oswego	Shore Heights	Rooster crowing all day - chickens & coup	4/1/2024			

Bill Isler

Warning#	Opened	Status	Description	PIN#	Date Closed	Subdivision	Reason closed	Complaint address	Notice Sent	Citation Date
1858	3/1/2024	closed	Junk and Debris	05-03-200-032			no evidence	8015 Hilltop Rd		
1859	3/1/2024	closed	Roosters kept in violation of zoning ordinance	03-05-429-001		Boulder Hill	remedied	24 Greenfield Rd	4/15/2024	
1860	3/4/2024	30day	Com Ed Line worker vehicle in driveway	05-18-152-001		COTSWOLD03		52 COTSWOLD DRIVE, YORKVILLE, IL, 60560	4/15/2024	
1861	3/5/2024	closed	Operating business without permit	03-04-379-005	3/29/2024	BOULDER10	no evidence	47 HUBBARD WAY, MONTGOMERY, IL, 60538		
1862	3/5/2024	closed	Operating business without permit	03-04-378-031	4/12/2024	BOULDER10	no evidence	66 HUBBARD WAY, MONTGOMERY, IL, 60538		
1863	3/5/2024	closed	Operating business without permit	03-04-453-033		BOULDER22	no evidence	84 SHEPHERD ROAD, MONTGOMERY, IL, 60538	4/15/2024	
1864	3/1/2024	closed	Possible Illegal Business (landscaping), Illegal building, Illegal driveway	03-18-300-016	5/30/2024		no evidence	PRIVATE DRIVE, IL		
1865	3/7/2024	closed	Commercial Vehicle Storage	03-09-300-002	5/23/2024		no evidence	13825 McKenna Road		
1866	3/8/2024	closed	Running a business on residential zoned property without register	03-15-116-003	6/27/2024	KEULERBER	remedied	2373 DOUGLAS ROAD, OSWEGO, IL, 60543	4/15/2024	
1867	3/10/2024	closed	Roosters in residential district	03-07-228-005	6/27/2024	MARINA	no evidence	14 MARLIN DRIVE, OSWEGO, IL, 60543		
1868	3/7/2024	30day	Inoperable vehicle under tarp	05-18-152-002		COTSWOLD03			4/23/2024	
1869	3/18/2024	closed	Semi Parked in Driveway	03-05-280-005		BOULDER03	no evidence	49 BRIARCLIFF ROAD, MONTGOMERY, IL, 60538		
1870	3/18/2024	closed	Vehicle on lawn	02-24-103-001		RIVERWOOD	no evidence	21 RIVERWOOD COURT, OSWEGO, IL, 60543	4/15/2024	
1871	3/20/2024	closed	Parking on non-approved surface	02-31-202-002		FOX WOOD	remedied	11428 RIVER ROAD, PLANO, IL, 60545	4/15/2024	
1872	3/21/2024	closed	Illegal business in AG	05-03-200-032	5/31/2024	FIELDS OF FARM01	exempt	8015 HILLTOP ROAD, YORKVILLE, IL, 60560		
1873	3/21/2024	closed	Parking on non-approved surface (parking in lawn)	03-04-378-034		BOULDER18	remedied	72 HUBBARD WAY, MONTGOMERY, IL, 60538	4/15/2024	
1874	3/27/2024	closed	Debris in the yard	03-05-276-025		BOULDER15	remedied	20 BEREMAN ROAD NORTH, MONTGOMERY, IL, 60538		
1875	4/3/2024	closed	Junk & Debris	06-13-300-007	6/27/2024		no evidence	547 WHEELER ROAD, PLAINFIELD, IL, 60544	4/15/2024	
1876	4/3/2024	closed	Inoperable vehicles	06-13-300-007	6/27/2024		remedied	547 WHEELER ROAD, PLAINFIELD, IL, 60544		
1877	4/3/2024	closed	Operating Mechanic Business	06-13-300-007	6/27/2024		no evidence	547 WHEELER ROAD, PLAINFIELD, IL, 60544	4/15/2024	
1878	4/3/2024	closed	Operating business out of home	03-05-452-077	4/4/2024	BOULDER07	no evidence	9 HILLCREST COURT, MONTGOMERY, IL, 60538	4/15/2024	
1879	4/4/2024	closed	Parked on non approved surface	03-04-153-010		BOULDER03	remedied	25 GREENBRIAR ROAD, MONTGOMERY, IL, 60538	4/15/2024	
1880	4/1/2024	30day	Junk & Debris	09-35-200-005		Summerfield		17045 Ridge Road	4/15/2024	
1881	4/10/2024	30day	Trailer parked in required front or side yard setback.	03-04-378-037		BOULDER18		81 PUEBLA ROAD, MONTGOMERY, IL, 60538	4/15/2024	
1882	4/10/2024	closed	Trailer parked in required front or side yard setback.	03-04-377-037	6/5/2024	BOULDER18	remedied	82 PUEBLA ROAD, MONTGOMERY, IL, 60538	4/15/2024	
1883	4/10/2024	closed	Junk and Debris	03-04-329-016		BOULDER10	remedied	39 WHITNEY WAY, MONTGOMERY, IL, 60538	4/19/2024	
1884	4/10/2024	30day	Parking on Non Approved Surface	03-04-329-016		BOULDER10		39 WHITNEY WAY, MONTGOMERY, IL, 60538	4/19/2024	
1885	4/10/2024	closed	Inoperable Vehicle	03-04-329-016		BOULDER10		39 WHITNEY WAY, MONTGOMERY, IL, 60538	4/19/2024	
1886	4/11/2024	closed	Keeping of roosters	03-08-303-005	6/13/2024	SHORE	no evidence	109 DOLORES STREET, OSWEGO, IL, 60543	4/15/2024	
1887	4/11/2024	30day	Junk and Debris	02-14-401-002		LYNWOOD05		115 WEST RICKARD DRIVE, OSWEGO, IL, 60543	4/15/2024	
1888	4/12/2024	30day	Inoperable Vehicle	02-14-401-002		LYNWOOD05		115 WEST RICKARD DRIVE, OSWEGO, IL, 60543	4/15/2024	
1890	4/15/2024	30day	Inoperable Vehicle	03-12-476-001					4/19/2024	
1891	4/15/2024	monitoring	Operating Illegal Business	03-12-476-001						
1892	4/15/2024	closed	Operating Airbnb without permitting	02-34-128-005	6/3/2024	FOX RIVER	remedied		5/15/2024	
1893	4/16/2024	closed	Noxious weeds	08-04-100-017	5/22/2024		remedied			
1894	4/16/2024	30day	Junk & Debris	03-12-204-005		GASTVILLE			4/19/2024	
1895	4/16/2024	30day	Illegal Tree Removal Business	03-12-204-005		GASTVILLE			4/19/2024	
1896	4/16/2024	closed	Inoperable Vehicle	03-04-453-033	5/30/2024	BOULDER22	remedied		4/16/2024	
1897	4/16/2024	30day	Parking on non approved surface	03-04-307-001		BOULDER08			4/19/2024	
1898	4/16/2024	closed	Parked on non-approved surface	03-04-306-003		BOULDER05	remedied		4/19/2024	
1899	4/16/2024	30day	Inoperable Vehicle	03-04-307-001		BOULDER08			4/19/2024	
1900	4/16/2024	closed	Parking on non-approved surface	03-04-307-001		BOULDER08	no evidence			
1901	4/16/2024	closed	Trailer parked in setback	03-04-152-013		BOULDER03	remedied			
1903	4/16/2024	closed	Parking on non-approved surface	03-04-153-003		BOULDER12	no evidence		5/15/2024	
1904	4/16/2024	closed	Parking on non-approved surface	03-04-151-003	5/30/2024	BOULDER12	remedied		4/19/2024	
1905	4/16/2024	closed	Junk & Debris	03-04-152-004		BOULDER12	remedied		4/19/2024	
1906	4/16/2024	closed	Inoperable Vehicle	03-05-427-005		BOULDER03	remedied		4/19/2024	
1907	4/16/2024	closed	RV parked in required setback	03-04-305-022	4/22/2024	BOULDER10	exempt		4/19/2024	
1908	4/16/2024	closed	Junk & Debris	03-04-305-023	5/22/2024	BOULDER10	other		4/19/2024	
1909	4/16/2024	closed	Trailer parked in required setback	03-04-307-011	6/5/2024	BOULDER10	remedied		4/19/2024	

1910	4/16/2024	closed	Trailer Parked in Required Setback	03-04-327-009	5/30/2024	BOULDER10	remedied		4/19/2024	
1911	4/16/2024	closed	Trailer parked in required setback	03-04-305-032		BOULDER10	remedied		4/19/2024	
1913	4/16/2024	30day	RV parked in required setback	03-04-327-015		BOULDER10	remedied		5/15/2024	
1914	4/16/2024	closed	Parking on non-approved surface	03-04-306-023		BOULDER05	remedied		4/19/2024	
1915	4/16/2024	closed	Parking on non-approved surface	03-04-354-004		BOULDER07	no evidence			
1916	4/16/2024	closed	Trailer parked in required setback	03-04-354-005		BOULDER07	remedied		4/19/2024	
1917	4/16/2024	closed	Trailer parked in required setback	03-04-354-007		BOULDER07	remedied		4/19/2024	
1918	4/16/2024	closed	Inoperable Vehicle	03-04-352-005	6/27/2024	BOULDER05	remedied		4/19/2024	
1919	4/16/2024	closed	Parking on non-approved surface	03-05-432-037	6/27/2024	BOULDER04	remedied		4/19/2024	
1920	4/16/2024	closed	Parking on non-approved surface	03-05-430-035		BOULDER04	remedied		4/19/2024	
1921	4/16/2024	closed	Commercial Vehicle Parking	03-05-430-040		BOULDER04	no evidence			
1922	4/16/2024	closed	Truck in backyard	03-05-429-006		BOULDER06	no evidence			
1923	4/16/2024	closed	Inoperable Vehicle	03-05-429-015	6/5/2024	BOULDER07	remedied		4/19/2024	
1924	4/16/2024	closed	Parking on non-approved surface	03-05-429-014		BOULDER07	remedied		4/19/2024	
1925	4/16/2024	closed	Inoperable Vehicle	03-05-454-017		BOULDER07	remedied		5/15/2024	
1926	4/16/2024	closed	Trailer parked in required setback	03-05-454-016		BOULDER07	no evidence			
1927	4/16/2024	closed	Parking on non-approved surface	03-09-102-003		BOULDER20	remedied		4/19/2024	
1928	4/17/2024	closed	Trailer parked in required setback	03-04-327-003		BOULDER10	remedied		4/22/2024	
1929	4/19/2024	closed	Semi parked in driveway	03-04-476-016		BOULDER22	no evidence		4/21/2024	
1930	4/20/2024	open	Inoperable Vehicle	03-12-202-002						
1931	4/20/2024	closed	Parked on non-approved surface	03-05-401-006			no evidence			
1932	4/24/2024	monitoring	Operating Business from Home	01-09-428-005						
1933	4/29/2024	closed	Accessory structure no permit	03-04-479-017	6/5/2024	BOULDER23	other		5/24/2024	
1934	4/29/2024	closed	Running business from home - contractor	03-04-479-017	5/23/2024	BOULDER23	no evidence			
1935	4/29/2024	30day	Junk & Debris	02-10-100-010					5/16/2024	
1936	5/1/2024	closed	Parking on non-approved surface	03-07-427-013	6/13/2024	SHORE	remedied		5/16/2024	
1937	5/1/2024	30day	Trailer in setback	03-07-402-012		SHORE02	remedied		5/24/2024	
1938	5/2/2024	closed	Commercial Vehicle in Driveway	03-07-430-009	6/13/2024	SHORE	remedied		5/16/2024	
1939	5/7/2024	monitoring	Junk and Debris	03-27-401-002		RING				
1940	5/7/2024	delete	Roosters	03-04-376-024		BOULDER10				
1941	5/8/2024	30day	Camper in the setback	02-35-380-005		FIELDS OF FARM02			5/16/2024	
1942	5/8/2024	closed	Parked on non-approved surface	03-05-429-014		BOULDER07	remedied		5/15/2024	
1943	5/9/2024	30day	Operating business in violation of zoning ordinance	05-10-200-010					5/15/2024	
1944	5/9/2024	closed	Inoperable Vehicle	03-05-429-015	6/5/2024	BOULDER07	remedied		5/16/2024	
1945	4/29/2024	closed	Unapproved event without special use permit	09-33-300-003	5/24/2024				5/15/2024	
1946	5/13/2024	closed	Junk and Debris	03-05-276-020		BOULDER R15	no evidence		5/16/2024	
1947	5/14/2024	closed	Roosters in residential neighborhood	03-04-376-024	6/5/2024	BOULDER10	no evidence		5/16/2024	
1948	5/15/2024	closed	RV in setback	02-35-380-001		FIELDS OF FARM02	no evidence			
1949	5/14/2024	30day	Operating business in violation of zoning ordinance	09-15-200-011	5/23/2024		no evidence		6/7/2024	
1950	5/14/2024	monitoring	Containers on property - storage	09-16-400-010						
1951	5/16/2024	closed	Pis on premises	03-04-327-020	5/30/2024	BOULDER10	no evidence			
1952	5/16/2024	closed	Parking on non approved surface	03-08-202-026	6/13/2024	BOULDER22	remedied		5/24/2024	
1953	5/16/2024	closed	Camper parked within setback	02-29-426-008	6/13/2024	BOULDER14	remedied		5/24/2024	
1954	5/20/2024	closed	Private Room for Rent	02-23-202-008	6/5/2024	COUNTYRVSIDE S03	no evidence			
1955	5/24/2024	closed	Junk??	03-04-478-017		BOULDER24	no evidence		5/30/2024	
1956	5/28/2024	closed	Driveway - No Permit	09-32-300-011			remedied			
1957	5/29/2024	monitoring	Home occupancy compliant?	03-24-400-002	6/13/2024	null	no evidence			
1958	5/31/2024	closed	Piling/bridging on east side of Steward Road	03-08-227-032		BOULDER17				
1959	6/4/2024	monitoring	Gravel Parking	03-04-151-008	6/27/2024	BOULDER12	remedied		6/6/2024	
1960	6/4/2024	closed	Trailer in setback	03-04-176-014		BOULDER33				
1961	6/4/2024	30day	Trailer in setback						6/6/2024	

1962	6/4/2024	closed	Trailer in setback	03-05-276-008	6/27/2024	BOULDER R15	remedied		6/6/2024	
1963	6/4/2024	closed	Trailer in setback	03-05-276-007	6/13/2024	BOULDER R15	remedied		6/6/2024	
1964	6/4/2024	closed	Trailer in setback	03-04-478-007		BOULDER23	remedied		6/6/2024	
1965	6/4/2024	closed	Inoperable Vehicle	03-04-478-010	6/13/2024	BOULDER23	remedied			
1966	6/4/2024	30day	Trailer in setback	03-04-277-023		BOULDER17			6/6/2024	
1967	6/4/2024	closed	Parking on Non Approved surface	03-05-280-008	6/13/2024	BOULDER03	remedied		6/7/2024	
1968	6/5/2024	closed	Trailer in setback	03-05-432-005		BOULDER04	remedied		6/7/2024	
1969	6/10/2024	30day	Operating Business Out of Home	03-31-478-005		ARROWHEAD			6/20/2024	
1970	6/10/2024	monitoring	Junk & Debris	03-31-478-005		ARROWHEAD				
1971	6/10/2024	monitoring	Inoperable Vehicle	03-31-478-005		ARROWHEAD				
1972	6/12/2024	monitoring	Junk and Debris	02-35-380-006		FIELDS OF FARM02				
1973	6/12/2024	closed	Inoperable Vehicle	02-35-380-006	6/13/2024	FIELDS OF FARM02	no evidence			
1974	6/12/2024	closed	Trailer parked in required setback	02-35-380-006	6/13/2024	FIELDS OF FARM02	no evidence			
1975	6/13/2024	30day	Operating Business in violation of zoning - Roofing Business						6/20/2024	
1976	6/19/2024	30day	Addition without permit	02-24-151-005		HERRENS04			6/20/2024	
1977	6/20/2024	closed	Trailer in setback	03-04-351-017		BOULDER05	remedied			
1978	6/24/2024	monitoring	Living in Trailer	03-07-230-016		MARINA				
1979	6/24/2024	monitoring	Trailer in Required Setback	03-09-152-021		BOULDER25				
1980	6/27/2024	30day	Junk Debris	03-15-251-006						
1981	6/28/2024	open	Junk and Debris	03-04-151-014		BOULDER29				

PRE VIOLATION REPORT
2023

9/26/2023	03-15-165-003	2373 Douglas Rd. Oswego	Ketleher Acres	Possible business	9/20/2023	No evidence of violation		9/29/2023
9/26/2023	03-12-203-009	17 Gastville St Aurora	Gastville Acres	Rooster, multiple chickens & ducks	9/26/2023	No evidence of violations		10/30/2023
9/26/2023	03-04-151-016	74 Fernwood Rd. Montgomery	Boulder Hill	Chickens & Roosters	9/26/2023	Referred to KCHD-not a PR2 violation		9/29/2023
9/26/2023	05-26-200-006	9155 Kennedy Rd.		Excessive Farm Animals	9/26/2023	Sent to Yorkville		9/27/2023
9/27/2023	02-16-426-006	2560 Cannonball Trail Bristol	Babht	Junk & Debris, Inoperable Vehicles	9/26/2023	Not enough evidence		10/2/2023
9/29/2023	03-04-378-031	66 Hubbard Way Montgomery	Boulder Hill	Building w/ o permit. Multiple units	10/2/2023	Removed		10/30/2023
10/2/2023	03-04-453-033	84 Shepherd Rd. Montgomery	Boulder Hill	Imp Vehicle/Parking In Grass	10/3/2023	Not enough evidence		10/30/2023
10/3/2023	03-01-351-009	991 Harvey Rd. Oswego		Change in Occupancy w/ o permit	10/5/2023	Not enough evidence		10/10/2023
10/4/2023	02-28-252-006	1101 Michuph Rd. Yorkville		Junk & Debris	10/5 & 10/11/23	30 Day Warning Notice Reg. & Cert		11/13/2023
10/10/2023	06-03-251-002	2017 Devonshire Ct. Oswego	Southfield Estates	Occupied Camping Trailer	10/5/2023	Occupied RV in R-1 zoning		11/10/2023
10/13/2023	09-09-100-002	13039 McKanna Rd. Milnooka		Stormwater-fill, diesel tank location	10/5/2023	MA		7/8/2024
10/13/2023	03-05-426-011	22 Circle Dr E Montgomery	Boulder Hill	Pool - no permit & too close to property line	10/25/2023	Pool existing		10/25/2023
10/25/2023	03-04-478-031	72 Eastfield Rd. Montgomery	Boulder Hill	Trailer parked in F/Yard setback	10/27/2023	30 Day Warning Notice Reg. & Cert		12/4/2023
10/25/2023	08-04-100-017	NW corner Rt 47 & Newark Rd.	Lisbon Township	Noxious Weeds	10/27/2023	Re-opened & 28 file - Reg. Letter sent MA		4/15/2023
11/6/2023	03-04-378-018	81 Pueblo Rd. Montgomery	Boulder Hill	Trailer/RV parked in reg front yard setback	11/10/2023	30 Day Warning notice sent Reg. & Cert		1/4/2024
11/6/2023	03-09-152-006	230 Boulder Hill Pass Montgomery	Boulder Hill	Trailer/RV parked in reg front yard setback	11/10/2023	Trailer not present		11/13/2023
11/6/2023	03-08-279-007	14 Ridgefield Rd. Montgomery	Boulder Hill	Trailer/RV parked in reg front yard setback	11/10/2023	Violation found - photos taken		V24-001
11/6/2023	03-08-278-010	102 Circle Drive W. Montgomery	Boulder Hill	Trailer/RV parked in reg front yard setback	11/10/2023	30 Day Warning notice sent Reg. & Cert		V24-003
11/6/2023	03-04-152-013	22 Greenbriar Rd. Montgomery	Boulder Hill	Trailer/RV parked in reg front yard setback	11/10/2023	Trailer Removed		11/13/2023
11/7/2023	02-17-226-004	2215 R Rt 47		Fill in excess of 1 acre without permit	11/10/2023	30 Day Warning Notice Reg. - MA		V24-006
11/8/2023	02-15-302-001	2 South St. Bristol		Junk & Debris	11/10/2023	30 Day Warning Notice Reg. & Cert		V24-009
11/14/2023	03-04-378-022	48 Hubbard Way Montgomery	Boulder Hill	Illegal Towing / Mechanic Business in R-3 zoning	11/10/2023	Letter requesting onsite meeting sent		2/27/2024
11/14/2023	03-09-154-014	128 Circle Drive W. Montgomery	Boulder Hill	Fire Investigation	11/12/2023	Meeting 11/30 - 8:30am/ Applied for permit 1.4.24		12/12/2023
11/15/2023	05-04-178-006	53 Crooked Creek Dr. Yorkville	Crooked Creek	Illegal Business / Junk & Debris	11/21/2023	30 Day Warning Notice Reg. & Cert		1/22/2024
11/18/2023	05-05-153-005	79 Timberlake Trail E. Oswego	Arrowhead Hills	Fire Investigation 11/18 - Pole Barn	11/21/2023	30 Day Warning Notice Reg. & Cert		V24-004
11/21/2023	05-02-204-008	6410 Winkler Rd. Yorkville		Dirt piles high along road	12/1/2023	Demo Completed		12/12/2023
11/27/2023	03-34-201-001	5020 Douglas Rd. Oswego	Douglas Hills	# of chickens on property and No coop. In cold temps	12/1/2023	2 coops - not able to determine #		12/12/2023
12/6/2023	09-09-100-020	13237 McKanna Rd. Milnooka	Boulder Hill	Added 3 car garage - no permit	12/8/2023	Not enough evidence		1/22/2024
12/6/2023	03-05-430-019	42 S Bereman Rd. Montgomery	Boulder Hill	Trailer parked in F/Yard setback	12/8/2023	90 Day Warning Notice Reg. & Cert		V24-002
12/7/2023	06-02-177-007	1551 Cherry Rd. Oswego	Oswego Plains/County Clerks	Addition - No Permit	12/8/2023	BLH met with owner		1/11/2024
12/12/2023	05-04-300-032	9630 Route 71, Yorkville		Horse in R-3 zoning & illegal building	12/8/2023	Horse not observed-bldg has permit/Permit n/a		1/24/2024
12/13/2023	06-01-100-008	902 E Plainfield Rd. Oswego	Condon Acres	Roofing Business	1/4/2024	Roofing / Construction business in R3 zoning		12/13/23 & 1/22/24
12/22/2023	03-04-152-012	24 Greenbriar Rd. Montgomery	Boulder Hill	Semi Parking	1/4/2024	No Evidence		1/29/2024
12/22/2023	03-05-280-005	49 Briarcliff Rd. Montgomery	Boulder Hill	Semi Parking	1/4/2024	No Evidence		1/4/2024
12/22/2023	03-04-307-018	20 Longbeach Rd. Montgomery	Boulder Hill	Semi Parking	1/4/2024	No Evidence		1/4/2024
12/22/2023	03-04-302-002	49 Circle Drive E. Montgomery	Boulder Hill	Junk & Debris	1/4/2024	No Junk & Debris		1/4/2024

PRE VIOLATION REPORT
2022

6/6/2022	03-04-477-038	80 Springdale Rd. Montgomery	Boulder Hill	Multiple Violations	5/25/2022	30 day warning notice	7/6/2022	7/13/2022
6/6/2022	03-08-278-009	4 Culver Rd. Montgomery	Boulder Hill	Rooster	6/21/2022	Unable to see or hear rooster	6/21/2022	6/21/2022
6/10/2022	09-18-300-017	Brisban Rd. Minooka		Fill / Debris	6/14/2022	Dirt fill placed-SW permit not required	8/21/2022	6/15/2022
6/12/2022	03-04-377-010	65 Sierra Rd. Montgomery	Boulder Hill	Chickens/rooster in R-6	6/21/2022	2nd notice 7/27/2022	1/9/2023	8/21/2022
6/13/2022	03-17-102-011	2245 Route 31 Oswego	Herrons Riverview Add	Fire - 2 apartments & out building	6/13/2022	Letter to contact for Fire Rest. Permit	7/13/2022	1/17/2023
6/13/2022	03-04-376-023	102 Circle Drive W Montgomery	Boulder Hill	RV parked in F-yard setback	5/13/2022	30 Day warning notice	7/13/2022	6/17/2022
6/16/2022	02-21-178-001	3416 N Route 47 Yorkville		Tall grass	6/27/2022	Referred to Bristol Township		6/17/2022
6/24/2022	05-02-101-002	324 Austin Ct. Yorkville	FOFC	Pool- fence still not finished	6/24/2022	Fence being installed	7/23/2022	6/28/2022
6/23/2022	03-04-152-004	45 Fernwood Rd. Montgomery	Boulder Hill	Sheds - No Permit	6/24/2022	30 Day Warning	9/11/2022	8/3/2022
6/24/2022	02-15-157-003	8 Grove St. Bristol	Vil of Huntsville	Porch addition w/o permit	6/24/2022	10 day final warning	9/11/2022	9/12/2022
7/1/2022	03-23-277-004	3428 Roth Rd. Oswego		Condition 10 Special Use	8/3/2022	Letter to discuss condition/unable to set violation	5/1/2023	4/12/2023
7/1/2022	04-16-129-001	8 N Hudson St. Millbrook	Vil of Millbrook	Repair-Used car business	7/19/2022	Vehicle operable/RV not occupied	8/19/2022	8/21/2022
7/1/2022	03-04-152-013	22 Greenbriar Rd. Montgomery	Boulder Hill	Landscape Business	7/26/2022	30 Day warning notice	8/27/2022	8/21/2022
7/1/2022	03-09-153-015	31 Pickford Rd. Montgomery	Boulder Hill	Grass Parking	7/7/2022	No grass parking observed	8/11/2022	7/7/2022
7/1/2022	03-05-401-003	67 Boulder Hill Pass Montgomery	Boulder Hill	Change of Occupancy	7/7/2022	Change of Occupancy - No Permit	8/11/2022	8/21/2022
7/1/2022	03-04-177-020	10 Ingleshire Rd. Montgomery	Boulder Hill	Landscape business	7/7/2022		8/11/2022	8/12/2022
7/1/2022	03-09-153-014	29 Pickford Rd. Montgomery	Boulder Hill	Grass setback	7/7/2022	30 Day warning notice	8/11/2022	8/12/2022
7/6/2022	03-05-404-026	152 Boulder Hill Pass Montgomery	Boulder Hill	Boat in F-yard setback	7/7/2022	30 Day warning notice	8/11/2022	8/12/2022
7/7/2022	03-04-177-020	10 Ingleshire Rd. Montgomery	Boulder Hill	Landscape business in R-6 zoning	7/7/2022	No evidence	11/28/2022	7/8/2022
7/9/2022	03-04-306-005	59 Circle Dr. E Montgomery	Boulder Hill	Multiple Violations	7/7/2022	30 Day Warning Notice	11/29/2022	11/29/2022
7/9/2022	05-02-102-002	312 West St. Yorkville	FOFC	Trailer in F/yard setback	7/13/2022	30 Day Warning Notice	8/15/2022	8/12/2022
7/11/2022	02-16-228-012	43 Fields St. Bristol		Roosters in R-3 zoning	7/11/2022	Not able to find evidence of rooster	7/11/2022	7/11/2022
7/11/2022	09-15-300-016	14565 Jughandle Rd. Minooka		Residence in Barn		A-1 Home occupation-see notes	10/28/2022	10/28/2022
7/11 & 0/31/2022	09-22-200-016/ 030	2325 Bell Rd. Minooka	Frans-Shir Acres	Tree Business - R-1 zoning	10/28/2022	Incorrect PIN#	12/1/2022	12/28/2022
7/11/2022	09-22-200-004	15100 Jughandle Rd. Minooka	Aux Sable Oaks	Residence in Barn	8/3/2022	Hobby Shop-not residence	10/28/2022	10/28/2022
7/12/2022	03-04-306-004	57 Circle Dr. E Montgomery	Boulder Hill	Multiple Violations	8/3/2022	Eviction process started	1/9/2023	1/17/2023
7/12/2022	03-04-306-001	51 Circle Drive E Montgomery	Boulder Hill	Tattoo business	7/20/2022	No Evidence	8/27/2022	8/31/2022
7/12/2022	03-04-352-020	170 Boulder Hill Pass Montgomery	Boulder Hill	Rec Trailer in F/Y setback	7/20/2022	30 Day warning notice	8/27/2022	8/31/2022
7/12/2022	03-05-404-018	136 Boulder Hill Pass Montgomery	Boulder Hill	Boat in F-yard setback	7/20/2022	30 Day warning notice	8/27/2022	8/31/2022
7/13/2022	03-08-303-007	105 Dolores St. Oswego	Shore Heights	Fire on 7/12/2022	7/15/2022	Remodel - cosmetic only	10/25/2022	10/25/2022
7/15/2022	03-04-307-025	34 Longbeach Rd. Montgomery	Boulder Hill	Box Truck-Commercial Vehicle	10/21/2022	30 Day Warning Notice Reg & Cert	11/28/2022	11/29/2022
7/18/2022	02-35-301-001	330 Austin Ct. Yorkville	FOFC	Trailer in F/yard setback	7/19/2022	30 Day warning notice	8/27/2022	8/21/2022
7/20/2022	09-27-200-004	2511 Willoy Rd. Minooka		Fill in Floodplain	7/20/2022	Matt- email - Brian notes-Court	6/27/2023	V22-012
7/20/2022	03-04-306-027	44 Hampton Rd. Montgomery	Boulder Hill	Business - Tenable stand	9/22/2022	KCHHD is investigating	9/22/2022	7/20/2022
7/20/2022	03-04-305-022	14 Wyrndham Dr. Montgomery	Boulder Hill	Commercial Vehicle - Semi	9/22/2022	No Semi Truck	1/20/2023	1/20/2023
7/20/2022	03-04-306-005	59 Circle Dr. E Montgomery	Boulder Hill	Commercial Vehicle - Semi	9/22/2022		9/22/2022	9/22/2022
7/20/2022	03-04-326-005	52 Marnel Rd. Montgomery	Boulder Hill	Commercial Vehicle - Semi	9/22/2022	Not on site	10/26/2022	9/22/2022
7/20/2022	03-04-329-019	45 Whitney Way Montgomery	Boulder Hill	Commercial Vehicle - Semi	9/22/2022		10/28/2022	10/28/2022
7/20/2022	03-04-408-003	106 Tealwood Rd. Montgomery	Boulder Hill	Commercial Vehicle - Semi	9/22/2022	Owner changed - Removed	11/5/2022	11/15/2022
7/20/2022	03-04-377-019	39 Longbeach Rd. Montgomery	Boulder Hill	Commercial Vehicle - Semi	9/22/2022	30 Day Warning Notice Reg & Cert	11/15/2022	11/15/2022
7/20/2022	03-05-428-020	20 Hampton Rd. Montgomery	Boulder Hill	Commercial Vehicle - Semi	9/22/2022	30 Day Warning Notice Reg & Cert	11/15/2022	11/15/2022
7/20/2022	03-05-279-010	4 Knollwood Rd. Montgomery	Boulder Hill	Commercial Vehicle - Semi	9/22/2022	30 Day Warning Notice Reg & Cert	11/15/2022	11/15/2022
7/20/2022	03-05-402-008	8 Circle Dr East Montgomery	Boulder Hill	Trailer in F/yard setback	7/26/2022	30 Day warning notice	8/27/2022	8/21/2022
7/25/2022	03-02-400-003	1250 Route 34 Oswego		Noise - Disco club or trucking company	8/4/2022	No Violation	10/3/2022	8/23/2022
7/25/2022	03-04-428-015	32 Sonoma Dr. Montgomery	Boulder Hill	Junck & Debris	7/26/2022	30 Day warning notice	8/27/2022	9/23/2022
7/25/2022	03-04-302-004	24 Hampton Rd. Montgomery	Boulder Hill	Parking on non approved surface	7/25/2022	30 Day warning notice	8/27/2022	8/31/2022
7/26/2022	07-21-300-001	15919 Route 52 Newark		Multiple Violations	10/21/2022	Removed all violations	10/21/2022	10/21/2022
7/26/2022	04-31-452-008	11850 Fox River Dr. Newark		Structure-no permitt/Junk&Debris/Business	4/14/2023	30 Day warning notice	10/13/2023	10/24/2022
7/26/2022	03-04-152-004	45 Fernwood Rd. Montgomery	Boulder Hill	Chickens - Weeds	7/26/2022	No chickens-no permit req for rubbermaid shed	8/31/2023	7/26/2022
7/28/2022	03-12-204-005	26 Gastville Aurora	Gastville Acreage	Business in R-3 zoning	See notes	Business in R-3 zoning	9/30/2023	10/4/2023
8/1/2022	05-02-202-002	6018 Audrey Ave. Yorkville	Rosehill	Structure roofed - pergola	8/21/2022	15 day notice to contact office	9/6/2022	10/24/2022
8/1/2022	03-05-404-016	133 Boulder Hill Pass Montgomery	Boulder Hill	Commercial Vehicle (Semi Tractor)	9/22, 9/27/2022	30 Day Warning Notice Reg & Cert	11/5/2022	10/20/2022
8/1/2022	03-04-327-012	39 Surrey Rd. Montgomery	Boulder Hill	Commercial Vehicle (Semi Tractor)	7/29, 9/22, 9/27	30 Day Warning 2 addresses - reg & cert	11/5/2022	11/15/2022
8/1/2022	03-18-428-005	5200 US Hwy 34 Oswego	Owners	Multiple Violations	8/4/2022	30 Day warning - reg & cert	9/10/2022	10/4/2022

PRE VIOLATION REPORT
2022

8/21/2022	03-04-151-010	62 Fernwood Rd. Montgomery	Boulder Hill	Fence	8/2/2022	Fence - debris	8/2/2022	
8/3/2022	01-35-100-003	1352A C Hale Rd. Plano	Shore Heights	Building w/o permit	8/5/2022	30 Day warning notice-reg & cert	9/5/2022	8/31/2022
8/4/2022	03-07-402-014	168 Dolores St. Oswego	Shore Heights	Auto Repair business	8/8/2022	Unable to confirm business	8/8/2022	8/8/2022
8/5/2022	03-12-204-005	26 Gastville Aurora	Gastville Acreage	4 Violations	8/5/2022	30 Day warning notice-reg & cert	9/5/2022	10/4/2023
8/12/2022	03-04-328-008	31 Chatham Pl. Montgomery	Boulder Hill	Chickens	8/8/2022	Unable to confirm chickens	8/29/2022	8/8/2022
8/16/2022	01-16-476-004	31 S. Linden Dr. Plano	Meyerbrook	Post Garage redo to living quarters	8/29/2022	Did not observe any PBZ violations	8/29/2022	8/29/2022
8/22/2022	06-02-226-001	1210 Plainfield Rd. Oswego	County Clerks	Dirt Piles	9/16/2022	Viol-Not a violation of stormwater	9/16/2022	9/16/2022
8/23/2022	01-16-427-001	N Linden Dr. Plano	Meyerbrook	Multiple Violations	8/29/2022	Did not observe any PBZ violations	8/29/2022	8/29/2022
8/23/2022	03-05-429-031	177 Dolores St. Oswego	Shore Heights	Semi tractor trailer	8/31/2022	No Truck	8/31/2022	8/31/2022
8/23/2022	01-09-428-003	37 S Bereman Rd. Montgomery	Boulder Hill	Trailer in F/Y setback	8/30/2022	30 Day Warning Notice Reg & Cert	9/30/2022	9/21/2022
8/23/2022	03-05-429-004	23 Coffman Ln. Plano	Boulder Hill	Post Business & Building w/o permit	8/30/2022	Met w/ owner-agreed to apply BP & HC	11/21/2022	11/23/2022
8/24/2022	01-35-430-005	10 Greenfield Rd. Montgomery	Boulder Hill	Boat in F/Y & on non approved surface	8/30/2022	30 Day Warning Notice Reg & Cert	9/30/2022	9/6/2022
8/24/2022	01-35-429-002	64 Blackhawk Springs Dr. Plano	Blackhawk Springs	Abandoned property	8/29/2022	Did not observe any PBZ violations	8/29/2022	8/29/2022
8/24/2022	03-08-280-032	70 Blackhawk Springs Dr. Plano	Blackhawk Springs	Abandoned property	8/29/2022	Did not observe any PBZ violations	8/29/2022	8/29/2022
8/25/2022	03-16-176-006	14 Barclay Ct. Montgomery	Boulder Hill	Shed - Remodel to living qtrs	8/30/2022	Determined not be a violation	9/30/2022	9/22/2022
8/26/2022	03-04-306-001	Wolfs Crossing Rd. Oswego	Fox Bend Estates	Construction	8/26/2022	Did not observe any PBZ violations	8/30/2022	8/30/2022
8/29/2022	01-29-101-003	51 Circle Drive E. Montgomery	Boulder Hill	Trash	8/26/2022	Referred to HHS	8/31/2022	8/31/2022
8/29/2022	03-05-280-017	157 Woodland Dr. Plano	Sugar Brook	Building w/o permit	9/14/2022	No Evidence of construction	9/14/2022	9/14/2022
9/7/2022	No address - bln	6111 Audrey Ave Yorkville	Rosehill	Dump Truck, trailer & bobcat in F/Y & junk	9/14/2022	Not a violation	9/8/2022	9/8/2022
9/7/2022	03-20-400-018	12 Greenbriar Rd. Montgomery	Boulder Hill	Possible AirbnB	9/14/2022	Removed	10/16/2022	10/20/2022
9/7/2022	05-09-154-001	3842 Grove Rd. Oswego	Boulder Hill	Junk & Debris	9/8/2022	30 Day Warning Notice Reg & Cert	10/16/2022	10/20/2022
9/7/2022	05-21-300-006	7344 Route 47 Yorkville	Boulder Hill	Illegal Pool Business	9/8/2022	30 Day Warning Notice Reg & Cert	10/16/2022	10/20/2022
9/8/2022	03-04-307-001	9513 Walker Rd. Yorkville	Boulder Hill	Cars parked in setback	9/27/2022	Cars not parked in ROW	9/27/2022	9/27/2022
9/8/2022	03-04-305-023	62 Circle Dr. E. Montgomery	Boulder Hill	Inoperable Vehicle	9/8/2022	30 Day Warning Notice Reg & Cert	1/13/2023	1/13/2023
9/12/2022	06-04-400-005	16 Wyncham Dr. Montgomery	Boulder Hill	Junk & Debris	9/27/2022	Requesting Meeting	Court 4/24/24	extensions 7/7/2024
9/13/2022	05-09-152-001	33 Bonnie Lane Yorkville	Williamans	Possible AirbnB	9/22/2022	MA	10/1/2022	10/1/2022
9/13/2022	03-04-351-006	39 Hampton Rd. Montgomery	Boulder Hill	Commercial Vehicle	9/22/2022	30 Day Warning Notice Reg & Cert	10/26/2022	10/29/2022
9/14/2022	06-07-129-007	5753 Whitetail Ridge Dr.	Whitetail Ridge	No silt fence or Vegetation filter	9/14/2022	Certified letter sent 9/14/2022	10/17/2022	10/17/2022
9/14/2022	06-07-130-019	7386 Fairway Dr. Yorkville	Whitetail Ridge	No silt fence or Vegetation filter	9/14/2022	Certified letter sent 9/14/2022	10/17/2022	10/17/2022
9/14/2022	05-12-277-004	7102 Golfview Ct. Yorkville	Whitetail Ridge	No silt fence or Vegetation filter	9/14/2022	Certified letter sent 9/14/2022	10/17/2022	10/17/2022
9/14/2022	06-06-450-004	7372 Clubhouse Dr. Yorkville	Whitetail Ridge	No silt fence or Vegetation filter	9/14/2022	Certified letter sent 9/14/2022	10/17/2022	10/17/2022
9/14/2022	05-12-276-003	5537 Whitetail Ridge Dr.	Whitetail Ridge	No silt fence or Vegetation filter	9/14/2022	Certified letter sent 9/14/2022	10/17/2022	10/17/2022
9/14/2022	05-12-276-004	7509 Clubhouse Dr. Yorkville	Whitetail Ridge	No silt fence or Vegetation filter	9/14/2022	Certified letter sent 9/14/2022	10/17/2022	10/17/2022
9/14/2022	05-12-276-002	7485 Clubhouse Dr. Yorkville	Whitetail Ridge	No silt fence or Vegetation filter	9/14/2022	Certified letter sent 9/14/2022	10/17/2022	10/17/2022
9/14/2022	05-12-276-001	7461 Clubhouse Dr. Yorkville	Whitetail Ridge	No silt fence or Vegetation filter	9/14/2022	Certified letter sent 9/14/2022	10/17/2022	10/17/2022
9/14/2022	03-04-451-015	13 Pomeroy Dr. Montgomery	Boulder Hill	Inoperable Vehicle	9/19/2022	30 Day Warning Notice Reg & Cert	10/23/2022	10/23/2022
9/14/2022	03-04-307-001	62 Circle Dr. E. Montgomery	Boulder Hill	Inoperable Vehicle	10/7 & 10/18	30 Day Warning Notice Reg & Cert	1/13/2023	2/7/2023
9/14/2022	08-19-300-005	Route 52-Lisbon Rd Newark	Boulder Hill	Stormwater - MA	9/17/2022	30 Day Warning Notice Reg & Cert	10/23/2022	10/23/2022
9/16/2022	05-02-201-005	6111 Audrey Ave Yorkville	Rosehill	Multiple Violations	9/19/2022	30 Day Warning Notice Reg & Cert	10/22/2022	10/25/2022
9/16/2022	03-05-276-010	28 N Bereman Rd. Montgomery	Boulder Hill	RV in F/Y setback	9/19/2022	30 Day Warning Notice Reg & Cert	10/23/2022	10/23/2022
9/16/2022	03-05-229-004	24 Fernwood Rd. Montgomery	Boulder Hill	Trailer in F/Y setback	9/19/2022	30 Day Warning Notice Reg & Cert	10/23/2022	10/23/2022
9/16/2022	03-05-229-006	28 Fernwood Rd. Montgomery	Boulder Hill	Trailer in F/Y setback	9/19/2022	30 Day Warning Notice Reg & Cert	10/23/2022	10/23/2022
9/16/2022	03-04-376-003	76 Circle Dr. E. Montgomery	Boulder Hill	Junk & Debris	9/19/2022	30 Day Warning Notice Reg & Cert	11/13/2023	2/7/2023
9/16/2022	03-04-408-014	128 Tealwood Rd. Montgomery	Boulder Hill	Boat in F/Y setback	9/19/2022	30 Day Warning Notice Reg & Cert	10/23/2022	10/23/2022
9/16/2022	06-02-226-001	1210 Plainfield Rd. Oswego	County Clerks	Fill being placed in creek	9/16/2022	30 Day Warning Notice Reg & Cert	10/14/4/2	10/14/2022
9/19/2022	02-35-380-006	5703 Fields Dr. Yorkville	FOFC	Multiple Violations	9/22 & 9/27	30 Day Warning Notice Reg & Cert	10/30/2022	10/14/2022
9/19/2022	03-19-176-004	5505 Route 71 Oswego	FOFC	Site Dev in Floodplain&wetlands-No Permit	9/16/2022	MA 30 Day Warning Notice Reg & Cert	MA 6/3/2024	11/2/2022
9/19/2022	03-04-456-004	4160 Steam Mill Ct. Oswego	Boulder Hill	Possible remodel w/o permit	9/22/2022	No permit required at this time	10/4/2022	10/4/2022
9/20/2022	03-08-201-012	82 Saugatuck Rd. Montgomery	Boulder Hill	Junk & Debris	9/22/2022	30 Day Warning Notice Reg & Cert	10/26/2022	10/28/2022
9/20/2022	02-15-251-006	63 Circle Dr W. Montgomery	Boulder Hill	Junk & Debris	9/22/2022	Debris has been removed	10/27/2022	9/23/2022
9/21/2022	01-23-200-028	23 N Royal Oaks Dr. Bristol	Woods of Blackberry oaks	Inoperable Vehicle	9/22/2022	30 Day Warning Notice Reg & Cert	10/27/2022	10/28/2022
9/21/2022		13349 A Faxon Rd. Plano	Woods of Blackberry oaks	Construction w/o permit	9/22/2022	Addition added 2014-16-Ag Exempt - No Violation	9/22/2022	9/22/2022

Perkins
Perkins



**KENDALL COUNTY
HISTORIC PRESERVATION COMMISSION
HISTORIC PRESERVATION ORGANIZATION MEETING**

Pickerill Estate House • Pickerill-Pigot Forest Preserve
6350A Minkler Road • Yorkville, IL • 60560

AGENDA

July 15, 2024 – 6:00 p.m.

- I. Call to Order**
- II. KCHPC Roll Call and Introductions**
Eric Bernacki (Vice-Chair), Elizabeth Flowers, Kristine Heiman (Secretary), Marty Shanahan, Jeff Wehrli (Chairman), and Non-KCHPC Attendees
- III. Welcoming Remarks**
Jeff Wehrli, Kendall County Historic Preservation Commission Chair
- IV. Presentation on the Coroner's Office Regarding the Bristol Burying Ground and the Procedure if a Cemetery is Found on a Farm**
Jacque Purcell, Kendall County Coroner
- V. Discussion of Cemeteries**
- VI. Presentation on the History of Pickerill-Pigot Forest Preserve**
Jeff Wehrli, Kendall County Historic Preservation Commission Chair
- VII. Round Table Discussion**
*What Activities Have Your Organizations Been Doing?
Successes?
Challenges?
Strategies for Encouraging Historic Property Owners to Have Open Houses?
Opportunities for Collaboration?*
- VIII. Discussion of Future Meeting(s)**
- IX. Other Business**
- X. Public Comment**
- XI. Adjournment**

If special accommodations or arrangements are needed to attend this County meeting, please contact the Administration Office at 630-553-4171, a minimum of 24-hours prior to the meeting time.

Matt Asselmeier

From: Pressley, Jon L. <Jon.L.Pressley@Illinois.gov>
Sent: Wednesday, June 5, 2024 12:17 PM
To: Matt Asselmeier
Subject: RE: [External]RE: CLG Grant Window

Probably in December

Jon L. Pressley, MA, RPA
Certified Local Governments Program Coordinator
and Historic Preservation Fund Manager
State Historic Preservation Office, IDNR
1 Natural Resources Way
Springfield, Illinois, 62702-1271
Office: 217-785-5730
Cell: 217-299-4878

From: Matt Asselmeier <masselmeier@kendallcountyil.gov>
Sent: Wednesday, June 5, 2024 12:14 PM
To: Pressley, Jon L. <Jon.L.Pressley@Illinois.gov>
Subject: RE: [External]RE: CLG Grant Window

When do you think grants would be awarded?

Matthew H. Asselmeier, AICP, CFM
Director
Kendall County Planning, Building & Zoning
111 West Fox Street
Yorkville, IL 60560-1498
PH: 630-553-4139
Fax: 630-553-4179

From: Pressley, Jon L. <Jon.L.Pressley@Illinois.gov>
Sent: Wednesday, June 5, 2024 12:13 PM
To: Matt Asselmeier <masselmeier@kendallcountyil.gov>
Subject: [External]RE: CLG Grant Window

CAUTION - This email originated from outside the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

Hi Matt,

It will open in September. Grants Management accidentally put it up early. I'll send out an email before it goes up.

Thanks,

Jon L. Pressley, MA, RPA

Matt Asselmeier

From: Itle, Ken <kitle@wje.com>
Sent: Tuesday, June 4, 2024 9:46 AM
To: Matt Asselmeier
Cc: Jeff Wehrli; Christina Burns
Subject: RE: [External]RE: Future Historic Structure Surveys

Hello Matt:

Good to hear from you. Yes, our 7/11/2023 proposal is still valid for this scope. Let me know if you need any further information for the grant proposal.

-Ken

Kenneth M. Itle

Associate Principal

Wiss, Janney, Elstner Associates, Inc.

Engineers | Architects | Materials Scientists

330 Pfingsten Road, Northbrook, Illinois 60062

tel 847.272.7400 | direct 847.753.6465

www.wje.com

kitle@wje.com

From: Matt Asselmeier <masselmeier@kendallcountyil.gov>
Sent: Wednesday, May 29, 2024 11:40 AM
To: Itle, Ken <kitle@wje.com>
Cc: Jeff Wehrli <jeffw.ent.2022@gmail.com>; Christina Burns <cburns@kendallcountyil.gov>
Subject: RE: [External]RE: Future Historic Structure Surveys

Ken:

As you are no doubt aware, the State has yet to announce CLG grants for this year.

The County will be starting to work on its budget for the next fiscal year in the coming weeks.

Is the attached proposal still valid? If not, please send me a revised proposal.

Thanks,

Matthew H. Asselmeier, AICP, CFM
Director
Kendall County Planning, Building & Zoning
111 West Fox Street
Yorkville, IL 60560-1498
PH: 630-553-4139
Fax: 630-553-4179

Permit Summary by Category Kendall County

Permit Category	Count	Estimated Cost	Permit Fees	Land Cash
House	5	\$2,915,000	\$23,091	\$15,391
Accessory Buildings	6	\$322,265	\$1,196	\$0
Additions	5	\$19,713,800	\$943	\$0
Barns/Farm Buildings	1	\$0	\$0	\$0
Swimming Pools	2	\$17,679	\$400	\$0
Decks	1	\$26,000	\$200	\$0
Demolitions	2	\$17,600	\$0	\$0
Electrical Upgrades	2	\$207,168	\$360	\$0
Change in Occupancy	1	\$0	\$0	\$0
Driveway	1	\$500	\$200	\$0
Patio	1	\$6,000	\$50	\$0
Generator	2	\$24,430	\$220	\$0
Solar	4	\$108,029	\$1,250	\$0
	33	\$23,358,471	\$27,909	\$15,391

June 2023 3 Houses
35 Total Permits

YTD 2023- 18 Houses
192 Permits

Permit Summary by Category by Month Kendall County

Permit Category	Total	Jan	Feb	Mar	Apr	May	Jun	Jul	Aug	Sep	Oct	Nov	Dec
House	19	3	1	5	2	3	5	0	0	0	0	0	0
Garage	3	0	0	2	1	0	0	0	0	0	0	0	0
Accessory Buildings	39	2	4	6	12	9	6	0	0	0	0	0	0
Additions	11	0	0	1	3	2	5	0	0	0	0	0	0
Remodeling	12	3	1	3	3	2	0	0	0	0	0	0	0
Commercial - B Zone	1	0	1	0	0	0	0	0	0	0	0	0	0
Barns/Farm Buildings	8	0	3	1	1	2	1	0	0	0	0	0	0
Signs	1	0	0	0	1	0	0	0	0	0	0	0	0
Swimming Pools	14	0	0	4	3	5	2	0	0	0	0	0	0
Decks	9	0	0	2	1	5	1	0	0	0	0	0	0
Demolitions	7	0	1	1	0	3	2	0	0	0	0	0	0
Electrical Upgrades	6	1	0	1	1	1	2	0	0	0	0	0	0
Change in Occupancy	3	0	0	2	0	0	1	0	0	0	0	0	0
Driveway	7	0	0	2	3	1	1	0	0	0	0	0	0
Fire Restoration	1	1	0	0	0	0	0	0	0	0	0	0	0
Patio	5	0	0	0	2	2	1	0	0	0	0	0	0
Generator	6	1	0	1	0	2	2	0	0	0	0	0	0
Solar	32	2	2	4	10	10	4	0	0	0	0	0	0
	184	13	13	35	43	47	33	0	0	0	0	0	0



Permit Approval Date Report

Kendall County

Issue Date	Permit ID	Permit Category	Parcel Number	Owner Name	Property Address	Subdivision	Contractor Name
6/3/2024	012024165	01 House	06-07-374-001	HATCH MICHAEL & ANGELA	5750 CHAMPIONSHIP CT. YORKVILLE, IL 60560	WHITETAIL RIDGE	DWELL HOMES, INC.
4/12/2024	012024094	01 House	04-21-125-032	BRATLAND JAY S & MICHELLE J	9204 CHATHAM PL NEWARK, IL 60541-	ESTATES OF MILLBROOK UNIT 3	REVOLUTION BUILDERS CONSTRUCTION, LLC
2/21/2024	012024041	01 House	04-16-351-008	SPENCER JOHN & WENDY	8982 WILCOX CT MILLBROOK, IL 60536-	ESTATES OF MILLBROOK UNIT 1	
3/18/2024	012024060	01 House	06-07-374-008	REVOLUTION INVESTMENTS, LLC	5946 CHAMPIONSHIP CT YORKVILLE, IL 60560-	WHITETAIL RIDGE	REVOLUTION CUSTOM HOMES
4/1/2024	012024068	01 House	05-12-276-008	DIAZ JOSEPH & PATRICIA	7605 CLUBHOUSE DR YORKVILLE, IL 60560-	WHITETAIL RIDGE	DWELL HOMES, INC.
6/24/2024	012024155	01 House	03-14-400-007	DOUGLAS GILES N & JOANNE L	2880 ROTH RD OSWEGO, IL 60543-		DJK CUSTOM HOMES INC.
6/18/2024	012024182	01 House	01-25-376-004	TIM GREYER BUILDERS INC.	12446 MITCHELL DR. PLANO, IL 60545	SCHAEFER WOODS SOUTH UNIT 2	TIM GREYER BUILDERS INC.
5/30/2024	012024174	01 House	06-07-375-002	OLIVER GEORGE S & HEIDI R	7723 BENTGRASS CIR YORKVILLE, IL 60560-	WHITETAIL RIDGE	CHARLES JAMES CUSTOM HOMES
1/23/2024	012024023	01 House	04-21-252-002	YENTER KELLI & CHRIS	15536 PROSPECT HILL DR NEWARK, IL 60541-	ESTATES OF MILLBROOK UNIT 3	MCCUE BUILDERS INC.
4/12/2024	012024058	01 House	02-30-300-009	BECK RYAN & SHANNON	4518 ELDAMAIN RD PLANO, IL 60545		
4/15/2024	012024095	01 House	09-18-300-019	QUEZADA IRMA LOYA	14918 BRISBIN RD MINOOKA, IL 60447-		

Permit Approval Date Report
Kendall County

Issue Date	Permit ID	Permit Category	Parcel Number	Owner Name	Property Address	Subdivision	Contractor Name
4/25/2024	012024031	01 House	09-16-400-010	AGUILAR MIGUEL & IDOLINA	3400 ROUTE 52 MINOOKA, IL 60447-		
1/11/2024	012024022	01 House	05-18-228-003	DOLIN JULIE A	8019 WILSON COURT YORKVILLE, IL 60560	TANGLEWOOD TRAILS	CL DESIGN BUILD INC
3/18/2024	012024059	01 House	04-21-125-018	AVERY JOHN R & LAUREN J	15681 COBB CT NEWARK, IL 60541-	ESTATES OF MILLBROOK UNIT 1	IMPERIAL CONSTRUCTION -
6/28/2024	012024192	01 House	08-01-100-005	WESTPHALL CORY & KYLIE	6744 HELMAR RD YORKVILLE, IL 60560-		
3/27/2024	012024077	01 House	05-12-278-002	CALDWELL JODI J & BRADA	6112 LEGACY CIR YORKVILLE, IL 60560-	WHITTAIL RIDGE	KINGS COURT BUILDERS INC.
6/26/2024	012024186	01 House	06-07-375-005	SHILKAITIS MATTHEW & SAMANTHA	5645 WATERS EDGE CT YORKVILLE, IL 60560-	WHITTAIL RIDGE	LIBERTY BUILDERS LLC
4/8/2024	022024082	02 Garage	04-16-176-011	TECKENBROCK LEANN M	23 HARRIS AVE MILLBROOK, IL 60536-	MILLBROOK (ORIG TOWN) PT VACATED	EVERLAST PORTABLE BUILDINGS
4/9/2024	022024089	02 Garage	02-34-202-014	MAJCHEREK PETER & KAREN GRIDLEY	148 RIVERSIDE DR YORKVILLE, IL 60560-	FOX RIVER WOODLANDS	COACH HOUSE GARAGES
3/25/2024	022024073	02 Garage	08-18-300-009	MILLER JORDAN & KATE	14534 LISBON RD NEWARK, IL 60541-		
4/8/2024	032024080	03 Accessory Buildings	02-35-380-015	ANDERSON LAUREN S	7694 MADELINE DR YORKVILLE, IL 60560-	FIELDS OF FARM COLONY UNIT 3	
5/20/2024	032024158	03 Accessory Buildings	02-22-102-014	ARGYILAN GRANT	17 LILLIAN LN YORKVILLE, IL 60560-	BRISTOL LAKE SUB	MORTON BUILDINGS

Permit Approval Date Report
Kendall County

Issue Date	Permit ID	Permit Category	Parcel Number	Owner Name	Property Address	Subdivision	Contractor Name
3/20/2024	032024069	03 Accessory Buildings	03-08-277-020	MYLES VICTORIA & KENNY	9 FIELDPOINT RD MONTGOMERY, IL 60538-	BOULDER HILL UNIT 17	
6/27/2024	032024199	03 Accessory Buildings	09-07-200-036	BEARD ROBERT & LISA	13217 GROVE RD MINOOKA, IL 60447-		MILMAR BUILDINGS
6/11/2024	032023264	03 Accessory Buildings	03-07-276-011	BRITT STEVEN P & KATIE L	16 SHORE CT OSWEGO, IL 60543-	MARINA TERRACE	
6/17/2024	032024189	03 Accessory Buildings	02-35-301-010	CATANESE DANIEL & LORA F	5847 FIELDS DR YORKVILLE, IL 60560-		
5/20/2024	032024159	03 Accessory Buildings	02-36-106-002	RAND JOSEPH & SHERI J	292 TALLGRASS LN YORKVILLE, IL 60560-	FARM COLONY UNIT 2 PHAE 3	
5/22/2024	032024167	03 Accessory Buildings	05-18-250-006	WHITEHORN JESSE JR & ALEXANDER TIFFANY	11369 BRIGHTON OAKS DR YORKVILLE, IL 60560-	BRIGHTON OAKS ESTATES	ARROYO LAWN CARE & SNOW
4/29/2024	032024123	03 Accessory Buildings	03-07-231-002	RAJU RAJIV LUKE & RAJU SHANTA & RAJU MADY	37 W ANCHOR RD OSWEGO, MARINA TERRACE IL 60543-		
4/8/2024	032024081	03 Accessory Buildings	02-35-380-015	ANDERSON LAUREN S	7694 MADELINE DR YORKVILLE, IL 60560-	FIELDS OF FARM COLONY UNIT 3	
3/6/2024	032024053	03 Accessory Buildings	02-21-200-015	DENARDO WARREN C & JACLYNN M	9025 KENNEDY RD YORKVILLE, IL 60560-		BOB LEE CONSTRUCTION
6/3/2024	032024178	03 Accessory Buildings	03-08-280-029	STILES TRACEY	7 FIELDCREST DR MONTGOMERY, IL 60538-	BOULDER HILL UNIT 17	
5/29/2024	032024169	03 Accessory Buildings	05-07-403-009	TATER TOT TRUST	71 TIMBERCREEK DR YORKVILLE, IL 60560-	TIMBER CREEK SUB	

Permit Approval Date Report
Kendall County

Issue Date	Permit ID	Permit Category	Parcel Number	Owner Name	Property Address	Subdivision	Contractor Name
5/13/2024	032024134	03 Accessory Buildings	03-18-376-007	RAMIREZ SALVADOR C & ANGELA	6 W PLEASANTVIEW DR OSWEGO, IL 60543-	RIVERVIEW HEIGHTS	RMT PROPERTIES LLC
2/16/2024	032024038	03 Accessory Buildings	03-18-401-009	SMITH MARTY E & CONSTANCE M	66 OSAGE CT OSWEGO, IL 60543-	HIGHLAND SUB	
6/13/2024	032024187	03 Accessory Buildings	03-04-456-011	HERRNANDEZ CHRISTYAN	96 SAUGATUCK RD MONTGOMERY, IL 60538-	BOULDER HILL UNIT 22	
4/22/2024	032024109	03 Accessory Buildings	02-24-103-001	ARROYO OSVALDO E & JOSE E	21 RIVERWOOD CT OSWEGO, IL 60543-	RIVER WOOD FARMS	BOB LEE CONSTRUCTION
1/2/2024	032024021	03 Accessory Buildings	02-15-353-002	STEINWAY BRIAN & KIMBERLY	90 LILLIAN LN YORKVILLE, IL 60560-	BRISTOL LAKE SUB	
4/19/2024	032024106	03 Accessory Buildings	02-11-101-005	SPARTO MARIO & KAY LEIGH	83 E LARKSPUR LN BRISTOL, IL 60512-	WILLOWBROOK UNIT 3	BOB LEE CONSTRUCTION
5/1/2024	032024129	03 Accessory Buildings	03-04-153-007	MCKENY VICKI & BEYNE APRIL	31 GREENBRIAR RD MONTGOMERY, IL 60538-	BOULDER HILL UNIT 3	
1/11/2024	032024029	03 Accessory Buildings	02-20-401-001	ULNER GREG	3651 CANNONBALL TRL YORKVILLE, IL 60560-		METRONET INFRASTRUCTURE
2/21/2024	032024037	03 Accessory Buildings	09-32-200-010	ZABEL KENNETH & ARIAS JASMINE	4187 WHITEWILLOW RD MINOOKA, IL 60447-		
4/9/2024	032024086	03 Accessory Buildings	04-16-101-011	ZARCONI CHRISTOPHER S & MARGARET	45 SHAGBARK LN MILLBROOK, IL 60536-	FOXHURST UNIT 6	
4/22/2024	032024108	03 Accessory Buildings	02-03-300-025	BERNHARDT RANDAL J & RAMONA L	927 B DICKSON RD BRISTOL, IL 60512-		BOB LEE CONSTRUCTION

Permit Approval Date Report
Kendall County

Issue Date	Permit ID	Permit Category	Parcel Number	Owner Name	Property Address	Subdivision	Contractor Name
2/20/2024	032024039	03 Accessory Buildings	09-04-100-013	SALINAS RAFAEL & MARIA M	12452 MCKANNA RD MINOOKA, IL 60447-		
6/3/2024	032024180	03 Accessory Buildings	06-05-153-005	KENDRICK KENNETH T & KATHLEEN	79 E TIMBERLAKE TRL OSWEGO, IL 60543-		WICK BUILDINGS
2/13/2024	032024036	03 Accessory Buildings	02-35-103-013	HATHAWAY BRADFORD L & MADRIDIE E	7807 VAN EMMON RD YORKVILLE, IL 60560-	WENDLING SUB	
4/18/2024	032024102	03 Accessory Buildings	05-34-200-003	COBBLE JEFFERY & ERIN	11143 ASHLEY RD YORKVILLE, IL 60560-		
4/8/2024	032024098	03 Accessory Buildings	07-24-200-003	COOSE RONALD & MAHN TINA	15285 ROUTE 52 NEWARK, IL 60541-		
4/16/2024	032024091	03 Accessory Buildings	06-15-100-008	ODONOVAN-MAYA SUSAN	2884 ROUTE 126 PLAINFIELD, IL 60544-		
4/19/2024	032024107	03 Accessory Buildings	05-08-351-005	DYSON JAMES R & CONNIE R	10957 BRANDENBURG WAY YORKVILLE, IL 60560-	TANGLEWOOD TRAILS	
6/17/2024	032024191	03 Accessory Buildings	05-18-300-021	DUKES FARM LLC %BRIAN J MORAN	8724 W HIGHPOINT RD YORKVILLE, IL 60560-		
5/13/2024	032024139	03 Accessory Buildings	01-34-300-008	BILEK JEFFREY S	14824 MILLHURST RD PLANO, IL 60545-		BOB LEE CONSTRUCTION
3/20/2024	032024067	03 Accessory Buildings	05-35-200-013	BOYD ROBERT J	11103 CHURCH RD YORKVILLE, IL 60560-		
4/9/2024	032024090	03 Accessory Buildings	09-22-200-004	HAASE DOUGLAS	15100 JUGHANDLE RD MINOOKA, IL 60447-	AUX SABLE OAKS UNIT 1	HOMEOWNER

Permit Approval Date Report
Kendall County

Issue Date	Permit ID	Permit Category	Parcel Number	Owner Name	Property Address	Subdivision	Contractor Name
2/2/2024	032024027	03 Accessory Buildings	05-18-228-003	DOLIN JULIE A	8019 WILSON COURT YORKVILLE, IL 60560	TANGLEWOOD TRAILS	
5/21/2024	032024160	03 Accessory Buildings	06-14-200-009	BAMBIC ROBERT	8435 B OLD RIDGE RD PLAINFIELD, IL 60586-		ALL PRO CONCRETE INC.
3/25/2024	032024070	03 Accessory Buildings	02-30-400-010	MURILLO OMAR & ELIZABETH EULALIA	11287 RIVER ROAD PLANO, IL 60545	GLEN NELSON SUB	
4/9/2024	032024092	03 Accessory Buildings	05-18-300-006	PETERS DANIEL C & SUZANNE M	8751 B E HIGHPOINT RD YORKVILLE, IL 60560-	HIGHPOINT HILLS	
6/28/2024	042024209	04 Additions	05-12-205-001	GRINTER BRIAN R & KATHLEEN M	6285 WHITETAIL RIDGE CT YORKVILLE, IL 60560-	WHITETAIL RIDGE	J. STRAHANOSKI BUILDERS, INC.
6/28/2024	042024208	04 Additions	03-27-377-006	RAMEY DAVID A & APRIL I	113 LEISURE LN OSWEGO, IL 60543-	LEISURE LEA UNIT 3	
6/17/2024	042024190	04 Additions	05-02-400-032	NICHOLS MARK & LOLA	6650 B MINKLER RD YORKVILLE, IL 60560-		
5/1/2024	042024132	04 Additions	09-31-200-004	ANGULA JAVIER & KARINA	5360 WHITEWILLOW RD MINOOKA, IL 60447-		
4/26/2024	042024122	04 Additions	02-29-130-019	SCHLAPP GARY D & BEVERLY	1022 INDEPENDENCE BLVD YORKVILLE, IL 60560-		
4/24/2024	042024114	04 Additions	02-27-380-002	BAILEY JASON A	61 RIVERSIDE DR YORKVILLE, IL 60560-	FOX RIVER GARDENS	
4/22/2024	042024111	04 Additions	09-32-100-004	ASCENCIO VICTOR H & DIAZ MAYRAK	4552 WHITEWILLOW RD MINOOKA, IL 60447-		

Permit Approval Date Report
Kendall County

Issue Date	Permit ID	Permit Category	Parcel Number	Owner Name	Property Address	Subdivision	Contractor Name
1/29/2024	052024033	05 Remodeling	03-06-200-006	MONTERO, ANGELICA & ORTIZ, MIGUELA	5132 BASELINE RD OSWEGO, IL 60543-		
1/29/2024	052024032	05 Remodeling	02-29-426-009	HANSON WILLIAM J & LORIANNE	216 GEORGEANNA ST YORKVILLE, IL 60560-	COUNTRYSIDE SUB UNIT 3	HOGAN DESIGN & CONSTRUCTION
5/14/2024	052024149	05 Remodeling	03-07-429-012	FERGUSON TIMOTHY J & ANGELA N	138 DOLORES ST OSWEGO, IL 60543-	SHORE HEIGHTS UNIT 1	CLEAN EDGE CONSTRUCTION
5/13/2024	052024135	05 Remodeling	06-05-153-001	SMITH MARK & KATHY	25 E TIMBERLAKE TRL OSWEGO, IL 60543-	ARROWHEAD HILLS UNIT 2	BRADFORD AND KENT
5/1/2024	052024120	05 Remodeling	03-05-353-011	FOX METRO WATER REC DIST	682 A ROUTE 31 OSWEGO, IL 60543-		TBD
4/25/2024	052024116	05 Remodeling	03-25-200-004	BROSSMAN LARRY & PATRICIA	338 SCOTCH RD OSWEGO, IL 60543-		
4/17/2024	052024104	05 Remodeling	02-13-354-004	MUSSER BRETT R & AUBREY B	145 RIVERWOOD DR OSWEGO, IL 60543-	RIVER WOOD FARMS	MWK CONSTRUCTION INC.
3/28/2024	052024083	05 Remodeling	09-04-300-018	BURNS JOSHUA MICHAEL & LINDSEY ANAIE	12478 MCKANNA RD MINOOKA, IL 60447-		Acculevel
4/16/2024	052024066	05 Remodeling	01-35-477-008	EDELMAN DAVID R & JILL A	5900 D RED GATE LN YORKVILLE, IL 60560-	THE BLUFF AT SILVER SPRINGS	WATCHMEN MAINTENANCE & SERVICES
3/7/2024	052024057	05 Remodeling	02-14-277-002	URBON TANYA L	10 ANNA MARIA LN OSWEGO, IL 60543-	LYNWOOD EXTENSION 4	Luis Camarena - Contact
2/28/2024	052024046	05 Remodeling	03-31-302-002	HER TAO & PANG	9 SETTLERS LN OSWEGO, IL 60543-	HATTNER SUB	

Permit Approval Date Report

Kendall County

Issue Date	Permit ID	Permit Category	Parcel Number	Owner Name	Property Address	Subdivision	Contractor Name
2/1/2024	052024035	05 Remodeling	03-32-131-002	MAGO MICHAEL J	5380 OLD RESERVE RD OSWEGO, IL 60543-	OLD RESERVE HILLS UNIT 1	TRANQUILITY BUILDERS INC.
3/1/2024	072024042	07 Commercial - B Zone	05-28-400-002	ALWAYS FAITHFUL PROPERTIES 10744 ROUTE 4711 08-15-200-007	10744 ROUTE 47 YORKVILLE, IL 60560-		
4/9/2024	082024088	08 Barns/Farm Buildings	08-15-200-007	JANKE RICHARD & DELORIS	14151 ASHLEY RD MINOOKA, IL 60447-		
2/26/2024	082024047	08 Barns/Farm Buildings	07-17-400-002	FRANK SANTORO	14515 ROODS RD NEWARK, IL 60541-		
2/21/2024	082024045	08 Barns/Farm Buildings	08-14-300-008	JOHNSON JANINE RAE	ASHLEY RD. MINOOKA, IL. 60447		
2/28/2024	082024048	08 Barns/Farm Buildings	05-02-300-010	REES GINGER	6611 MINKLER RD YORKVILLE, IL. 60560		
5/28/2024	082024170	08 Barns/Farm Buildings	02-20-276-009	SHANKS BRADLEY W & LYNDA C	3350 A CANNONBALL TRL YORKVILLE, IL 60560-		
5/21/2024	082024161	08 Barns/Farm Buildings	07-09-100-010	BENDER FAMILY LTD PARTNERSHIP	12961 SLEEZER RD NEWARK, IL 60541-		
3/20/2024	082024072	08 Barns/Farm Buildings	04-31-300-005	DUNCAN JOHN P & NANCY M	2999 N 4201st RD SHERIDAN, IL. 60551		
5/1/2024	092024093	09 Signs	05-09-152-006	BRUCKI SHIRLEY ANN	3 BONNIE LN YORKVILLE, IL 60560-		
6/28/2024	122024212	12 Swimming Pools	08-24-400-012	RIGAN KENNETH & NICOLE	15613 BRISBIN RD MINOOKA, IL 60447-		A&J RECREATIONAL SERVICES

Permit Approval Date Report
Kendall County

Issue Date	Permit ID	Permit Category	Parcel Number	Owner Name	Property Address	Subdivision	Contractor Name
6/12/2024	122024185	12 Swimming Pools	04-21-376-003	ZETTERGREEN ERIC & EMILY	9480 ZOOKS NOOK NEWARK, IL 60541-	ESTATES OF MILLBROOK UNIT 3	
5/31/2024	122024173	12 Swimming Pools	06-02-300-015	PLEVA ERIC & KRISTIN M	1690 CHERRY RD OSWEGO, IL 60543-		
5/24/2024	122024168	12 Swimming Pools	08-02-476-008	ADKINS MARCHAN	12832 MACKENZIE RD YORKVILLE, IL 60560-	MURDO T MACKENZIE SUB	KAYAK POOLS
5/22/2024	122024163	12 Swimming Pools	06-02-300-012	GUERRERO JUAN JR & GUERRERO JUAN	1912 CHERRY RD OSWEGO, IL 60543-		HOMEOWNER
5/14/2024	122024141	12 Swimming Pools	03-09-151-017	DENNIS NICHOLAS B & SHANNON L	225 BOULDER HILL PASS MONTGOMERY, IL 60538-	BOULDER HILL UNIT 25	
5/13/2024	122024137	12 Swimming Pools	03-07-229-004	ALLEN DEBRA & RUTLEDGE RICHARD	13 MARLIN DR OSWEGO, IL 60543-		
4/26/2024	122024121	12 Swimming Pools	01-25-461-002	BERRIOS LAURIE ANN & WILLIAM	12156 MITCHELL DR PLANO, IL 60545-	SCHAEFER WOODS SOUTH UNIT 1	10X POOLS
4/24/2024	122024117	12 Swimming Pools	05-07-253-003	BECKETT CHARLES & SUSAN B	11300 ROUTE 71 YORKVILLE, IL 60560-		
4/22/2024	122024096	12 Swimming Pools	02-28-452-004	SHUE CHRISTOPHER DAVID & SKOWRON MADELY	610 MCHUGH RD YORKVILLE, IL 60560-	HIGHLAND TERRACE SUB	
4/3/2024	122024076	12 Swimming Pools	02-27-151-011	BARTO MICHELLE ANN SPECIAL NEEDS TRUST CTEDDIAIC	4447 TUMA RD YORKVILLE, IL 60560-	BATSONS SUB	JG SWIMMING POOLS INC.
3/22/2024	122024064	12 Swimming Pools	09-23-300-026	RESENDIZ PHILIP AND JENNIFER	15801 HARE RD MINOOKA, IL 60447-		DESROCHES BACKYARD POOLS

Permit Approval Date Report

Kendall County

Issue Date	Permit ID	Permit Category	Parcel Number	Owner Name	Property Address	Subdivision	Contractor Name
3/19/2024	122024062	12 Swimming Pools	02-35-410-005	FORTIER FAMILY REV TRUST	7692 COLE CT YORKVILLE, IL 60560-	FIELDS OF FARM COLONY PARADISE POOLS, INC. UNIT 3	
3/7/2024	122023357	12 Swimming Pools	01-29-452-007	HANSON KIMBERLY	16267 GRISWOLD SPRINGS RD PLANO, IL 60545-		
3/6/2024	122024056	12 Swimming Pools	01-35-100-009	KEOUGH JOHN & MARGARET	13524 B HALE RD PLANO, IL 60545-		SIGNATURE POOLS & SPAS INC.
6/25/2024	132024197	13 Decks	01-14-326-006	THOMPSON FAMILY TRUST	2588 E ROCK CREEK RD PLANO, IL 60545-9547	SOLITUDE LAKES SETTLEMENT	BULLDOG CARPENTRY LLC
6/4/2024	132024175	13 Decks	09-21-300-005	TREDENNICK RON D & WENDY	3670 BELL RD MINOOKA, IL 60447-		UPPERDECK DESIGN & CONSTRUCTION
5/22/2024	132024162	13 Decks	04-12-300-005	SANDULA KRISTEN	12903 BUDD RD YORKVILLE, IL 60560-		UPPERDECK DESIGNS & CONSTRUCTION
5/14/2024	132024143	13 Decks	05-18-322-006	FOX RICHARD A & TIFFANY R	2066 BERNADETTE LN YORKVILLE, IL 60560-	HAWTHORN VILLAGE	
5/13/2024	132024136	13 Decks	01-36-200-011	BALDER DOUGLAS J & KIMBERLI	12150 RIVER RD PLANO, IL 60545-	RIVER GLEN SUB	WEST SUBURBAN DECKS, LLC
5/1/2024	132024128	13 Decks	03-04-376-009	GARZA TROY	4 BIRCHWOOD CT MONTGOMERY, IL 60538-	BOULDER HILL UNIT 7	
4/8/2024	132024084	13 Decks	02-15-101-003	VELAZQUEZ ROBERT	1996 CANNONBALL TRL BRISTOL, IL 60512-		
6/5/2024	132024179	13 Decks	01-35-477-008	EDELMAN DAVID R & JILL A	5900 D RED GATE LN YORKVILLE, IL 60560-	THE BLUFF AT SILVER SPRINGS	M.T.MCCAW INC.

Permit Approval Date Report
Kendall County

Issue Date	Permit ID	Permit Category	Parcel Number	Owner Name	Property Address	Subdivision	Contractor Name
3/22/2024	132024065	13 Decks	02-13-428-002	BOON CHRISTOPHER	6149 ROUTE 34 OSWEGO, IL 60543-		WARNER'S DECKING
3/8/2024	132023356	13 Decks	01-29-452-007	HANSON KIMBERLY	16267 GRISWOLD SPRINGS RD PLANO, IL 60545-		
6/24/2024	142024198	14 Demolitions	02-36-300-008	DARK HORSE TRADING COMPANY INC	6724 RESERVATION RD YORKVILLE, IL 60560-	MORGANS SUB	
6/24/2024	142024196	14 Demolitions	01-26-400-009	PORTER BROTHERS TRUST	HALE ROAD PLANO, IL. 60545		
5/20/2024	142024156	14 Demolitions	04-16-276-001	SUN JELLY CHICAGO RV LLC	8510 MILLBROOK RD NEWARK, IL 60541-		LARSON HOMES INC.
6/24/2024	142024154	14 Demolitions	03-14-400-007	DOUGLAS GILES N & JOANNE L	2880 ROTH RD OSWEGO, IL 60543-		DJK CUSTOM HOMES
4/25/2024	142024055	14 Demolitions	08-02-452-007	CLASSIC INVESTMENTS LLC	12 PLETCHER DR YORKVILLE, IL 60560-	PLETCHERS	OTTERBACH DEMOLITION
2/26/2024	142024043	14 Demolitions	04-31-300-011	GARY AND SHERRY UNDERHILL	FOX RIVER DRIVE NEWARK, IL. 60541		
5/13/2024	152024138	15 Electrical Upgrades	01-34-300-008	BILEK JEFFREY S	14824 MILLHURST RD PLANO, IL 60545-		
4/17/2024	152024103	15 Electrical Upgrades	02-32-100-019	YOUTH CAMP ASSOC DIST 12 & 13 PNA	10701 RIVER RD PLANO, IL 60545-		QUALITY INTEGRATED SOLUTIONS
3/27/2024	152024078	15 Electrical Upgrades	03-08-228-016	BASTIDA LAUREN E	15 CAYMAN DR MONTGOMERY, IL 60538-	BOULDER HILL UNIT 20	RENE AGUILERA

Permit Approval Date Report
Kendall County

Issue Date	Permit ID	Permit Category	Parcel Number	Owner Name	Property Address	Subdivision	Contractor Name
1/10/2024	152024028	15 Electrical Upgrades	03-04-478-006	MOLINA TRACIA A & FLORES JASHIA	53 SPRINGDALE RD MONTGOMERY, IL 60538-	BOULDER HILL UNIT 23	JACOB B LAZANO
6/25/2024	152024203	15 Electrical Upgrades	04-15-300-001	SUN JELLY CHICAGO RV LLC	8574 MILLBROOK RD NEWARK, IL 60541-		CJ POWER, INC.
6/13/2024	152024188	15 Electrical Upgrades	02-29-300-002	YORKVILLE COMM SCHOOL DIST 115	655 GAME FARM RD YORKVILLE, IL 60560-		KEITH POWELL
3/18/2024	172024051	17 Change in Occupancy	02-15-176-001	BRISTOL PARK PROPERTIES LLC	43 OAK ST BRISTOL, IL 60512-		Tenant: All City Plumbing
3/18/2024	172024050	17 Change in Occupancy	02-15-176-001	BRISTOL PARK PROPERTIES LLC	43 OAK ST BRISTOL, IL 60512-		Tenant: Lawn Squad of Aurora
3/6/2024	182024052	18 Driveway	09-18-300-019	QUEZADA IRMA LOYA	14918 BRISBIN RD MINOOKA, IL 60447-		
6/11/2024	182024183	18 Driveway	03-04-478-017	SMITH TRAVIS & KARI	42 EASTFIELD RD MONTGOMERY, IL 60538-	BOULDER HILL UNIT 24	
6/4/2024	182024177	18 Driveway	02-13-451-013	ALANIS LEONEL HUERTA & GARCIA J	6256 ROUTE 34 OSWEGO, IL 60543-	OWNERS SUB PT SE 1/4 SEC 13-37-7	
5/13/2024	182024125	18 Driveway	03-07-231-002	RAJU RAJIV LUKE & RAJU SHANTHA	37 W ANCHOR RD OSWEGO, MARINA TERRACE IL 60543-		
4/24/2024	182024115	18 Driveway	03-04-354-013	SANCHEZ OSCAR HERNANDEZ & PIERCE SYLVANUS H II & JOY R	93 CIRCLE DR EAST MONTGOMERY, IL 60538-	BOULDER HILL UNIT 7	
4/25/2024	182024113	18 Driveway	03-08-326-005	PIERCE SYLVANUS H II & JOY R	35 CENTURY DR OSWEGO, IL 60543-	WORMLEYS CENTURY ESTATES	CEMENTRIX CONCRETE

Permit Approval Date Report
Kendall County

Issue Date	Permit ID	Permit Category	Parcel Number	Owner Name	Property Address	Subdivision	Contractor Name
3/27/2024	182024079	18 Driveway	02-14-428-006	SPAARGAREN RODGERS BRENT RYVINE	29 CHARLES ST OSWEGO, IL 60543-60543-	BOULDER HILL UNIT 6	LUIS LUGO - BLK CONSTRUCTION
1/10/2024	192024024	19 Fire Restoration	03-04-378-022	PEREZ MISAEL	48 HUBBARD WAY MONTGOMERY, IL 60538-	BOULDER HILL UNIT 10	LEE LEGLER CONST & ELECTRIC
6/19/2024	202024200	20 Patio	03-07-229-016	RENZETTI JOSEPH T III	6 DOLPHIN CT OSWEGO, IL 60543-60543-	MARINA TERRACE	LEE LEGLER CONST & ELECTRIC
5/22/2024	202024164	20 Patio	03-04-478-032	PEREZ HERNANDEZ MARIA DEL REFUGIO	75 SPRINGDALE RD MONTGOMERY, IL 60538-	BOULDER HILL UNIT 23	LEE LEGLER CONST & ELECTRIC
5/14/2024	202024140	20 Patio	03-08-277-004	ESQUIVEL FRANCISCO B JR & ALVAREZ MARIA FERNANDA	8 SOMERSET RD MONTGOMERY, IL 60538-	BOULDER HILL UNIT 25	LEE LEGLER CONST & ELECTRIC
5/11/2024	202024130	20 Patio	03-05-277-034	CUEVAS ALVARO & ESTHER	21 WOODCLIFF DR MONTGOMERY, IL 60538-	BOULDER HILL UNIT 13	LEE LEGLER CONST & ELECTRIC
4/29/2024	202024124	20 Patio	03-07-231-002	RAJU RAJIV LUKE & RAJU SHANTA & RAJU MADY	37 W ANCHOR RD OSWEGO, MARINA TERRACE IL 60543-		LEE LEGLER CONST & ELECTRIC
6/12/2024	232024184	23 Generator	05-02-201-006	BADUS MARIA & FRANK E	7405 AUDREY AVE YORKVILLE, IL 60560-	ROSEHILL	LEE LEGLER CONST & ELECTRIC
6/4/2024	232024181	23 Generator	06-02-110-006	MILLER EILEEN N	1934 WINCHESTER CT OSWEGO, IL 60543-	SOUTHFIELD ESTATES	SATURN ELECTRICAL SERVICES
5/22/2024	232024166	23 Generator	04-21-126-002	GUNTY CRAIG J JR & DARCY A	9000 N STONEWALL DR NEWARK, IL 60541-	ESTATES OF MILLBROOK UNIT 2	TOWN & COUNTRY SERVICES
5/14/2024	232024147	23 Generator	05-18-201-009	KLAUDA TIMOTHY & MARCIE	75 LONG GROVE RD YORKVILLE, IL 60560-	MAPLE GROVE	LEE LEGLER CONST & ELECTRIC

Permit Approval Date Report
Kendall County

Issue Date	Permit ID	Permit Category	Parcel Number	Owner Name	Property Address	Subdivision	Contractor Name
3/19/2024	232024063	23 Generator	02-33-201-001	SMITH DONALD S II & CLARK EMILY R	505 E SPRING ST YORKVILLE, IL 60560-	DECKERS SUB	LEE LEGLER CONSTRUCTION & ELECTRICAL
1/10/2024	232024025	23 Generator	01-20-352-008	CRAWFORD WILLIAM J & VICKI L	168 WOODLAND DR PLANO, IL 60545-	SUGAR BROOK ESTATES UNIT 3	BAKER ELECTRIC & GENERATORS
4/17/2024	242024100	24 Solar	01-16-427-004	BURROUGHS ERIC B & BROOKE N	41 N LINDEN DR PLANO, IL 60545-	MEYERBROOK UNIT 1	BRIGHT PLANET SOLAR
4/12/2024	242024097	24 Solar	03-04-476-027	LOPEZ JUAN M & YESINIA	66 PADDOCK ST MONTGOMERY, IL 60538-	BOULDER HILL UNIT 22	BRIGHT PLANET SOLAR
4/9/2024	242024087	24 Solar	06-14-200-002	VIDMAR JOHN E & WILHELMINE	1226 ROUTE 126 PLAINFIELD, IL 60586-		BRIGHT PLANET SOLAR
3/29/2024	242024085	24 Solar	03-08-227-032	BRAVO LORENZO H	15 OLD POST RD MONTGOMERY, IL 60538-	BOULDER HILL UNIT 17	BRIGHT PLANET SOLAR
3/25/2024	242024074	24 Solar	04-13-201-003	BROWN DARREL J & LISA	8262 W HIGHPOINT RD YORKVILLE, IL 60560-	HIGHPOINT VIEW	
3/19/2024	242024061	24 Solar	06-13-126-003	CURLESS WILLIAM B & VICTORIA M	16 VIKING BLVD PLAINFIELD, IL 60586-	EVERGREEN GROVE UNIT 1	SUNRUN INSTALLATION CONTRACTORS LLC
3/4/2024	242024049	24 Solar	05-08-301-001	WOODWARD JOHN	7595 E HIGHPOINT RD YORKVILLE, IL 60560-		PERMIT COORDINATOR - ZENA GRAY
1/30/2024	242024034	24 Solar	05-17-121-005	PISANO MARCOS	85 ETHEL CT YORKVILLE, IL 60560-	RONHILL ESTATES	VANTAGE HOME SOLAR LLC
6/28/2024	242024211	24 Solar	03-07-276-005	HUNT JEFFREY H & DAWN M	9 SHELL CT OSWEGO, IL 60543-	MARINA TERRACE	SOURCE SOLAR

Permit Approval Date Report
Kendall County

Issue Date	Permit ID	Permit Category	Parcel Number	Owner Name	Property Address	Subdivision	Contractor Name
6/26/2024	242024207	24 Solar	03-07-230-016	DELGADO ANTONIO & CARMEN	4 SHELL CT OSWEGO, IL 60543-	MARINA TERRACE	BRIGHT PLANET SOLAR
6/18/2024	242024195	24 Solar	03-27-427-015	BOLTE GLENDA H	34 RED HAWK DR OSWEGO, IL 60543-	RED HAWK LANDING	
5/21/2024	242024172	24 Solar	03-08-226-005	ALFARO DANIELLE J & JOSE	32 GULLFORD RD MONTGOMERY, IL 60538-	BOULDER HILL UNIT 14	BRIGHT PLANET SOLAR
5/28/2024	242024171	24 Solar	02-23-101-001	MAGANA ANATOLIO & MARTHA	92 PARKWAY DR YORKVILLE, IL 60560-	RIVER RIDGE UNIT 2	BRIGHT PLANET SOLAR
5/16/2024	242024153	24 Solar	01-26-300-005	SANDOVAL JONHATAN J SAAVEDRA & RUIZ	13871 HALE RD PLANO, IL 60545-		BRIGHT PLANET SOLAR
5/16/2024	242024152	24 Solar	03-05-255-020	TORRES JESUS M & CARLOTA	15 N BEREMAN RD MONTGOMERY, IL 60538-	BOULDER HILL UNIT 2	BRIGHT PLANET SOLAR
5/16/2024	242024151	24 Solar	03-07-430-001	MILLEN RYAN D	165 DOLORES ST OSWEGO, IL 60543-	SHORE HEIGHTS UNIT 2	GREEN GRIDS
1/10/2024	242024026	24 Solar	02-23-228-004	GROB MATTHEW M & FU LAURA	45 E LYNCLIFF DR OSWEGO, IL 60543-	LYNWOOD EXTENSION 1	BRIGHT PLANET SOLAR
1/2/2024	242024020	24 Solar	07-29-300-003	FARIAS MICHAEL DAVID & JENNIFER IVANKA	16627 STEPHENS RD NEWARK, IL 60541-		LGCV INSTALLATION SERVICES, LLC
2/7/2024	242024001	24 Solar	03-08-277-024	LAMBERTY MATTHEW	17 FIELDPOINT RD MONTGOMERY, IL 60538-	BOULDER HILL UNIT 17	FREEDOM FOREVER IL, LLC
5/14/2024	242024150	24 Solar	03-07-429-022	DOLPH RADAVICH ALYSSA & GALARZA MADRCEL N	118 DOLORES ST OSWEGO, IL 60543-	SHORE HEIGHTS UNIT 1	SUNRUN INSTALLATION SERVICES

Permit Approval Date Report
Kendall County

Issue Date	Permit ID	Permit Category	Parcel Number	Owner Name	Property Address	Subdivision	Contractor Name
6/26/2024	242024206	24 Solar	03-04-378-015	DONALDSON ADRIENNE SUZANNE	75 PUEBLO RD MONTGOMERY, IL 60538-	BOULDER HILL UNIT 18	BRIGHT PLANET SOLAR
5/14/2024	242024148	24 Solar	02-16-476-001	STOLPESTAD NORMAN H & JILL E	2776 CANNONBALL TRL BRISTOL, IL 60512-		LGCY INSTALLATION SERVICES, LLC.
5/14/2024	242024146	24 Solar	03-05-278-017	CINNAMON PAUL C SR & MARGARET F	19 KNOLLWOOD DR MONTGOMERY, IL 60538-	BOULDER HILL UNIT 3	BRIGHT PLANET SOLAR
5/14/2024	242024145	24 Solar	03-05-453-020	RYAN PATRICK J & PAULINE D	9 SCARSDALE RD MONTGOMERY, IL 60538-	BOULDER HILL UNIT 7	SUNRISE SOLAR
2/26/2024	242024044	24 Solar	01-14-126-002	BLACKWELL TONYA & GAGE	2050 ROCK CREEK RD PLANO, IL 60545-	ROCK CREEK ESTATES UNIT 1	SUNRUN INSALLATION SERVICES INC.
5/14/2024	242024144	24 Solar	06-13-101-011	RUFFATTO MIKE & ERYN	782 ROUTE 126 PLAINFIELD, IL 60544-		AG TECHNOLOGIES INC.
5/1/2024	242024127	24 Solar	03-04-253-007	AVITIA JUAN & AVITIA LUIS ENRIQUE	149 FERNWOOD RD MONTGOMERY, IL 60538-	BOULDER HILL UNIT 29	SUNRUN INSTALLATION SERVICES
4/30/2024	242024126	24 Solar	07-05-400-003	HARAZIN NANCY	16300 NEWARK RD. NEWARK, IL. 60541		PEPPER ENERGY % DEREK HUMMEL
3/27/2024	242024075	24 Solar	03-04-251-003	GUERRERO ALVARO	120 FERNWOOD RD MONTGOMERY, IL 60538-	BOULDER HILL UNIT 33	BRIGHT PLANET SOLAR
4/25/2024	242024119	24 Solar	05-02-201-003	PAVILIONIS RITAS JON	6069 AUDREY AVE YORKVILLE, IL 60560-	ROSEHILL	SUNRUN INSTALLATION SERVICES
4/25/2024	242024118	24 Solar	03-04-179-017	RETTNER EDWARD G & JOAN	29 PEMBROOKE RD MONTGOMERY, IL 60538-	BOULDER HILL UNIT 29	PAOLA PEREZBRIGHT PLANET SOLAR

Permit Approval Date Report
Kendall County

Issue Date	Permit ID	Permit Category	Parcel Number	Owner Name	Property Address	Subdivision	Contractor Name
4/25/2024	242024112	24 Solar	03-02-227-009	U STOR IT #2 (OSWEGO) LLC	184 ROUTE 30 AURORA, IL 60503-		OPAL ENERGY GROUP LLC
4/22/2024	242024110	24 Solar	06-14-200-016	EICHELBERGER EDWARD & NANCY S	8405 OLD RIDGE RD PLAINFIELD, IL 60586-		LEGACY SOLAR LLC
4/19/2024	242024105	24 Solar	09-07-200-027	PARKS THEODORE	13315 A GROVE RD MINOOKA, IL 60447-	HIGHGROVE	LEGACY SOLAR LLC

PLANNING BUILDING & ZONING RECEIPTS 2024

DATE	BUILDING FEES	ZONING FEES	LAND-CASH	OFFSITE ROADWAY	MONTHLY FY 2024	TOTAL FY 2024	MONTHLY FY 23	TOTAL FY 23
December	\$5,266.96	\$1,329.00	\$3,163.48	\$1,000.00	\$10,759.44	\$10,759.44	\$16,054.06	\$16,054.06
January	\$4,575.44	\$1,553.00	\$0.00	\$0.00	\$6,128.44	\$16,887.88	\$8,592.98	\$24,647.04
February	\$8,660.00	\$212.50	\$3,577.05	\$0.00	\$12,449.55	\$29,337.43	\$3,080.00	\$27,727.04
March	\$9,538.48	\$848.00	\$4,155.98	\$1,000.00	\$15,542.46	\$44,879.89	\$12,669.20	\$40,396.24
April	\$16,582.32	\$124.00	\$17,703.84	\$2,000.00	\$36,410.16	\$81,290.05	\$33,177.45	\$73,573.69
May	\$8,919.68	\$4,147.50	\$0.00	\$0.00	\$13,067.18	\$94,357.23	\$25,324.74	\$98,898.43
June	\$16,792.60	\$50.00	\$8,728.60	\$2,000.00	\$27,571.20	\$121,928.43	\$10,040.93	\$108,939.36
July							\$33,287.13	\$142,226.49
August							\$24,052.37	\$166,278.86
September							\$19,970.02	\$186,248.88
October							\$14,908.42	\$201,157.30
November							\$9,846.20	\$211,003.50
YR END TOTAL								

June 4, 2024

To: Kendall County Commissioners
From: A.I. Johnson, [REDACTED]
Subject: 1847 stone 2-1/2 story farmhouse built by the Sherrill family

Background: The ordinance regarding designating edifices as “historical” permits a super-majority of the commissioners to so designate a property over the objections of the owner. The County Preservation Committee may then require, at owners' expense, those alterations they believe would restore the original appearance.

Comment: This devalues properties at risk of designation, reducing incentive to maintain and insure them.

Example: The Sherrill farmhouse: currently assessed at \$260,000, Real Estate tax: \$5,500/year. Insurance \$4,000/year. If designated “historical”, maybe \$100,000 to remove one chimney and replace the original four; install a tile roof, remove small porches and replace with one large porch on three sides of the house – shutters, a lean-to extension: where might this end? Insurance is expensive as USAA estimates rebuilding “as originally” will cost \$2 million.

Result: I estimate the home could lose half its value if designated “historical”. I have dropped insurance. A re-assessment is appropriate.

Conclusion: The ordinance should be replaced with voluntary designations and advice/aid, not mandates, from the preservation committees. This will encourage owners to maintain and insure old edifices, not destroy them.

Truly yours,
Alphonse I. Johnson,

[REDACTED]