



DEPARTMENT OF PLANNING, BUILDING & ZONING

111 West Fox Street • Room 203

Yorkville, IL • 60560

(630) 553-4141

Fax (630) 553-4179

Petition 24-24

**James W. Filotto on Behalf of Oakland Avenue Storage, LLC
Site Plan Approval**

INTRODUCTION

On July 16, 2024, the Kendall County Board approved Ordinance 2024-26, rezoning the subject property to B-3 Highway Business District. On July 8, 2024, the Kendall County Planning, Building and Zoning Committee approved a conditional use permit for a contractor's office or shop (roofing contractor) where all storage of equipment and materials are inside a building.

The Petitioner is requesting site plan approval as required by Section 13:10 of the Kendall County Zoning Ordinance.

The application materials are included as Attachment 1. The improvement plans are included as Attachment 2. The landscaping plan is included Attachment 3. The site plan is included as Attachment 4. The building elevations are included as Attachment 5.

SITE INFORMATION

PETITIONERS: James W. Filotto on Behalf of Oakland Avenue Storage, LLC

ADDRESS: Between 276 and 514 Route 52

LOCATION: South Side of Route 52 Approximately 0.4 Miles West of County Line Road



TOWNSHIP: Seward

PARCEL #s: 09-13-400-011

LOT SIZE: 11.0 +/- Acres

EXISTING LAND USE: Agricultural

ZONING: B-3 Highway Business District Agricultural District

LRMP:	Future Land Use	Commercial (County) Mixed Use (Shorewood)
	Roads	Route 52 is a State maintained Arterial Road.
	Trails	There is a trail planned along Route 52
	Floodplain/Wetlands	There are no floodplains or wetlands on the property.

REQUESTED ACTION: Site Plan Approval

APPLICABLE REGULATIONS: Section 13:10 – Map Amendment Procedures

SURROUNDING LAND USE

Location	Adjacent Land Use	Adjacent Zoning	Land Resource Management Plan	Zoning within 1/2 Mile
North	Agricultural and Single-Family Residential	A-1	Public/Institutional (County) Mixed Use and School (Shorewood)	A-1
South	Agricultural	A-1	Suburban Residential (Max 1.0 DU/Acre) (County) Single-Unit Residential Detached (Shorewood)	A-1
East	Landscaping Business	A-1 SU	Commercial (County) Mixed Use (Shorewood)	A-1, A-1 SU, B-2, B-3 SU, B-4, and Will County Zoning
West	Agricultural and Single Family Residential	A-1	Commercial (County) Mixed Use (Shorewood)	A-1, A-1 SU, and B-2

The A-1 special use permits to east are for a landscaping business and fertilizer plant.

The A-1 special use permit to the west is for a landing strip.

The B-3 special use permit to the east is for indoor and outdoor storage.

The property to the north of the subject property is planned to be a school.

PHYSICAL DATA

ENDANGERED SPECIES REPORT

EcoCAT Report submitted and consultation was terminated (see Attachment 1, Pages 8-9).

ACTION SUMMARY

SEWARD TOWNSHIP

Petition information was sent to Seward Township on August 21, 2024.

VILLAGE OF SHOREWOOD

Petition information was sent to the Village of Shorewood on August 21, 2024.

MINOOKA FIRE PROTECTION DISTRICT

Petition information was sent to the Minooka Fire Protection District on August 21, 2024.

DESIGN STANDARDS

Pursuant to Section 13:10.D of the Kendall County Zoning Ordinance, the following shall be taken into account when reviewing Site Plans (Staff comments in bold):

*Responsive to Site Conditions-Site plans should be based on an analysis of the site. Such site analysis shall examine characteristics such as site context; geology and soils; topography; climate and ecology; existing vegetation, structures and road network; visual features; and current use of the site. In addition to the standards listed below, petitioners must also follow the regulations outlined in this Zoning Ordinance. To the fullest extent possible, improvements shall be located to preserve the natural features of the site, to avoid areas of environmental sensitivity, and to minimize negative effects and alteration of natural features. Fragile areas such as wetlands and flood plains should be preserved as open space. Slopes in excess of 20 percent as measured over a 10-foot interval also should remain as open space, unless appropriate engineering measures concerning slope stability, erosion and safety are taken. **The property was rezoned to B-3 Highway Business earlier in 2024. The property drains towards the south. There are no floodplains or wetlands on the property and there are no excessive slopes.***

*Traffic and Parking Layout-Site plans should minimize dangerous traffic movements and congestion, while achieving efficient traffic flow. An appropriate number of parking spaces shall be provided while maintaining County design standards. The number of curb cuts should be minimized and normally be located as far as possible from intersections. Connections shall be provided between parking areas to allow vehicles to travel among adjacent commercial or office uses. Cross-access easements or other recordable mechanisms must be employed. **The site improvement plan (Attachment 2, Page 3) shows one (1) access from Route 52, a twenty-four foot (24') wide asphalt drive. Based on the proposed use and the requirements of Section 11:04 of the Zoning Ordinance, one (1) parking space would be required per employee. The Petitioner indicated that six (6) full-time employees would report to the site for work. The site improvement plan (Attachment 2, Page 3) shows nine (9) parking spaces, including one (1) ADA compliant parking space. There will be a maximum of four (4) employees at the property.***

*Conflicts between pedestrians and vehicular movements should be minimized. When truck traffic will be present upon the site, the road size and configuration shall be adequate to provide for off-street parking and loading facilities for large vehicles. Barrier curb should be employed for all perimeters of and islands in paved parking lots, as well as for all service drives, loading dock areas, and the equivalent. Parking lots in industrial or commercial areas shall be paved with hot-mix asphalt or concrete surfacing. **No conflicts are foreseen.***

*Site Layout-Improvements shall be laid out to avoid adversely affecting ground water and aquifer recharge; minimize cut and fill; avoid unnecessary impervious cover; prevent flooding and pollution; provide adequate access to lots and sites; and mitigate adverse effects of shadow, noise, odor, traffic, drainage and utilities on neighboring properties. **The proposal should not impact, shadow, noise, odor, traffic, or utilities on***

neighboring properties. The landscaping plan (Attachment 3) preserves the existing tree line along the western property line. The landscaping plan also shows vegetation added to the north side of the building and between the refuse area and the parking lot. The building elevations (Attachment 5) do not show any lights on the western side of the building and two (2) LED light fixtures on the north side of the building. The main entrance and parking are on the east side of the building and the building will block lights from vehicles parked in the parking lot from the residential structure to the west. The business sign along Route 52 will be illuminated and will be required to follow Kendall County's signage regulations. Drainage concerns can be addressed in the stormwater management permit; WBK Engineering submitted a comment letter dated August 21, 2024 (Attachment 6), but the comments raised in the letter do not directly impact site layout. The proposed septic field is located north of the building and the proposed well is located between the building and parking lot, per the site improvement plan (Attachment 2, Page 4).

Consistent with the Land Resource Management Plan-The proposed use and the design of the site should be consistent with the Land Resource Management Plan. This is true.

Building Materials-The proposed site plan design shall provide a desirable environment for its occupants and visitors as well as its neighbors through aesthetic use of materials, textures and colors that will remain appealing and will retain a reasonably adequate level of maintenance. Buildings shall be in scale with the ultimate development planned for the area. Monotony of design shall be avoided. Variations in detail, form, and setting shall be used to provide visual interest. Variation shall be balanced by coherence of design elements. The building elevations (Attachment 5) propose a building with brick veneer, galvalume steel siding, metal doors, and aluminum fascia, gutters, and downspouts on a concrete foundation. The building's highest point will be twenty-eight feet, two inches (28', 2"). The building, including storage areas and offices, is proposed to be just under sixteen thousand (16,000) square feet in size.

Relationship to Surrounding Development-A site shall be developed in harmony with neighboring street pattern, setbacks and other design elements. This is not an issue.

Open Space and Pedestrian Circulation-Improvements shall be designed to facilitate convenient and safe pedestrian and bicycle movement within and to the property. This is not an issue. There is land available on the north end of the property for a trail, if a trail is installed in the future.

Buffering-Measures shall be taken to protect adjacent properties from any undue disturbance caused by excessive noise, smoke, vapors, fumes, dusts, odors, glare or stormwater runoff. Incompatible, unsightly activities are to be screened and buffered from public view. The landscaping plan (Attachment 3) calls for the maintenance of the existing tree line along the western property line. The landscaping plan calls for the planting of four (4) deciduous shade trees, five (5) deciduous ornamental trees, three (3) evergreen trees, twenty-eight (28) deciduous shrubs, and fourteen (14) evergreen shrubs at various locations around the property. In addition, a seed mix is purposed around the building and detention pond. Mulch and compost are also planned around the site. Per the site improvement plan (Attachment 2, Page 3), a vinyl chain-link fence with an electronic gate is planned around an area south of the building. This fence will be eight feet (8') feet in height. The building elevations (Attachment 5) call for several LED light fixtures, mainly over the windows and doors. Lighting must follow the regulations in the Kendall County Zoning Ordinance. The conditional use permit prevents outdoor storage of materials or outdoor fabrication. Stormwater issues can be addressed in the stormwater management permit.

Emergency Vehicle Access-Every structure shall have sufficient access for emergency vehicles. Staff would like comments from the Minooka Fire Protection District and Sheriff's Department on this matter.

Mechanical Equipment Screening-All heating, ventilation and air conditioning equipment shall be screened on sides where they abut residential districts. The site improvement plans (Attachment 2, Page 3) shows the mechanical equipment, a small condenser, south of the proposed office space. The building and the evergreen trees should screen the mechanical equipment from any of the neighboring properties that might be zoned residential in the future.

Lighting-The height and shielding of lighting fixtures shall provide proper lighting without hazard to motorists on adjacent roadways or nuisance to adjacent residents by extending onto adjacent property. Cut-off lighting should be used in most locations, with fixtures designed so that the bulb/light source is not visible from general side view. The Petitioner proposed an illuminated sign as depicted on the site improvement plan (Attachment 2, Page 3). The size and location of the sign will comply with the Kendall County Zoning Ordinance. Neither the parking lot nor the driving aisle will be illuminated. The elevations (Attachment 5) show eleven (11) LED light fixtures over various doors and windows. No doors, windows or light fixtures are proposed on the west side of the building.

Refuse Disposal and Recycling Storage Areas-All refuse disposal and recycling storage areas should be located in areas designed to provide adequate accessibility for service vehicles. Locations should be in areas where minimal exposure to public streets or residential districts will exist. Screening shall be required in areas which are adjacent to residential districts or are within public view. Such enclosures should not be located in landscape buffers. Refuse containers and compactor systems shall be placed on smooth surfaces of non-absorbent material such as concrete or machine-laid asphalt. A concrete pad shall be used for storing grease containers. Refuse disposal and recycling storage areas serving food establishments shall be located as far as possible from the building's doors and windows. The use of chain link fences with slats is prohibited. One (1) refuse location is shown near the northeast corner of the fenced parking area (Attachment 2, Page 3). As required by the Kendall County Zoning Ordinance, plantings, in this case specifically three (3) evergreen trees will be planted to the east of the refuse area to provide screening, per the landscaping plan (Attachment 3). The building and position inside the fence parking area, combined with the evergreen trees, should shield the refuse area from adjoining properties

RECOMMENDATION

Pending review by ZPAC, Staff recommends approval of the site plan subject to the following conditions:

1. The site shall be developed substantially in accordance with the attached improvement plans (Attachment 2), landscaping plan (Attachment 3), and building elevations (Attachment 5).
2. If additional lighting is proposed in the future, an amendment to the site plan will be required.
3. If additional freestanding signage, other than directional or emergency related signage, is proposed in the future, an amendment to the site plan will be required. This requirement shall not apply if signage is added to the building.
4. Damaged or dead plantings shown on the landscaping plan shall be replaced on a timeframe approved by the Kendall County Planning, Building and Zoning Department.
5. The site shall be developed in accordance with all applicable federal, state, and local laws related to site development.

ATTACHMENTS

1. Application Materials
2. Improvement Plans
3. Landscaping Plan
4. Site Plan
5. Elevations
6. August 21, 2024, WBK Comment Letter



DEPARTMENT OF PLANNING, BUILDING & ZONING

111 West Fox Street • Yorkville, IL • 60560

(630) 553-4141

Fax (630) 553-4179

APPLICATION

PROJECT NAME _____ FILE #: _____

NAME OF APPLICANT (Including First, Middle Initial, and Last Name)

Jim Filotto

CURRENT LANDOWNER/NAME(s)

Oakland Avenue Storage LLC

SITE INFORMATION

ACRES

SITE ADDRESS OR LOCATION

ASSESSOR'S ID NUMBER (PIN)

10.31

US Highway 52 (east of 514 Route 52)

09-13-400-011

EXISTING LAND USE

CURRENT ZONING

LAND CLASSIFICATION ON LRMP

Agricultural

A-1

REQUESTED ACTION (Check All That Apply):

 SPECIAL USE MAP AMENDMENT (Rezone to _____) VARIANCE ADMINISTRATIVE VARIANCE A-1 CONDITIONAL USE for: _____ SITE PLAN REVIEW TEXT AMENDMENT RPD (Concept; Preliminary; Final) ADMINISTRATIVE APPEAL PRELIMINARY PLAT FINAL PLAT OTHER PLAT (Vacation, Dedication, etc.) AMENDMENT TO A SPECIAL USE (Major; Minor)¹PRIMARY CONTACT

PRIMARY CONTACT MAILING ADDRESS

PRIMARY CONTACT EMAIL

Jim Filotto

PRIMARY CONTACT PHONE #

PRIMARY CONTACT FAX #

PRIMARY CONTACT OTHER #(Cell, etc.)

²ENGINEER CONTACT

ENGINEER MAILING ADDRESS

ENGINEER EMAIL

Tom Carroll - Geotech Inc.

ENGINEER PHONE #

ENGINEER FAX #

ENGINEER OTHER #(Cell, etc.)

I UNDERSTAND THAT BY SIGNING THIS FORM, THAT THE PROPERTY IN QUESTION MAY BE VISITED BY COUNTY STAFF & BOARD/ COMMISSION MEMBERS THROUGHOUT THE PETITION PROCESS AND THAT THE PRIMARY CONTACT LISTED ABOVE WILL BE SUBJECT TO ALL CORRESPONDANCE ISSUED BY THE COUNTY.

I CERTIFY THAT THE INFORMATION AND EXHIBITS SUBMITTED ARE TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND THAT I AM TO FILE THIS APPLICATION AND ACT ON BEHALF OF THE ABOVE SIGNATURES. THE APPLICANT ATTESTS THAT THEY ARE FREE OF DEBT OR CURRENT ON ALL DEBTS OWED TO KENDALL COUNTY AS OF THE APPLICATION DATE.

SIGNATURE OF APPLICANT

DATE 7/23/24

FEE PAID:\$ _____

CHECK #: _____

¹Primary Contact will receive all correspondence from County²Engineering Contact will receive all correspondence from the County's Engineering Consultants

20240000717

DEBBIE GILLETTE

RECORDER - KENDALL COUNTY, IL

RECORDED: 01/22/2024 12:28 PM

RECORDING FEE 57.00

RHSP 19.00

STATE TAX 300.00

COUNTY TAX 150.00

PAGES: 3

WARRANTY DEED

THIS INDENTURE WITNESSETH,
That the Grantor,

ERB PROPERTIES, LLC, an
Illinois Limited Liability Company,

of the [redacted] in the
[redacted] and [redacted]

for and in consideration of the sum of
One Dollar and other good and valuable
considerations, the receipt of which is
hereby acknowledged, CONVEY and
WARRANT to:

OAKLAND AVE. STORAGE, LLC, an Illinois Limited Liability Company

whose address is [redacted]

the following described real estate to-wit:

THE NORTH 806.65 FEET OF THE WEST 1296.00 FEET OF THE SOUTHEAST ^{1/4} QUARTER OF SECTION 13, TOWNSHIP 35 NORTH, RANGE 8, EAST OF THE THIRD PRINCIPAL MERIDIAN, EXCEPT THE SOUTH 80.67 FEET THEREOF AND EXCEPT THE EAST HALF OF THE NORTH 806.65 FEET OF THE WEST 1296.00 FEET, OF SAID SOUTHEAST QUARTER, IN KENDALL COUNTY, ILLINOIS.

SUBJECT TO covenants, conditions and restrictions of record, public and utility easements, general taxes for the tax year 2023.

PIN #: 09-13-400-011

COMMON ADDRESS: 11.34 acres, Route 52, ^{1/2} County Line Rd, Minooka, IL 60447

situated in Kendall County, Illinois, hereby releasing and waiving all rights under and by virtue of the Homestead Exemption Laws of the State of Illinois.

Dated this 16 day of January, 2024.

ERB PROPERTIES, LLC

BY: [redacted]

EDWARD J. BALTZ

ITS: MANAGER and as Trustee of the EDWARD J. BALTZ DESCENDANT TRUST

BY: [redacted]

ROBERT D. BALTZ

MANAGER and as Trustee of the ROBERT D. BALTZ DESCENDANT TRUST

Fidelity
Title [redacted]

STATE OF ILLINOIS)
COUNTY OF GRUNDY)

I, the undersigned, a Notary Public, in and for said County and State aforesaid, DO HEREBY CERTIFY THAT **EDWARD J. BALTZ, MANAGER OF ERB PROPERTIES, LLC AND TRUSTEE OF THE EDWARD J. BALTZ DESCENDANT TRUST**, personally known to me to be the same person whose name is subscribed to the foregoing instrument, as having executed the same, appeared before me this day in person and acknowledged that he signed, sealed and delivered the said instrument as his free and voluntary act for the uses and purposes therein set forth, including the release and waiver of the right of homestead.

Given under my hand and Notarial Seal this 16 day of January, 2024.



[Redacted Signature])
NOTARY PUBLIC)

STATE OF ILLINOIS)
COUNTY OF GRUNDY)

I, the undersigned, a Notary Public, in and for said County and State aforesaid, DO HEREBY CERTIFY THAT **ROBERT D. BALTZ, MANAGER OF ERB PROPERTIES, LLC AND TRUSTEE OF THE ROBERT D. BALTZ DESCENDANT TRUST**, personally known to me to be the same person whose name is subscribed to the foregoing instrument, as having executed the same, appeared before me this day in person and acknowledged that he signed, sealed and delivered the said instrument as his free and voluntary act for the uses and purposes therein set forth, including the release and waiver of the right of homestead.

Given under my hand and Notarial Seal this 16 day of January, 2024.



[Redacted Signature])
NOTARY PUBLIC)

FUTURE TAXES OAKLAND AVE STORAGE, LLC

RETURN THIS DOCUMENT TO:
MICHAEL KORST

[Redacted Address]

[Redacted Contact Information]

^ GRANTEE'S ADDRESS

THIS INSTRUMENT WAS PREPARED BY:
JC LAWSON

[Redacted Signature]

RECORDER OF DEEDS
AFFIDAVIT - METES AND BOUNDS

STATE OF ILLINOIS)
) SS.
COUNTY OF GRUNDY)

[REDACTED], being duly sworn on oath, states that he is the property owner of the real estate where the attached deed is not in violation of Section 1 of Chapter 109 of the Illinois Revised Statutes for one of the following reasons:

1. The division of subdivision of land is into parcels or tracts of five acres or more in size which does not involve any new streets or easements of access.
2. The division is of lots or blocks of less than one acre in any recorded subdivision which does not involve any new streets or easements of access.
3. The sale or exchange of parcels of land is between owners of adjoining and contiguous land.
4. The conveyance is of parcels of land or interest therein for use as right of way for railroads or other public utility facilities, which does not involve any new streets or easements of access.
5. The conveyance is of land owned by a railroad or other public utility which does not involve any new streets or easements of access.
6. The conveyance is of land for highway or other public purposes or grants of conveyances relating to the dedication of land for public use or instruments relating to the vacation of land impressed with a public use.
7. The conveyance is made to correct descriptions in prior conveyances.
8. The sale or exchange is of parcels or tracts of land following the division into no more than two parts of a particular parcel or tract of land existing in July 17, 1959 and not involving any new streets or easements of access.
9. The sale is of a single lot of less than five acres from a large tract, the dimensions and configurations of said larger tract having been determined by the dimensions and configuration of said larger tract on October 1, 1973, and no sale prior to this sale, or any lot or lots from said larger tract having taken place since October 1, 1973 and a survey of said single lot having been made by a registered land surveyor.

(10) The conveyance is of land described in the same manner as title was taken by grantor(s).

THE APPLICABLE STATEMENT OR STATEMENTS ABOVE ARE CIRCLED.

AFFIANT further states that he makes this Affidavit for the purpose of inducing the Recorder of Deeds of Kendall County, Illinois, to accept the attached deed for recording.

SUBSCRIBED AND SWORN TO
before me this 10 day of November 2021.

[REDACTED]
NOTARY PUBLIC



Exhibit A

THE WEST HALF OF THE NORTH 806.65 FEET OF THE WEST 1296.0 FEET OF THE SOUTHEAST QUARTER OF SECTION 13, TOWNSHIP 35 NORTH, RANGE 8 EAST OF THE THIRD PRINCIPAL MERIDIAN, EXCEPT THE SOUTH 80.67 FEET THEREOF, IN KENDALL COUNTY, ILLINOIS

PIN; 09-13-400-011

KENDALL COUNTY
DISCLOSURE OF BENEFICIARIES FORM

1. Applicant OAKLAND AVE. STORAGE
Address [REDACTED]
City [REDACTED] State [REDACTED] Z [REDACTED]

2. Nature of Benefit Sought Site plan review

3. Nature of Applicant: (Please check one)
- Natural Person
 - Corporation
 - Land Trust/Trustee
 - Trust/Trustee
 - Partnership
 - Joint Venture

4. If applicant is an entity other than described in Section 3, briefly state the nature and characteristics of the applicant:
LLC

5. If your answer to Section 3 you have checked letter b, c, d, e, or f, identify by name and address each person or entity who is a 5% shareholder in case of a corporation, a beneficiary in the case of a trust or land trust, a joint venture in the case of a joint venture, or who otherwise has proprietary interest, interest in profits and losses or right to control such entity:

NAME	ADDRESS	INTEREST
<u>James Filotto</u>	[REDACTED]	<u>50%</u>
<u>Penny Filotto</u>	[REDACTED]	<u>50%</u>

6. Name, address, and capacity of person making this disclosure on behalf of the applicant:
James Filotto

I, [REDACTED], VERIFICATION, being first duly sworn under oath that I am the person making this disclosure on behalf of the applicant, that I am duly authorized to make the disclosure, that I have read the above and foregoing Disclosure of Beneficiaries, and that the statements contained therein are true in both substance and fact.

Subscribed and sworn to before me this 18 day of July 2024, A.D.

(seal) [REDACTED] Notary Public

OFFICIAL SEAL
MARIE T GUTIERREZ
NOTARY PUBLIC, STATE OF ILLINOIS
MY COMMISSION EXPIRES 05/12/2026



GEOTECH INC.
CONSULTING ENGINEERS & LAND SURVEYORS

1207 Cedarwood Dr, Crest Hill, IL 60403 • 815-730-1010 • geotechconsultantsinc.com

Memorandum

To: Kendall County Department of Planning, Building, and Zoning

From: Nicholas Whitmore

Re: Filotto Roofing
Kendall County, IL 60435

This project will consist of construction of a roughly 16,000 sf building containing both office and storage space for Filotto Roofing in addition to parking areas and detention to serve the improvements. Construction is anticipated to begin shortly after all County/IDOT permits are issued. The earliest start date for construction is estimated to start Fall 2024 and end in Spring 2025.

Thank you



Applicant: Geotech Inc.
Contact: Thomas Carroll, P.E.
Address: [REDACTED]

IDNR Project Number: 2500712
Date: 07/12/2024
Alternate Number: 21641

Project: Filotoo Roofing
Address: US Highway 52, Minooka

Description: A proposed shop with an office attachment for a roofing company

Natural Resource Review Results

Consultation for Endangered Species Protection and Natural Areas Preservation (Part 1075)

The Illinois Natural Heritage Database contains no record of State-listed threatened or endangered species, Illinois Natural Area Inventory sites, dedicated Illinois Nature Preserves, or registered Land and Water Reserves in the vicinity of the project location.

Consultation is terminated. This consultation is valid for two years unless new information becomes available that was not previously considered; the proposed action is modified; or additional species, essential habitat, or Natural Areas are identified in the vicinity. If the project has not been implemented within two years of the date of this letter, or any of the above listed conditions develop, a new consultation is necessary. Termination does not imply IDNR's authorization or endorsement.

Location

The applicant is responsible for the accuracy of the location submitted for the project.

County: Kendall

Township, Range, Section:
 35N, 8E, 13



IL Department of Natural Resources
Contact
 Adam Rawe
 217-785-5500
 Division of Ecosystems & Environment

Government Jurisdiction
 IL Environmental Protection Agency
 Melissa Parrt
 1021 North Grand Avenue East
 Springfield, Illinois 62794 -9276

Disclaimer

The Illinois Natural Heritage Database cannot provide a conclusive statement on the presence, absence, or condition of natural resources in Illinois. This review reflects the information existing in the Database at the time of this inquiry, and should not be regarded as a final statement on the site being considered, nor should it be a substitute for detailed site surveys or field surveys required for environmental assessments. If additional protected resources are encountered during the project's implementation, compliance with applicable statutes and regulations is required.

IDNR Project Number: 2500712

Terms of Use

By using this website, you acknowledge that you have read and agree to these terms. These terms may be revised by IDNR as necessary. If you continue to use the EcoCAT application after we post changes to these terms, it will mean that you accept such changes. If at any time you do not accept the Terms of Use, you may not continue to use the website.

1. The IDNR EcoCAT website was developed so that units of local government, state agencies and the public could request information or begin natural resource consultations on-line for the Illinois Endangered Species Protection Act, Illinois Natural Areas Preservation Act, and Illinois Interagency Wetland Policy Act. EcoCAT uses databases, Geographic Information System mapping, and a set of programmed decision rules to determine if proposed actions are in the vicinity of protected natural resources. By indicating your agreement to the Terms of Use for this application, you warrant that you will not use this web site for any other purpose.

2. Unauthorized attempts to upload, download, or change information on this website are strictly prohibited and may be punishable under the Computer Fraud and Abuse Act of 1986 and/or the National Information Infrastructure Protection Act.

3. IDNR reserves the right to enhance, modify, alter, or suspend the website at any time without notice, or to terminate or restrict access.

Security

EcoCAT operates on a state of Illinois computer system. We may use software to monitor traffic and to identify unauthorized attempts to upload, download, or change information, to cause harm or otherwise to damage this site. Unauthorized attempts to upload, download, or change information on this server is strictly prohibited by law.

Unauthorized use, tampering with or modification of this system, including supporting hardware or software, may subject the violator to criminal and civil penalties. In the event of unauthorized intrusion, all relevant information regarding possible violation of law may be provided to law enforcement officials.

Privacy

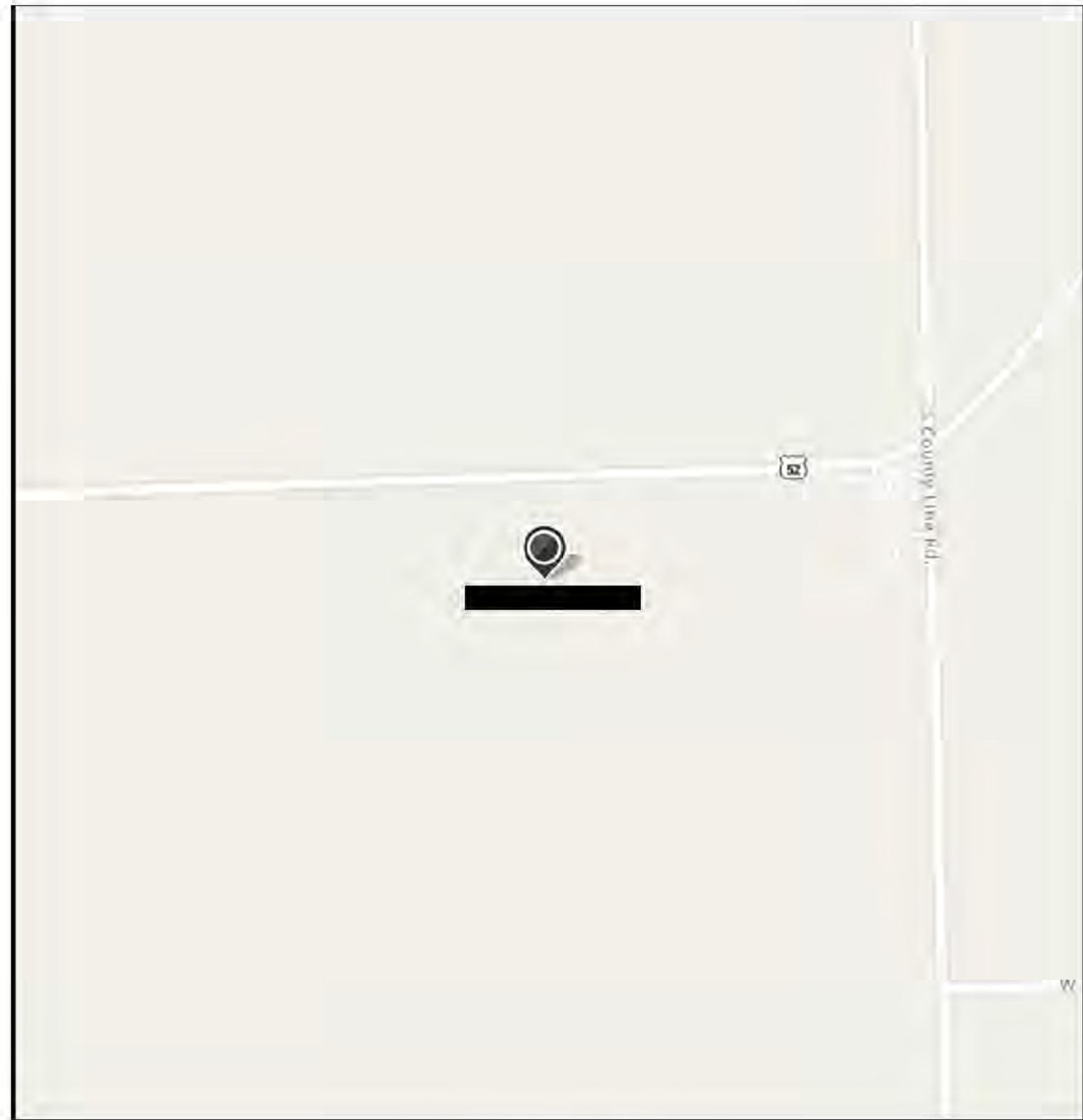
EcoCAT generates a public record subject to disclosure under the Freedom of Information Act. Otherwise, IDNR uses the information submitted to EcoCAT solely for internal tracking purposes.

SITE IMPROVEMENT PLANS FILOTTO ROOFING US ROUTE 52, MINOOKA

BENCHMARKS:
 REFERENCE: KENDALL COUNTY (SEWARD TOWNSHIP) BENCHMARKS 902, 922, 923, AND 927.
 SITE: RIM OF STORM DRAIN AT NORTHEAST CORNER OF PROPERTY. ELEV=630.89

PROPERTY INFORMATION:
 LOCATION: U.S. ROUTE 52, WEST OF COUNTY LINE ROAD, MINOOKA
 PERMITTING: UNINCORPORATED KENDALL COUNTY
 COUNTY: KENDALL
 SECTION: SEC. 13 135N R8E
 P.M.N.(S): 09-13-400-011
 ZONING: B-3

LEGAL DESCRIPTION:
 WEST HALF OF THE NORTH 806.65-FT OF THE WEST 1296.0-FT (EXCEPT THE SOUTH 80.67-FT) OF THE SOUTHEAST QUARTER OF SECTION 13-135N-R8



LOCATION MAP

INDEX OF SHEETS

1. TITLE SHEET
2. EXISTING CONDITIONS
3. GEOMETRIC PLAN
4. GRADING/UTILITY PLAN
5. STORMWATER POLLUTION PREVENTION PLAN
6. EROSION CONTROL PLAN
7. CONSTRUCTION DETAILS
8. SPECIFICATIONS

NO.	DATE	REVISION
1	7.23.24	INITIAL SUBMITTAL
2	7.29.24	COUNTY REVIEW
3	8.12.24	RELOCATE TRASH BIN

FILOTTO ROOFING
U.S. ROUTE 52
MINOOKA, IL
 TITLE SHEET

WARNING



CALL BEFORE
YOU DIG

THE PUBLIC WORK & UTILITIES DEPARTMENTS AND BUILDING DEPARTMENT SHALL BE NOTIFIED A MINIMUM OF 48 HOURS PRIOR TO THE START OF OR RESUMPTION OF WORK ON THE PROJECT

EXISTING	LEGEND	PROPOSED
—>>>—	STORM SEWER (RCP)	—>>>—
—>>>—	STORM SEWER (PVC/HDP)	—>>>—
—>—>—	SANITARY SEWER	—>—>—
—WM—WM—	WATER MAIN	—WM—WM—
⊗	FIRE HYDRANT	⊗
⊗	VALVE VAULT	⊗
⊗	VALVE BOX	⊗
⊗	STORM SEWER MANHOLE	⊗
⊗	CATCH BASIN	⊗
□	INLET	□
⊗	FLARED END SECTION	⊗
⊗	SANITARY SEWER MANHOLE	⊗
⊗	STREET LIGHT	⊗

DRAINAGE & ENGINEER CERTIFICATE
 I, THOMAS CARROLL, A LIC. ENGINEER, HAVE PREPARED THESE DOCUMENTS AND PRACTICES AND COMPARE THEM WITH THE ORIGINAL RECORD DRAWINGS AND FIELD NOTES.

FURTHERMORE, TO THE BEST OF MY KNOWLEDGE AND BELIEF, THESE DOCUMENTS AND PRACTICES AND COMPARE THEM WITH THE ORIGINAL RECORD DRAWINGS AND FIELD NOTES.

DATED THIS 12TH DAY OF [REDACTED]

THOMAS CARROLL, P.E.
 ILLINOIS P.E. # [REDACTED]
 LICENSE EXPIRES 11/30/25
 GEOTECH INCORPORATED P.C.
 DESIGN FIRM NUMBER [REDACTED]

GEOTECH INC.
 CONSULTING ENGINEERS — LAND SURVEYORS
 1207 CEDARWOOD DRIVE CREST HILL, ILLINOIS 60403 815/730-1010

PROJECT NO. 21641
 DATE: 5.30.24
 TC
 CP

PIN 09-13-100-002
Katherine Rousonelos
A1 Zoning

Utility Easement over the South Half of U.S. Route 52 granted to Illinois Bell Telephone Company by Document No. 142362 recorded August 6, 1963 and Northern Illinois Gas Company by Document No. 70-3259 recorded November 20, 1970

PIN 09-13-200-003
Board of Education of Minooka Community High School District No. 111
A1 Zoning

U.S. Route 52 2640.36'

Asphalt Pavement w/ Gravel Shoulder 1296.0'

Right of Way dedicated to the County of Kendall and State of Illinois by Document recorded January 13, 1933 in Book 86 at Page 42

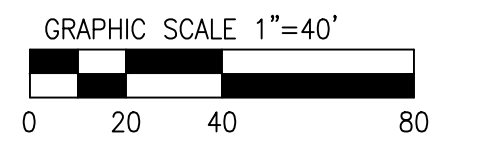
PIN 09-13-300-002
Dond L. Jackinowski Trust
A1 Zoning

ONE-STORY BRICK HOUSE

PIN 09-13-300-008
Katherine Rousonelos, et al
A1 Zoning

PIN 09-13-400-012
TZ Landscaping, LLC
A1-SU Zoning
Ord. #2019-32

PIN 09-13-400-007
Delong Co, Inc
A1 Zoning



SEAL/STAMP

NO.	DATE	REVISION
1	7.23.24	INITIAL SUBMITTAL
1	7.29.24	COUNTY REVIEW
2	8.12.24	RELOCATE TRASH BIN

FILOTTO ROOFING
U.S. ROUTE 52
MINOOKA, IL

EXISTING CONDITIONS PLAN

GEOTECH INC.
CONSULTING ENGINEERS - LAND SURVEYORS
1207 CEDARWOOD DRIVE CREST HILL, ILLINOIS 60403 815/730-1010

PROJECT NO. 21641
DATE: 5.30.24
DRAWN BY: TC
CHECKED BY: CP

SHEET NO.
2

- NOTES:
- EXISTING CONDITIONS AND DEMOLITION PLAN REPRESENT SITE CONDITIONS AT THE TIME OF THE TOPOGRAPHIC SURVEY. CONTRACTOR SHALL INSPECT SITE PRIOR TO START OF WORK TO VERIFY ACTUAL FIELD CONDITIONS. TOPOGRAPHIC SURVEY PERFORMED BY PHILLIP D. YOUNG AND ASSOCIATES, INC.
 - LOCATION OF EXISTING UNDERGROUND UTILITIES AS SHOWN ON THE PLANS HAVE BEEN DETERMINED FROM THE BEST AVAILABLE INFORMATION AND ARE PROVIDED FOR THE CONVENIENCE OF THE CONTRACTOR. CONTRACTOR SHALL BE RESPONSIBLE TO CONTACT ALL UTILITY COMPANIES AND JULIE TO VERIFY LOCATIONS AND ELEVATIONS PRIOR TO STARTING ANY WORK.
 - CONTRACTOR TO PROVIDE NECESSARY PROTECTION TO ALL EXISTING UTILITIES AND ROADWAYS.
 - THE PERMITTING ENTITY SHALL BE NOTIFIED WHEN EXISTING FIELD DRAINAGE TILES ARE ENCOUNTERED DURING CONSTRUCTION REGARDLESS OF CONDITION OR FUNCTIONALITY. THE PERMITTING ENTITY SHALL HAVE FINAL APPROVAL OF ANY REPAIR, CONNECTION, ABANDONMENT, OR OTHER METHODS FOR MITIGATING EXISTING DRAINAGE TILES ENCOUNTERED ON SITE.
 - CONTRACTOR IS RESPONSIBLE FOR DEMOLITION, REMOVAL, AND DISPOSAL OF ALL STRUCTURES, PADS, WALLS, FOUNDATIONS, ROAD, PARKING LOTS, PAVEMENT, DRIVES, DRAINAGE STRUCTURES, UTILITIES, ETC. SUCH THAT THE PROPOSED IMPROVEMENTS SHOWN ON THESE PLANS CAN BE CONSTRUCTED. ALL DEMOLITION WORK AND DISPOSAL SHALL BE IN ACCORDANCE WITH ALL APPLICABLE FEDERAL, STATE, AND LOCAL REQUIREMENTS. ALL FACILITIES TO BE REMOVED SHALL BE UNDERCUT TO SUITABLE MATERIAL AND BROUGHT TO GRADE WITH SUITABLE COMPACTED FILL MATERIAL PER THE SPECIFICATIONS.
 - REFER TO SPECIFICATIONS SHEET FOR DEMOLITION NOTES.

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PIN 09-13-100-002
Katherine Rousonelos
A1 Zoning

Utility Easement over the South Half of U.S. Route 52 granted to Illinois Bell Telephone Company by Document No. 142362 recorded August 6, 1963 and Northern Illinois Gas Company by Document No. 70-3259 recorded November 20, 1970

PIN 09-13-200-003
Board of Education of Minoaka Community High School District No. 111
A1 Zoning

U.S. Route 52 2640.36'

Right of Way dedicated to the County of Kendall and State of Illinois by Document recorded January 13, 1933 in Book 86 at Page 42

PIN 09-13-300-007
mond L. Jackinowski Trust
A1 Zoning

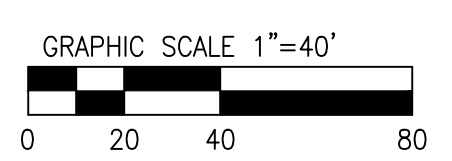
ONE-STORY BRICK HOUSE

PIN 09-13-400-007
Delong Co, Inc
A1 Zoning

PIN 09-13-400-012
TZ Landscaping, LLC
A1-SU Zoning
Ord. #2019-32

PIN 09-13-300-008
Katherine Rousonelos, et al
A1 Zoning

PIN 09-13-400-007
Delong Co, Inc
A1 Zoning



NOTES:

- BUILDING DIMENSIONS AND ADJACENT IMPROVEMENTS (WALKS, DOORS, RAMPS, PLANTERS, DUMPSTERS, TRANSFORMERS, WALLS, CURBING, ETC.) HAVE BEEN SHOWN FOR REFERENCE BASED ON LATEST ARCHITECTURAL PLANS. REFER TO ARCHITECTURAL PLANS FOR PROPOSED BUILDING EXACT LOCATIONS, DIMENSIONS, SPECIFICATIONS, DETAILS, ETC.
- PROVIDE DEPRESSED CURBS, RAMPS, AND DETECTABLE WARNING SURFACE AT ALL HANDICAP ACCESSIBLE SIDEWALK AND PATH LOCATIONS PER FEDERAL AND STATE STANDARDS. SEE DETAIL SHEET FOR STANDARD DETAIL.
- ALL CONNECTIONS TO EXISTING PAVEMENT SHALL BE PROVIDED WITH A BUTT JOINT.
- PROVIDE FULL DEPTH SAWCUT FOR ALL CURB, PAVEMENT, OR SIDEWALK TO BE REMOVED.
- ALL ROADWAY AND PARKING LOT SIGNAGE, STRIPING, SYMBOLS, ETC. SHALL BE IN ACCORDANCE WITH LATEST JURISDICTIONAL GOVERNMENTAL ENTITY DETAILS.
- EXISTING ITEMS TO BE REMOVED HAVE BEEN DELETED FROM PLAN FOR CLARITY. SEE EXISTING CONDITIONS & DEMOLITION PLAN FOR ITEMS DELETED.
- ALL PROPOSED CURB & GUTTER SHALL BE CONNECTED TO EXISTING CURB & GUTTER WITH 2#6 BARS x 18" LONG DOWELED INTO EXISTING CURB.
- UNLESS OTHERWISE NOTED, ALL CURB RADI SHALL BE 3' MEASURED TO BACK OF CURB.

SITE DATA TABLE

SITE AREA:	10.31 AC
IMPERVIOUS AREA:	0.77 AC (7.47%)
PARKING:	
REQUIRED (1/EMPLOYEE):	6 EMPLOYEES
PROVIDED:	8 + 1 ACCESSIBLE

CONSTRUCTION NOTES:

- A.D.A. STALL AND SIGNAGE (TYPICAL), SEE DETAIL.
- PROVIDE COMBINATION CURB/SIDEWALK, SEE DETAIL.
- PROVIDE CURB RAMP (PARALLEL TO CURB) WITH DEPRESSED CURB, DETECTABLE WARNING PLATES, LANDING, AND SIDE CURB PER IDOT STANDARD DETAIL 424016-05 (SEE DETAIL SHEET).
- PROPOSED 8' VINYL CHAIN LINK FENCE WITH ELECTRIC GATE, COORDINATE WITH OWNER.
- PROPOSED ILLUMINATED SIGNAGE, COORDINATE WITH OWNER. SIGN SHALL COMPLY WITH SECTIONS 1206 & 1210 OF THE KENDALL COUNTY ZONING ORDINANCE.
- APPROXIMATE LOCATION OF REFUSE CONTAINER, COORDINATE WITH OWNER.
- APPROXIMATE LOCATION OF MECHANICAL UNIT FOR OFFICE SPACE. LOCATION TO BE COORDINATED IN FIELD PER MEP PLANS.

PAVEMENT LEGEND:

	BITUMINOUS PAVEMENT (STANDARD) (S _m =3.1): 2.0" HMA SURFACE, MIX D, NSO 3.0" HMA BINDER, 4.19, NSO 10" AGGREGATE, TYPE B, CA-6
	PCC SIDEWALK: 5" PCC, 4000 PSI 4" AGGREGATE, CA-7

SEAL/STAMP

NO.	DATE	REVISION
1	7.23.24	INITIAL SUBMITTAL
2	7.29.24	COUNTY REVIEW
3	8.12.24	RELOCATE TRASH BIN

FILOTTO ROOFING
U.S. ROUTE 52
MINOOKA, IL
GEOMETRIC PLAN

GEOTECH INC.
CONSULTING ENGINEERS - LAND SURVEYORS
1207 CEDARWOOD DRIVE CREST HILL, ILLINOIS 60403 815/730-1010

PROJECT NO. 21641
DATE: 5.30.24
DRAWN BY: TC
CHECKED BY: CP

SHEET NO.
3

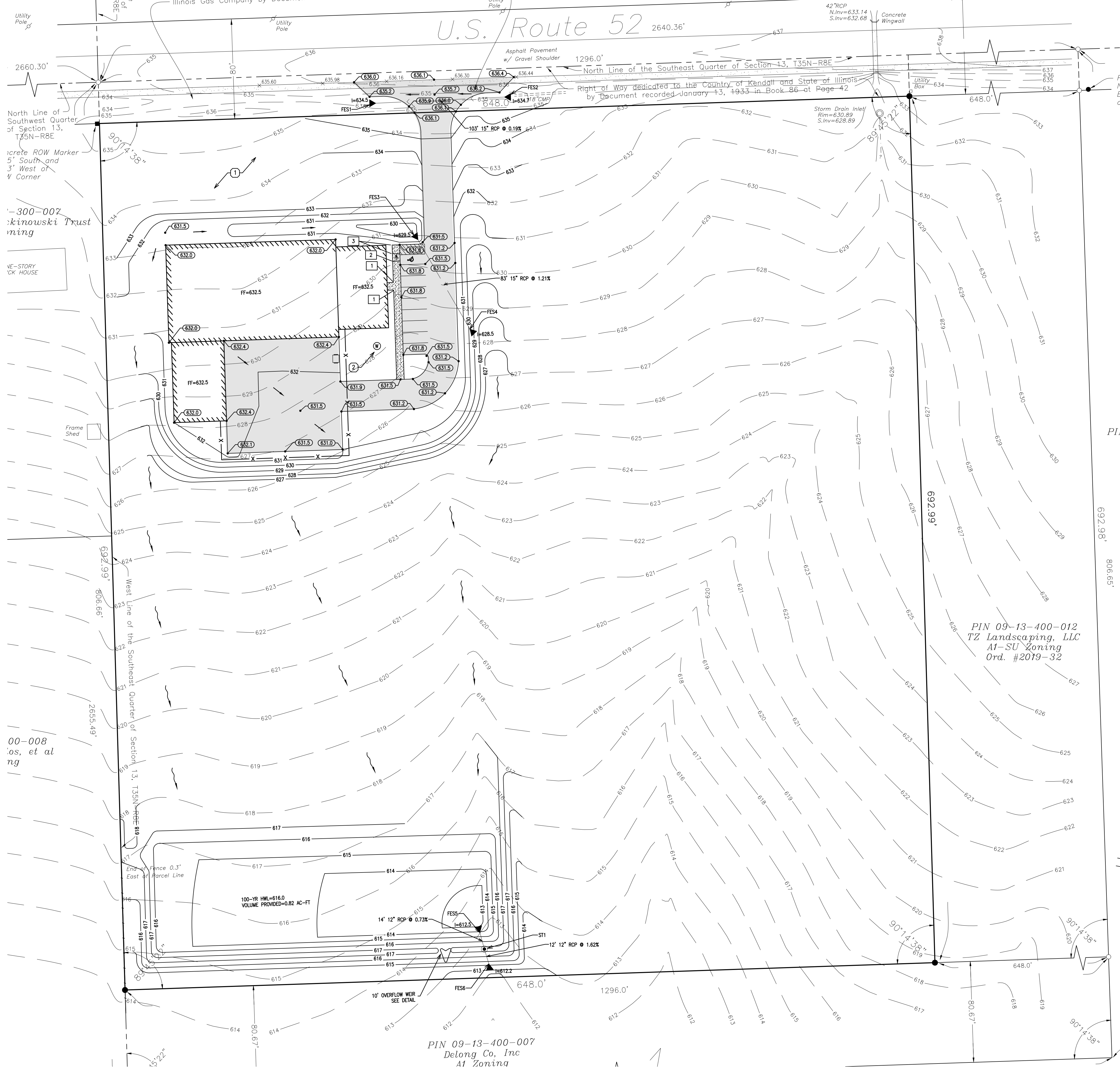
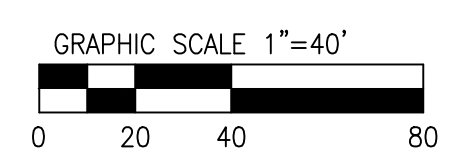
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3-100-002
Rousmelos
Zoning

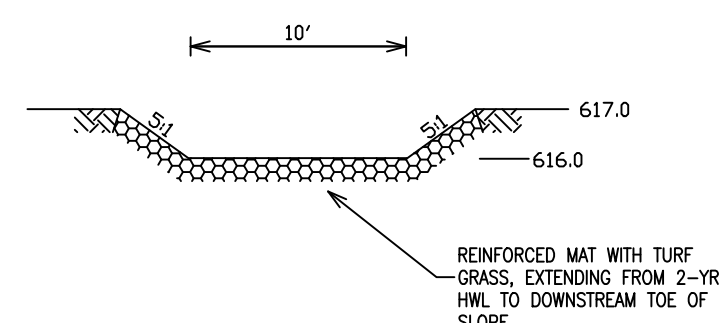
Utility Easement over the South Half of U.S. Route 52 granted to Illinois Bell Telephone Company by Document No. 142362 recorded August 5, 1963 and Northern Illinois Gas Company by Document No. 70-3259 recorded November 20, 1970

PIN 09-13-200-000
Board of Education of Minoaka Community High School District No. 111
At Zoning

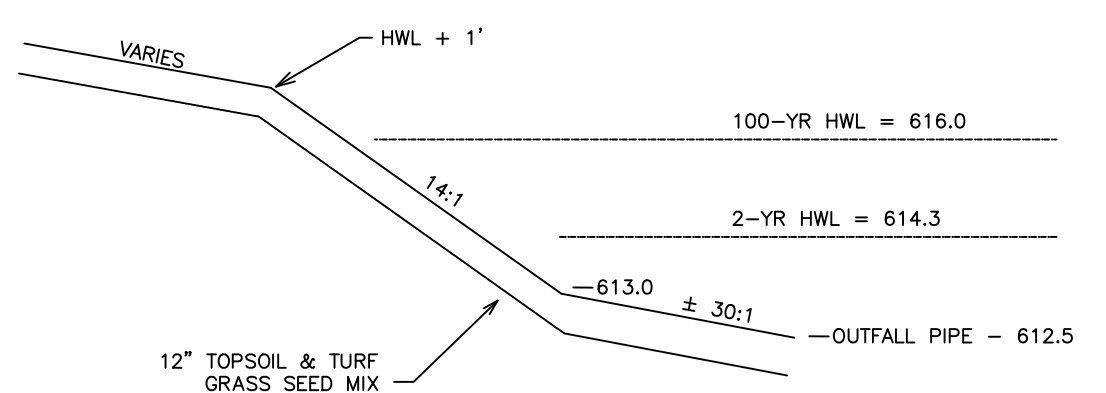
U.S. Route 52 2640.36'



STORM STRUCTURE TABLE				
NUMBER	SIZE	RIM	INVERT(IN)	INVERT(OUT)
FES1	15"	635.75	634.50(E)	
FES2	15"	636.22	634.70(W)	
FES3	15"	630.75	629.50(SE)	
FES4	15"	629.75	628.50(W)	
FES5	12"	613.75	612.50(S)	
FES6	12"	613.45	612.20(N)	
ST1	RESTRICTOR MH SEE DETAIL	617.50	612.40(N)	612.40(S)



DETENTION BASIN EMERGENCY OVERFLOW WEIR



DETENTION BASIN TYPICAL SECTION

- GRADING NOTES:**
- ALL PAVEMENT SPOT GRADE ELEVATIONS AND STRUCTURE RIM ELEVATIONS WITHIN OR ALONG CURB, CURB AND GUTTER, OR COMBINED SIDEWALK/CURB REFER TO EDGE OF PAVEMENT ELEVATIONS UNLESS OTHERWISE NOTED. SEE TYPICAL DETAILS FOR PROPOSED TOP OF CURB OR SIDEWALK ELEVATION RELATIVE TO PROPOSED PAVEMENT ELEVATION.
 - ALL ELEVATIONS SHOWN DEPICT FINISHED GRADE UNLESS OTHERWISE NOTED. SUBTRACT TOPSOIL THICKNESS OR PAVEMENT SECTION THICKNESS TO ESTABLISH REQUIRED SUBGRADE ELEVATIONS.
 - ALL PROPOSED GRADES SHALL MATCH EXISTING GRADES AT PROPERTY LINES, EDGE OF PAVEMENT, CURB, OR SIDEWALKS.
 - ALL NON-PAVED AREAS TO BE RE-SPREAD WITH 6" TOPSOIL AND STABILIZED WITH VEGETATIVE COVER.
 - A.D.A. ACCESSIBLE PARKING STALLS SHALL NOT EXCEED A 2.0% SLOPE IN ANY DIRECTION AND ALL A.D.A. ACCESSIBLE ROUTES SHALL NOT EXCEED A 2% CROSS SLOPE AND 5% LONGITUDINAL SLOPE.
 - FINISHED LANDSCAPE ELEVATION ADJACENT TO PROPOSED BUILDINGS SHALL BE 6-INCHES BELOW FINISHED FLOOR ELEVATION OR TOP OF FOUNDATION ELEVATION.
 - TRANSITION FOR DEPRESSED CURB TO FULL HEIGHT CURB ADJACENT TO ACCESSIBLE RAMPS SHALL BE TAPERED AT MAXIMUM OF 1V:12H. TAPERS AT ALL OTHER LOCATIONS (OVERFLOW DEPRESSIONS, CURB TERMINUS, ETC.) SHALL BE AT 1V:2H.
- UTILITY NOTES:**
- EXISTING UTILITIES HAVE BEEN SHOWN SCHEMATICALLY FOR REFERENCE BASED ON BEST AVAILABLE DATA. CONTRACTOR SHALL VERIFY LOCATION AND ELEVATION OF ALL UTILITIES THAT MAY BE AFFECTED PRIOR TO BEGINNING CONSTRUCTION.
 - ALL UTILITY LENGTHS ARE TO CENTER OF STRUCTURE.
 - ALL EXISTING AND PROPOSED UTILITY RIMS, GRADE RINGS, PEDESTALS, ETC. SHALL BE ADJUSTED AS REQUIRED TO MEET PROPOSED GRADES.
 - SELECT GRANULAR TRENCH BACKFILL (CA-7) MATERIAL SHALL BE PROVIDED FOR ALL TRENCHES LOCATED WITHIN TWO FEET OF PAVEMENT, CURB, DRIVEWAYS, AND SIDEWALKS.
 - LOWER WATERMAIN TO ELEVATION SHOWN TO MAINTAIN 18" MINIMUM VERTICAL SEPARATION BETWEEN UTILITIES REFERENCED. PROVIDE WATER MAIN PROTECTION TO 10 FEET ON EACH SIDE OF CROSSING. SEE SPECIFICATION SHEET FOR ICPA REQUIREMENTS.
 - ALL WATER MAIN SHALL BE 5'-6" BELOW FINISHED GRADE TO TOP OF MAN UNLESS OTHERWISE NOTED.
 - RIM ELEVATIONS PROVIDED FOR STORM STRUCTURES LOCATED IN CURB AND GUTTER ARE EDGE OF PAVEMENT ELEVATIONS.
 - LIGHT POLES LOCATIONS SHOWN FOR REFERENCE. DESIGN OF POWER SYSTEM TO SERVE PROPOSED POLES WILL BE BY OTHERS.
 - UNLESS OTHERWISE NOTED, PIPE MATERIAL SHALL BE AS FOLLOWS (SEE SPECIFICATION SHEET FOR ADDITIONAL DETAILS):
WATER: DUCTILE IRON CL. 52
SANITARY: PVC SDR-26
STORM: RCP CL. III
ROOF DRAIN/DOWNSPOUTS: PVC SDR-35
 - CONTRACTOR SHALL VERIFY LOCATIONS, SIZES, AND ELEVATIONS OF ALL BUILDING SERVICE LOCATIONS WITH ARCHITECTURAL PLANS. CONTRACTOR SHALL COORDINATE WITH BUILDING PLUMBING CONTRACTOR REGARDING EXTENSION OF WATER SERVICE INTO MECHANICAL ROOM AS WELL AS REQUIRED TESTING.
 - IF SHOWN, ROUTING OF GAS, ELECTRIC, AND TELEPHONE SERVICES ARE APPROXIMATE AND SUBJECT TO CHANGE BY RESPECTIVE UTILITY COMPANIES AND OWNER. CONTRACTOR OR OWNER SHALL COORDINATE WITH EACH UTILITY COMPANY REGARDING FINAL LOCATIONS.
- CONSTRUCTION NOTES:**
- PROPOSED SEPTIC FIELD LOCATION, SEE PLANS BY OTHERS.
 - PROPOSED WELL LOCATION.
- A.D.A. GRADES:**
- E/P=631.8 ; T/W=632.3 ; B/W=632.4
 - E/P=631.8 ; T/W=632.3 ; B/W=632.4
 - E/P=631.8 ; T/W=631.8 ; B/W=631.9

- GRADING LEGEND:**
- TF - TOP OF FOUNDATION
 - FF - FINISHED FLOOR
 - TC - TOP OF CURB
 - DC - TOP OF DEPRESSED CURB
 - GF - GARAGE FLOOR
 - EP - EDGE OF PAVEMENT
 - TW - TOP OF SIDEWALK
 - R - STRUCTURE RIM
 - GR - FIRE HYDRANT GRADE RING
 - I - INVERT
- STRUCTURE/PIPE LEGEND:**
- IN - INLET
 - CB - CATCH BASIN
 - MH - STORM MANHOLE (TYPE A)
 - FES - FLARED END SECTION WITH GRATE
 - TD - TRENCH DRAIN
 - W - VALVE WALK
 - VB - VALVE BOX
 - FH - FIRE HYDRANT ASSEMBLY
 - PC - PRESSURE CONNECTION
 - SN - SANITARY MANHOLE
 - ST - STORM STRUCTURE
 - RCP - REINFORCED CONCRETE PIPE
 - PVC - POLYVINYL CHLORIDE PIPE
 - HDP - HIGH DENSITY POLYETHYLENE PIPE
- FRAME AND GRATE (ID) LEGEND:**
- CONTRACTOR SHALL VERIFY MANUFACTURER & MODEL NUMBERS WITH PERMITTING ENTITY. EQUIVALENT CASTINGS MAY BE SUBSTITUTED FOR EJW MODELS WITH APPROVAL OF THE PERMITTING ENTITY. ALL LIDS SHALL BE EMBOSSED WITH "STORM", "WATER", OR "SANITARY" AS APPLICABLE AND THE NAME OF THE MUNICIPALITY.
- STORM:**
- UNPAVED AREAS/PARKING AREAS: EJW 1020, TY. M2 GRATE
 - ROLLED CURB & GUTTER: EJW 7525
 - 86:12 CURB & GUTTER: EJW 7210, TY. M1 GRATE & T1 BACK
 - DEPRESSED CURB & GUTTER: EJW 7210, TY. M3 GRATE
- SANITARY: EJW 1020 TY. A SOLID COVER**
WATER: EJW 1020 TY. A SOLID COVER

SEAL/STAMP

NO.	DATE	REVISION

FILOTTO ROOFING
U.S. ROUTE 52
MINOOKA, IL

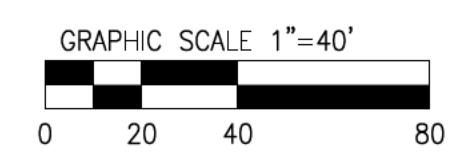
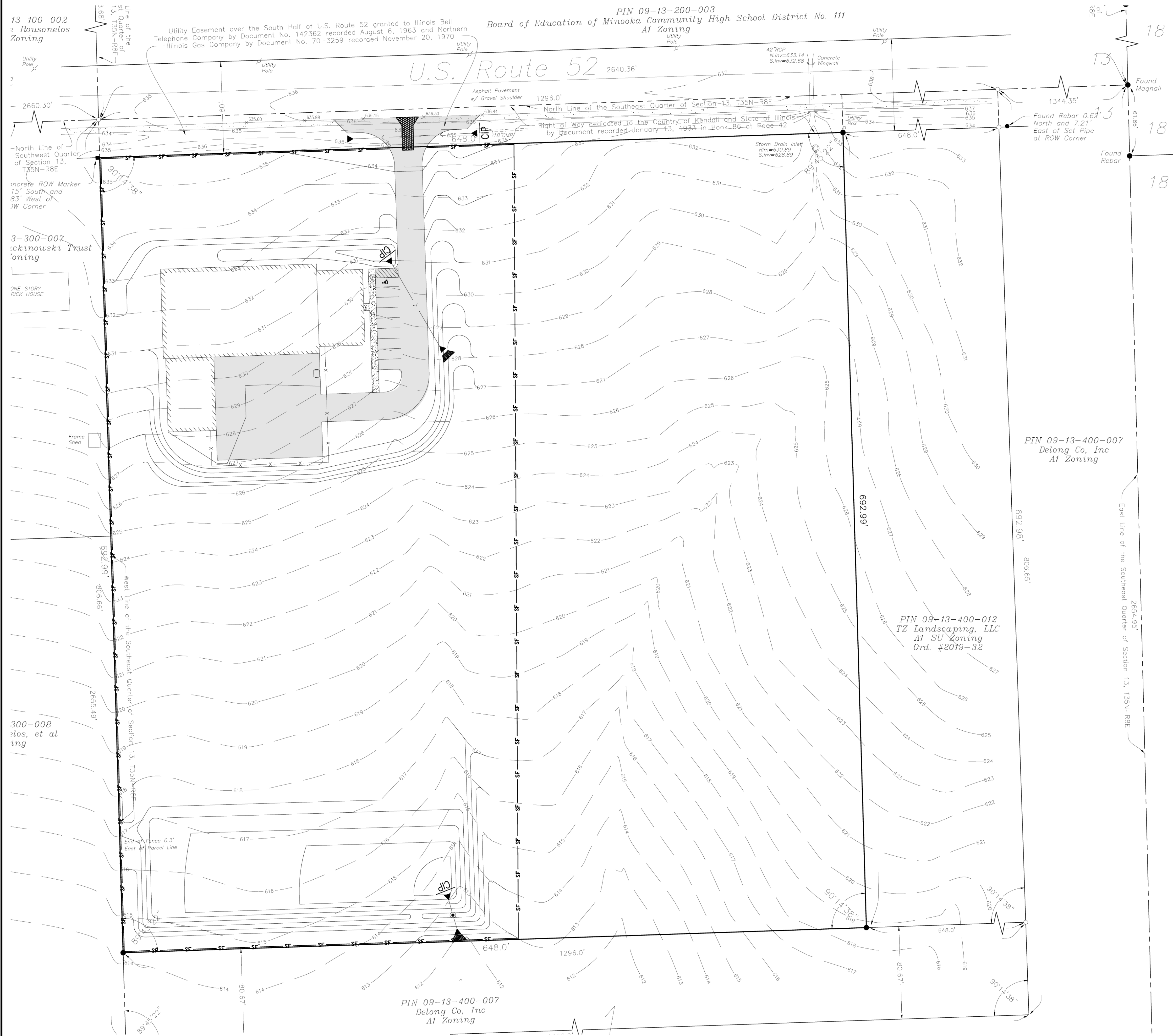
GRADING-UTILITY PLAN

GEOTECH INC.
CONSULTING ENGINEERS - LAND SURVEYORS
1207 CEDARWOOD DRIVE CREST HILL, ILLINOIS 60403 815/730-1010

PROJECT NO. 21641
DATE: 5.30.24
DRAWN BY: TC
CHECKED BY: CP

SHEET NO.
4

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- LEGEND**
- INLET PROTECTION
 - STABILIZED CONSTRUCTION ENTRANCE
 - SILT FENCING
 - CULVERT INLET PROTECTION - SILT FENCE
 - PIPE OUTLET TO FLAT AREA
 - ROCK CHECK DAM - RIPRAP
 - DITCH CHECK - COIR LOG

- NOTES:**
- APPROPRIATE EROSION CONTROL MEASURES SHALL BE IN PLACE PRIOR TO THE START OF CONSTRUCTION.
 - CONTRACTOR SHALL MAINTAIN PROPER SITE DRAINAGE DURING CONSTRUCTION.
 - CONTRACTOR SHALL BE RESPONSIBLE FOR DUST CONTROL AND MAINTAINING ADJACENT ROADWAYS TO BE CLEAN AND FREE OF DIRT AND DEBRIS AT ALL TIMES.
 - CONTRACTOR IS RESPONSIBLE FOR MAINTENANCE, INSPECTION, AND REMOVAL OF ALL EROSION AND SEDIMENT CONTROL MEASURES.
 - REFER TO THE STORMWATER POLLUTION PREVENTION PLAN FOR DETAILS AND ADDITIONAL INFORMATION.
 - LOCATION OF TEMPORARY CONCRETE WASHOUT FACILITY, IF NECESSARY, TO BE DETERMINED BY CONTRACTOR PER DETAIL ON STORMWATER POLLUTION PREVENTION PLAN.
 - LOCATION OF TEMPORARY TOPSOIL OR MATERIAL STOCKPILE, IF NECESSARY, TO BE DETERMINED BY CONTRACTOR. SILT FENCING TO BE PROVIDED AROUND PERIMETER OF ANY STOCKPILES. SEE DETAIL.
 - UNLESS OTHERWISE DIRECTED BY THE CLIENT, CONTRACTOR SHALL COORDINATE WITH OWNER/DEVELOPER REGARDING INSPECTIONS AND RECORD KEEPING REQUIRED AS PART OF THE NPDES PERMIT FOR RUNOFF ASSOCIATED WITH CONSTRUCTION ACTIVITIES.

EROSION CERTIFICATE
 THIS EROSION CONTROL PLAN WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND COMPLIES WITH THE URBAN SOIL EROSION CONTROL AND STANDARDS IN ILLINOIS MANUAL (LATEST EDITION) AND ANY LOCALLY RECOGNIZED METHODS IN USE IN THE AREA.
 THOMAS CARROLL, P.E.
 ILLINOIS P.E. # [REDACTED]
 EXPIRES 11-30-2025
 7-19-2024
 DATE

SEAL/STAMP

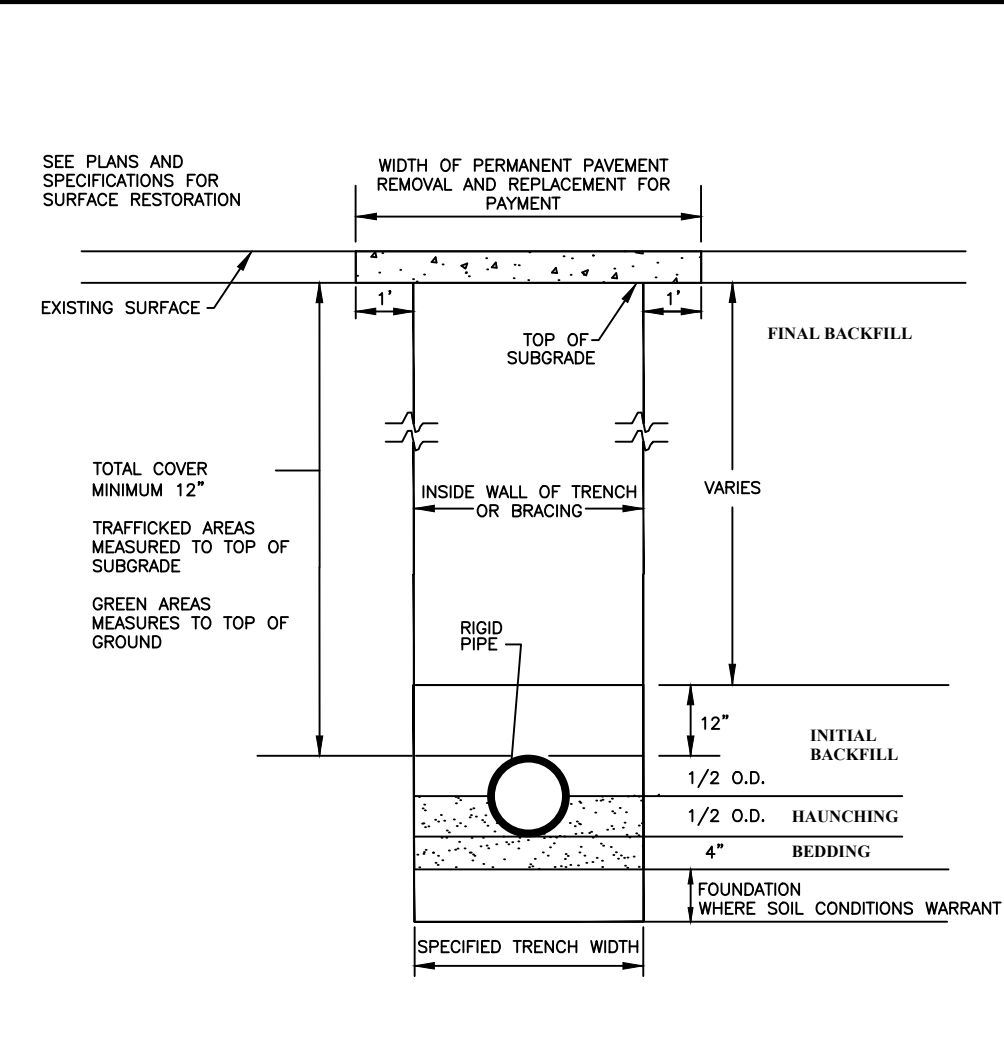
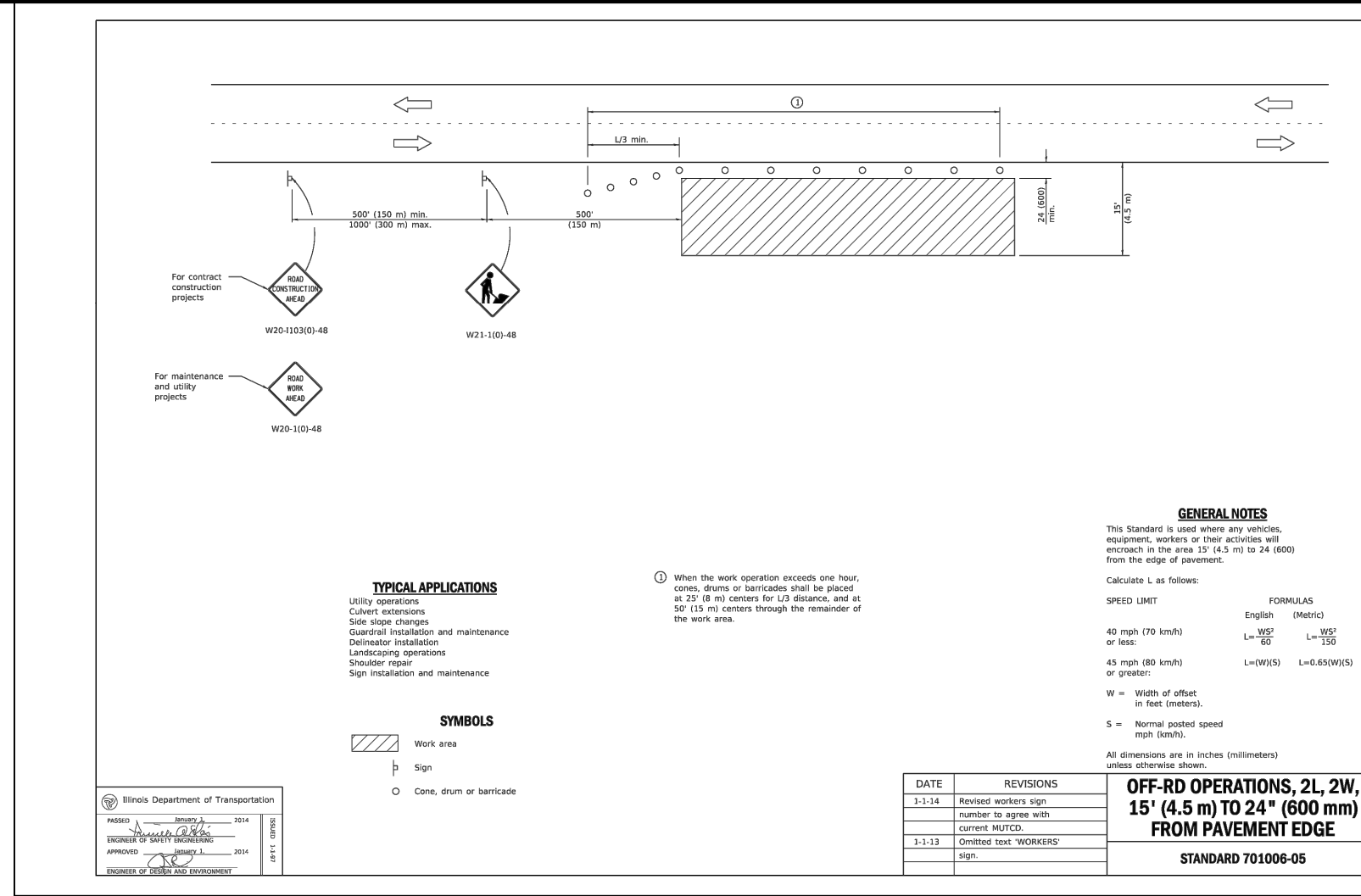
NO.	DATE	REVISION
1	7.23.24	INITIAL SUBMITTAL
2	7.29.24	COUNTY REVIEW
3	8.12.24	RELOCATE TRASH BIN

FILOTTO ROOFING
U.S. ROUTE 52
MINOOKA, IL
EROSION CONTROL PLAN

GEOTECH INC.
 CONSULTING ENGINEERS - LAND SURVEYORS
 1207 CEDARWOOD DRIVE CREST HILL, ILLINOIS 60403 815/730-1010

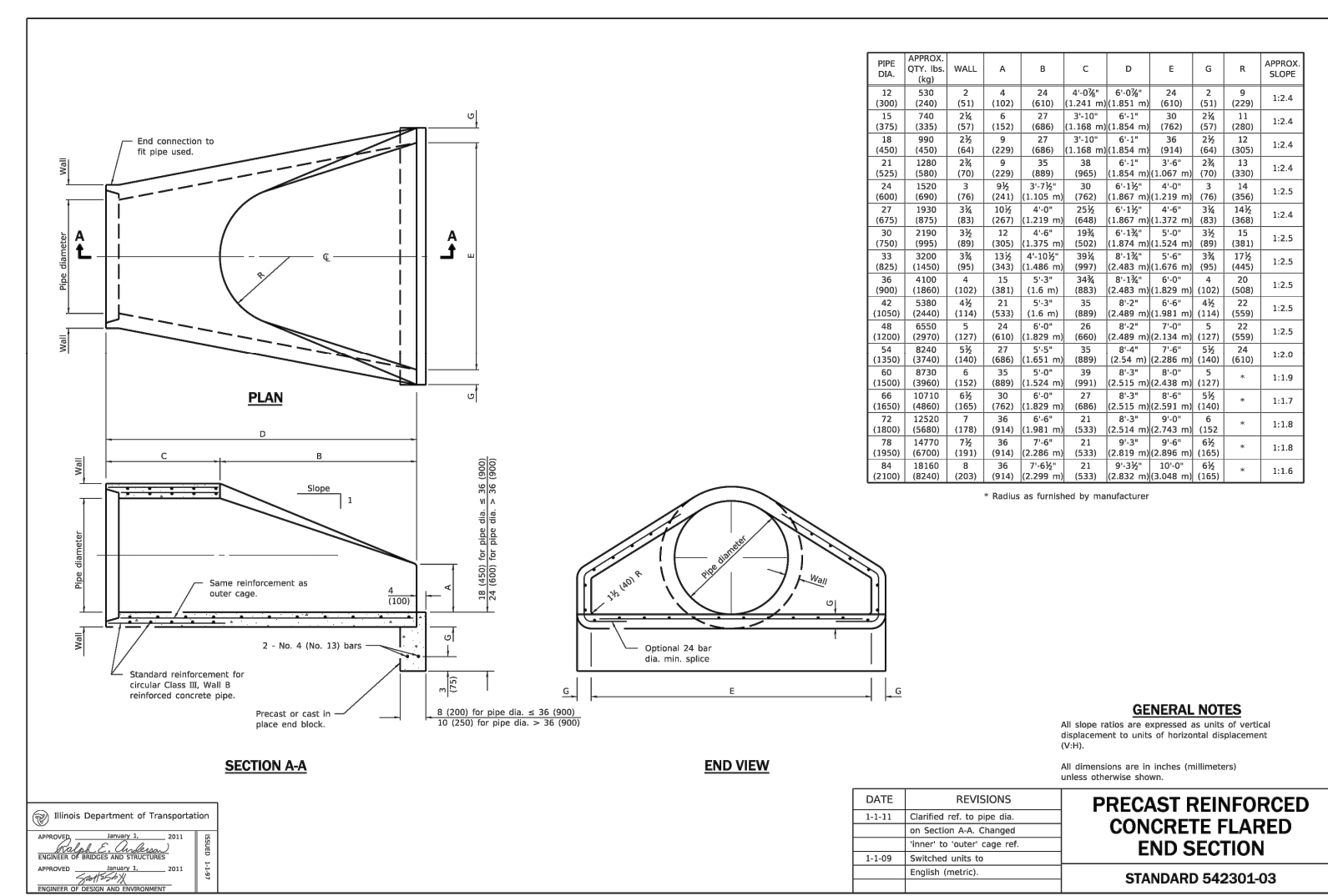
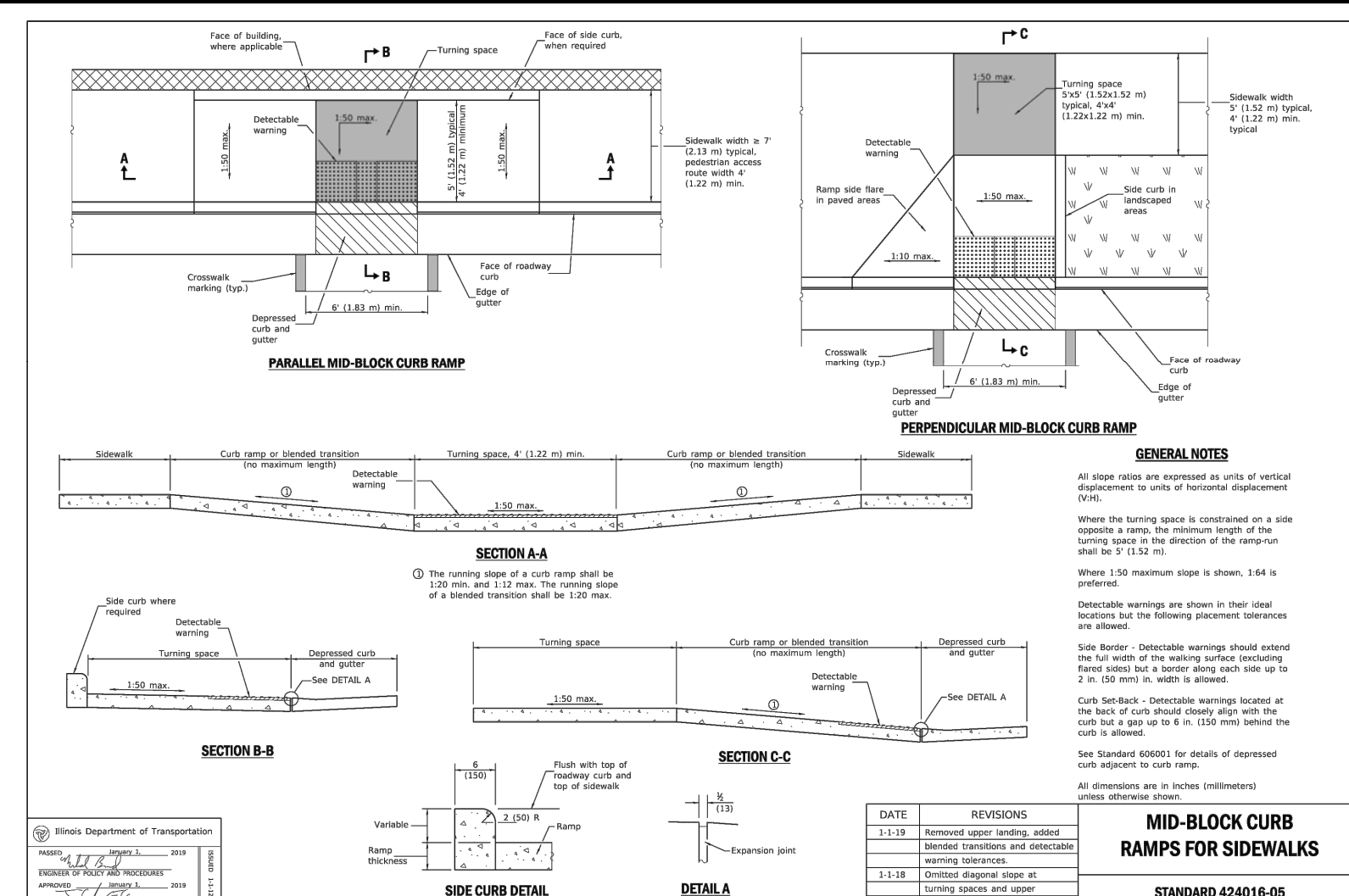
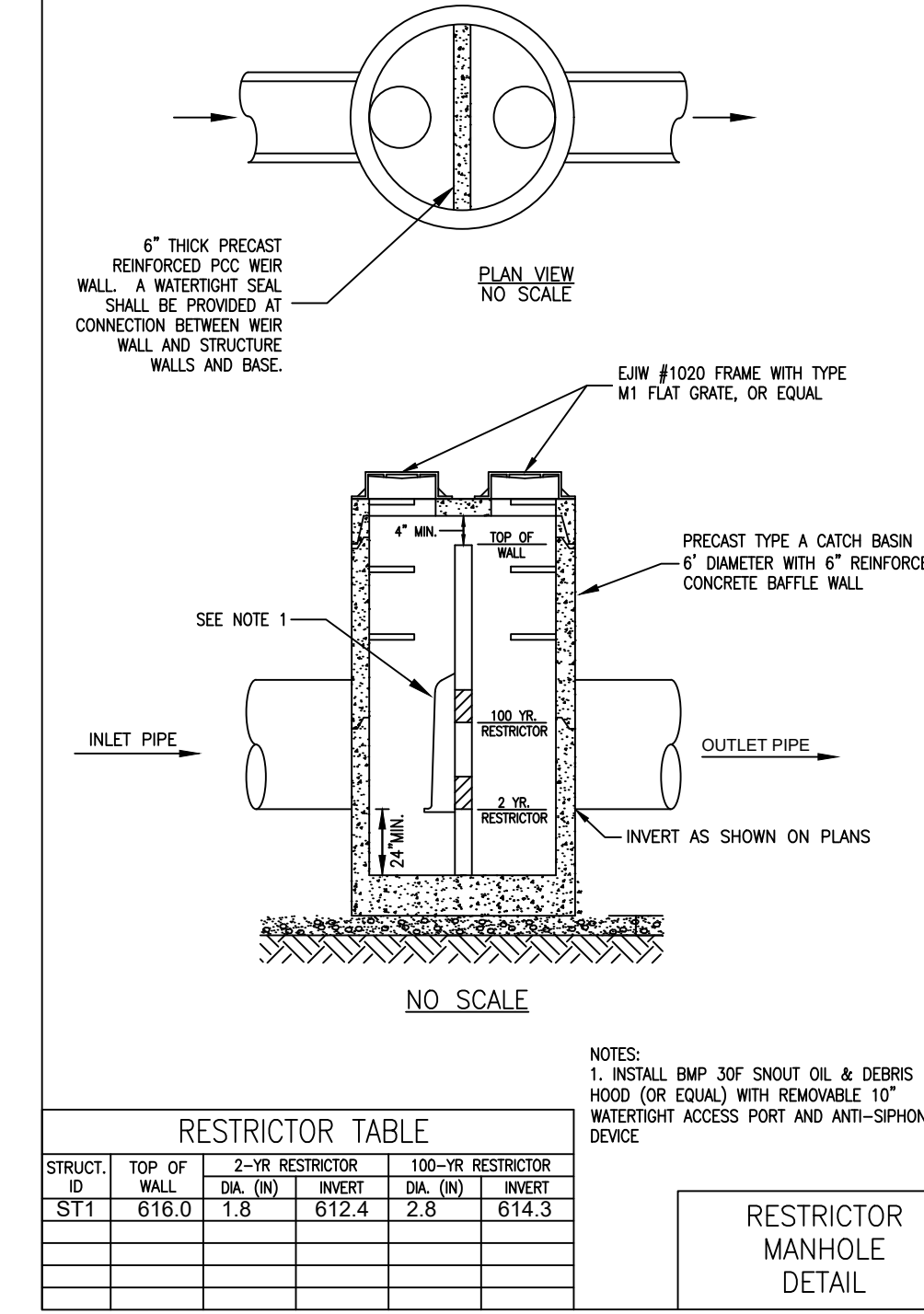
PROJECT NO. 21641
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 CHECKED BY: CP

SHEET NO.
 6



SELECT GRANULAR TRENCH BACKFILL SHALL BE REQUIRED FOR ALL TRENCHES CONSTRUCTED OR WITHIN TWO FEET HORIZONTALLY OF THE EDGE OF THE PROPOSED ROADWAY, CURBS & GUTTER, DRIVEWAYS, OR SIDEWALKS AND AT ALL LOCATIONS SHOWN ON PLANS. BACKFILL GRADATION SHALL BE IDOT CA-7

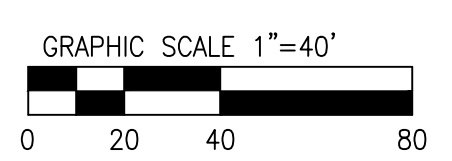
RIGID PIPE INSTALLATION DETAIL
STANDARD DRAWING NO. 1



PIN 09-13-100-002
Katherine Rousonelos
A1 Zoning

PIN 09-13-200-003
Board of Education of Minooka Community High School District No. 111
A1 Zoning

U.S. Route 52
2640.36'



PROPERTY INFORMATION:

LOCATION: U.S. ROUTE 52, WEST OF COUNTY LINE ROAD, MINOOKA
PERMITTING: UNINCORPORATED KENDALL COUNTY
COUNTY: KENDALL
SECTION: SEC. 13 T35N R8E
P.L.N.(S): 09-13-400-011
ZONING: B-3

SITE DATA TABLE

SITE AREA: 10.31 AC
IMPERVIOUS AREA: 0.77 AC (7.47%)
PARKING:
REQUIRED (1/EMPLOYEE): 6 EMPLOYEES
PROVIDED: 8 + 1 ACCESSIBLE

LEGAL DESCRIPTION:

WEST HALF OF THE NORTH 806.65'-FT OF THE WEST 1296.0'-FT (EXCEPT THE SOUTH 80.67'-FT) OF THE SOUTHEAST QUARTER OF SECTION 13-T35N-R8

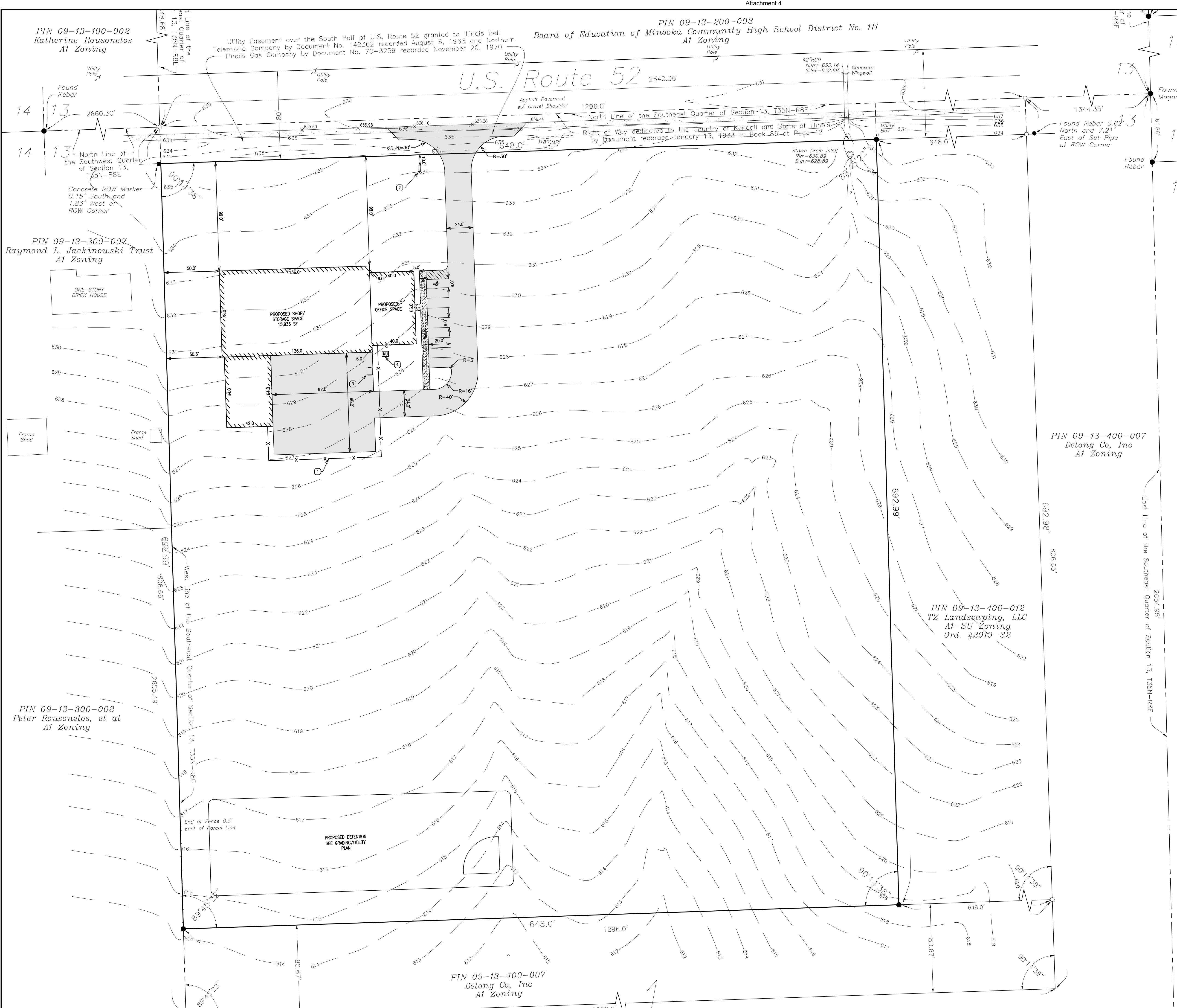
CONSTRUCTION NOTES:

- 1. PROPOSED 8' VINYL CHAIN LINK FENCE WITH ELECTRIC GATE, COORDINATE WITH OWNER.
- 2. PROPOSED ILLUMINATED SIGNAGE, COORDINATE WITH OWNER. SIGN SHALL COMPLY WITH SECTIONS 12.06 AND 12.10 OF THE KENDALL COUNTY ZONING ORDINANCE.
- 3. APPROXIMATE LOCATION OF REFUSE CONTAINER, COORDINATE WITH OWNER.
- 4. APPROXIMATE LOCATION OF MECHANICAL UNIT FOR OFFICE SPACE. LOCATION TO BE COORDINATED IN FIELD PER MEP PLANS.

PAVEMENT LEGEND:

BITUMINOUS PAVEMENT (STANDARD) (S=3.1):
2.0" HMA SURFACE, MIX D, NSO
3.0" HMA BINDER, 1.19, NSO
1.0" AGGREGATE, TYPE B, CA-6

 PCC SIDEWALK:
5" PCC, 4000 PSI
4" AGGREGATE, CA-7



PIN 09-13-300-007
Raymond L. Jackinowski Trust
A1 Zoning

PIN 09-13-400-007
Delong Co, Inc
A1 Zoning

PIN 09-13-400-012
TZ Landscaping, LLC
A1-SU Zoning
Ord. #2019-32

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Peter Rousonelos, et al
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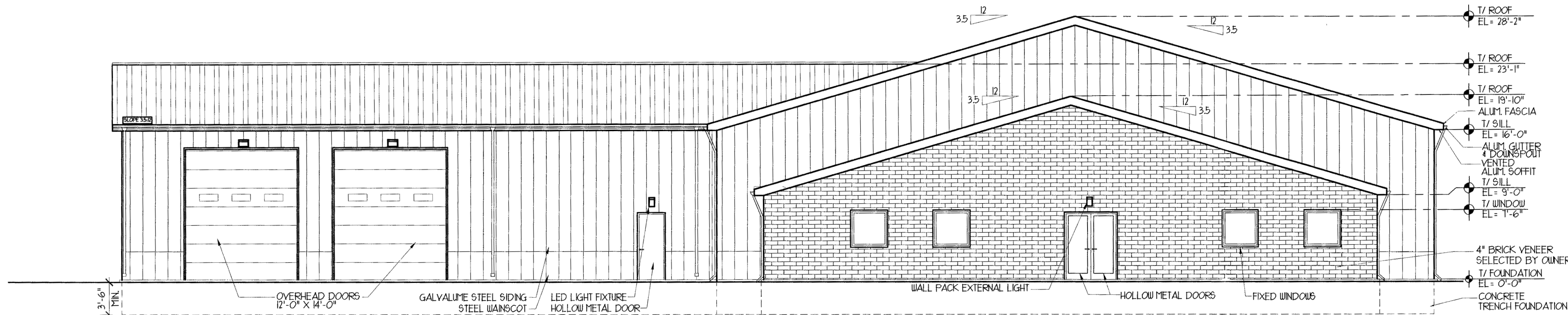
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FILOTTO ROOFING
U.S. ROUTE 52
MINOOKA, IL
SITE PLAN

GEOTECH INC.
CONSULTING ENGINEERS - LAND SURVEYORS
1207 CEDARWOOD DRIVE CREST HILL, ILLINOIS 60403 815/730-1010

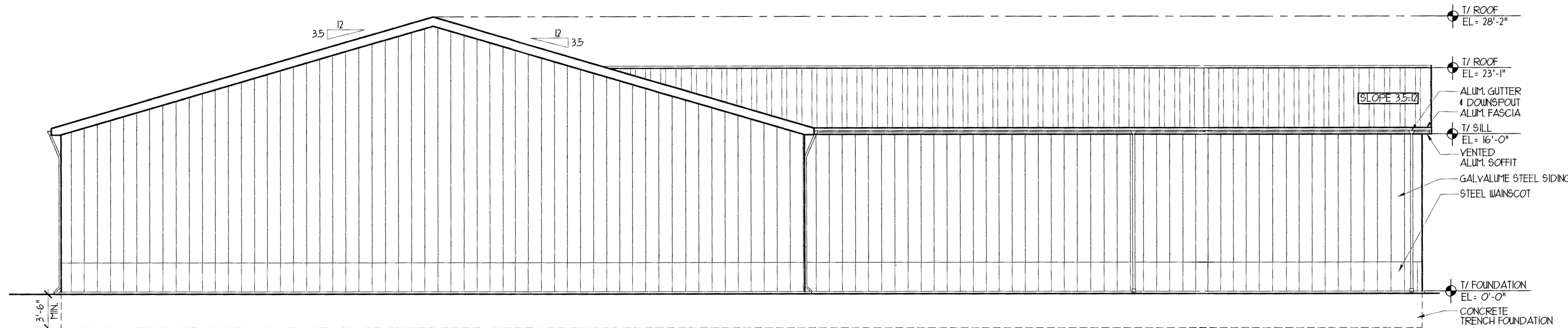
PROJECT NO. 21641
DATE: 5.30.24
DRAWN BY: TC
CHECKED BY: CP

SHEET NO.
1



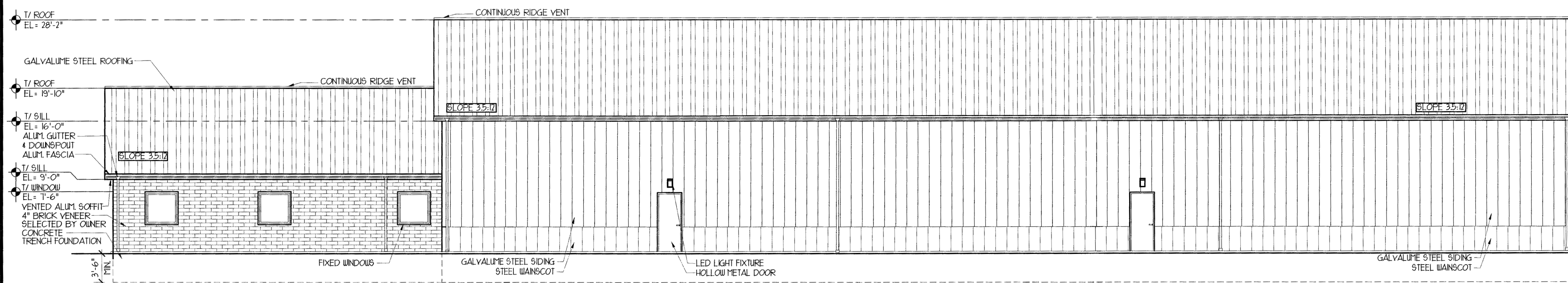
PROPOSED EAST ELEVATION

SCALE : 1/8" = 1'-0"



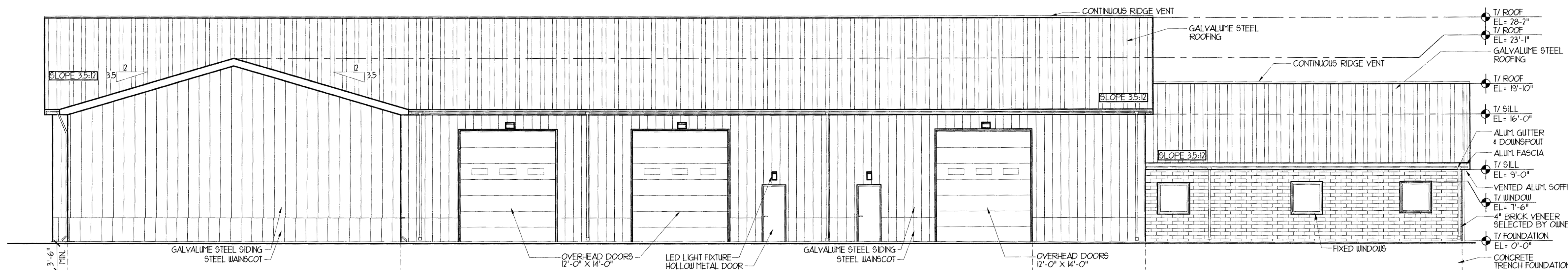
PROPOSED WEST ELEVATION

SCALE : 1/8" = 1'-0"



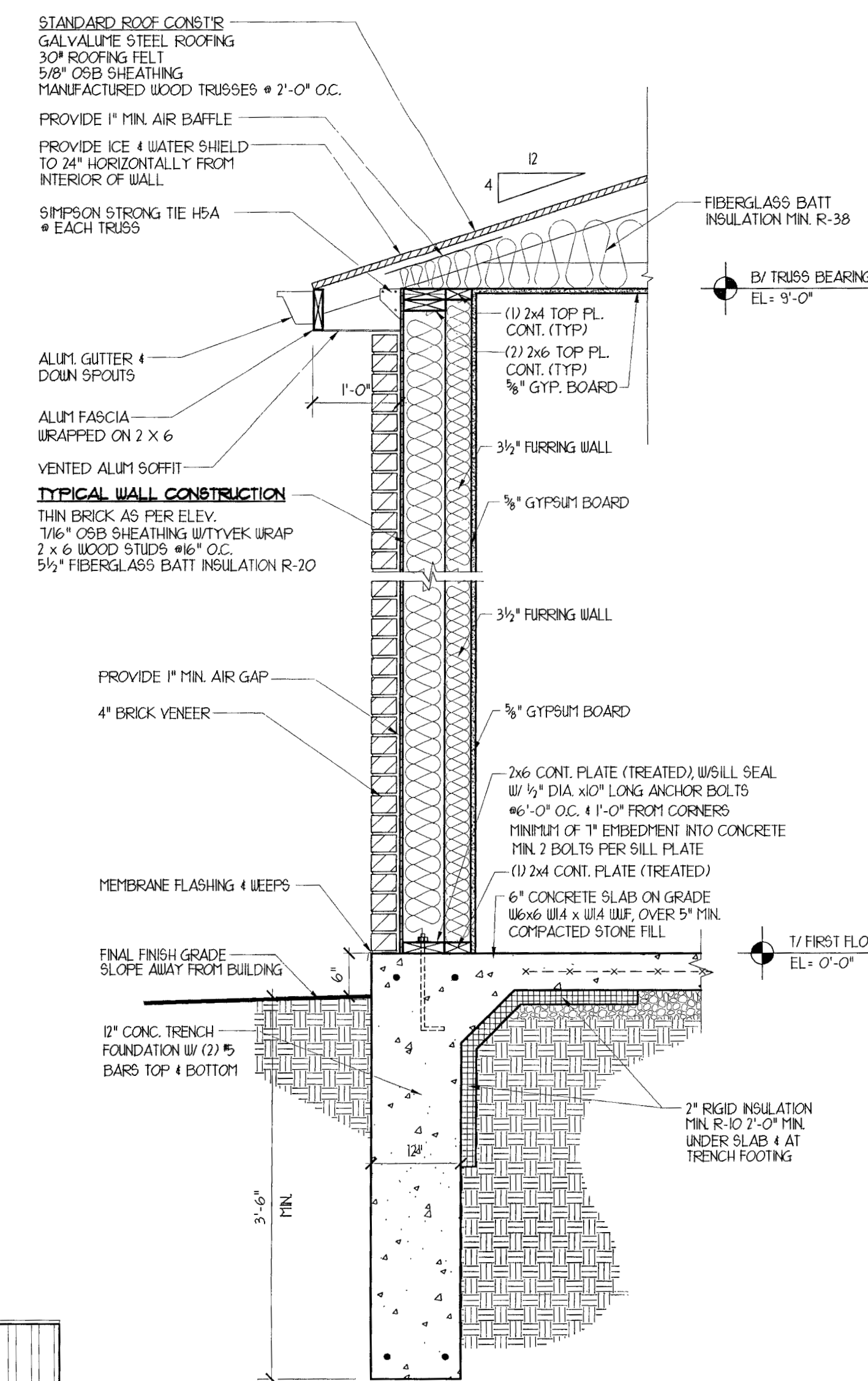
PROPOSED NORTH ELEVATION

SCALE : 1/8" = 1'-0"



PROPOSED SOUTH ELEVATION

SCALE : 1/8" = 1'-0"



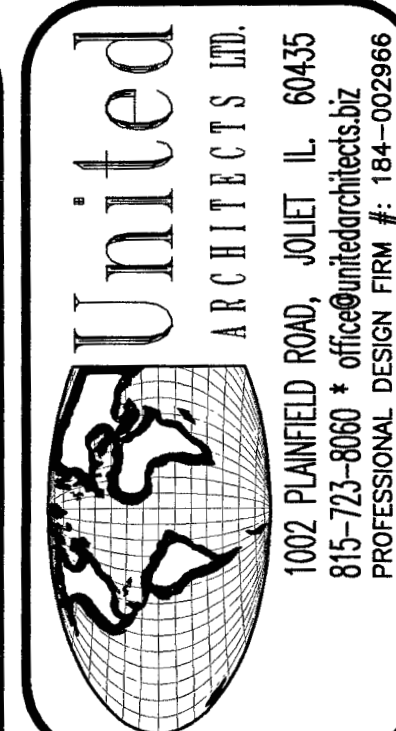
MASONRY TIES NOTE
 USE CORRUGATED SHEET METAL ANCHORS SPACED @ 24\"/>

MEMBRANE FLASHING NOTE
 BITUMINOUS MEMBRANE FLASHING FROM EDGE OF BRICK TO UP BEHIND THE BUILDING WRAP MIN. 6\"/>

FLASHING IS REQUIRED ON ALL BRICK VENEER CONSTRUCTION WITH SEAMS OVERLAPPED 6\"/>

1 PROPOSED SIDE WALL SECTION

SCALE : 1/4" = 1'-0"



1002 PLAINFIELD ROAD, JOULET, IL 60435
 815-721-9000 • office@unitedarchitects.biz
 PROFESSIONAL DESIGN FIRM # 184-002966

REVISION NO. DATE REMARKS

ISSUED FOR OWNER'S REVIEW JULY 8, 2024

PROPOSED OFFICE & SHOP

FOR: FILETTO ROOFING
SECTION 13, KENDALL COUNTY, IL

DRAWN BY: N.D.

CHECKED BY: BOB GEBEL

DATE : JULY 8, 2024

PROJECT NO: 24-13

TITLE: PROPOSED ELEVATIONS & SECTION

SHEET
A-3

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August 21, 2024

Mr. Matt Asselmeier
Kendall County Planning, Building, & Zoning
111 West Fox Street
Yorkville, IL 60560-1498

Subject: Filotto Roofing- WBK Project 19-102.CF

Dear Mr. Asselmeier:

We have received and reviewed the following information for the subject project:

- Stormwater Management Report prepared by Geotech Inc. dated July 19, 2024 and received August 6, 2024.
- Stormwater Management Permit prepared by owner dated August 2, 2024 and received August 2, 2024.
- Site Improvement Plans prepared by Geotech Inc. dated August 12, 2024 and received August 12, 2024.
- Site Plan prepared by Geotech Inc. dated July 29, 2024 and received August 12, 2024 and received August 12, 2024.
- Landscape Plan prepared by Heritage Oak Studios, LLC dated August 12, 2024 and received August 12, 2024.

We find the stormwater report and construction documents submitted to be in general conformance with the County stormwater ordinance. The stormwater permit and construction documents are approved conditioned on resolution of the following comments.

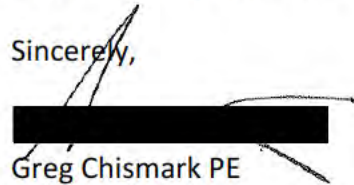
1. In the Stormwater Management Report, the Detention Tributary Area exhibit and detention calculations reflect that the basin provides detention for the disturbed 2.87 acres, however, in proposed conditions the basin will accept runoff from an additional area between the proposed disturbance and possibly areas north of the proposed building. Please evaluate the overflow weir for this additional flow as to depth and velocity with the understanding overflow conditions will occur more frequently.
2. The weir coefficient is represented as two different values in the stormwater report. Verify the appropriate value. Also verify the weir length in the calculations matches the plans.

3. Site Improvement Plans - Please add dimensions to the restrictor manhole detail to verify that the minimum 4" clearance will be met with the proposed top of wall elevation. Revise the grate type to maximize the overflow potential using a beehive type or "O1" for EJIW products.
4. We understand the drainage swales along the east and west limits of the disturbed area are intended to capture flow from disturbed areas and route it to the stormwater basin. The definition of the swale is lacking in some areas. It is preferred that a typical minimum swale section be depicted that call out a minimum swale bottom side slope and depth to convey flows. Verify minimum depth with a channel capacity calculation. It is not necessary to revise all contours or include this additional area in the stormwater calculations, however we have no objection if that is done. Our primary concern is that the final field conditions will indicate clear capture and routing of the flows.
5. Access to US 52 will require approval from IDOT.
6. An NPDES permit is needed for the project.

The applicant's design professionals are responsible for performing and checking all design computations, dimensions, details, and specifications in accordance with all applicable codes and regulations, and obtaining all permits necessary to complete this work. In no way does this review relieve applicant's design professionals of their duties to comply with the law and any applicable codes and regulations, nor does it relieve the Contractors in any way from their sole responsibility for the quality and workmanship of the work and for strict compliance with the permitted plans and specifications.

If you have any questions or comments, please contact us at (630) 443-7755.

Sincerely,



Greg Chismark PE
WBK Engineering, LLC