

DEPARTMENT OF PLANNING, BUILDING & ZONING

111 West Fox Street • Room 203 Yorkville, IL • 60560

(630) 553-4141

Fax (630) 553-4179

Petition 24-24 James W. Filotto on Behalf of Oakland Avenue Storage, LLC Site Plan Approval

INTRODUCTION

On July 16, 2024, the Kendall County Board approved Ordinance 2024-26, rezoning the subject property to B-3 Highway Business District. On July 8, 2024, the Kendall County Planning, Building and Zoning Committee approved a conditional use permit for a contractor's office or shop (roofing contractor) where all storage of equipment and materials are inside a building.

The Petitioner is requesting site plan approval as required by Section 13:10 of the Kendall County Zoning Ordinance.

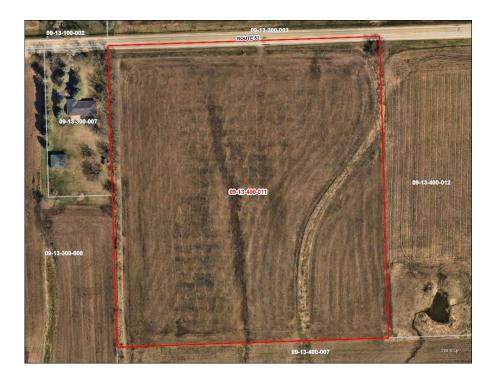
The application materials are included as Attachment 1. The improvement plans are included as Attachment 2. The landscaping plan is included Attachment 3. The site plan is included as Attachment 4. The building elevations are included as Attachment 5.

SITE INFORMATION

PETITIONERS: James W. Filotto on Behalf of Oakland Avenue Storage, LLC

ADDRESS: Between 276 and 514 Route 52

LOCATION: South Side of Route 52 Approximately 0.4 Miles West of County Line Road



TOWNSHIP: Seward

PARCEL #s: 09-13-400-011

LOT SIZE: 11.0 +/- Acres

EXISTING LAND Agricultural

USE:

ZONING: B-3 Highway Business District Agricultural District

LRMP:

Future	Commercial (County)
Land Use	Mixed Use (Shorewood)
Roads	Route 52 is a State maintained Arterial Road.
Trails	There is a trail planned along Route 52
Floodplain/ Wetlands	There are no floodplains or wetlands on the property.

REQUESTED

Site Plan Approval ACTION:

APPLICABLE Section 13:10 - Map Amendment Procedures

REGULATIONS:

SURROUNDING LAND USE

Location	Adjacent Land Use	Adjacent Zoning	Land Resource Management Plan	Zoning within ½ Mile
North	Agricultural and Single-	A-1	Public/Institutional	A-1
	Family Residential		(County)	
			Mixed Use and School	
			(Shorewood)	
South	Agricultural	A-1	Suburban Residential (Max 1.0 DU/Acre) (County)	A-1
			Single-Unit Residential Detached (Shorewood)	
East	Landscaping Business	A-1 SU	Commercial (County) Mixed Use (Shorewood)	A-1, A-1 SU, B-2, B-3 SU, B-4, and Will County Zoning
West	Agricultural and Single Family Residential	A-1	Commercial (County) Mixed Use (Shorewood)	A-1, A-1 SU, and B-2
	Agricultural and Single		Commercial (County) Mixed Use (Shorewood)	B-3 SU, E Will Count A-1, A-1

The A-1 special use permits to east are for a landscaping business and fertilizer plant.

The A-1 special use permit to the west is for a landing strip.

The B-3 special use permit to the east is for indoor and outdoor storage.

The property to the north of the subject property is planned to be a school.

PHYSICAL DATA

ENDANGERED SPECIES REPORT

EcoCAT Report submitted and consultation was terminated (see Attachment 1, Pages 8-9).

ACTION SUMMARY

SEWARD TOWNSHIP

Petition information was sent to Seward Township on August 21, 2024.

VILLAGE OF SHOREWOOD

Petition information was sent to the Village of Shorewood on August 21, 2024.

MINOOKA FIRE PROTECTION DISTRICT

Petition information was sent to the Minooka Fire Protection District on August 21, 2024.

DESIGN STANDARDS

Pursuant to Section 13:10.D of the Kendall County Zoning Ordinance, the following shall be taken into account when reviewing Site Plans (Staff comments in bold):

Responsive to Site Conditions-Site plans should be based on an analysis of the site. Such site analysis shall examine characteristics such as site context; geology and soils; topography; climate and ecology; existing vegetation, structures and road network; visual features; and current use of the site. In addition to the standards listed below, petitioners must also follow the regulations outlined in this Zoning Ordinance. To the fullest extent possible, improvements shall be located to preserve the natural features of the site, to avoid areas of environmental sensitivity, and to minimize negative effects and alteration of natural features. Fragile areas such as wetlands and flood plains should be preserved as open space. Slopes in excess of 20 percent as measured over a 10-foot interval also should remain as open space, unless appropriate engineering measures concerning slope stability, erosion and safety are taken. The property was rezoned to B-3 Highway Business earlier in 2024. The property drains towards the south. There are no floodplains or wetlands on the property and there are no excessive slopes.

Traffic and Parking Layout-Site plans should minimize dangerous traffic movements and congestion, while achieving efficient traffic flow. An appropriate number of parking spaces shall be provided while maintaining County design standards. The number of curb cuts should be minimized and normally be located as far as possible from intersections. Connections shall be provided between parking areas to allow vehicles to travel among adjacent commercial or office uses. Cross-access easements or other recordable mechanisms must be employed. The site improvement plan (Attachment 2, Page 3) shows one (1) access from Route 52, a twenty-four foot (24') wide asphalt drive. Based on the proposed use and the requirements of Section 11:04 of the Zoning Ordinance, one (1) parking space would be required per employee. The Petitioner indicated that six (6) full-time employees would report to the site for work. The site improvement plan (Attachment 2, Page 3) shows nine (9) parking spaces, including one (1) ADA compliant parking space. There will be a maximum of four (4) employees at the property.

Conflicts between pedestrians and vehicular movements should be minimized. When truck traffic will be present upon the site, the road size and configuration shall be adequate to provide for off-street parking and loading facilities for large vehicles. Barrier curb should be employed for all perimeters of and islands in paved parking lots, as well as for all service drives, loading dock areas, and the equivalent. Parking lots in industrial or commercial areas shall be paved with hot-mix asphalt or concrete surfacing. **No conflicts are foreseen.**

Site Layout-Improvements shall be laid out to avoid adversely affecting ground water and aquifer recharge; minimize cut and fill; avoid unnecessary impervious cover; prevent flooding and pollution; provide adequate access to lots and sites; and mitigate adverse effects of shadow, noise, odor, traffic, drainage and utilities on neighboring properties. The proposal should not impact, shadow, noise, odor, traffic, or utilities on

neighboring properties. The landscaping plan (Attachment 3) preserves the existing tree line along the western property line. The landscaping plan also shows vegetation added to the north side of the building and between the refuse area and the parking lot. The building elevations (Attachment 5) do not show any lights on the western side of the building and two (2) LED light fixtures on the north side of the building. The main entrance and parking are on the east side of the building and the building will block lights from vehicles parked in the parking lot from the residential structure to the west. The business sign along Route 52 will be illuminated and will be required to follow Kendall County's signage regulations. Drainage concerns can be addressed in the stormwater management permit; WBK Engineering submitted a comment letter dated August 21, 2024 (Attachment 6), but the comments raised in the letter do not directly impact site layout. The proposed septic field is located north of the building and the proposed well is located between the building and parking lot, per the site improvement plan (Attachment 2, Page 4).

Consistent with the Land Resource Management Plan-The proposed use and the design of the site should be consistent with the Land Resource Management Plan. **This is true.**

Building Materials-The proposed site plan design shall provide a desirable environment for its occupants and visitors as well as its neighbors through aesthetic use of materials, textures and colors that will remain appealing and will retain a reasonably adequate level of maintenance. Buildings shall be in scale with the ultimate development planned for the area. Monotony of design shall be avoided. Variations in detail, form, and setting shall be used to provide visual interest. Variation shall be balanced by coherence of design elements. The building elevations (Attachment 5) propose a building with brick veneer, galvalume steel siding, metal doors, and aluminum fascia, gutters, and downspouts on a concrete foundation. The building's highest point will be twenty-eight feet, two inches (28', 2"). The building, including storage areas and offices, is proposed to be just under sixteen thousand (16,000) square feet in size.

Relationship to Surrounding Development-A site shall be developed in harmony with neighboring street pattern, setbacks and other design elements. **This is not an issue.**

Open Space and Pedestrian Circulation-Improvements shall be designed to facilitate convenient and safe pedestrian and bicycle movement within and to the property. This is not an issue. There is land available on the north end of the property for a trail, if a trail is installed in the future.

Buffering-Measures shall be taken to protect adjacent properties from any undue disturbance caused by excessive noise, smoke, vapors, fumes, dusts, odors, glare or stormwater runoff. Incompatible, unsightly activities are to be screened and buffered from public view. The landscaping plan (Attachment 3) calls for the maintenance of the existing tree line along the western property line. The landscaping plan calls for the planting of four (4) deciduous shade trees, five (5) deciduous ornamental trees, three (3) evergreen trees, twenty-eight (28) deciduous shrubs, and fourteen (14) evergreen shrubs at various locations around the property. In addition, a seed mix is purposed around the building and detention pond. Mulch and compost are also planned around the site. Per the site improvement plan (Attachment 2, Page 3), a vinyl chain-link fence with an electronic gate is planned around an area south of the building. This fence will be eight feet (8') feet in height. The building elevations (Attachment 5) call for several LED light fixtures, mainly over the windows and doors. Lighting must follow the regulations in the Kendall County Zoning Ordinance. The conditional use permit prevents outdoor storage of materials or outdoor fabrication. Stormwater issues can be addressed in the stormwater management permit.

Emergency Vehicle Access-Every structure shall have sufficient access for emergency vehicles. Staff would like comments from the Minooka Fire Protection District and Sheriff's Department on this matter.

Mechanical Equipment Screening-All heating, ventilation and air conditioning equipment shall be screened on sides where they abut residential districts. The site improvement plans (Attachment 2, Page 3) shows the mechanical equipment, a small condenser, south of the proposed office space. The building and the evergreen trees should screen the mechanical equipment from any of the neighboring properties that might be zoned residential in the future.

Lighting-The height and shielding of lighting fixtures shall provide proper lighting without hazard to motorists on adjacent roadways or nuisance to adjacent residents by extending onto adjacent property. Cut-off lighting should be used in most locations, with fixtures designed so that the bulb/light source is not visible from general side view. The Petitioner proposed an illuminated sign as depicted on the site improvement plan (Attachment 2, Page 3). The size and location of the sign will comply with the Kendall County Zoning Ordinance. Neither the parking lot nor the driving aisle will be illuminated. The elevations (Attachment 5) show eleven (11) LED light fixtures over various doors and windows. No doors, windows or light fixtures are proposed on the west side of the building.

Refuse Disposal and Recycling Storage Areas-All refuse disposal and recycling storage areas should be located in areas designed to provide adequate accessibility for service vehicles. Locations should be in areas where minimal exposure to public streets or residential districts will exist. Screening shall be required in areas which are adjacent to residential districts or are within public view. Such enclosures should not be located in landscape buffers. Refuse containers and compactor systems shall be placed on smooth surfaces of non-absorbent material such as concrete or machine-laid asphalt. A concrete pad shall be used for storing grease containers. Refuse disposal and recycling storage areas serving food establishments shall be located as far as possible from the building's doors and windows. The use of chain link fences with slats is prohibited. One (1) refuse location is shown near the northeast corner of the fenced parking area (Attachment 2, Page 3). As required by the Kendall County Zoning Ordinance, plantings, in this case specifically three (3) evergreen trees will be planted to the east of the refuse area to provide screening, per the landscaping plan (Attachment 3). The building and position inside the fence parking area, combined with the evergreen trees, should shield the refuse area from adjoining properties

RECOMMENDATION

Pending review by ZPAC, Staff recommends approval of the site plan subject to the following conditions:

- 1. The site shall be developed substantially in accordance with the attached improvement plans (Attachment 2), landscaping plan (Attachment 3), and building elevations (Attachment 5).
- 2. If additional lighting is proposed in the future, an amendment to the site plan will be required.
- 3. If additional freestanding signage, other than directional or emergency related signage, is proposed in the future, an amendment to the site plan will be required. This requirement shall not apply if signage is added to the building.
- 4. Damaged or dead plantings shown on the landscaping plan shall be replaced on a timeframe approved by the Kendall County Planning, Building and Zoning Department.
- 5. The site shall be developed in accordance with all applicable federal, state, and local laws related to site development.

ATTACHMENTS

- 1. Application Materials
- 2. Improvement Plans
- 3. Landscaping Plan
- 4. Site Plan
- 5. Elevations
- 6. August 21, 2024, WBK Comment Letter



DEPARTMENT OF PLANNING, BUILDING & ZONING

111 West Fox Street • Yorkville, IL • 60560 Fax (630) 553-4179 (630) 553-4141

APPLICATION

PROJECT NAME	_ FILE #:

NAME OF APPLICANT (Including	g First, Middle Initial, and Last Name)	
Jim Filotto		
CURRENT LANDOWNER/NAME(s)	
Oakland Avenue Storage LL	.C	
SITE INFORMATION ACRES	SITE ADDRESS OR LOCATION	ASSESSOR'S ID NUMBER (PIN)
10.31	US Highway 52 (east of 514 Route 52)	09-13-400-011
EXISTING LAND USE	CURRENT ZONING	LAND CLASSIFICATION ON LRMP
Agricultural	A-1	
REQUESTED ACTION (Check All	That Apply):	
SPECIAL USE	MAP AMENDMENT (Rezone to)	VARIANCE
ADMINISTRATIVE VARIANCE	A-1 CONDITIONAL USE for:	X SITE PLAN REVIEW
TEXT AMENDMENT	RPD (Concept; Preliminary; Final)	ADMINISTRATIVE APPEAL
PRELIMINARY PLAT	FINAL PLAT	OTHER PLAT (Vacation, Dedication, etc.)
AMENDMENT TO A SPECIAL	L USE (Major; Minor)	
PRIMARY CONTACT	PRIMARY CONTACT MAILING ADDRESS	PRIMARY CONTACT EMAIL
'PRIMARY CONTACT Jim Filotto	PRIMARY CONTACT MAILING ADDRESS	PRIMARY CONTACT EMAIL
	PRIMARY CONTACT MAILING ADDRESS PRIMARY CONTACT FAX#	PRIMARY CONTACT EMAIL PRIMARY CONTACT OTHER #(Cell, etc.)
Jim Filotto		
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Last Revised: 10.17.22

¹Primary Contact will receive all correspondence from County ²Engineering Contact will receive all correspondence from the County's Engineering Consultants

202400000717 **DEBBIE GILLETTE**

RECORDER - KENDALL COUNTY, IL RECORDED: 01/22/2024 12:28 PM

> RECORDING FEE 57.00 19.00 RHSP

> 300.00 STATE TAX 150.00 COUNTY TAX

> > PAGES: 3

WARRANTY DEED

THIS INDENTURE WITNESSETH, That the Grantor,

ERB PROPERTIES, LLC, an Illinois Limited Liability Company,

of the

n the

and

for and in consideration of the sum of One Dollar and other good and valuable considerations, the receipt of which is hereby acknowledged, CONVEY and WARRANT to:

OAKLAND AVE. STORAGE, LLC, an Illinois Limited Liability Company

whose address is

the following described real estate to-wit:

THE NORTH 806.65 FEET OF THE WEST 1296.00 FEET OF THE SOUTHEAST QUATER SECTION 13, TOWNSHIP 35 NORTH, RANGE 8, EAST OF THE THIRD PRINCIPAL MERIDIAN, EXCEPT THE SOUTH 80.67 FEET THEREOF AND EXCEPT THE EAST HALF OF THE NORTH 806.65 FEET OF THE WEST 1296.00 FEET, OF SAID SOUTHEAST QUARTER, IN KENDALL COUNTY, ILLINOIS.

SUBJECT TO covenants, conditions and restrictions of record, public and utility easements, general taxes for the tax year 2023.

PIN #: 09-13-400-011

COMMON ADDRESS: 11.34 acres, Route 52, Minooka, IL 60447

situated in Kendall County, Illinois, hereby releasing and waiving all rights under and by virtue of the Homestead Exemption Laws of the State of Illinois.

Dated this

ERB PROPERTIES, LLC

BY:

EDWARD, BALTZ

MANAGER and as Trustee of the EDWARD J. BALTZ DESCENDANT TRUST ITS:

BY:

ROBERT D. BALTZ

MANAGER and as Trustee of the ROBERT D. BALTZ DESCENDANT TRUST

Fidelity Title

STATE OF ILLINOIS COUNTY OF GRUNDY))
CERTIFY THAT EDWARD J. BALTZ, OF THE EDWARD J. BALTZ DESCE whose name is subscribed to the foregoing day in person and acknowledged that he voluntary act for the uses and purposes thomestead. Given under my hand and Notarial	
"OFFICIAL SE NICOLE A BILLINGS NOTARY PUBLIC, STATE OF MY COMMISSION EXPIRES STATE OF ILLENOIS COUNTY OF GRUNDY)	SLEY ILLINOIS 9/27/2028 NOTARY PUBILIZE
OF THE ROBERT D. BALTZ, OF THE ROBERT D. BALTZ DESCE whose name is subscribed to the foregoing day in person and acknowledged that he	blic, in and for said County and State aforesaid, DO HEREBY MANAGER OF ERB PROPERTIES, LLC AND TRUSTEE NDANT TRUST, personally known to me to be the same person instrument, as having executed the same, appeared before me this signed, sealed and delivered the said instrument as his free and therein set forth, including the release and waiver of the right of
Given under my hand and Notarial	Seal this 14 day of Any 20 24.
FUTURE TAXESHOOLE A BILLING NOTARY PUBLIC, STATE OF MY COMMISSION EXPIRES	FILLINOIS RETURN THIS DOCUMENT TO:
OAKLAND AVE STORAGE, LLC	MICHAEL KORST
^ GRANTEE'S ADDRESS THIS INSTRUMENT WAS PREPARE	D RV
JC LAWSON	

Kendall County

age 2 of 3

RECORDER OF DEEDS AFFIDAVIT - METES AND BOUNDS

STATE	OF ILLINOIS)
) SS. FY OF GRUNDY)
estate v	being duly sworn on oath, states that he is the property owner of the real
1.	The division of subdivision of land is into parcels or tracts of five acres or more in size which does not involve any new streets or easements of access.
2.	The division is of lots or blocks of less than one acre in any recorded subdivision which does not involve any new streets or easements of access.
3.	The sale or exchange of parcels of land is between owners of adjoining and contiguous land.
4.	The conveyance is of parcels of land or interest therein for use as right of way for railroads or other public utility facilities, which does not involve any new streets or easements of access.
5.	The conveyance is of land owned by a railroad or other public utility which does not involve any new streets or easements of access.
6.	The conveyance is of land for highway or other public purposes or grants of conveyances relating to the dedication of land for public use or instruments relating to the vacation of land impressed with a public use.
7.	The conveyance is made to correct descriptions in prior conveyances.
8.	The sale or exchange is of parcels or tracts of land following the division into no more than two parts of a particular parcel or tract of land existing in July 17, 1959 and not involving any new streets or easements of access.
9.	The sale is of a single lot of less than five acres from a large tract, the dimensions and configurations of said larger tract having been determined by the dimensions and configuration of said larger tract on October 1, 1973, and no sale prior to this sale, or any lot or lots from said larger tract having taken place since October 1, 1973 and a survey of said single lot having been made by a registered land surveyor.
(The conveyance is of land described in the same manner as title was taken by grantor(s).
THE A	PPLICABLE STATEMENT OR STATEMENTS ABOVE ARE CIRCLED.
AFFIAI	NT further states that he makes this Affidavit for the purpose of inducing the Recorder of Deeds of Kendall County, to accept the attached deed for recording.
-	CRIBED AND SWORN TO The this day of // / / / / / / / / / / / / / / / / /

Exhibit A

THE WEST HALF OF THE NORTH 806.65 FEET OF THE WEST 1296.0 FEET OF THE SOUTHEAST QUARTER OF SECTION 13, TOWNSHIP 35 NORTH, RANGE 8 EAST OF THE THIRD PRINCIPAL MERIDIAN, EXCEPT THE SOUTH 80.67 FEET THEREOF, IN KENDALL COUNTY, ILLINOIS

PIN; 09-13-400-011

KENDALL COUNTY DISCLOSURE OF BENEFICIARIES FORM

App	olicant OAKLA	ND AVE.	STORAGE		
	dress	NU NIE,	OTORAGE		
City			State	7	
	are of Benefit Sought	Site plan	Carrier -		
			Teller	-	
Natu	ure of Applicant: (Pleas Natural Person	e check one)			
	Corporation Land Trust/Trustee	3			
	Trust/Trustee				
	Partnership Joint Venture				
If app	plicant is an entity othe	r than described in S	ection 3, briefly stat	e the nature and char	acteristics of th
аррп	LLC				
trust,	1111	ase of a joint venture	, or who otherwise l	nas proprietary intere	st, interest in
Pen	nu Filotto				509
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Name	, address, and capacity	of person making the	is disclosure on beha	alf of the applicant:	
	James File	to			
		VERIFIC	CATION		
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the above	and foregoing Disclosu	re of Beneficiaries, a	and that the statemen	its contained therein	are true in
substance	and fact.			1	114.1 314.1 471.3
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Memorandum

To: Kendall County Department of Planning, Building, and Zoning

From: Nicholas Whitmore

Re: Filotto Roofing

Kendall County, IL 60435

This project will consist of construction of a roughly 16,000 sf building containing both office and storage space for Filotto Roofing in addition to parking areas and detention to serve the improvements. Construction is anticipated to begin shortly after all County/IDOT permits are issued. The earliest start date for construction is estimated to start Fall 2024 and end in Spring 2025.

Thank you





Applicant: Geotech Inc.

Contact: Thomas Carroll, P.E.

Address:

Project:

Filotoo Roofing

Address:

US Highway 52, Minooka

IDNR Project Number: 2500712 07/12/2024

Alternate Number: 21641

Description: A proposed shop with an office attachment for a roofing company

Natural Resource Review Results

Consultation for Endangered Species Protection and Natural Areas Preservation (Part 1075)

The Illinois Natural Heritage Database contains no record of State-listed threatened or endangered species, Illinois Natural Area Inventory sites, dedicated Illinois Nature Preserves, or registered Land and Water Reserves in the vicinity of the project location.

Consultation is terminated. This consultation is valid for two years unless new information becomes available that was not previously considered; the proposed action is modified; or additional species, essential habitat, or Natural Areas are identified in the vicinity. If the project has not been implemented within two years of the date of this letter, or any of the above listed conditions develop, a new consultation is necessary. Termination does not imply IDNR's authorization or endorsement.

Location

The applicant is responsible for the accuracy of the location submitted for the project.

County: Kendall

Township, Range, Section: 35N, 8E, 13

IL Department of Natural Resources Contact

Adam Rawe 217-785-5500

Division of Ecosystems & Environment



Government Jurisdiction

IL Environmental Protection Agency Melissa Parrt 1021 North Grand Avenue East Springfield, Illinois 62794 -9276

Disclaimer

The Illinois Natural Heritage Database cannot provide a conclusive statement on the presence, absence, or condition of natural resources in Illinois. This review reflects the information existing in the Database at the time of this inquiry, and should not be regarded as a final statement on the site being considered, nor should it be a substitute for detailed site surveys or field surveys required for environmental assessments. If additional protected resources are encountered during the project's implementation, compliance with applicable statutes and regulations is required.

IDNR Project Number: 2500712

Terms of Use

By using this website, you acknowledge that you have read and agree to these terms. These terms may be revised by IDNR as necessary. If you continue to use the EcoCAT application after we post changes to these terms, it will mean that you accept such changes. If at any time you do not accept the Terms of Use, you may not continue to use the website.

- 1. The IDNR EcoCAT website was developed so that units of local government, state agencies and the public could request information or begin natural resource consultations on-line for the Illinois Endangered Species Protection Act, Illinois Natural Areas Preservation Act, and Illinois Interagency Wetland Policy Act. EcoCAT uses databases, Geographic Information System mapping, and a set of programmed decision rules to determine if proposed actions are in the vicinity of protected natural resources. By indicating your agreement to the Terms of Use for this application, you warrant that you will not use this web site for any other purpose.
- 2. Unauthorized attempts to upload, download, or change information on this website are strictly prohibited and may be punishable under the Computer Fraud and Abuse Act of 1986 and/or the National Information Infrastructure Protection Act.
- 3. IDNR reserves the right to enhance, modify, alter, or suspend the website at any time without notice, or to terminate or restrict access.

Security

EcoCAT operates on a state of Illinois computer system. We may use software to monitor traffic and to identify unauthorized attempts to upload, download, or change information, to cause harm or otherwise to damage this site. Unauthorized attempts to upload, download, or change information on this server is strictly prohibited by law.

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SITE IMPROVEMENT PLANS FILOTTO ROOFING US ROUTE 52, MINOOKA



LOCATION MAP

WARNING

BENCHMARKS:

LEGAL DESCRIPTION:

SECTION 13-T35N-R8

REFERENCE: KENDALL COUNTY (SEWARD TOWNSHIP) BENCHMARKS 902,

U.S. ROUTE 52, WEST OF COUNTY LINE ROAD, MINOOKA

SITE: RIM OF STORM DRAIN AT NORTHEAST CORNER OF PROPERTY. ELEV=630.89

UNINCORPORATED KENDALL COUNTY

WEST HALF OF THE NORTH 806.65-FT OF THE WEST 1296.0-FT (EXCEPT THE SOUTH 80.67-FT) OF THE SOUTHEAST QUARTER OF

CALL BEFORE

THE PUBLIC WORK & UTILITIES DEPARTMENTS AND BUILDING DEPARTMENT SHALL BE NOTIFIED A MINIMUM OF 48 HOURS PRIOR TO THE START OF OR RESUMPTION OF WORK ON THE PROJECT

LEGEND PROPOSED — >— STORM SEWER (RCP) —>—>— --->>----> STORM SEWER (PVC/HDP) --->>---SANITARY SEWER WATER MAIN FIRE HYDRANT VALVE VAULT VALVE BOX STORM SEWER MANHOLE CATCH BASIN INLET FLARED END SECTION SANITARY SEWER MANHOLE STREET LIGHT

DRAINAGE & ENGINEER CE I, THOMAS CARROLL, A LI BEEN PREPARED BY OR L BELIEF, THESE DOCUMENTS AND PRACTICES AND COMP FURTHERMORE, TO THE BE CHANGED BY THE CONSTRU DRAINAGE WILL BE CHANGE SURFACE WATERS INTO PU THAT SUCH SURFACE WATE PRACTICES SO AS TO REDU CONSTRUCTION OF THE

DATED THIS 12TH DAY OF

THOMAS CARROLL, P.E. ILLINOIS P.E. # LICENSE EXPIRES 11.30.20 GEOTECH INCORPORATED P DESIGN FIRM NUMBER

INDEX OF SHEETS

2. EXISTING CONDITIONS 3. GEOMETRIC PLAN 4. GRADING/UTILITY PLAN

6. EROSION CONTROL PLAN 7. CONSTRUCTION DETAILS

5. STORMWATER POLLUTION PREVENTION PLAN

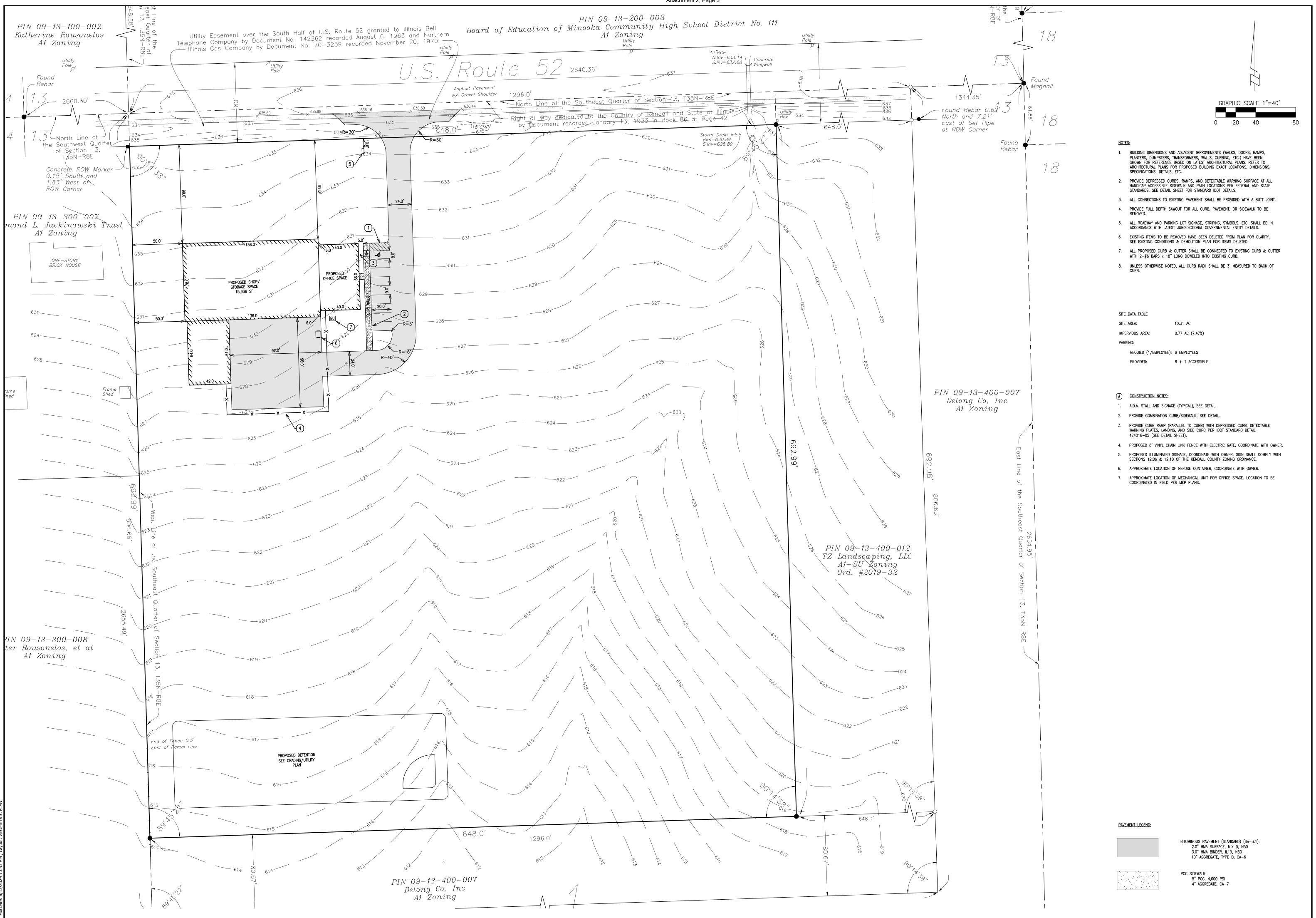
SEAL/STAMP

PROJECT NO. 21641 5.30.24 ____TC ___CP

CONDITIONS

PROJECT NO. <u>21641</u> DRAWN BY: ____TC CHECKED BY: ___CP

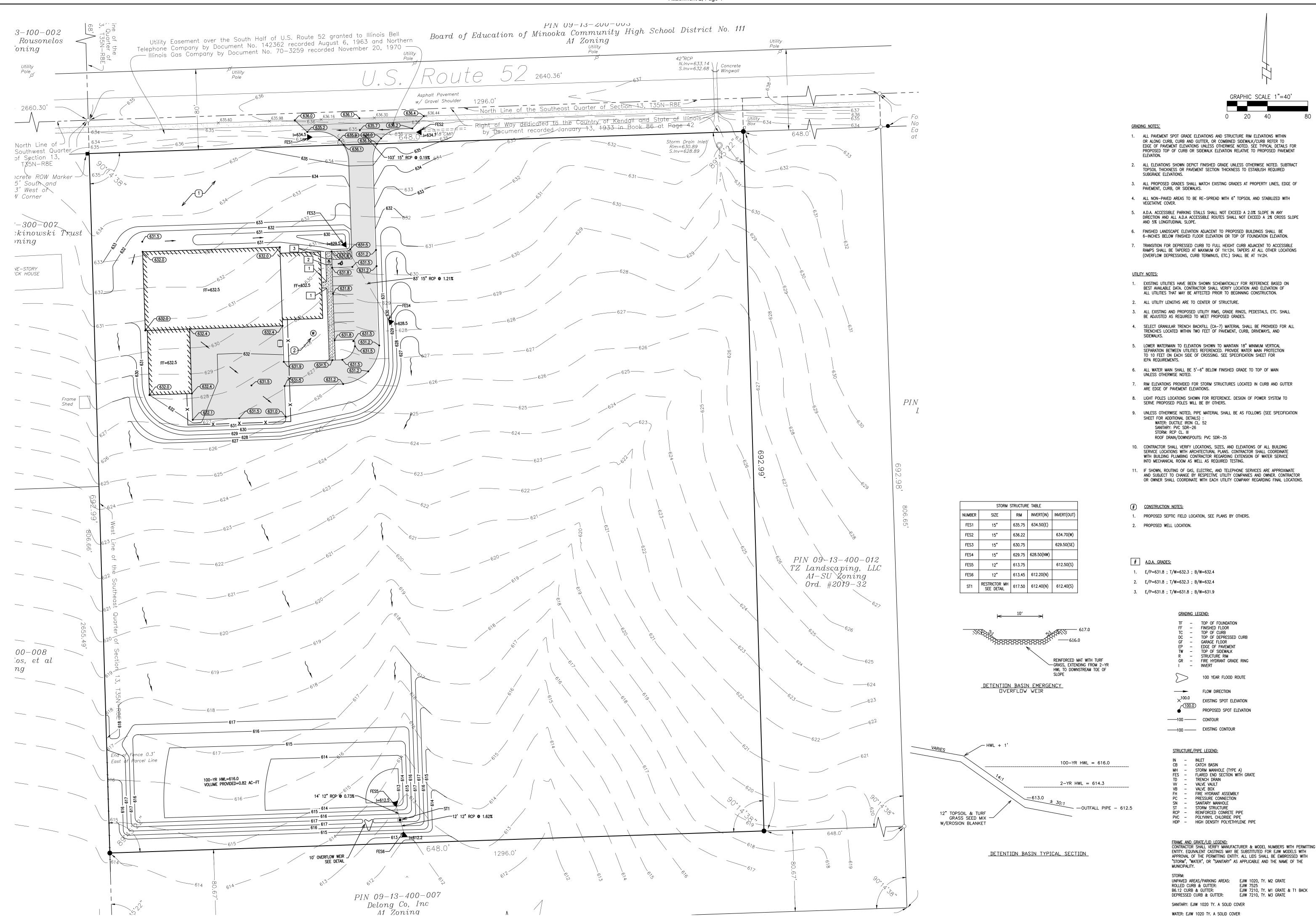
SHEET NO.



FILOTTO ROOFING U.S. ROUTE 52 MINOOKA, IL

PROJECT NO. 21641 DRAWN BY: ____TC CHECKED BY: CP





FILOTTO ROOFING U.S. ROUTE 52 MINOOKA, IL

PROJECT NO. 21641 5.30.24 DRAWN BY: ____TC CHECKED BY: CP

SHEET NO.

1. SITE DECLARATION

THE FOLLOWING IS A DESCRIPTION OF THE CONSTRUCTION ACTIVITY THAT IS THE SUBJECT OF THIS PLAN THE CONSTRUCTION SITE ACTIVITIES FOR THE SITE IMPROVEMENTS WILL INCLUDE, AS NECESSARY: TOPSOIL EXCAVATION AND STOCKPILING, EARTH EXCAVATION AND THE PLACEMENT OF EMBANKMENT MATERIAL. INSTALLATION OF WATER AND SEWER UTILITIES. STORM SEWERS. AND OTHER MUNICIPAL INFRASTRUCTURE SUCH AS TELECOMMUNICATIONS, GAS AND ELECTRIC SERVICES, CURB AND GUTTER, PAVEMENT, RESPREAD OF

TOPSOIL OVER ALL DISTURBED PERVIOUS AREAS, STABILIZATION OF PERVIOUS AREAS WITH SEED AND/OR

OTHER LANDSCAPING MATERIALS, SOIL EROSION AND SEDIMENTATION MEASURES AND OTHER ACTIVITIES THAT

- MAY BE NECESSARY TO PROTECT ADJACENT AND DOWNSTREAM WATER COURSE FROM DAMAGE. THE EXPECTED SEQUENCE OF ACTIVITIES THAT WILL CAUSE SIGNIFICANT DISTURBANCE AND DISRUPTION ARE AS FOLLOWS: SITE CLEARING, TOPSOIL EXCAVATION AND STOCKPILING. EARTH EXCAVATION AND RESTORATION OF DISTURBED AREAS. PRIOR TO THE COMMENCEMENT OF ANY SITE DISTURBANCE ACTIVITY, SILT FENCE, CONSTRUCTION ENTRANCE AND ANY REQUIRED DOWN—SLOPE PROTECTION MUST BE INSTALLEI ADDITIONAL SOIL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSTALLED, AS NOTED ON THE PLANS, AS CONSTRUCTION ACTIVITY PROGRESS.
- THE ESTIMATED STORMWATER RUNOFF COEFFICIENT ARE CONTAINED IN THE PROJECT DESIGN NARRATIVE ON FILE WITH THE LOCAL AGENCY HAVING JURISDICTION OVER THIS PROJECT. INFORMATION REGARDING SOIL CLASSIFICATIONS, ESTIMATED RUNOFF AND DETAILED COMPUTATIONS FOR THE MANAGEMENT OF STORMWATER RUNOFF ARE CONTAINED IN THE PROJECT DESIGN NARRATIVE, WHICH IS INCORPORATED BY REFERENCE AND MADE A PART OF THIS PLAN.

CONTROLS. THE PLAN ADDRESSES VARIOUS CONTROLS THAT MUST BE IMPLEMENTED FOR EACH OF THE MAJOR

CONSTRUCTION ACTIVITIES DESCRIBED ABOVE. FOR EACH OF THE CONTROL DEVICES BELOW. THE CONTRACTOR(S) SHALL BE RESPONSIBLE FOR ITS IMPLEMENTATION. EACH CONTRACTOR HAS SIGNED THIS PLAN ACKNOWLEDGING RESPONSIBILITY FOR THE IMPLEMENTATION AND ONGOING MAINTENANCE OF THIS PLAN.

- A. SOIL EROSION AND SEDIMENT CONTROLS:
- 1. STABILIZATION PRACTICES: EXISTING VEGETATION SHOULD BE PRESERVED AS LONG AS POSSIBLE. DISTURBED AREAS SHOULD BE STABILIZED AS SOON AS POSSIBLE. STABILIZATION MEASURES SHALL BE IMPLEMENTED AS SOON AS PRACTICAL IN PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITIES HAVE TEMPORARILY OR PERMANENTLY CEASED, BUT IN NO CASE LONGER THAN 14 DAYS IN AREAS WHERE CONSTRUCTION ACTIVITY WILL NOT RESUME FOR 21 DAYS OR MORE WHERE SNOW COVER PRECLUDES STABILIZATION ACTIVITIES OR OTHER CONDITIONS PREVENT IMPLEMENTATION, STABILIZATION MEASURES SHALL BE IMPLEMENTED AS SOON
- THE FOLLOWING INTERIM AND PERMANENT STABILIZATION PRACTICES, AS A MINIMUM, SHALL BE EMPLOYED TO STABILIZE DISTURBED AREAS: PERMANENT SEEDING, VEGETATIVE FILTERS, STABILIZED CONSTRUCTION ENTRANCES, AND BARRIER FILTERS.
- STRUCTURAL PRACTICES: THE FOLLOWING STRUCTURAL PRACTICES SHALL BE IMPLEMENTED TO THE EXTENT POSSIBLE TO DIVERT FLOWS FROM EXPOSED SOILS, STORE FLOWS OR OTHERWISE LIMIT RUNOFF AND THE DISCHARGE OF POLLUTANTS FROM THE EXPOSED: STORM SEWER, STORM WATER CONVEYANCE CHANNELS AND PERMANENT SEEDING

B. STORM WATER MANAGEMENT

THE FOLLOWING MEASURES WILL BE INSTALLED DURING THE CONSTRUCTION PROCESS TO CONTROL POLLUTANTS IN STORM WATER DISCHARGE THAT MAY OCCUR AFTER CONSTRUCTION OPERATIONS HAVE BEEN COMPLETED. THE INSTALLATION OF SOME OF THESE DEVICES MAY BE BEING IMPLEMENTED BY THIS PLAN WERE SELECTED ON THE BASIS OF THE TECHNICAL GUIDANCE CONTAINED IN THE IEPA'S STANDARD SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL, AS WELL AS OTHER DOCUMENTS AND ORDINANCES LISTED IN THE

THE STORM WATER POLLUTANTS CONTROL MEASURES INCLUDE: SILT FILTER FENCE, BARRIER

. VELOCITY DISSIPATION DEVICES SHALL BE PLACED AT DISCHARGE LOCATIONS AND ALONG THE LENGTH OF ANY OUTFALL CHANNELS, AS NECESSARY, TO ASSURE A NON-EROSIVE VELOCITY FLOW FROM ANY STRUCTURE TO A WATERCOURSE SO THAT THE NATURAL, PHYSICAL, AND BIOLOGICAL CHARACTERISTICS AND FUNCTIONS OF THE WATERCOURSE ARE MAINTAINED AND

STORM WATER MANAGEMENT CONTROL INCLUDES: RIP-RAP FOR OUTLET PROTECTION AND DITCH/CHANNEL CHECK SYSTEMS.

OTHER CONTROLS.

- WASTE DISPOSAL. SOLID WASTE MATERIALS INCLUDING TRASH, CONSTRUCTION DEBRIS, EXCESS CONSTRUCTION MATERIALS, MACHINERY, TOOLS AND OTHER ITEMS SHALL BE COLLECTED AND DISPOSED OFF-SITE BY THE CONTRACTOR IN AN APPROVED MANNER. THE CONTRACTOR IS RESPONSIBLE TO ACQUIRE ANY PERMIT REQUIRED FOR SUCH DISPOSAL. BURNING ON THE SITE WILL NOT BE PERMITTED. NO SOLID MATERIALS, INCLUDING BUILDING MATERIALS, SHALL BE DISCHARGED INTO WATERS OF THE STATE, EXCEPT AS AUTHORIZED BY APPROPRIATE PERMITS. THIS PLAN SHALL COMPLY WITH ALL APPLICABLE STATE AND/OR LOCAL WASTE DISPOSAL, SANITARY SEWER AND/OR SEPTIC SYSTEM REGULATIONS.
- 2. SANITARY WASTE SHALL BE COLLECTED FROM PORTABLE UNITS PROVIDED BY THE CONTRACTOR A MINIMUM OF TWO TIMES PER WEEK TO AVOID OVERFLOWING AND MAINTAIN SANITARY CONDITIONS AROUND THE UNIT.
- 3. ALL PETROLEUM PRODUCTS STORED ON-SITE SHALL BE STORED IN APPROVED CONTAINERS. ALL FUELING SOURCES SHALL HAVE SPILL KITS IMMEDIATELY AVAILABLE.
- 4. CONCRETE TRUCKS SHALL NOT BE PERMITTED TO WASH OUT OR DISCHARGE SURPLUS CONCRETE OR DRUM WASH WATER ON THE SITE. SPECIFIC AREAS FOR THIS ACTIVITY SHALL BE DESIGNATED BY THE CONTRACTOR AND PROVIDED WITH ADEQUATE FILTRATION BASINS AND OTHER FACILITIES TO ASSURE THAT DISCHARGE IS CONTAINED AND CLEANSED BEFORE ENTERING THE SITE STORM WATER SYSTEM.
- 5. DE-WATERING OF EXCAVATIONS AND OTHER SPACES, USING PUMPS OR OTHER MEANS, AND ALL DISCHARGES OF WATER CONTAMINATED WITH SILT OR SEDIMENT SHALL BE MOVED TO A PORTABLE OR PERMANENT SEDIMENT BASIN TO ASSURE ALL SUSPENDED SOLIDS ARE REMOVED PRIOR TO FLOWS LEAVING THE CONSTRUCTION SITE.

APPROVED STATE OR LOCAL PLANS.

THE MANAGEMENT PRACTICES. CONTROLS. AND OTHER PROVISIONS CONTAINED IN THIS PLAN ARE AT LEAST AS PROTECTIVE AS THE REQUIREMENTS CONTAINED IN THE ILLINOIS ENVIRONMENTAL PROTECTION AGENCY'S STANDARDS AND SPECIFICATIONS FOR SOIL FROSION AND SEDIMENT CONTROL CURRENT EDITION ILLINOIS PROCEDURES AND STANDARDS FOR URBAN SOIL EROSION AND SEDIMENTATION PLAN, AND ANY GOVERNING LOCAL ORDINANCES. REQUIREMENTS SPECIFIED IN SEDIMENT AND EROSION CONTROL SITE PLANS, SITE PERMITS, STORM WATER MANAGEMENT SITE PLANS OR SITE PERMITS APPROVED BY LOCAL OFFICIALS THAT ARE APPLICABLE TO PROTECTING SURFACE WATER RESOURCES ARE, UPON SUBMITTAL OF AN NOI TO BE AUTHORIZED TO DISCHARGE UNDER THIS PERMIT, INCORPORATED BY REFERENCE AND ARE ENFORCEABLE UNDER THIS PERMIT EVEN IF THEY ARE NOT SPECIFICALLY INCLUDED IN THE PLAN.

3. MAINTENANCE:

THE FOLLOWING PROCEDURES SHALL BE USED TO MAINTAIN, IN GOOD CONDITION, VEGETATION, EROSION AND SEDIMENTATION CONTROL MEASURES, AND OTHER PROTECTIVE MEASURES IDENTIFIED IN THIS PLAN AND THE

- STABILIZED CONSTRUCTION ENTRANCE: THE ENTRANCE SHALL BE MAINTAINED TO PREVENT TRACKING OF SEDIMENT ONTO PUBLIC STREETS. THIS WILL BE DONE BY TOP DRESSING WITH ADDITIONAL STONES, REMOVE AND REPLACE TOP LAYER OF STONES OR WASHING THE ENTRANCE. ADJACENT PUBLIC STREETS SHALL BE SWEPT FREQUENTLY, IF NOT DAILY, TO ELIMINATE DUST AND SEDIMENTS.
- b. VEGETATIVE EROSION CONTROL MEASURES: THE VEGETATIVE GROWTH OF TEMPORARY AND PERMANENT SEEDING, SODDING, VEGETATIVE CHANNELS, VEGETATIVE FILTER, ETC. SHALL BE MAINTAINED PERIODICALLY AND SUPPLY ADEQUATE WATERING AND FERTILIZER. THE VEGETATIVE COVER SHALL BE REMOVED AND RESEEDED AS NECESSARY.
- INLET FILTERS: THE SEDIMENTS SHALL BE REMOVED WHEN 50 PERCENT OF THE TOTAL ORIGINAL CAPACITY IS OCCUPIED BY THE SEDIMENT.
- d. SILT FILTER FENCE AND STRAW BALE BARRIER FILTERS: ANY DAMAGED AREAS SHALL BE REPAIRED TO MEET THE ORIGINAL DESIGN INTENT OR REMOVED AND REPLACED AS
- e. RIP-RAP OUTLET PROTECTION: IT SHALL BE INSPECTED AFTER HIGH FLOWS FOR ANY SCOUR BENEATH THE RIP-RAP OR FOR STONES THAT HAVE BEEN DISLODGED. IT SHALL BE REPAIRED IMMEDIATELY.

UNLESS OTHERWISE DIRECTED BY THE OWNER, THE CONTRACTOR, OR CONTRACTOR'S REPRESENTATIVE SHALL PROVIDE QUALIFIED PERSONNEL TO INSPECT DISTURBED AREAS OF THE CONSTRUCTION SITE WHICH HAVE NOT BEEN FINALLY STABILIZED. STRUCTURAL CONTROL MEASURES. AND LOCATION WHERE VEHICLES ENTER OR EXIT THE SITE. SUCH INSPECTIONS SHALL BE CONDUCTED AT LEAST ONCE EVERY SEVEN (7) CALENDAR DAYS AND WITHIN 24 HOURS OF THE END OF A STORM THAT IS 0.5 INCHES OR GREATER OR EQUIVALENT SNOWFALL.

- DISTURBED AREAS AND AREAS USED FOR STORAGE OF MATERIALS THAT ARE EXPOSED TO PRECIPITATION SHALL BE INSPECTED FOR EVIDENCE OF, OR THE POTENTIAL FOR, POLLUTANTS ENTERING THE DRAINAGE SYSTEM. EROSION AND SEDIMENT CONTROL MEASURES IDENTIFIED IN THE PLAN SHALL BE OBSERVED TO ENSURE THAT THEY ARE OPERATING CORRECTLY. WHERE DISCHARGE LOCATIONS OR POINTS ARE ACCESSIBLE, THEY SHALL BE INSPECTED TO ASCERTAIN WHETHER EROSION CONTROL MEASURES ARE EFFECTIVE IN PREVENTING SIGNIFICANT IMPACTS TO RECEIVING WATERS AND ADJACENT PROPERTIES. LOCATIONS WHERE VEHICLES ENTER OR EXIT THE SITE SHALL BE INSPECTED FOR EVIDENCE OF OFF SITE
- BASED ON THE RESULTS OF THE INSPECTION, THE DESCRIPTION OF POTENTIAL POLLUTANT SOURCES IDENTIFIED IN SECTION 1 ABOVE AND POLLUTION PREVENTION MEASURES IDENTIFIED IN SECTION 2 ABOVE SHALL BE REVISED AS APPROPRIATE AS SOON AS PRACTICABLE AFTER SUCH INSPECTION. ANY CHANGES THIS PLAN RESULTING FROM THE REQUIRED INSPECTIONS SHALL BE IMPLEMENTED WITHIN 7 CALENDAR
- A REPORT SUMMARIZING THE SCOPE OF THE INSPECTION, NAME(S) AND QUALIFICATIONS OF PERSONNEL MAKING THE INSPECTION, THE DATE(S) OF THE INSPECTION, MAJOR OBSERVATIONS RELATING TO THE IMPLEMENTATION OF THIS PLAN, AND ACTIONS TAKEN IN ACCORDANCE WITH SECTION 4.6 SHALL BE MADE AND RETAINED AS PART OF THE PLAN FOR AT LEAST THREE (3) YEARS AFTER THE DATE OF THE INSPECTION. THE REPORT SHALL BE SIGNED BY THE CONTRACTORS DESIGNATED "QUALIFIED INDIVIDUAL" AND COPIES FORWARDED TO THE ENGINEER AND OWNER.
- IF ANY VIOLATION OF THE PROVISIONS OF THIS PLAN IS IDENTIFIED DURING THE CONDUCT OF THE CONSTRUCTION WORK COVERED BY THIS PLAN, THE CONTRACTOR OR CONTRACTOR'S REPRESENTATIVE SHALL COMPLETE AND FILE AN "INCIDENCE OF NONCOMPLIANCE" (ION) REPORT FOR THE IDENTIFIED VIOLATION. THE CONTRACTOR OR CONTRACTOR'S REPRESENTATIVE SHALL USE FORMS PROVIDED BY THE ILLINOIS ENVIRONMENTAL PROTECTION AGENCY AND SHALL INCLUDE SPECIFIC INFORMATION ON THE CAUSE OF NONCOMPLIANCE, ACTIONS WHICH WERE TAKEN TO PREVENT ANY FURTHER CAUSES OF NONCOMPLIANCE, AND A STATEMENT DETAILING ANY ENVIRONMENTAL IMPACT WHICH MAY HAVE RESULTED FROM THE NONCOMPLIANCE. ALL REPORTS OF NONCOMPLIANCE SHALL BE SIGNED BY A RESPONSIBLE AUTHORITY IN ACCORDANCE WITH THE GENERAL PERMIT. THE REPORT SHALL BE MAILED TO THE FOLLOWING ADDRESS, WITH COPIES SENT TO THE OWNER AND ENGINEER: IEPA - DIVISION OF WATER POLLUTION CONTROL COMPLIANCE ASSURANCE SECTION

POST OFFICE BOX 19276

SPRINGFIELD, IL 62794-9276

NON-STORM WATER DISCHARGES.

EXCEPT FOR FLOWS FROM FIRE-FIGHTING ACTIVITIES, SOURCES OF NON-STORM WATER THAT MAY BE COMBINED WITH STORM WATER DISCHARGES ASSOCIATED WITH THE ACTIVITY ADDRESSED IN THIS

- WATER MAIN FLUSHING
- WATERING FOR DUST CONTROL IRRIGATION DRAINAGE FOR VEGETATIVE GROWTH FOR SEEDING, ETC. UNCONTAMINATED GROUNDWATER (FROM DE-WATERING ACTIVITIES)

THE POLLUTION MEASURES SPECIFIED IN THE PLAN SHALL BE IMPLEMENTED FOR NON-STORM WATER COMPONENTS OF THE DISCHARGE EXCEPT THAT EROSION DUE TO IRRIGATION OF SEEDING SHALL BE

6. GENERAL NOTES

- A. ALL ACCESS TO AND FROM THE CONSTRUCTION SITE IS TO BE RESTRICTED TO THE CONSTRUCTION
- B. ALL TEMPORARY AND PERMANENT EROSION AND SEDIMENT CONTROL PRACTICES MUST BE MAINTAINED AND REPAIRED AS NEEDED TO ASSURE EFFECTIVE PERFORMANCE OF THEIR INTENDED
- MAJOR AMENDMENTS OF THE SITE DEVELOPMENT OR EROSION AND SEDIMENTATION CONTROL PLANS SHALL BE SUBMITTED TO THE DEPARTMENT OF COMMUNITY DEVELOPMENT TO BE APPROVED IN THE SAME MANNER AS THE ORIGINAL PLANS.

DAYS AFTER THE FINAL SITE STABILIZATION IS ACHIEVED WITH PERMANENT SOIL STABILIZATION

- ANY SEDIMENT REACHING A PUBLIC OR PRIVATE ROAD SHALL BE REMOVED BY SHOVELING OR STREET CLEANING (NOT FLUSHING) BEFORE THE END OF EACH WORKDAY AND TRANSPORTED TO A CONTROLLED SEDIMENT DISPOSAL
- E. ALL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES SHALL BE DISPOSED OF WITHIN 30
- F. DISTURBED AREAS SHALL BE STABILIZED WITH TEMPORARY OR PERMANENT MEASURES WITHIN 7 CALENDAR DAYS FOLLOWING THE END OF ACTIVE DISTURBANCE OR REDISTURBANCE.
- G. IF DEWATERING DEVICES ARE USED, DISCHARGE LOCATIONS SHALL BE PROTECTED FROM EROSION. ALL PUMPED DISCHARGES SHALL BE ROUTED THROUGH APPROPRIATELY DESIGNED SEDIMENT TRAPS
- H. THE CONTRACTOR SHALL TAKE THE NECESSARY STEPS TO CONTROL WASTE SUCH AS BUILDING MATERIALS, CONCRETE TRUCK WASHOUT, CHEMICALS, LITTER AND SANITARY WASTE AT THE CONSTRUCTION SITE THAT MAY CAUSE ADVERSE IMPACTS TO WATER QUALITY.
- ALL STORM SEWER FRAMES AND GRATES/LIDS SHALL BE MARKED WITH "DUMP NO WASTE" AND "DRAINS TO CREEK".
- J. A NOTICE OF INTENT (NOI) MUST BE SUBMITTED TO THE NPDES PERMITTING AUTHORITY AND POSTMARKED AT LEAST 30 DAYS BEFORE COMMENCEMENT OF ANY WORK ON-SITE FOR ALL CONSTRUCTION SITES OVER ONE ACRE. INCLUDED IN THE NOI SHALL BE THE STORMWATER POLLUTION PREVENTION PLAN (SWPPP), WHICH INCLUDES THE APPROPRIATE BMP'S TO MINIMIZE THE DISCHARGE OF POLLUTANTS FROM THE CONSTRUCTION SITE.
- K. AN INCIDENT OF NON-COMPLIANCE (ION) MUST BE COMPLETED AN SUBMITTED TO THE IEPA IF, AT ANY TIME, AN EROSION OR SEDIMENT CONTROL DEVICE FAILS.
- A NOTICE OF TERMINATION (NOT) MUST BE COMPLETED AND SUBMITTED TO THE IEPA WHEN ALL PERMANENT EROSION CONTROL MEASURES ARE IN PLACE WITH A 70% ESTABLISHMENT OF
- DUST CONTROL SHALL BE PROVIDED IN ACCORDANCE WITH SECTION 107.36 OF THE STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION. APPROPRIATE MEASURES INCLUDE SPRINKLING/IRRIGATION, VEGETATIVE COVER, OR MULCH.

7. <u>SITE SPECIFIC INFORMATION</u>

PAVING

SITE AREA = 10.31 ACRES DISTURBED AREA = 2.87 ACRES RECEIVING WATERS = AUX SABLE CREEK

- 8. SEQUENCE OF EVENTS AND ESTIMATED CONSTRUCTION SCHEDULE:
- 1. INSTALL TEMPORARY EROSION CONTROL: 2. EARTH EXCAVATION/ROUGH GRADING: SUMMER 2024
- . INSTALL CURB AND AGGREGATE BASE SUMMER 2024 FALL 2024 . SEEDING & LANDSCAPING
- 70% ESTABLISHMENT OF VEGETATION 6. REMOVE TEMPORARY EROSION CONTROL

ESTIMATED SCHEDULE SHOWN FOR REFERENCE ONLY, ACTUAL DATES WILL BE DETERMINED BY CONTRACTOR BASED UPON MULTIPLE FACTORS. ESTIMATED THAT CLEARED AREAS MAY BE EXPOSED FOR APPROXIMATELY 45 DAYS.

9. LONG TERM (POST CONSTRUCTION) MAINTENANCE

COMPONENTS OF THE STORMWATER MANAGEMENT FACILITIES, STORMWATER COLLECTION SYSTEM, AND LANDSCAPED/VEGETATED AREAS SHALL BE INSPECTED PERIODICALLY BETWEEN MARCH AND NOVEMBER, AS NECESSARY TO ENSURE PROPER PERFORMANCE AT A MINIMUM THE FOLLOWING MEASURES SHALL BE TAKEN TO ENSURE THE SYSTEMS OPERATE AS DESIGNED AND THE DESIGN VOLUME OF ANY DETENTION

- LITTER AND DEBRIS SHALL BE CONTROLLED THROUGHOUT THE SI' LANDSCAPE AREAS SHALL BE MAINTAINED WITH REGULAR MOWING AND RESTORED WITH
- APPROPRIATE SEEDING/VEGETATION AS NECESSARY. RIPRAP AREAS SHALL BE REPAIRED WITH THE ADDITION OF NEW RIPRAP, AS NECESSARY, OF
- SIMILAR SIZE AND SHAPE. INSPECT ANY SIDE SLOPE/EMBANKMENTS IN DETENTION BASIN OR ALONG FLOW ROUTE FOR
- SETTLEMENT AND EROSION AND REPAIR AS NECESSARY. ENSURE NO OBSTRUCTIONS ARE BLOCKING THE EMERGENCY OVERFLOW WEIR. INSPECT THE RESTRICTOR MANHOLE TO ENSURE SEDIMENT OR DEBRIS IS NOT BLOCKING
- RESTRICTORS AND OUTLET PIPES. INSPECT ALL DETENTION AND VOLUME CONTROL FACILITIES TO ENSURE THE CONSTRUCTED VOLUME IS MAINTAINED. NO SEDIMENT, TOPSOIL, OR OTHER DUMPING INTO THE FACILITY SHALL BE ALLOWED. ANY ACCUMULATED SEDIMENT SHALL BE DREDGED AS NECESSARY TO RESTORE THE REQUIRED
- STORAGE VOLUME. INSPECT STORM INLETS/CATCH BASINS/MANHOLES/CULVERTS FOR ACCUMULATED SEDIMENT AND REMOVE SEDIMENT AS NECESSARY. REMOVE ACCUMULATED LEAVES AND OTHER DEBRIS FROM STORM SEWER INLET GRATES, AS
- NATIVE PLANTING AREAS OR STORM WATER SEED MIX AREAS SHALL BE MAINTAINED PER THE

SOIL PROTECTION CHART

STABILIZATION TYPE	JAN.	FEB.	MAR.	APR.	MAY	JUNE	JULY	AUG.	SEPT.	OCT.	NOV.	DEC.
PERMANENT SEEDING			+ <u>A</u>						\			
DORMANT SEEDING	В		-								+ ^B	•
TEMPORARY SEEDING			+ <u>c</u>			-	+ D					
SODDING			+ ^{E**}						-			
MULCHING	F											\

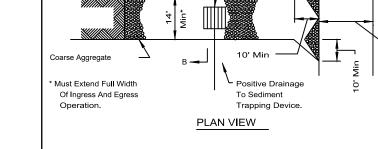
- A. KENTUCKY BLUEGRASS 90 LBS/ACRE MIXED W/ PERENNIAL RYE GRASS 30 LBS/ACRE
- D. WHEAT OR CEREAL RYE 150 LBS/ACRE
- B. KENTUCKY BLUEGRASS 135 LBS/ACRE MIXED W/ PERENNIAL RYE GRASS 45 LBS/ACRE + 2 TONS STRAW MULCH/ACRE.
- C. SPRING OATS 100 LBS/ACRE

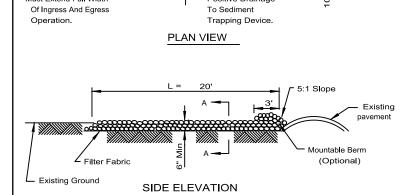
- F. STRAW MULCH 2 TONS/ACRE * IRRIGATION NEEDED DURING JUNE AND JULY.
 ** IRRIGATION NEEDED FOR 2 TO 3 WEEKS AFTER APPLYING.

*** MOW LAWNS AS NECESSARY.

RIP-RAP DIMENSION TABLE							
PIPE DIAMATER D (IN)	IDOT ROCK GRADATIO N	APRON WIDTH, W1(FT) 3D	APRON WIDTH, W2(FT) 3D+L	APRON LENGTH, L(FT)	DEPTH OF RIP RAP Y (IN)		
12	RR3	3.00	13.00	10	15		
15	RR3	3.75	15.75	12	15		
18	RR3	4.50	18.50	14	15		
21	RR3	5.25	20.25	15	15		
24	RR3	6.00	22.00	16	15		
27	RR3	6.75	23.75	17	15		
30	RR3	7.50	25.50	18	15		
36	RR4	9.00	29.00	20	20		
42	RR4	10.50	32.50	22	20		
48	RR4	12.00	36.00	24	20		
54	RR5	13.50	41.50	28	28		
60	RR5	15.00	47.00	32	28		
72	RR6	18.00	58.00	40	32		

PLAN ARE AS FOLLOWS: FIRE HYDRANT FLUSHING





STABILIZED CONSTRUCTION ENTRANCE PLAN

Attachment 2, Page 5

1 Filter fabric shall meet the requirements of material specification 592 GEOTEXTILE, Table I or 2, Class, or and shall be placed over the cleared area prior to the placing of rock. 2. Rock or reclaimed concrete shall meet one of the following IDOT coarse aggregate gradation, CA-1, CA-2, CA-3 or CA-4 and be placed according to construction specification 25 ROCKFILL using placement Method 1 and Class cdiffipaction. Any drainage facilities required because of washing shall be constructed according to manufacturers specifications.

(Typ)

ELEVATION

FABRIC ANCHOR DETAIL

Temporary sediment fence shall be installed prior to any grading work

construction period and removed in conjunction with the final grading

in the area to be protected. They shall be maintained throughout the

592 Geotextile Table 1 or 2, Class with equivalent bpening size of

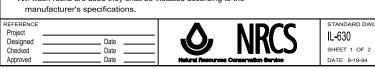
2. Filter fabric shall meet the requirements of material specificatio

. Fence posts shall be either standard steel post or wood post with a

at least 30 for nonwoven and 40 for woven.

ninimum cross-sectional area of 3.0 sq. in.

Filter Fabric





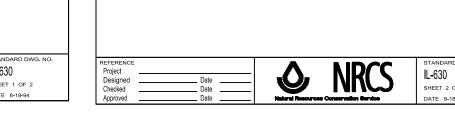
SILT FENCE PLAN

Fastener - Min. No. 10 Gage Wire 4 Per Post Required. (Typ.)

IUM-620





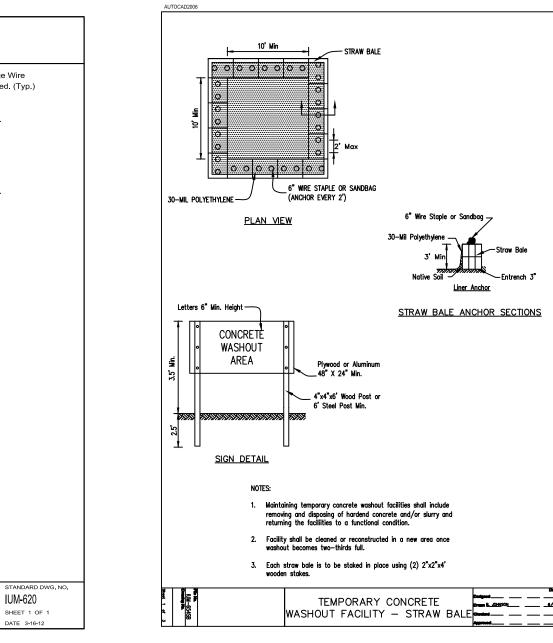


Filter Fabric

STABILIZED CONSTRUCTION ENTRANCE PLAN

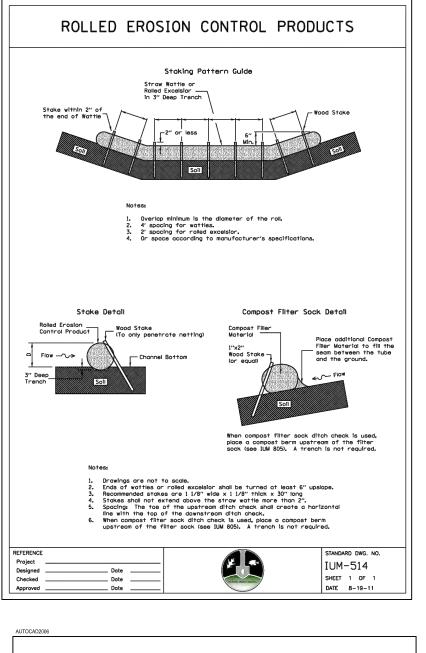
SECTION A-A

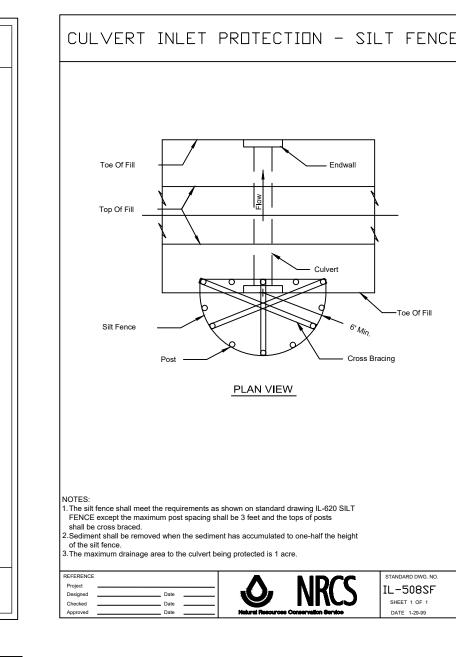
SECTION B-B

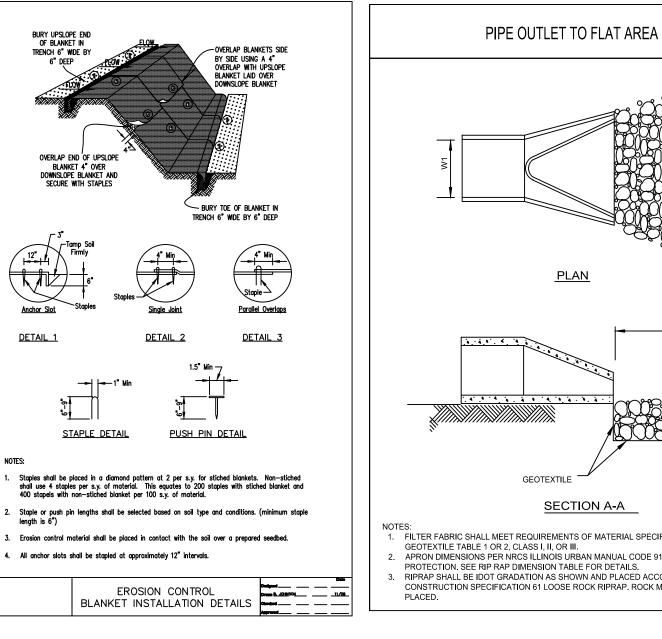


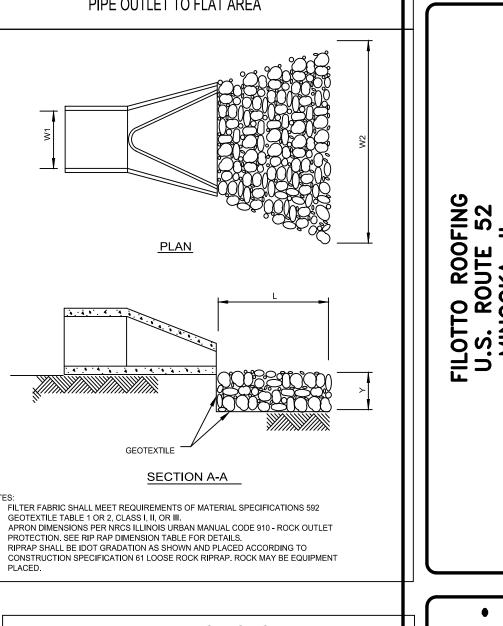
Liner Anchor

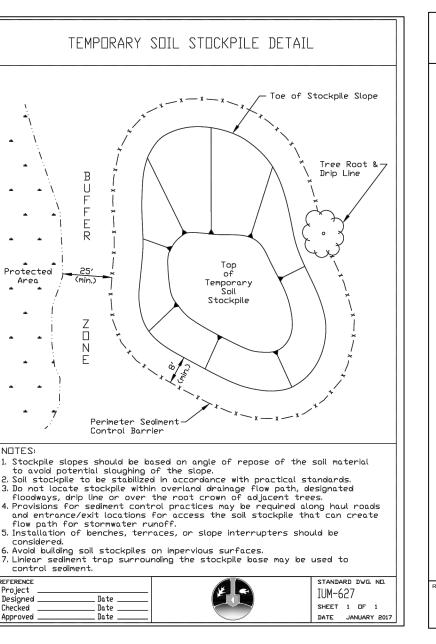
DETAIL 1

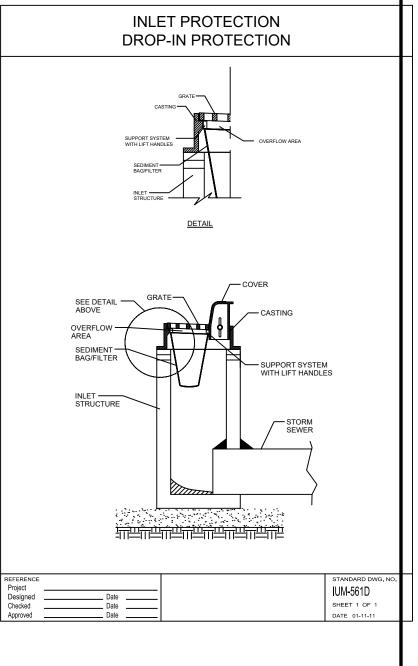


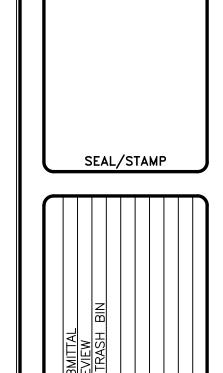


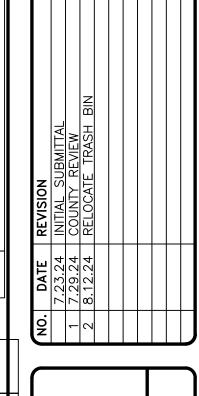


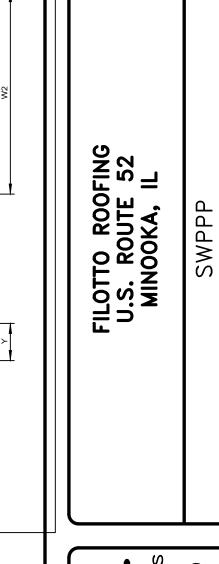


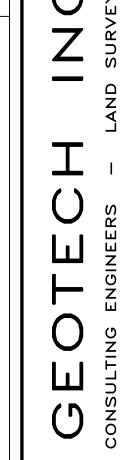


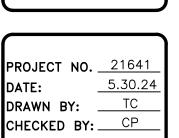


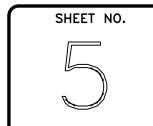


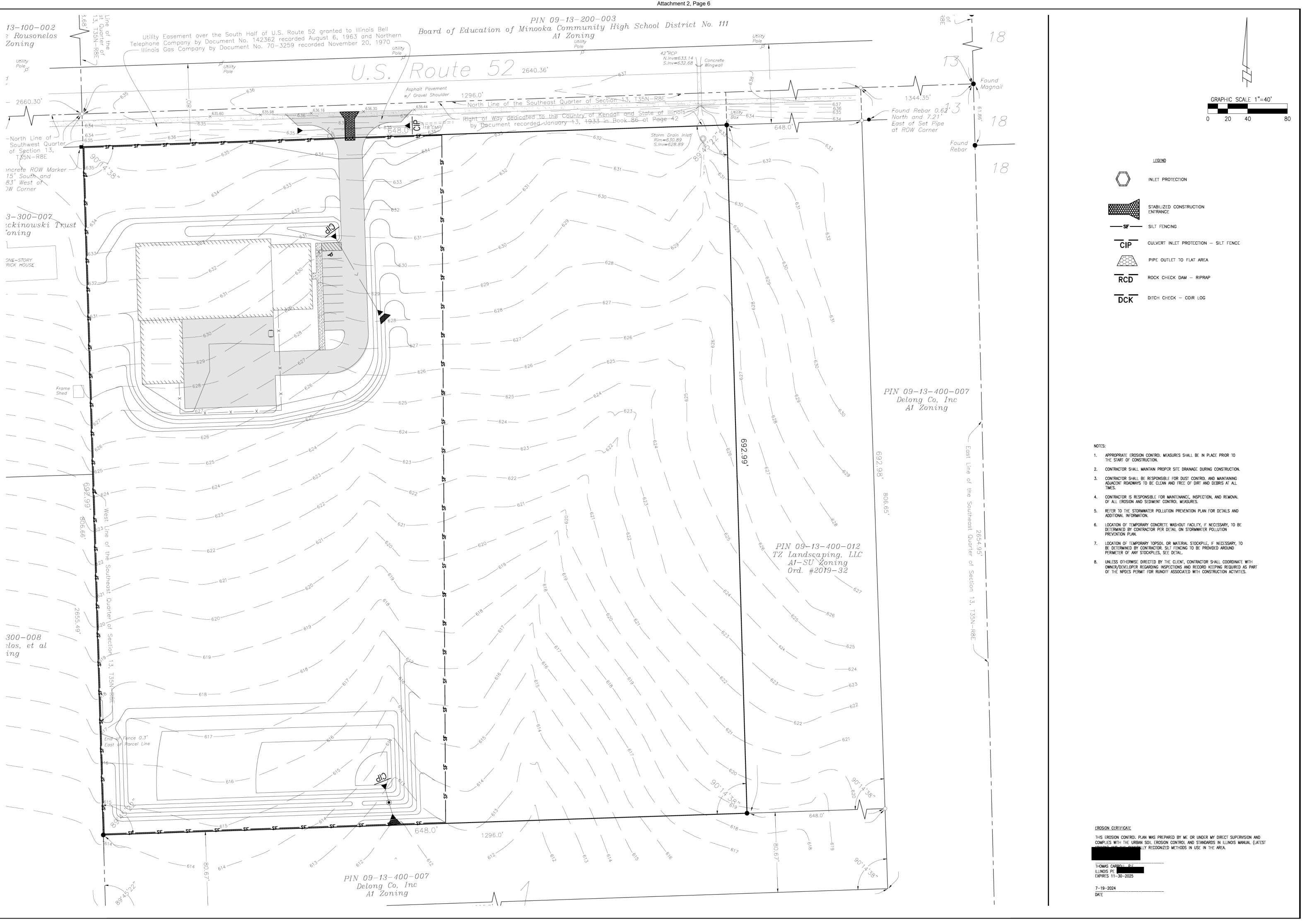






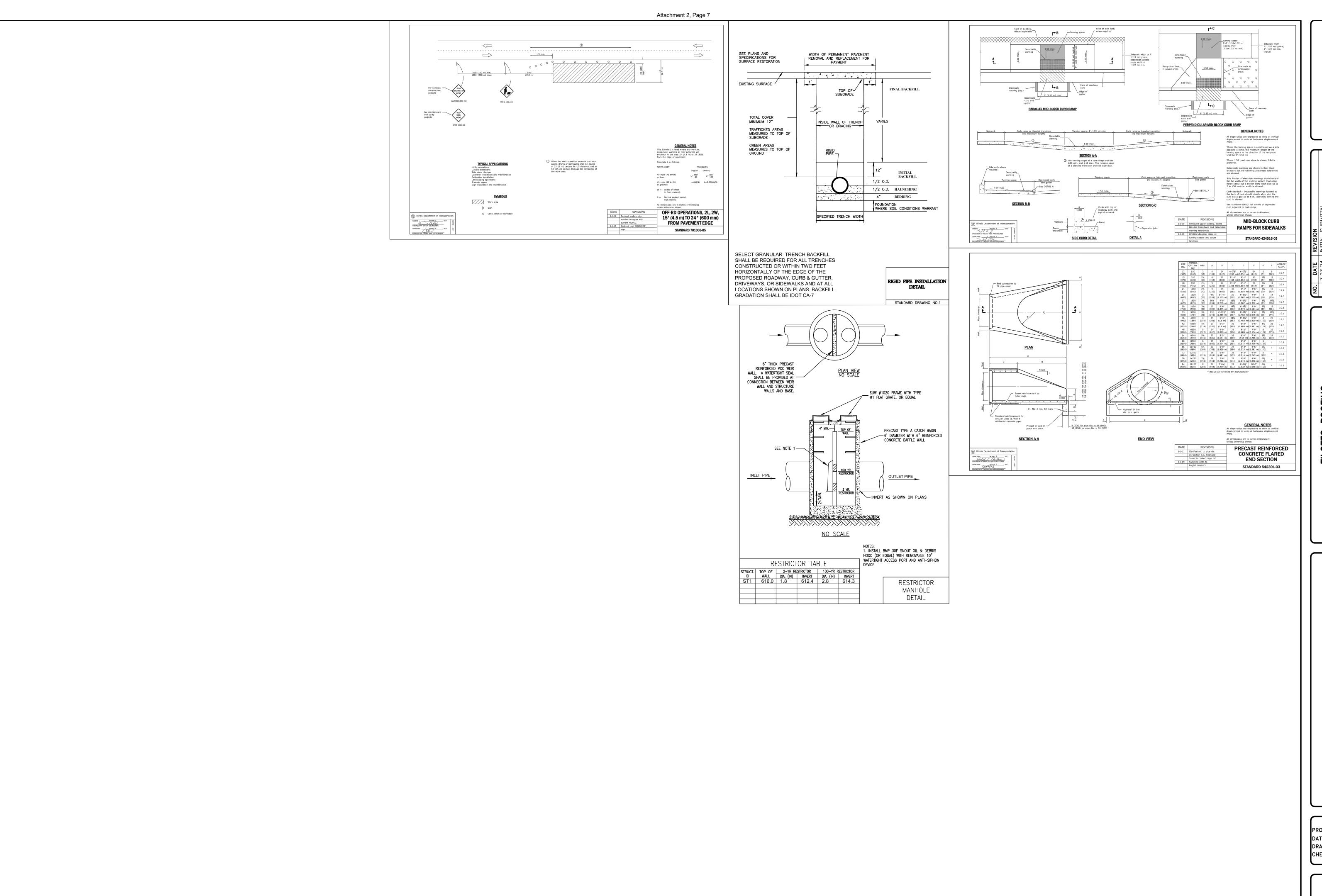






PROJECT NO. 21641 5.30.24 DRAWN BY: TC CHECKED BY: CP





NO. DATE REVISION
7.23.24 INITIAL SUBMITTAL
1 7.29.24 COUNTY REVIEW
2 8.12.24 RELOCATE TRASH BIN

FILOTTO ROOFING
U.S. ROUTE 52
MINOOKA, IL

DETAILS - 1

CT CT CS CO403 815/730-1010

CONSULTING ENGINEERS - LAND SU

PROJECT NO. 21641

DATE: 5.30.24

DRAWN BY: TC

CHECKED BY: CP

SHEET NO.

GENERAL SPECIFICATIONS:

DEFINITION OF TERMS:

- "CLIENT" SHALL MEAN THE PERSON OR ENTITY WITH WHOM GEOTECH INCORPORATED HAS CONTRACTED WITH PREPARE CIVIL ENGINEERING PLANS AND SPECIFICATIONS. "ENGINEER" SHALL MEAN GEOTECH INCORPORATED
- PLANS" SHALL MEAN THE CIVIL ENGINEERING PLANS AND SPECIFICATION PREPARED BY THE ENGINEER. "CONTRACTOR" SHALL MEAN ANY PERSON OR ENTITY PERFORMING ANY WORK DESCRIBED IN THE PLANS. JURISDICTIONAL ENTITY" SHALL MEAN ANY MUNICIPAL, COUNTY, STATE, OR FEDERAL UNIT OF GOVERNMENT FROM WHOM AN APPROVAL, PERMIT, AND/OR REVIEW IS REQUIRED FOR ANY ASPECT OF THE PROJECT.
- 2. CONTRACTOR ACKNOWLEDGES AND AGREES THAT THE USE AND RELIANCE OF THE PLANS IS SUFFICIENT CONSIDERATION FOR CONTRACTOR'S COVENANTS STATED HEREIN.
- 3. NO CONSTRUCTION PLAN SHALL BE USED FOR CONSTRUCTION UNLESS SPECIFICALLY MARKED "FOR CONSTRUCTION" PRIOR TO COMMENCEMENT OF CONSTRUCTION THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS AFFECTING THE WORK WITH THE ACTUAL CONDITIONS AT THE JOB SITE. IN ADDITION, THE CONTRACTOR MUST VERIFY THE ENGINEER'S LINE AND GRADE STAKES. IF THERE ARE ANY DISCREPANCIÉS WITH WHAT IS SHOWN ON THE CONSTRUCTION PLANS, THE CONTRACTOR MUST IMMEDIATELY REPORT SAME TO ENGINEER BEFORE DOING ANY WORK, OTHERWISE THE CONTRACTOR ASSUMES FULL RESPONSIBILITY. IN THE EVENT OF DISAGREEMENT BETWEEN THE CONSTRUCTION PLANS, SPECIFICATIONS, AND/OR DETAILS, THE CONTRACTOR SHALL SECURE WRITTEN INSTRUCTION FROM THE ENGINEER PRIOR TO PROCEEDING WITH ANY PART OF THE WORK AFFECTED BY OMISSIONS OR DISCREPANCIES. FAILING TO SECURE SUCH INSTRUCTION, THE CONTRACTOR WILL BE CONSIDERED TO HAVE PROCEEDED AT THEIR OWN RISK AND EXPENSE. IN THE EVENT OF ANY DOUBT OR QUESTIONS ARISING WITH RESPECT TO THE TRUE MEANING OF THE CONSTRUCTION PLANS OR SPECIFICATIONS, THE DECISION OF THE ENGINEER SHALL BE FINAL AND CONCLUSIVE.
- ALL WORK HEREIN PROPOSED SHALL BE COMPLETED IN ACCORDANCE WITH ALL REQUIREMENTS OF ANY JURISDICTIONAL ENTITY, AND ALL SUCH PERTINENT LAWS, DIRECTIVES, ORDINANCES AND THE LIKE SHALL BE CONSIDERED TO BE A PART OF THESE PLANS. IF A DISCREPANCY IS NOTED BETWEEN THE PLANS AND REQUIREMENTS OF ANY JURISDICTIONAL ENTITY, THE CLIENT AND/OR CONTRACTOR SHALL IMMEDIATELY NOTIFY THE
- 5. CONSTRUCTION OF WORK PROPOSED BY THE PLANS SHALL BE COMPLETED IN ACCORDANCE WITH, AND MATERIALS USED SHALL BE IN COMPLIANCE WITH, THE METHODS AND MATERIALS REQUIRED IN THE APPROPRIATE SECTIONS OF THE LATEST EDITIONS OF THE "STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, DEPARTMENT OF TRANSPORTATION, STATE OF ILLINOIS" AND "STANDARD SPECIFICATIONS FOR WATER AND SEWER MAIN CONSTRUCTION
- WHEN THE PLANS INCLUDE INFORMATION PERTAINING TO THE LOCATION OF EXISTING UNDERGROUND FACILITIES AND UTILITIES, SUCH INFORMATION REPRESENTS ONLY THE OPINION OF THE ENGINEER AS TO THE APPROXIMATE LOCATION AND ELEVATION OF SUCH FACILITIES AND UTILITIES. AT THE LOCATIONS WHEREIN DETAILED POSITIONS OF THESE FACILITIES AND UTILITIES BECOME NECESSARY FOR NEW CONSTRUCTION, INCLUDING ALL POINTS OF CONNECTION. THE CONTRACTOR SHALL FURNISH ALL LABOR AND TOOLS TO VERIFY OR DEFINITELY ESTABLISH THE HORIZONTAL LOCATION, ELEVATION, SIZE, AND MATERIAL OF THE FACILITIES AND UTILITIES. CONTRACTOR SHALL NOTIFY THE ENGINEER AT LEAST 48 HOURS PRIOR TO CONSTRUCTION IF ANY DISCREPANCIES IN EXISTING INFORMATION OR CONFLICTS WITH EXISTING UTILITIES EXIST. ENGINEER ASSUMES NO RESPONSIBILITY WHATEVER WITH RESPECT TO THE SUFFICIENCY OR ACCURACY OF THE INFORMATION SHOWN ON THE PLANS RELATIVE TO THE LOCATION OF UNDERGROUND FACILITIES AND UTILITIES, NOR THE MANNER IN WHICH THEY ARE REMOVED OR ADJUSTED. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY PRIOR TO CONSTRUCTION TO NOTIFY ALL UTILITY COMPANIES OF THE INTENT TO BEGIN CONSTRUCTION AND TO VERIFY THE ACTUAL LOCATION OF ALL SUCH FACILITIES AND UTILITIES. THE CONTRACTOR SHALL ALSO OBTAIN FROM THE RESPECTIVE UTILITY COMPANIES THE WORKING SCHEDULE FOR REMOVING OR ADJUSTING THESE FACILITIES.
- 7. THE PLANS HAVE BEEN PREPARED BY THE ENGINEER BASED ON THE ASSUMPTION THAT EXISTING OR MODIFIED SOIL CONDITIONS ARE SUITABLE TO SUPPORT THE PROPOSED IMPROVEMENTS SHOWN. THE CLIENT AND/OR CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ENGINEER IF ANY OBSTRUCTIONS OR UNSUITABLE MATERIAL ARE DISCOVERED THAT PREVENTS THE INSTALLATION OF THE IMPROVEMENTS AS SHOWN ON THE PLANS. THE CLIENT AT THEIR DISCRETION SHALL RETAIN A GEOTECHNICAL ENGINEER, TO ENSURE THE SOIL CONDITIONS ARE SUITABLE
- 8. DUE TO THE UNCERTAINTY OF SEASONAL GROUND WATER TABLES AND THE GEOPHYSICAL CONDITIONS AFFECTING GROUND WATER MOVEMENT, THE ENGINEER ASSUMES NO RESPONSIBILITY FOR THE MANAGEMENT OF GROUND WATER ASSOCIATED WITH SUBGRADE CONSTRUCTION. UNDERGROUND UTILITIES, BASEMENTS, OR OTHER SIMILAR FACILITIES CONSTRUCTED BELOW FINISHED GRADE ARE AT THE RISK OF THE CLIENT. CLIENT SHALL COORDINATE WITH CONTRACTOR, ARCHITECT, AND/OR SOILS ENGINEER TO MITIGATE THE POTENTIAL IMPACT OF GROUND WATER ON THE PROPOSED IMPROVEMENTS.
- 9. TREES NOT SCHEDULED TO BE REMOVED SHALL BE PROTECTED FROM DAMAGE. TREES SHALL NOT BE REMOVED
- 10. THE CONTRACTOR SHALL PROVIDE ALL SIGNS, EQUIPMENT, AND PERSONNEL NECESSARY TO PROVIDE FOR SAFE AND EFFICIENT TRAFFIC FLOW IN ALL AREAS WHERE WORK WILL INTERRUPT, INTERFERE OR CAUSE TO CHANGE IN ANY FORM THE CONDITIONS OF TRAFFIC FLOW THAT EXISTED PRIOR TO THE START OF WORK. EMERGENCY VEHICLE ACCESS SHALL BE MAINTAINED AT ALL TIMES.
- 11. THE CONTRACTOR, HIS AGENTS AN EMPLOYEES, AND ALL EQUIPMENT, MACHINERY AND VEHICLES SHALL CONFINE THEIR WORK WITH THE BOUNDARIES OF THE PROJECT OR WORK AREA. THE CONTRACTOR SHALL BE SOLELY LIABLE FOR DAMAGE CAUSED BY THEIR AGENTS, EMPLOYEES, EQUIPMENT, MACHINERY, AND VEHICLES ON ADJACENT PROPERTIES OR AREAS OUTSIDE DESIGNATED WORK AREAS.
- 12. THE CONTRACTOR SHALL BE RESPONSIBLE TO ARRANGE FOR THE RELOCATION OR BRACING OF EXISTING UTILITY POLES THAT MAY BE WITHIN THE WORKING LIMITS OF THE CONTRACT. ALL WORK AND COSTS CONNECTED WITH THE RELOCATION OR MAINTENANCE SHALL BE THE RESPONSIBILITY OF THE CLIENT OR CONTRACTOR.
- 13. RESTORATION OF DAMAGE TO PUBLIC OR PRIVATE PROPERTY OUTSIDE THE LIMITS OF THE PROJECT SHALL BE PERFORMED IMMEDIATELY UPON COMPLETION OF THE WORK. AREAS SHALL BE RESTORED AS NEARLY AS POSSIBLE RIGHT-OF-WAYS, ROADWAYS, DITCHES, SIDEWALKS, PAVEMENTS, LANDSCAPING, TREES, FENCES, MAILBOXES, SEWERS, WATER MAINS, ETC.
- 14. CONTRACTOR SHALL BE SOLELY AND COMPLETELY RESPONSIBLE FOR THE CONDITIONS OF THE JOB SITE, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY DURING THE PERFORMANCE OF THE WORK. THE REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS. THE CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE LAWS AND REGULATIONS RELATING TO THE SAFETY OF PERSONS OR PROPERTY, OR TO THE PROTECTION OF PERSONS OR PROPERTY FROM DAMAGE, INJURY, OR LOSS, AND SHALL ERECT AND MAINTAIN ALL NECESSARY SAFEGUARDS FOR SUCH SAFETY AND PROTECTION. THE DUTIES OF THE ENGINEER DO NOT INCLUDE REVIEW OF THE ADEQUACY OF EITHER THE CONTRACTOR'S OR THE GENERAL PUBLIC'S SAFETY IN, ON, OR NEAR THE CONSTRUCTION SITE
- 15. CONTRACTOR SHALL AT ALL TIMES KEEP THE SITE FREE FROM ACCUMULATION OF CONSTRUCTION DEBRIS. WASTE MATERIAL, TRASH, OILS, AND OTHER MISCELLANEOUS ITEMS, ADJACENT ROADWAYS SHALL BE KEPT FREE OF MUD. AND DEBRIS AT ALL TIMES. UTILITY STRUCTURES AND CURB FLOW LINES SHALL BE CLEANED OF DEBRIS.
- 16. FOR DISTURBANCES EXCEEDING ONE ACRE, A NOTICE OF INTENT SHALL BE SUBMITTED BY THE ENGINEER TO OBTAIN THE IEPA'S GENERAL NPDES PERMIT FOR STORM WATER DISCHARGE FROM CONSTRUCTION SITE ACTIVITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE INSTALLATION AND MAINTENANCE OF ALL EROSION CONTROL MEASURES. CONTRACTOR SHALL ALSO BE RESPONSIBLE FOR ALL INSPECTIONS AND RECORD KEEPING REQUIRED AS PART OF THE NPDES PERMIT.
- 17. CONTRACTOR SHALL ADJUST ALL STRUCTURES TO EITHER EXISTING OR PROPOSED ELEVATIONS. ADJUSTMENTS SHALL BE CONSIDERED INCIDENTAL. ADJUSTMENTS TO FINISHED GRADE WILL NOT ALLEVIATE THE CONTRACTOR FROM A ANY ADDITIONAL ADJUSTMENTS AS REQUIRED DURING FINAL INSPECTION.
- 18. THE VILLAGE/CITY SHALL BE NOTIFIED WHEN EXISTING FIELD DRAINAGE TILES ARE ENCOUNTERED DURING CONSTRUCTION REGARDLESS OF CONDITION OR FUNCTIONALITY. THE VILLAGE/CITY SHALL HAVE FINAL APPROVAL OF ANY REPAIR, CONNECTION, ABANDONMENT, OR OTHER METHODS' FOR MITIGATING EXISTING DRAINAGE TILES ENCOUNTERED ON SITE. CONTRACTOR SHALL KEEP A RECORD OF ALL SIZES AND LOCATIONS OF ENCOUNTERED FIELD DRAINAGE TILES.
- 19. ALL PROPOSED ELEVATIONS SHOWN ON THE PLANS ARE FINISHED SURFACE ELEVATIONS, UNLESS OTHERWISE SPECIFIED.
- 20. THE CONTRACTOR SHALL PRESERVE ALL CONSTRUCTION STAKES UNTIL THEY ARE NO LONGER NEEDED. ANY STAKES DESTROYED OR DISTURBED BY THE CONTRACTOR PRIOR TO THEIR USE SHALL BE RESET BY THE ENGINEER AT
- 21. ANY EXISTING SIGNS, LIGHT STANDARDS, AND/OR UTILITY POLES WHICH INTERFERE WITH CONSTRUCTION OPERATIONS AND NOT NOTED FOR DISPOSAL SHALL BE REMOVED AND RESET BY THE CONTRACTOR, WHICH SHALL BE CONSIDERED INCIDENTAL. ANY DAMAGE TO THESE ITEMS SHALL BE REPAIRED OR REPLACED BY THE CONTRACTOR AT THEIR EXPENSE. ANY SIGNS NOT REQUIRED TO BE RESET SHALL BE DELIVERED TO THE RESPECTIVE OWNERS.
- 22. ANY DEWATERING OF SEWER AND WATER TRENCHES AS WELL AS TEMPORARY SHEETING OR BRACING THAT MAY BE REQUIRED SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR AND SHALL NOT BE CONSIDERED EXTRA WORK. IN THE EVENT THAT SOFT MATERIALS WITH UNCONFINED COMPRESSIVE STRENGTH LESS THAN 0.5 TSF ARE ENCOUNTERED IN SEWER AND WATER MAIN CONSTRUCTION, THE CONTRACTOR SHALL (UPON APPROVAL OF I CLIENT AND/OR ENGINEER) OVER-EXCAVATE TO A DEPTH OF ONE (1) FOOT BELOW THE BOTTOM OF THE PIPE AND BACKFILL WITH COMPACTED CRUSHED STONE, PROPERLY FORMED TO FIT THE BOTTOM OF THE PIPE.
- 23. CONTRACTOR SHALL INDEMNIFY AND HOLD HARMLESS THE ENGINEER FROM AND AGAINST ALL CLAIMS, DAMAGES, LOSSES, AND EXPENSES, INCLUDING ATTORNEY'S FEES ARISING OUT OF OR RESULTING FROM THE PÉRFORMANCE OF THE CONTRACTOR'S WORK. IN ANY AND ALL CLAIMS AGAINST THE ENGINEER BY ANY EMPLOYEE OF TH CONTRACTOR, OR ANYONE DIRECTLY OR INDIRECTLY EMPLOYED BY THE CONTRACTOR, OR ANYONE WHOSE ACTS THE CONTRACTOR MAY BE LIABLE, THE INDEMNIFICATION OBLIGATION SHALL NOT BE LIMITED IN ANY WAY BY ANY LIMITATION ON THE AMOUNT OF DAMAGES, COMPENSATION OR BENEFITS PAYABLE BY OR FOR THE CONTRACTOR UNDER WORKER'S COMPENSATION ACTS, DISABILITY BENEFIT ACTS OR OTHER EMPLOYEE BENEFIT ACTS.
- CONTRACTOR SHALL MAINTAIN COMPREHENSIVE GENERAL LIABILITY INSURANCE, WORKER'S COMPENSATION AND EMPLOYER'S LIABILITY INSURANCE, AND COMPREHENSIVE AUTOMOBILE LIABILITY INSURANCE TO PROVIDE PROTECTION FROM CLAIMS WHICH MAY ARISE OUT OF OR RESULTING FROM THE PERFORMANCE OF WORK BY ANYONE DIRECTLY OR INDIRECTLY EMPLOYED BY THE CONTRACTOR OR BY ANYONE FOR WHOSE ACTS THE CONTRACTOR MAY BE LIABLE. THE ENGINEER SHALL BE NAMES AS ADDITIONAL INSURED ON THE POLICIES.
- THE ENGINEER SHALL NOT SUPERVISE, DIRECT, OR HAVE CONTROL OVER THE CONTRACTOR'S WORK. NOR SHALL I'HE ENGINEER HAVE THE AUTHORITY OVER THE RESPONSIBILITY FOR THE MEANS, METHODS, TECHNIQUES, SEQUENCES, OR PROCEDURES SELECTED BY THE CONTRACTOR TO COMPLETE THE WORK. ENGINEER SHALL NOT E RESPONSIBLE FOR THE SAFETY PRECAUTIONS AND PROGRAMS INCIDENTAL TO THE WORK OF THE CONTRACTOR OR FOR ANY FAILURE OF THE CONTRACTOR TO COMPLY WITH THE LAWS, RULES, REGULATIONS, ORDINANCES, CODES, OR ORDERS APPLICABLE TO THE CONTRACTOR FURNISHING AND PERFORMING THEIR WORK.

DEMOLITION:

- CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS FOR THE DEMOLITION WORK AND DISPOSAL OF WASTE MATERIAL. ALL WORK SHALL BE IN ACCORDANCE WITH ALL APPLICABLE FEDERAL, STATE, AND LOCAL REQUIREMENTS.
- CONTRACTOR IS RESPONSIBLE FOR DEMOLITION, REMOVAL, AND DISPOSAL OF ALL STRUCTURES, PADS, WALLS, FLUMES, FOUNDATIONS, ROAD, PARKING LOTS, DRIVES, DRAINAGE STRUCTURES, UTILITIES, ETC. SUCH THAT THE IMPROVEMENTS SHOWN ON THE PLANS CAN BE CONSTRUCTED. ALL FACILITIES TO BE REMOVED SHALL BE UNDERCUT TO SUITABLE MATERIAL AND BROUGHT TO THE PROPOSED SUB-GRADE ELEVATION WITH SUITABLE
- ALL EXISTING UTILITY LINES AND CONDUITS LOCATED UNDER PROPOSED BUILDINGS, ROADWAYS, DRIVES, PAVEMENT AREAS, OR SIDEWALKS SHALL BE REMOVED AND PROPERLY BACKFILLED WITH SUITABLE COMPACTED MATERIAL. ALL EXISTING UTILITY LINES UNDER PROPOSED LANDSCAPE AREAS SHALL BE LEFT IN PLACE AND PLUGGED AT ALL STRUCTURES. ALL EXISTING STRUCTURES SHALL BE REMOVED AND BACKFILLED WITH SUITABLE COMPACTED MATERIAL. CONTRACTOR SHALL COORDINATE ACTIVITIES WITH THE APPROPRIATE UTILITY COMPANY.
- CONTRACTOR SHALL COORDINATE WITH JURISDICTIONAL ENTITY AND UTILITY COMPANIES REGARDING THE REMOVAL OF SERVICE LINES. CONTRACTOR IS RESPONSIBLE FOR ALL FEES AND CHARGES ASSOCIATED WITH DISCONNECTION OF
- REMOVAL AND/OR ABANDONMENT OF ANY WELLS, SEPTIC TANKS AND/OR FIELDS, AND GREASE TRAPS SHALL BE DONE IN ACCORDANCE WITH THE REQUIREMENTS OF THE APPROPRIATE JURISDICTIONAL ENTITY.
- CONTRACTOR SHALL DEVELOP AND MAINTAIN A DUST CONTROL PLAN IN ACCORDANCE WITH JURISDICTIONAL ENTITY
- CONTRACTOR SHALL COORDINATE WITH JURISDICTIONAL ENTITY AND CLIENT TO ENSURE PROTECTION AND MAINTENANCE OF SANITARY AND WATER UTILITIES AS NECESSARY AND PROVIDE STORM WATER CONVEYANCE UNTIL NEW FACILITIES ARE CONSTRUCTED, TESTED, AND PLACED IN OPERATION.

- COPIES OF SOIL BORINGS AND REPORTS, IF SUCH BORINGS WERE TAKEN BY THE CLIENT, SHOULD BE MADE AVAILABLE BY THE CLIENT TO THE ENGINEER AND CONTRACTOR. THESE BORINGS ARE PRÉSENTED FOR WHATEVER PURPOSE THE CONTRACTOR CHOOSES TO MAKE OF THEM. THE ENGINEER MAKES NO REPRESENTATIONS OR WARRANTY REGARDING THE NUMBER, LOCATION, SPACING, OR DEPTH OF BORINGS TAKEN, NOR OF THE ACCURACY OR RELIABILITY OF THE INFORMATION GIVEN IN THE RESULTS THEREOF. FURTHER, THE ENGINEER DOES NOT ASSUME RESPONSIBILITY FOR THE POSSIBILITY THAT DURING CONSTRUCTION,
- THE SOIL AND GROUNDWATER CONDITIONS MAY BE DIFFERENT THAN INDICATED. NEITHER DOES THE ENGINEER ASSUME RESPONSIBILITY FOR VARIATIONS OF SOIL AND GROUNDWATER AT LOCATIONS BETWEEN BORINGS. THE CONTRACTOR MAY AT THEIR DISCRETION AND COST OBTAIN ITS OWN BORINGS, EXPLORATIONS, AND OBSERVATIONS TO DETERMINE SOIL AND GROUND WATER CONDITIONS.
- 2. THE SITE SHALL BE CLEARED, GRUBBED, AND TREES AND STUMPS REMOVED WHERE DESIGNATED ON THE PLANS OR SPECIFIED BY THE CLIENT. TREES DESIGNATED TO REMAIN SHALL BE PROTECTED FROM DAMAGE.
- UPON COMPLETION OF DEMOLITION AND SITE CLEARING, ALL TOPSOIL, ORGANIC MATERIAL, OR OTHER UNSUITABLE MATERIAL SHALL BE STRIPPED FROM AREAS REQUIRING STRUCTURAL FILL. STRIPPED MATERIAL SHALL BE PLACED IN STOCKPILES IN CLIENT DESIGNATED AREAS FOR FUTURE USE WITHIN AREAS TO BE LANDSCAPED AND FILL IN AREAS NOT REQUIRING STRUCTURAL FILL. EXCESS STRIPPED MATERIAL SHALL BE COMPLETELY REMOVED FROM THE SITE AND DISPOSED OF OFF-SITE BY THE CONTRACTOR.
- 4. ALL SUITABLE EXCAVATED MATERIALS SHALL BE HAULED, PLACED (MOISTURE CONDITIONED IF NECESSARY) AND COMPACTED IN FILL AREAS. CONTRACTOR SHALL INCLUDE ALL DEWATERING, TEMPORARY DITCHES AND CULVERTS NECESSARY TO COMPLETE THE EXCAVATION AND FILL WORK.
- EXCAVATION AND PLACEMENT OF SUITABLE FILL MATERIAL SHALL BE WITHIN THE PROJECT LIMITS AND TO THE SUBGRADE ELEVATIONS PROVIDED ON THE PLANS. FILL MATERIAL SHALL BE PLACED IN LOOSE LIFTS NOT EXCEEDING EIGHT (8) INCHES IN THICKNESS AND THE WATER CONTENT SHALL BE ADJUSTED TO ACHIEVE REQUIRED COMPACTION. IN AREAS REQUIRING STRUCTURAL FILL, FILL MATERIAL SHALL NOT BE PLACED OVER TOPSOIL OR OTHER UNSUITABLE MATERIAL.
- COMPACTION OF EXCAVATED MATERIAL AND OTHER SUITABLE MATERIAL SHALL BE AT LEAST 95% OF THE STANDARD PROCTOR DRY DENSITY WITHIN STRUCTURAL FILL AREAS (BUILDING PAD, PAVEMENT, SIDEWALK, ETC.) AND 90% OF THE STANDARD PROCTOR DRY DENSITY FOR NON-STRUCTURAL AREAS (GRASS, LANDSCAPE, YARDS, ETC.).
- 7. UNSUITABLE MATERIAL SHALL BE CONSIDERED AS MATERIAL WHICH IS NOT SUITABLE FOR THE SUPPORT OF PAVEMENT AND BUILDING CONSTRUCTION. IF ENCOUNTERED BELOW NORMAL TOPSOIL DEPTHS AND/OR PROPOSED SUBGRADE ELEVATIONS IT SHALL BE REMOVED AND REPLACED WITH MATERIAL APPROVED BY THE SOILS CONSULTANT. THE DECISION TO REMOVE SAID MATERIAL AND TO WHAT EXTENT SHALL BE MADE BY A SOILS CONSULTANT AND THE CLIENT
- THE CLIENT SHALL, AT THEIR DISCRETION, EMPLOY A SOILS CONSULTANT AND TESTING FIRM TO ENSURE THE EXCAVATED AND FILL MATERIALS ARE PROPERLY CONSTRUCTED TO SUPPORT THE PROPOSED IMPROVEMENTS. THE ENGINEER DUSPONT THE SOIL TO SUPPORT THE PROPOSED IMPROVEMENTS.
- UPON COMPLETION OF EXCAVATION AND SHAPING OF STORM WATER DETENTION AREAS INTENDED TO MAINTAIN A PERMANENT POOL OF WATER, ALL SILT SEAMS AND GRANULAR OR SANDY SOILS SHALL BE REMOVED TO A MINIMUM DEPTH OF THREE FEET BELOW THE SUBGRADE AND REPLACED WITH AN IMPERMEABLE CLAY LINER, INCLUDING ADJACENT TO AND UNDER STORM SEWER INLETS AND OUTLETS. IT IS THE INTENT OF THESE PLANS THAT THI CONTRACTOR SHALL PREPARE THE POND BOTTOMS, SIDE SLOPES, AND COMPACTION THEREOF SUCH THAT THE PONDS WILL MAINTAIN THE PROPOSED NORMAL WATER LEVELS.

10. THE CONTRACTOR SHALL:

- MAINTAIN POSITIVE SITE DRAINAGE AT ALL TIMES DURING CONSTRUCTION AND PREVENT STORM WATER FROM RUNNING INTO OR STANDING IN EXCAVATED AREAS. SPREAD AND COMPACT UNIFORMLY ALL EXCESS TRENCH SPOILS AFTER COMPLETION OF THE UNDERGROUND
- SCARIFY AND COMPACT THE UPPER TWELVE (12) INCHES OF THE SUITABLE SUBGRADE MATERIAL IN ALL AREAS (EXCAVATED AND FILL) THAT MAY BE SOFT DUE TO EXCESS MOISTURE CONTENT.
- PROVIDE WATER TO ADD TO DRY MATERIAL IN ORDER TO ADJUST MOISTURE CONTENT FOR THE PURPOSE OF ACHIEVING THE SPECIFIED COMPACTION. BACKFILL THE CURB AND GUTTER AFTER ITS CONSTRUCTION AND PRIOR TO THE PLACEMENT OF BASE
- COURSE MATERIAL. IMPLEMENT AND MAINTAIN SOIL EROSION CONTROL MEASURES PROVIDED ON THE PLANS

LIME STABILIZE THE SUBGRADE MATERIAL IF REQUIRED BY THE SOILS CONSULTANT AND CLIENT.

11. CONTRACTOR SHALL PROVIDE TESTING AND PROOF-ROLLING AS REQUIRED BY THE CLIENT AND JURISDICTIONAL ENTITY. ANY UNSUITABLE AREAS ENCOUNTERED DURING TESTING SHALL BE REMOVED AND REPLACED WITH SUITABLE MATERIAL APPROVED BY THE SOILS CONSULTANT AND RETESTED.

SEWER AND WATER MAIN GENERAL NOTES:

- ALL SANITARY SEWERS, STORM SEWERS, WATER MAINS AS WELL AS THEIR SERVICES AND OTHER RELATED APPURTENANCES SHALL BE CONSTRUCTED AND TESTED IN ACCORDANCE WITH THE LATEST EDITIONS OF THE STANDARD SPECIFICATIONS FOR WATER AND SEWER CONSTRUCTION IN ILLINOIS" AND "IDOT'S STANDARD" SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION" IN ADDITION TO THE REQUIREMENTS OF THE APPLICABLE JURISDICTIONAL FNTITY.
- SELECT GRANULAR TRENCH BACKFILL (IDOT CA-7) SHALL BE REQUIRED FOR ALL SEWER AND WATER MAIN TRENCHES LYING UNDER EXISTING OR`PROPOSED´STREETS, DRIVEWAYS, PARKING LOTS, CURB AND GUTTER, SIDEWALKS, AND WITHIN FIVE FEET THEREOF, AND WHERE NOTED ON PLANS.
- TRENCH EXCAVATION, BEDDING, HAUNCHING, AND INITIAL BACKFILL (IDOT CA-7) FOR TRENCHES SHALL BE PROVIDED IN ACCORDANCE WITH THE APPLICABLE TRENCH SECTION DETAIL AND SHALL BE CONSIDERED INCIDENTAL TO THE
- 4. UNSUITABLE SOIL CONDITIONS BELOW THE DEPTH OF THE TRENCH BEDDING, AS DETERMINED BY THE SOILS/ GEOTECHNICAL ENGINEER, ENCOUNTERED DURING TRENCH EXCAVATION SHALL BE REMOVED AND REPLACED WITH GRANULAR COMPACTED BEDDING MATERIAL AS DIRECTED BY THE SOILS/GEOTECHNICAL ENGINEER OR
- 5. CONTRACTOR SHALL BE RESPONSIBLE FOR DEWATERING ANY TRENCH EXCAVATIONS FOR THE INSTALLATION OF UNDERGROUND MAINS AND APPURTENANCES. DEWATERING SHALL BE CONSIDERED INCIDENTAL.
- NON-SHEAR "BAND-SEAL" OR SIMILAR FLEXIBLE TYPE COUPLINGS SHALL BE USED WHEN CONNECTING SEWER PIPES OF DISSIMILAR MATERIAL.
- CONTRACTOR SHALL MARK THE LOCATIONS OF THE ENDS OF SERVICE STUBS WITH 4"x4" WOOD POSTS EXTENDING A MINIMUM OF THREE FEET ABOVE THE GROUND. THE TOP OF THE POSTS SHALL BE PAINTED GREEN FOR SANITARY, WHITE FOR STORM, AND BLUE FOR WATER. CONTRACTOR SHALL KEEP ACCURATE RECORDS OF SERVICE CONNECTION LOCATIONS, INCLUDING DISTANCES FROM DOWNSTREAM MANHOLES FOR SANITARY SERVICES. ALL STUBS SHALL BE PROPERLY PLUGGED.
- ALL STRUCTURES INCLUDING BUT LIMITED TO FRAMES AND GRATES/LIDS, CLEANOUTS, ETC. SHALL BE ADJUSTED) THE FINAL FINISHED GRADE ELEVATIONS. CONCRETE ADJUSTING RINGS, WHERE NECESSARY, SHALL BE LIMITED FO TWO(2) TOTALING NOT MORE THAN EIGHT (8) INCHES IN HEIGHT.
- ALL SANITARY SEWERS, STORM SEWERS, WATER MAIN AS WELL AS THEIR SERVICES AND OTHER RELATED APPURTENANCES SHALL BE THOROUGHLY CLEANED PRIOR TO INSPECTION AND TESTING AND AT THE END OF THE
- 10. CONTRACTOR SHALL COORDINATE INSPECTIONS, TESTING, AND TELEVISING WITH THE APPLICABLE JURISDICTIONAL ENTITY. THE COST OF CLEANING, TESTING, AND TELEVISING SHALL BE CONSIDERED INCIDENTAL.
- 11. ALL DEFICIENCIES AND DEFECTS OBSERVED AS WELL AS ANY NECESSARY CORRECTIVE WORK REQUIRED AS A RESULT OF TESTING OR TELEVISION INSPECTION SHALL BE PERFORMED BY THE CONTRACTOR AT NO ADDITIONAL COST AND WITHOUT DELAY. ALL DIPS, CRACKS, LEAKS, IMPROPERLY SEALED JOINTS AND DEPARTURES FROM THE APPROVED GRADES AND ALIGNMENTS SHALL BE REPAIRED BY REMOVING AND REPLACING THE INVOLVED SECTIONS OF PIPE. UPON COMPLETION THEREOF, THE SEWER SHALL BE RETESTED AND/OR RE-TELEVISED.
- 12. MANHOLE STEPS SHALL BE GREY CAST IRON ASTM A48 OR POLYPROPYLENE COATED STEEL REINFORCING RODS WITH SLIP, LOAD, AND PULLOUT RATES PER OSHA REQUIREMENTS.

SANITARY SEWERS & APPURTENANCES:

- SANITARY SEWER PIPE, INCLUDING SERVICES, SHALL BE POLYVINYL CHLORIDE (PVC) SEWER PIPE, ASTM D3034, SDR 26 WITH FLEXIBLE ELASTOMERIC SEALS CONFORMING TO ASTM D3212 AND F477
- WHERE WATER MAIN QUALITY PIPE AND JOINTS ARE REQUIRED, SANITARY SEWER PIPE SHALL BE PVC PIPE ASTM D2241, SDR 26, WITH ELASTOMERIC GASKET JOINTS CONFORMING TO ASTM D3139 AND F477.
- MANHOLES SHALL BE PRECAST CONCRETE CONFORMING TO ASTM C478 AND CONSTRUCTED PER THE STANDARD DETAILS. MANHOLE LIDS SHALL BE SELF-SEALING, WATERTIGHT LIDS WITH CONCEALED PICK HOLES, IMPRINTED WITH
- AN EXTERNAL DROP MANHOLE SHALL BE PROVIDED WHERE THE DIFFERENCE BETWEEN INVERTS IS GREATER THAN OR EQUAL TO TWO FEET. SEE APPLICABLE DETAIL.

SANITARY" AND THE NAME OF THE JURISDICTIONAL ENTITY. PIPE CONNECTIONS SHALL BE PRECAST WITH RESILIENT

RUBBER WATERTIGHT PIPE SLEEVES PER ASTM C923. EXTERNAL CHIMNEY SEALS SHALL BE PROVIDED ON ALL

MINIMUM COVER OVER SANITARY SEWER LINES AND SERVICES SHALL BE THREE FEET.

SANITARY MANHOLES AND MANHOLES SHALL BE WATERTIGHT.

- SANITARY SERVICE LINE SIZE SHALL BE 6-INCH DIAMETER PIPE, SAME MATERIAL AND JOINTS AS THE SANITARY SEWER, AT A 1.0% MINIMUM SLOPE. ALL SERVICE STUBS SHALL BE CAPPED WITH A WATERTIGHT PLUG, PROPERLY SECURED TO WITHSTAND THE REQUIRED TEST PRESSURES.
- SANITARY SEWER SERVICE RISERS SHALL BE INSTALLED WHERE THE MAINLINE SEWER DEPTH IS GREATER THAN TWELVE FEET OR IN LOCATIONS INDICATED ON THE PLANS.
- SANITARY SEWERS SHALL BE PRESSURE TESTED PER THE REQUIREMENTS OF THE "STANDARD SPECIFICATIONS FOR WATER AND SEWER CONSTRUCTION", LATEST EDITION. THE MAXIMUM ALLOWABLE RATE OF INFILTRATION OR EXFILTRATION SHALL NOT EXCEED 200 GALLONS PER INCH DIAMETER OF PIPE PER MILE OF PIPE PER DAY.
- SANITARY SEWERS SHALL BE DEFLECTION TESTED IN ACCORDANCE WITH THE "STANDARD SPECIFICATIONS FOR WATER AND SEWER CONSTRUCTION", LATEST EDITION. DEFLECTION SHALL NOT EXCEED THE MANUFACTURER'S RECOMMENDED DEFLECTION LIMITS OR MAXIMUM OF 5% OF THE INTERNAL DIAMETER OF THE PIPE, WHICHEVER IS
- SANITARY MANHOLES SHALL BE TESTED FOR WATERTIGHTNESS USING A LEAKAGE TEST IN ACCORDANCE WITH ASTM C969 — "STANDARD PRACTICE FOR INFILTRATION AND EXFILTRATION ACCEPTANCE TESTING OF INSTALLED PRECAST CONCRETE SEWER PIPE LINES" OR ASTM C1244 - "STANDARD TEST METHOD FOR CONCRETE SEWER MANHOLE BY
- HE NEGATIVE PRESSURE (VACUUM) TEST PRIOR TO BACKFILL". 11. CONTRACTOR SHALL TELEVISE ALL NEWLY CONSTRUCTED SANITARY SEWERS IN ACCORDANCE WITH APPLICABLE REQUIREMENTS OF THE JURISDICTIONAL ENTITY PRIOR TO FINAL ACCEPTANCE. COPIES OF THE VIDEO SHALL BE
- PROVIDED TO THE JURISDICTIONAL ENTITY. CONNECTIONS TO EXISTING SEWER MAIN SHALL BE TO AN EXISTING SERVICE STUB, WYE, TEE, OR MANHOLE WHERE POSSIBLE, SEWER CONNECTIONS TO AN EXISTING SANITARY MANHOLE SHALL BE MACHINE CORED, ALL PIPE CONNECTIONS TO SANITARY STRUCTURES SHALL BE MADE WITH FLEXIBLE WATERSTOP GASKET/BOOT (RESILIENT
- 13. CONNECTION TO AN EXISTING SEWER MAIN BY MEANS OTHER THAN AN EXISTING SERVICE STUB, WYE, TEE, MANHOLE SHALL BE MADE WITH A CIRCULAR SAW-CUT OF THE SEWER MAIN BY PROPER TOOLS (SEWER-TAP MACHINE OR SIMILAR). A SUITALBE HUB-WYE SADDLE OR HUB-TYE SADDLE (INSERTA-TEE, INSERTA-WYE, OR EQUAL) SHALL BE PROVIDED.

WATER MAIN & APPURTENANCES:

- WATER MAIN SHALL BE DUCTILE IRON PIPE, CLASS 52 CONFORMING TO AWWA C151 WITH PUSH ON JOINTS CONFORMING TO AWWA C111. ALL FITTINGS SHALL BE DUCTILE IRON CONFORMING TO AWWA C110. PIPE AND FITTINGS SHALL BE CEMENT LINED IN CONFORMANCE WITH AWWA C104.
- UNLESS OTHERWISE REQUIRED BY THE JURISDICTIONAL ENTITY, ALL WATER MAIN SHALL BE POLYETHYLENE ENCASED IN CONFORMANCE WITH AWWA C105. POLYETHYLENE MATERIAL SHALL CONFORM TO THE REGULATIONS OF THE
- INSTALLATION OF PIPE AND FITTINGS SHALL BE PER AWWA C600. PIPE SHALL BE INSTALLED WITH A MINIMUM COVER OF 5'-6" FROM FINISHED GRADE.
- WATER MAIN FITTINGS (i.e. BENDS, ELBOWS, TEES, REDUCERS, ETC.) MAY NOT BE SPECIFICALLY REFERENCED ON THE PLANS AND ARE TO BE CONSIDERED INCIDENTAL AND INCLUDED IN THE LINEAR FOOTAGE COST OF THE
- WATER SERVICES 2-INCHES IN DIAMETER OR SMALLER SHALL BE TYPE K COPPER PER ASTM B88 AND ASTM

B251. SERVICE SIZES 3-INCH AND LARGER SHALL BE DUCTILE IRON

- THRUST BLOCKING OR RESTRAINED JOINTS SHALL BE INSTALLED ON ALL WATER MAINS AT ALL TEES, ELBOWS,
- WATER VALVES SHALL BE RESILIENT WEDGE GATE VALVE CONFORMING TO AWWA C509 AND THE REQUIREMENTS OF THE JURISDICTIONAL ENTITY. BUTTERFLY VALVES CONFORMING TO AWWA C504 SHALL BE PROVIDED FOR ALL WATER MAIN 16-INCH DIAMETER AND LARGER. VALVES SHALL BE NON-RISING STEAM AND CLOSE BY TURNING
- VALVE VAULTS SHALL BE PRECAST CONCRETE CONFORMING TO ASTM C478 AND CONSTRUCTED PER THE STANDARD DETAIL. VALVE BOXES SHALL BE CAST IRON EXTENSION SCREW TYPE CONSTRUCTED IN CONFORMANCE WITH THE STANDARD DETAIL. FRAME AND LIDS SHALL BE IMPRINTED WITH "WATER".
- FIRE HYDRANTS SHALL CONFORM TO AWWA C502 (DRY BARREL) AND THE REQUIREMENTS OF THE JURISDICTIONAL ENTITY. HYDRANTS SHALL BE INSTALLED WITH AN AUXILIARY VALE AND VALVE BOX. ALL B-BOXES, CORPORATION STOPS, GROUND KEY STOPS, SERVICE BOXES, TAPPING SLEEVES, AND OTHER WATER

MAIN RELATED APPURTENANCES SHALL CONFORM TO APPLICABLE JURISDICATIONAL ENTITY REQUIREMENTS.

- CONTRACTOR SHALL VERIFY EXACT MODEL, STYLE, TYPE, AND MANUFACTURER REQUIRED PRIOR TO ORDERING ALL WATER MAIN SHALL BE TESTED BY MEANS OF A PRESSURE TEST AND LEAKAGE TEST PER THE "STANDARD
- SPECIFICATIONS FOR WATER AND SEWER CONSTRUCTION", AWWA C600, AND APPLICABLE JURISDICTIONAL ENTITY REQUIREMENTS. 12. AFTER COMPLETION OF THE WATER MAIN TESTING, THE MAIN AND RELATED APPURTANANCES SHALL BE FLUSHED CLEAN AND DISINFECTED (CHLORINATED) IN ACCORDANCE WITH THE ""STANDARD SPECIFICATIONS FOR WATER AND
- UNLESS OTHERWISE NOTED, CONNECTION(S) TO AN EXISTING WATER MAIN SHALL BE MADE BY A PRESSURE TAP PER THE REQUIREMENTS OF THE STANDARD SPECIFICATIONS FOR WATER AND SEWER CONSTRUCTION IN ILLINOIS. PRESSURE CONNECTIONS SHALL BE COORDINATED WITH THE APPROPRIATE REPRESENTATIVES OF THE

SEWER CONSTRUCTION", AWWA C600, AND APPLICABLE JURISDICTIONAL ENTITY REQUIREMENTS.

STORM SEWER & APPURTENANCES:

AWWA C906.

ON THE PLANS:

- STORM SEWER PIPE SHALL BE CONSTRUCTED FROM ONE OR MORE OF THE FOLLOWING MATERIALS AS SPECIFIED
- A. REINFORCED CONCRETE PIPE, ASTM C76, WITH "O"-RING GASKET JOINTS PER ASTM C443. PIPE CLASS PER SECTION 550 OF IDOT SPECIFICATIONS WITH A MINIMUM OF CLASS III IN NON-STRUCTURAL AREAS (GRASS, PARKWAYS, ETC.) AND A MINIMUM OF CLASS IV IN OR WITHIN ZONE OF INFLUENCE OF ALL STRUCTURAL
- AREAS (ROADWAYS, PARKING LOTS, CURB, SIDEWALKS, ETC.) POLYVINYL CHLORIDE (PVC) PER ASTM D3034, SDR 26, WITH ELASTOMERIC GASKET JOINTS PER ASTM D3212 HIGH DENSITY POLYETHYLENE PIPE (HDP) AND JOINTS SHALL CONFORM TO AASHTO M252 FOR 3" TO 10' PIPES AND AASHTO M294 FOR 12" TO 60" PIPES.
- WHERE WATER MAIN QUALITY PIPE AND JOINTS ARE REQUIRED, STORM SEWER PIPE SHALL BE CONSTRUCTED FROM ONE OR MORE OF THE FOLLOWING MATERIALS AS SPECIFIED ON THE PLANS:
- A. REINFORCED CONCRETE PIPE, ASTM C361, WITH "O"-RING GASKET JOINTS PER ASTM C443 AND C361. PIPE CLASS PER SECTION 550 OF IDOT SPECIFICATIONS WITH A MINIMUM CLASS III IN NON-STRUCTURAL AREAS (GRASS, PARKWAYS, ETC.) AND MINIMUM CLASS IV IN OR WITHIN ZONE OF INFLUENCE OF ALL STRUCTURAL AREAS (ROADWAYS, PARKING LOTS, CURB, SIDEWALKS, ETC.)
- POLYVINYL CHLORIDE (PVC) PER ASTM D2241, SDR 26, WITH ELASTOMERIC GASKET JOINTS PER ASTM D3139 HIGH DENSITY POLYETHYLENE PRESSUE PIPE (HDP) WITH SMOOTH WALL INTERIOR AND JOINTS PER ASTM
- MANHOLES, INLETS, AND CATCH BASINS SHALL BE PRECAST CONCRETE CONFORMING TO ASTM C478 AND CONSTRUCTED PER STANDARD DETAILS. FRAMES AND LIDS SHALL BE AS APPROVED BY THE JURISDICTIONAL ENTITY AND SHALL BE IMPRINTED WITH "STORM".
- FLARED END SECTION SHALL BE PRE-CAST REINFORCED CONCRETE END BLOCK PER IDOT STANDARD 542301. FLARED END SECTIONS FOR STORM SEWERS 12" IN DIAMETER OR LARGER SHALL BE INSTALLED WITH A GRATE PER
- RIP-RAP WITH FILTER FABRIC PER SECTION 281 OF THE IDOT STANDARD SPECIFICATIONS SHALL BE PROVIDED AT LOCATIONS SHOWN ON THE PLANS.
- 5. STORM SEWER AND APPURTENANCES SHALL BE THOROUGHLY CLEANED PRIOR TO FINAL INSPECTIONS.
- CONNECTION OF STORM SEWER TO EXISTING STRUCTURES OR SEWER MAINS SHALL BE MADE WITH A SEWER TAP MACHINE. SEWER SHALL BE CONNECTED USING NON-SHRINK MORTAR. SEWER SHALL BE CUT FLUSH WITH THE INSIDE WALL OF THE EXISTING STRUCTURE OR SEWER MAIN.

WATER MAIN PROTECTION REQUIREMENTS:

WATER MAINS AND WATER SERVICE LINES SHALL BE PROTECTED FROM SANITARY SEWERS, STORM SEWERS COMBINED SEWERS, HOUSE SEWER CONNECTIONS AND DRAINS IN ACCORDANCE WITH SECTION 41 OF THE STANDARD SPECIFICATIONS FOR WATER AND SEWER CONSTRUCTION IN ILLINOIS AS FOLLOWS:

VERTICAL SEPARATION:

. A WATER MAIN SHALL BE SEPARATED FROM A SEWER SO THAT ITS INVERT IS A MINIMUM OF EIGHTEEN (18) INCHES ABOVE THE CROWN OF THE DRAIN OR SEWER WHENEVER WATER MAINS CROSS STORM SEWERS, SANITARY SEWERS OR SEWER SERVICE CONNECTIONS. TH VERTICAL SEPARATION SHALL BE MAINTAINED FOR THAT PORTION OF THE WATER MAIN LOCATED WITHIN TEN (10) FEET HORIZONTALLY OF ANY SEWER OR DRAIN CROSSED. A LENGTH OF WATER MAIN PIPE SHALL BE CENTERED OVER THE SEWER TO BE CROSSED WITH JOINTS EQUIDISTANT FROM THE SEWER OF DRAIN.

2. BOTH THE WATER MAIN AND SEWER SHALL BE CONSTRUCTED OF SLIP-ON OR MECHANICAL JOINT CAST OR DUCTILE IRON PIPE. PRE-STRESSED CONCRETE PIPE, OR PVC PIPE EQUIVALENT TO WATER MAIN STANDARDS OF CONSTRUCTION WHEN:

- (A) IT IS IMPOSSIBLE TO OBTAIN THE PROPER VERTICAL SEPERATION AS DESCRIBED IN (1)
- (B) THE WATER MAIN PASSES UNDER A SEWER OR DRAIN.

THE SEWER IN WATER MAIN EQUIVALENT PIPE.

- (1) CASING OF EITHER THE WATER MAIN OR SEWER PIPE IS ACCEPTABLE IN LIEU OF PLACING
- THE STORM SEWER CAN BE CONSTRUCTED WITH REINFORCED CONCRETE PIPE USING FLEXIBLE GASKETS JOINTS, (ASTM C361, C443) INSTEAD OF CONSTRUCTING THE STORM SEWER WITH WATER MAIN EQUIVALENT PIPE OR CASING PIPE.
- . A VERTICAL SEPARATION OF EIGHTEEN (18) INCHES BETWEEN THE INVERT OF THE SEWER OR DRAIN AND THE CROWN OF THE WATER MAIN SHALL BE MAINTAINED WHERE A WATER MAIN CROSSES UNDER A SEWER. SUPPORT THE SEWER OR DRAIN LINES TO PREVENT SETTLING AND BREAKING THE MAIN, AS SHOWN ON THE PLANS OR AS APPROVED BY THE ENGINEER.

4. CONSTRUCTION OF WATER MAIN QUALITY PIPE SHALL EXTEND ON EACH SIDE OF CROSSING UNTIL THE PERPENDICULAR DISTANCE FROM THE WATER MAIN TO THE SEWER OR DRAIN LINE IS AT LEAST TEN (10) FEET.

- . WATER MAINS SHALL BE LOCATED AT LEAST TEN (10) FEET HORIZONTALLY FROM ANY EXISTING OR PROPOSED DRAIN, STORM SEWER, SANITARY SEWER, COMBINED SEWER OR SEWER SERVICE CONNECTION.
- (A) LOCAL CONDITIONS PREVENT A LATERAL SEPARATION OF TEN (10) FEET; AND (B) THE WATER MAIN INVERT IS AT LEAST EIGHTEEN (18) INCHES ABOVE THE CROWN OF THE

2. WATER MAINS MAY BE LOCATED CLOSER THAN TEN (10) FEET TO A SEWER LINE WHEN:

- (C) THE WATER MAIN IS EITHER IN A SEPARATE TRENCH OR IN THE SAME TRENCH ON AN UNDISTURBED EARTH SHELF LOCATED TO ONE SIDE OF THE SEWER.
- 3. WHEN IT IS IMPOSSIBLE TO MEET (1) OR (2) ABOVE, BOTH THE WATER MAIN AND DRAIN OR SEWER SHALL BE CONSTRUCTED OF SLIP—ON OR MECHANICAL JOINT CAST OR DUCTILE IRON PIPE, PRE-STRESSED CONCRETE PIPE, OR PVC PIPE EQUIVALENT TO WATER MAIN STANDARDS OF CONSTRUCTION. THE DRAIN OR SEWER SHALL BE PRESSURE TESTED TO THE MAXIMUM EXPECTED SURCHARGE HEAD BEFORE BACKFILLING.

PAVEMENT, CURB & GUTTER, AND WALKS:

HORIZONTAL SEPARATION:

- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL SUBGRADE COMPACTION AND PREPARATION TO THE PROPOSED SUBGRADE ELEVATIONS SHOWN ON THE PLANS.
- CURB AND GUTTER SHALL BE AS SPECIFIED ON THE PLANS AND SHALL BE BACKFILLED AFTER ITS CONSTRUCTION AND PRIOR TO THE PLACEMENT OF THE BASE COURSE. COMPACTED AGGREGATE UNDER THE CURB SHALL BE CONSIDERED AGREGATE UNDER THE CURB SHALL BE CONSIDERED AGREGATE. DEPRESSIONS FOR DRIVEWAYS AND A.D.A. RAMPS SHALL BE INSTALLED PER PLANS AND IDOT STANDARDS.
- BITUMINOUS BINDER AND SURFACE COURSE SHALL BE HOT-MIX ASPHALT (HMA) OF TYPE AND COMPACTED THICKNESS AS SHOWN ON THE PLANS IN ACCORDANCE WITH SECTION 406 OF THE IDOT SPECIFICATIONS. ALL PAVING MATERIALS AND MIXES SHALL BE IDOT CERTIFIED.
- PORTLAND CEMENT CONCRETE (PCC) PAVEMENT SHALL BE CLASS PV WITH 6x6-W2.9xW2.9 WELDED WIRE FABRIC AND CONSTRUCTED PER SECTION 420 OF THE IDOT STANDARD SPECIFICATIONS. ALL CONCRETE WORK SHALL BE
- CONTRACTOR SHALL SAW-CUT THE EXPOSED EDGES OF ALL EXISTING PAVEMENT ADJACENT TO ANY PROPOSED PAVEMENT, APRON, SIDEWALK, CURB AND GUTTER, OR SIMILAR TO PROVIDE A SMOOTH, CLEAN EDGE THAT IS FREE OF LOOSE MATERIAL. A PROPER TRANSITION BUTT JOINT AND/OR TAPER SHALL BE PROVIDED.
- THE TESTING OF THE SUBGRADE, AGGREGATE BASE COURSE, BITUMINOUS BASE COURSE, BINDER COURSE, SURFACE COURSE, AND CONCRETE WORK SHALL BE REQUIRED AND PERFORMED IN ACCORDANCE WITH THE IDOT STANDARD SPECIFICATIONS AND REQUIREMENTS OF THE JURISDICTIONAL ENTITY. PRIOR TO THE COMMENCEMENT OF ANY PAVING ACTIVITIES, A PROOF-ROLL OF THE SUB-GRAD SHALL BE

PERFORMED BY THE CONTRACTOR AND APPROVED BY THE APPLICABLE JURISIDICTIONAL ENTITY. ALL AREAS NOT

- PASSING THE PROOF-ROLL SHALL BE REMEDIATED AS RECOMMENDED BY THE SOILS/GEOTECHNICAL ENGINEER AND APPROVED BY THE OWNER. ANY REMEDIATED AREAS SHALL BE RE-TESTED. 8. PRIOR TO THE INSTALLATION OF THE AGGREGATE BASE COURSE THE SUBGRADE SHALL BE PREPARED PER SECTION 301 OF THE IDOT SPECIFICATIONS. SUBGRADE SHALL BE COMPACTED AND PREPARED TO WITHIN 0.1—FT OF THE
- PROPOSED SUBGRADE ELEVATION. SUBGRADE SHALL BE COMPACTED TO A MINIMUM OF 95% OF THE STANDARD 9. PRIOR TO THE INSTALLATION OF THE BINDER COURSE, THE AGGREGATE BASE COURSE SHALL BE PREPARED IN ACCORDANCE WITH SECTION 351 OF THE IDOT SPECIFICATIONS. AGGREGATE SHALL BE CLEAN AND DRY. BITUMINOUS

PRIMING MATERIAL SHALL BE APPLIED PER SECTION 403 OF THE IDOT SPECIFICATIONS AT A RATE OF 0.25

- GALLONS PER SQUARE YARD. 10. PRIOR TO INSTALLATION OF SURFACE COURSE, CONTRACTOR SHALL PATCH AND REPAIR ALL DAMAGED AND FAILED AREAS IN THE BINDER COURSE, CURB AND GUTTER, AND CONCRETE PAVEMENT TO THE SATISFACTION OF THE JURISDICTIONAL ENTITY AND OWNER. STRUCTURES WITHIN THE PAVEMENT SHALL BE ADJUSTED TO FINAL SURFACE GRADE. CONTRACTOR SHALL CLEAN AND PRIME THE BINDER COURSE AT A RATE OF 0.05 GALLONS PER SQUARE
- CONCRETE SIDEWALK SHALL BE CONSTRUCTED TO THE WIDTH AND THICKNESS SHOWN ON THE PLANS. SIDEWALK SHALL BE THICKENED TO A MINIMUM OF 6" AT ALL DRIVEWAYS. ALL SIDEWALKS SHALL BE IDOT CLASS SI CONCRETE ON AN AGGREGATE BASE AS SHOWN ON THE PLANS. SCORED CONTRACTION JOINTS SHALL BE PROVIDED AT FIVE FOOT INTERVALS AND EXPANSION JOINTS ($rac{1}{2}$ " PRE-MOLDED FIBER JOINT FILLER) SHALL BE PROVIDED AT MAXIMUM 50 FOOT INTERVALS AND ADJACENT TO CONCRETE CURBS, DRIVES, FOUNDATIONS, RAMPS, ETC. AS WELL
- 12. PAVEMENT MARKING SHALL BE FURNISHED AND INSTALLED IN ACCORDANCE WITH SECTION 780 OF THE IDOT STANDARD SPECIFICATIONS AND MUTCD.
- 13. HANDICAP STALLS SHALL BE STRIPED AND SIGNED IN ACCORDANCE WITH THE ILLINOIS ACCESSIBILITY CODE, LATEST EDITION, AND OTHER APPLICABLE ADA GUIDELINES.

AS WHEN MEETING EXISTING WALKS.

LIGHTS SHALL BY OTHERS.

APPLICABLE REGULATIONS OF THE JURISDICTIONAL ENTITY

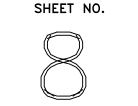
- 1. ALL WORK SHALL CONFORM WITH THE NATIONAL ELECTRIC CODE, COMMONWEALTH EDISON POLICIES, AND THE
- 2. PLANS SHOW LOCATION OF LIGHT POLES ONLY. THE DESIGN OF THE ELECTRIC SYSTEM REQUIRED TO POWER THE
- CLIENT SHALL BE RESPONSIBLE FOR ANY AND ALL COSTS ASSOCIATED WITH THE DESIGN, PERMITTING, AND INSTALLATION OF THE COMPLETE LIGHTING SYSTEM (POWER, POLES, LIGHTS, ETC.).
- CLIENT AND/OR CONTRACTOR SHALL COORDINATE WITH COMMONWEALTH EDISON, AS NECESSARY, REGARDING EXISTING OR PROPOSED POWER TO THE SITE. CLIENT WILL BE RESPONSIBLE FOR ANY AND ALL COSTS ASSOCIATED WITH COMMONWEALTH EDISON SUPPLYING POWER TO THE SITE.
- 5. IF LIGHTING SYSTEM IS CONSIDERED A PUBLIC IMPROVEMENT, CLIENT AND/OR CONTRACTOR SHALL COORDINATE WITH COMMONWEALTH EDISON AND THE JURISDICTIONAL ENTITY REGARDING TRANSFER OF STREET LIGHT SYSTEM TO3 JURISDICTIONAL ENTITY.

SEAL/STAMP

FIN 52 IL 0 029 S.S.



PROJECT NO. __21641 <u>5.30.2</u> DRAWN BY: CHECKED BY: CP



2-PI Y 1/2"

REINFORCED HOSE

KEEP MULCH AWAY FROM TRUNK 3" OF SHREDDED

HARDWOOD MULCH

NEW 2-PLY 1/2" REINFORCED RUBBER HOSE, 1/4" CABLE CLAMP & 1/4" TURNBUCKLES

TO MAINTAIN WIRE TAUTNESS

3/16" STEEL AIRCRAFT

KEEP MULCH AWAY

1" OF SHREDDED

2" OF SOUTHERN

PINE BARK MULCH

FORM MULCH SAUCER

EXISTING SUB-GRADE

SHRUBS

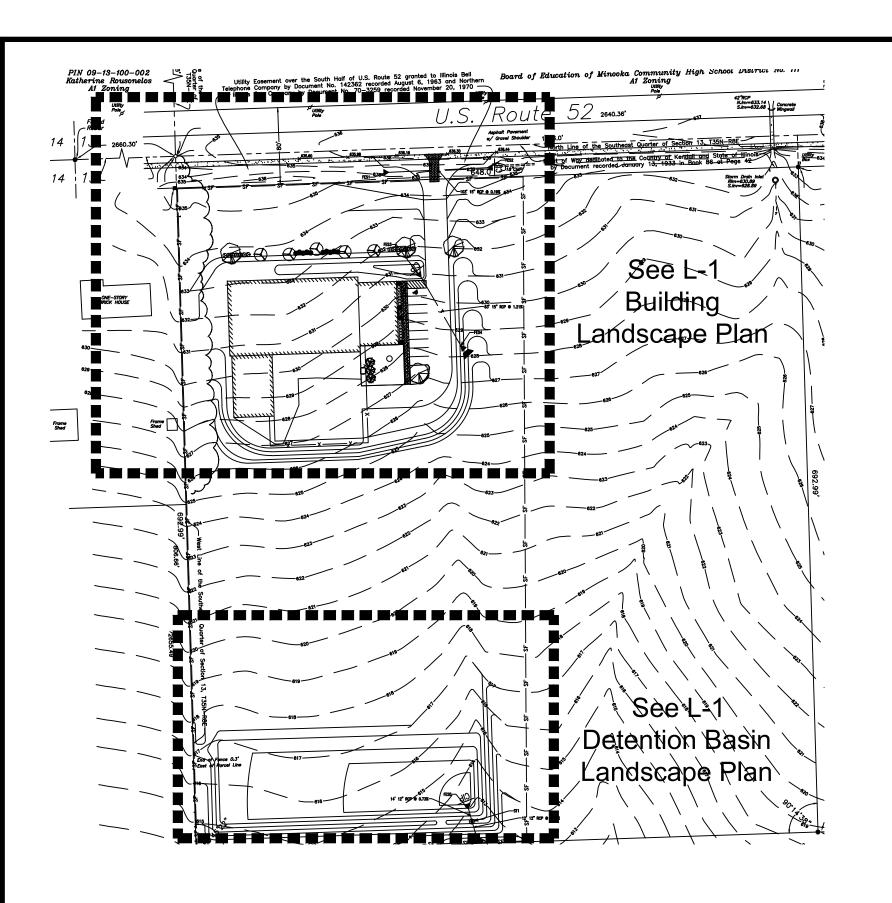
FROM TRUNK

DECIDUOUS TREE

30" STEEL SCREW EARTH ANCHORS

EVERGREEN TREE

AROUND PLANTING PIT



PLANT LIST: (Filotto Roofing, Kendall County, IL)rev: 2024-08-12

KEY	QUAN	N BOTANICAL NAME	COMMON NAME	SIZE/TYP
DECIL	<u>SUOUS</u>	SHADE TREES		
ARP	2	Acer r. 'Frank Jr.'	Redpointe Maple	2.5" BB
CO	2	Celtis occidentalis	Common Hackberry	2.5" BB
DECIE	ouous	ORNAMENTAL TREES		
MPF	2	Malus 'Prairie Fire'	Prairie Fire Crabapple	6' BB
SIS	3	Syringa r. 'Ivory Silk'	Ivory Silk Tree Lilac	6′ BB
EVER	GREEN	TREES		
TGG	3	Thuja p. 'Green Giant'	Green Giant Arborvitae	6' BB
DECIE	ouous	SHRUBS		
HLQF	14	Hydrangea p. 'SMHPLQF'	Little Quick Fire Hydrangea	#3 Gal.
VDC	14	Viburnum d. 'Christholm'	Blue Muffin Viburnum	#5
		SHRUBS		
JGL	10	Juniperus c. 'Gold Lace'	Gold lace Juniper	5 Gal.
TMD	4	Taxus m. 'Densiformis'	Dense Yew	5 Gal.

MATERIALS LIST:

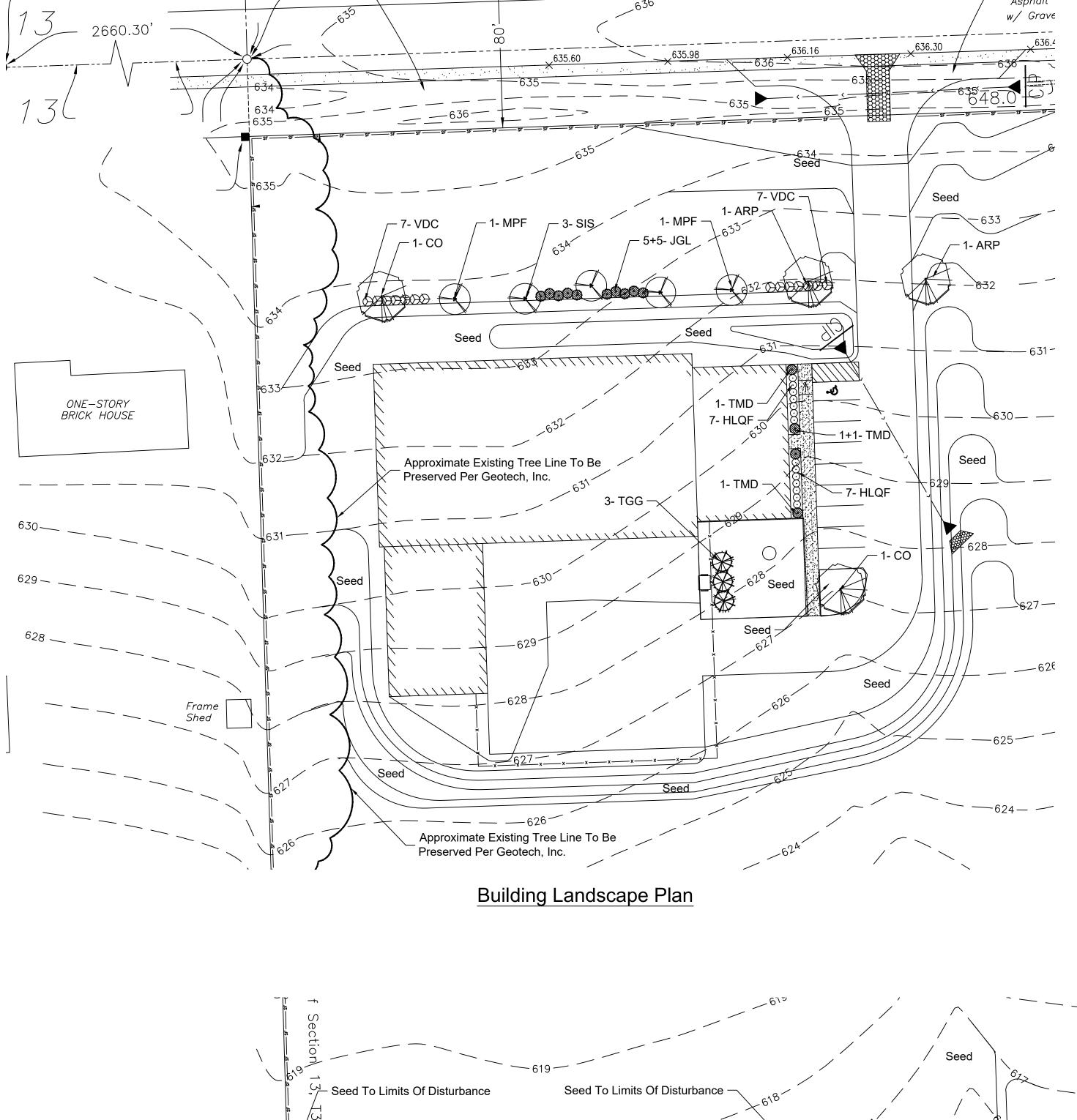
T.B.D. SY Seed & Straw Blanket (Kentucky Bluegrass/Per. Rye Mix-See Specs) Final quan. based on actual amount of disturbance

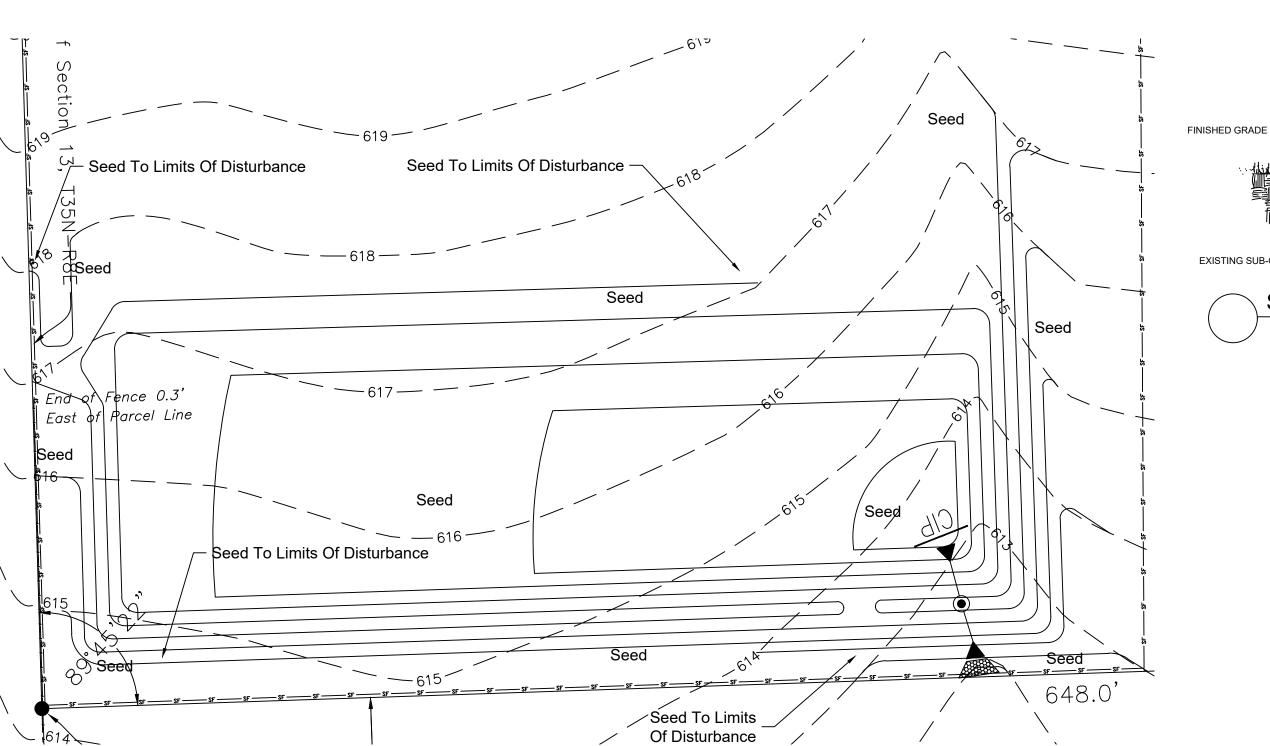
9 CY Mulch (Shredded Hardwood)

7 CY Compost (Mushroom or Yard Waste)

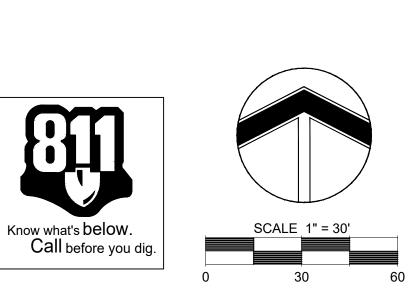
THE QUANTITIES ABOVE ARE SUPPLIED AS A CONVENIENCE. HOWEVER ALL BIDDERS AND THE INSTALLING LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR CALCULATING ALL QUANTITIES AND SHALL INSTALL ALL MATERIALS AS NEEDED TO REFLECT THE MATERIALS SPECIFIED ON THE LANDSCAPE PLAN.

NOTE: See engineering plans prepared by Getotech, Inc. for Grading, Utilities, Esaements, etc.





Detention Basin Landscape Plan



The drawings, specifications, design ideas, and Planner for this project are instruments of the Landscape Architect's and/or Land Planner's service, for use solely with respects to this project and, unless otherwise provided, the Landscape Architect and/or Land Planner shall be deemed the author of these documents and shall retain all common law, statutory, and other rights, including copyright. This drawing is not to be reproduced without the expressed written consent of Heritage Oak Studios, LLC.

NOTE: STAKING OF DECIDUOUS TREES NOT REQUIRED UNLESS TREE WILL NOT REMAIN PLUMB.

TRUNK OF TREE SHALL BE PROTECTED W/ TREE WRAP

SECURE WRAP W/ TWINE @ TOP & REMOVE THE NEXT

DO NOT STAKE INTO

#12 GAUGE STEEL WIRE 3 METAL STAKES @ 8'

— PREPARED BACKFILL

OF 75% SOIL & 25%

DRAINAGE MATERIAL WHEN

UNTREATED BURLAP NEED NOT

SHALL BE REMOVED. TREATED

BURLAP & PLASTIC WRAP SHALL BE REMOVED OR ROLLED DOWN

AROUND THE ROOTBALL

PREPARED BACKFILL

OF 75% SOIL & 25%

45° OR LESS

UNTREATED BURLAP NEED NOT BE REMOVED, HOWEVER ALL TWINE AROUND THE TRUNK SHALL BE REMOVED. TREATED BURLAP & PLASTIC WRAP SHALL BE REMOVED OR ROLLED DOWN AROUND THE ROOTBALL

— 3" OF SHREDDED HARDWOOD MULCH

BE REMOVED. HOWEVER ALL

WETNESS OR DRAINAGE PROBLEMS ENCOUNTERED

UNTREATED BURLAP NEED NOT BE REMOVED, HOWEVER ALL

TWINE AROUND THE TRUNK
SHALL BE REMOVED. TREATED
BURLAP & PLASTIC WRAP SHALL

BE REMOVED OR ROLLED DOWN AROUND THE ROOTBALL

ROOTBALL

REVISIONS 2 - Per Trash Enclosure Location 2024-8-12 1 - Per Kendall County Review 2024-07-29

FILOTTO ROOFING

Kendall County, Illinois

HERITAGE OAK STUDIOS, LLC **Landscape Architects**

> 24301 White Oak Drive Plainfield, IL 60585 PHONE: 815-531-4415

LANDSCAPE PLAN

DATE: 2024-07-18 SCALE: ____1"=30' PLANNER: RP DRAWN BY: RP CHECKED:

SHEET

PROJECT NO.: 1425 - 2415

Attachment 3, Page 2

PACKING AND MARKETING

2.4 EROSION CONTROL BLANKET

STRAW BLANKET (if specified)

2. STRAW/COCONUT BLANKET (if specified)

c. or equivalent

a. S-75 Straw Blanket (North American Green)

b. AEC Premier Straw Blanket (American Excelsior Company)

a. SC-150 Straw/Cocnut Blanket (North American Green)

All seeds shall be delivered in suitable bags in accordance with standard commercial practice. Each bag shall be tagged or labeled as required by the law of the STATE OF ILLINOIS. The vendor's name shall show on or be attached to each bag together with a statement signed by the vendor showing: a) the

) 2024 Heritage Oak Studios, LLC The drawings, specifications, design ideas, and other information contained within as prepared

Planner for this project are instruments of the

CAUTION: IF THIS SHEET IS NOT 24"x36". THEN IT IS NOT AT THE SCALE INDICATED

REVISIONS

FILOTTO ROOFING

Kendall County, Illinois

2 - Per Trash Enclosure Location 2024-8-12

1 - Per Kendall County Review 2024-07-29

HERITAGE OAK

Landscape Architects

24301 White Oak Drive

Plainfield, IL 60585

PHONE: 815-531-4415

LANDSCAPE

GENERAL NOTES

SHEET

PLANT MATERIAL

PART 1 - GENERAL

1.1 SCOPE OF WORK

The work includes furnishing of all materials, and the performance of all operation in connection with the planting of deciduous & evergreen trees, deciduous & evergreen shrubs, shrub roses, perennials, ornamental grasses, groundcover, bulbs (if any) and annual flowers (if any) in strict conformance with the project specifications and applicable drawings which are subject to the terms and conditions of the Contract.

1.2 GENERAL REQUIREMENTS

All plant material shall comply with the State of ILLINOIS and FEDERAL laws with respect to inspection for plant diseases and insect infestation. An inspection certificate required by law to this effect shall accompany each shipment. The Landscape Architect reserves the right to inspect the plant material at the place of growth but such inspection shall not preclude the right of rejection at the site.

1.3 APPLICABLE STANDARDS

A. American National Standards for Tree Care Operations, ANSI A300, American National Standards Institute, 11 West 42nd Street, New York, N.Y. 10036. B. American Standard for Nursery Stock, ANSI Z60.1, American Nursery & Landscape Association, 1000 Vermont Avenue NW, Suite 300, Washington, D.C.

Hortus Third. The Staff of the L.J. Bailey Hortorium, 1976, MacMillan Publishing Co., New York.

D. All standards shall include the latest additions and amendments as of the dated of advertisement for bids

PART 2 - MATERIALS

2.1 GENERAL

The Landscape Architect reserves the right to tag or inspect plants at the nursery but such inspection shall not preclude the right of rejection at the site. Contractor shall furnish and install all plants as shown on the drawing and in the quantities as actually designated on the drawings. The quantities shown on the plant list are included for convenience purposes only.

2.2 NOMENCLATURE

The names of the plants indicated on the drawings conform generally with those accepted in the nursery trade.

Plants shall have a habit of growth that is normal for the species and shall be sound, healthy, vigorous, and free from insect pests, their eggs or larvae, plant diseases, and injuries. All plants shall be nursery grown under climatic conditions similar to those which exist in the locality of the site for at least two (2) years and equal or exceed the measurements specified in the plant list. They shall be measured before pruning with branches in formal position. All necessary pruning shall be performed only at the time of planting. Trees will not be accepted which have their leaders cut or which have their leaders damaged so that cutting is necessary. Plants larger in size than specified may be used with the approval of the Landscape Architect but the use of larger plants will make no change in the contract price. Requirements for the measurement, branching, quality, balling, and burlapping of plants on the plant list shall follow the Code of Standards (760 1-most current edition) by the AMERICAN NURSERY & LANDSCAPE ASSOCIATION, formerly known as the AMERICAN ASSOCIATION OF NURSERYMEN, INC. All plant material with shriveled dry roots or which does not comply with the specifications will be rejected. All shrubs shall be at least twice transplanted and must have a fully developed fibrous root system typical of the stated species. All shrubs must be freshly dug immediately before shipping unless they are containerized. Pre-dug, healed-in plants may be considered only in special cases involving planting during the hot months between the spring and fall planting seasons. Use of such material will be allowed only upon the approval of the Landscape Architect and is subject to his inspection prior to said approval.

The Contractor shall take all precautions that are demanded by good trade practice to insure arrival of the plant material at the stated delivery point in good condition and without injury of any nature. Plants shall be covered properly to prevent drying, transit disease, or injury.

Insofar as it is possible, plant material shall be planted on the day of delivery. In the event this is not possible, the Contractor shall protect the unplanted stock from sun and drying winds at all times. All balled and burlapped plants shall be shaded from the sun, have their ball set off the ground and healed in with sawdust, peat, soil or other moisture-holding material and shall be kept moist. Plants should not remain unplanted for longer than three (3) days if in leaf. On-site storage shall be only in area(s) designated by the Owner.

2.6 SUBSTITUTIONS

Substitutions may be permitted only upon submission of written proof that the specified plant is not obtainable locally. Such substitution may be made only upon authorization by the Landscape Architect.

2.7 SELECTION All plants shall be obtained from nurseries licensed by the State of Illinois and approved by the Landscape Architect. The Landscape Architect reserves the right

to accompany the Contractor to the nurseries for the purpose of selecting (tagging) material. Plant sources located outside the State of Illinois must be approved by the Landscape Architect.

Topsoil if needed shall be imported. All imported topsoil, used for any portion of the work, shall be fertile, friable, natural loam containing a liberal amount of humus. It shall be relatively free from weeds, large roots, plants, sticks, stones larger than one (1) inch, waste, debris or other extraneous matter. The installing Contractor shall be responsible for rock picking and/or debris removal as needed to meet this specification.

The soil, to be acceptable topsoil, shall meet the following criteria:

- A ORGANIC MATTER: Not less than 1.5 percent no more than 10.0 percent B. pH: No lower than 5.0 nor higher than 8.0.
- TEXTURE: No more than 25 percent clay.
- SOLUBLE SALT: No more than 1000 ppm CHEMICAL ACTIVITY: The topsoil (on-site & imported) shall be free from any toxins or chemical residue which could result in any form of plant growth damage.

The Contractor shall provide a soil analysis report submittal containing test results and soil scientist recommendations based on a minimum of one (1) sample taken from each proposed imported topsoil stock pile. The testing shall cover macro nutrients and pH, soluble salts, organic content/mechanical analysis and Bio assav.

2.9 MULCH

Mulch shall consist of the following:

MUSHROOM COMPOST

Mushroom compost shall be composed of well-rotted cattle or stable manure with an admixture of 15-30% topsoil and shall have been used for the commercial

growing of at least one (1) crop of mushrooms. SHREDDED HARDWOOD BARK (general mulching)

Shredded hardwood bark shall consist of finely shredded hardwood bark, free of sticks and leaves.

2.10 FERTILIZER & NUTRIENTS Fertilizer shall be commercial fertilizer which shall be a complete fertilizer with the following approximate analysis:

A. Shrubs

Woodace (14-3-3) slow-release briquettes or acceptable equivalent approved by Landscape Architect. B. Roses

Woodace (14-3-3) slow-release briquettes

2. Superthrive liquid or acceptable equivalent approved by Landscape Architect.

- Perennials, Groundcover, Ornamental Grasses & Vines
- Osmocote (18-6-12) 8-9 month controlled release, or acceptable equivalent approved by the Landscape Architect. D. Annual Flowers
- Osmocote (14-14-14) 3-4 month controlled release or acceptable equivalent approved by the Landscape Architect.
- Holland Bulb Booster (9-9-6) or acceptable equivalent approved by the Landscape Architect
- Deciduous & Evergreen Trees

2.11 TREE WRAPPING MATERIAL

No fertilizer required

- Wrap shall be Breathable synthetic fabric tree wrap. White in color, delivered in 75 mm (3 in.) wide rolls. Specifically manufactured for tree wrapping. Tree wrap shall be "Breathable Fabric Tree Wrap" as manufactured by the Dewitt Company, Inc., Sikeston, MO, or approved equal. Submit manufacture literature for
- B. Tape for securing the wrap shall be bio-degradable tape suitable for nursery use and which is expected to degrade in sunlight in less than two (2) years after installation

2.12 WATER

Potable water shall be supplied by the Owner at no cost to the Contractor by way of an irrigation system, quick coupler system, hose bibs, hydrant meter or a

designated fill-up source on site. PART 3 - EXECUTION

Planting operations shall be conducted under favorable weather conditions during the season stated in the Contract. Before excavations are made the surrounding turf (if existing) shall be covered in a manner that will satisfactorily protect all turf areas that are to be trucked or hauled over and upon which soil is to temporarily stocked. The Contractor shall be responsible for the restoration of all damaged existing turf. All restoration shall be sodded.

3.1 TIME SCHEDULE OF PLANTING OPERATION

Landscaping shall be performed during the season or seasons which are normal for such work as determined by weather conditions and by accepted practice. Planting may be performed under unseasonable conditions without additional compensation, but such work must have the prior approval of the Landscape Architect and/or Owner in writing as to the time of work and methods of operations. Approval to plant under such conditions shall in no way relieve the Contractor form the guarantee provisions of these specifications.

a. From time soil is workable to June 15 with the following exception:

PLANTING SEASON ACCEPTABLE TIME PERIOD

Bare root materials (if any) shall cease on May 31

FALL a. Sept. 1 to Nov. 15 with following exceptions:

- 1) Evergreen Shrub planting to cease Oct. 31
- 2) Evergreen Tree planting to cease Oct. 15 3) Perennial & Ornamental Grass planting to cease Oct. 15

All plants shall receive a thorough watering immediately after installation. During times of extreme heat, all evergreen and deciduous trees shall receive a minimum of 10 gallons of water per tree per watering up to two (2) additional waterings shall be performed as needed. The use of drip irrigation tree bags are encouraged (e.g., gatorbags). All additional waterings will be performed by the Owner or in accordance with a Change Order per the Supplemental Bid prices for additional watering.

3.3 MAINTENANCE Maintenance shall be performed by the Contractor as follows:

TEMPORARY MAINTENANCE

The Contractor shall be responsible for the total maintenance of all plant material until such a date as all landscape operations have received Preliminary Acceptance. Temporary maintenance shall begin immediately after each plant is installed and shall include up to three (3) waterings, and all necessary cultivation, weeding, pruning, disease and insect pest control, protective spraying, resetting of plants to proper grades or upright position restoration of damaged planting saucers, and any other procedure consistence with good horticultural practice necessary to insure normal, vigorous, and healthy growth of all work under this Contract. Upon the Preliminary Acceptance of all planted areas, the responsibility for plant maintenance rests solely with the Owner, with the following exceptions.

B. CONTINUED MAINTENANCE For the duration of the guarantee period the Contractor shall be responsible for the resetting of settled plants, the straightening of plants which are not plumb and the tightening of tree guys (if utilized). All other maintenance is the responsibility of the Owner. However, it is the Contractor's responsibility to occasionally inspect the quality of the Owner's maintenance

3.4 ACCEPTANCE

3.2 WATERING

PRELIMINARY PLANTING ACCEPTANCE

Preliminary planting acceptance shall be given for completed planting operations for the purpose of the Contractor becoming eligible for payment for this portion of the Contract work. In order to obtain Preliminary Acceptance, the Contractor shall notify the Owner and/or Owner's Representative by phone or in writing at the conclusion of all planting operations so that preliminary acceptability by way of a field inspection can be performed. In order for an area to be accepted on a preliminary basis, it shall conform to the following:

1. All plant material shall be in conformance with the Drawings with respect to quality, size, species and location, except those items accepted or revised in the field by the Landscape Architect.

2. All plant material shall be in a healthy condition, as defined under the guarantee requirements stated below in Section 3.14

B. FINAL PLANTING ACCEPTANCE

Final planting acceptance shall be granted after the completion of all replacement operations required fulfilling the guarantee stated below. On or about the expiration of the one-year (1 year) guarantee, a follow-up inspection will be made by the Owners and/or Owner's Representative to determine replacements required to be made by the Contractor in accordance with the provisions of these specifications. The inspector will document his/hei findings in a field report. Upon completion of the replacement program, the Owner and/or Owner's Representative shall conduct an inspection to determine the acceptability of the required replacements. If all is found to be acceptable as defined by Item A above, the Contractor and the General Contractor shall be notified in writing of his final acceptance of work.

3.5 GUARANTEE

The Contractor shall guarantee for a period of one (1) year the replacement of any permanent plant which has died, or is in a dying condition, or which has failed to flourish in such a manner that its usefulness or appearance has been impaired. Any tree with a dead main leader or with a crown which is twenty-five percent (25%) or more dead shall be replaced. These guarantees shall be in accordance with the following:

A. ONE YEAR PERIOD

The one (1) year period shall begin on the date of Preliminary Acceptance of all plant material.

REPLACEMENTS & DAMAGES The decisions of the Owner and/or Owner's Representative for required replacements shall be conclusive and binding upon the Contractor. The Contractor shall also be responsible for repairing damage to persons and property also caused by defective workmanship and materials.

EXCLUSIONS The Contractor shall not be liable for the replacement of plants which were damaged by animals, by deicing compounds, fertilizers, pesticides or other materials not specified by the Contract documents or not applied by him under his supervision, by relocating or removal by others, by Acts of God, by

vandalism or by terrorism D. GUARANTEE PERIOD INSPECTION

During the guarantee period, the Contractor shall, from time to time, inspect the watering, cultivation, and other maintenance operations carried on by the Owner with respect to such work, and promptly report to the Owner any methods, practices or operations which he considers unsatisfactory, and not in accord with his interests or good horticultural practices. The failure of the Contractor to so inspect or report shall be construed as an acceptance by him of the Owner's maintenance operations, and he shall not thereafter claim or assert that any defects which may later develop are the result of such methods or practices or operations

TURF GRASS

PART 1 - GENERAL

1.1 SCOPE OF WORK

The work includes finish grading, furnishing fertilizer, seed and/or sod as specified and performance of all operations in connection with seeding and/or sodding in strict accordance with the applicable Drawings and subject to the terms and conditions of the Contract.

1.2 EQUIPMENT

The Contractor shall provide and maintain equipment suitable for the execution and completion of the work specified in accordance with (IDOT) Standard Specifications. All equipment shall be operated by personnel trained in the operation of such equipment.

Topsoil for planting operations shall be obtained from an on-site stockpile generated from site stripping. In the event that none is available, needed topsoil shall be imported from an off-site source. All imported topsoil, used for any portion of the work, shall be fertile, friable, natural loam containing a liberal amount of humus. It shall be relatively free from weeds, large roots, plants, sticks, stones larger than one (1) inch, waste, debris or other extraneous matter. The installing Contractor shall be responsible for rock picking and/or debris removal as needed to meet this specification.

The soil, to be acceptable topsoil, shall meet the following criteria:

- 1. ORGANIC MATTER: Not less than 1.5 percent no more than 10.0 percent. 2. pH: No lower than 5.0 nor higher than 8.0.
- TEXTURE: No more than 25 percent clay
- SOLUBLE SALT: No more than 1000 ppr 5. CHEMICAL ACTIVITY: The topsoil (on-site & imported) shall be free from any toxins or chemical residue which could result in any form of plant growth damage.

The Contractor shall provide a soil analysis report submittal containing test results and soil scientist recommendations based on a minimum of one (1) sample taken from each proposed imported topsoil stock pile. The testing shall cover macro nutrients and pH, soluble salts, organic content/mechanical analysis and Bio assay.

2.2 COMMERCIAL FERTILIZER AND DELIVERY

Fertilizer shall be delivered to the site in unopened, original containers, each bearing name and address of the manufacturer, name brand, or trademark, and manufacturer's guaranteed analysis. Any fertilizer which becomes caked or otherwise damaged, making it unsuitable to use, will not be accepted. Fertilizer shall not have been exposed to weather prior to delivery on the site and after delivery until used. It shall be completely protected at all times and shall not be stored in direct contact with the ground.

The fertilizer shall be a complete fertilizer containing a minimum basis percentage by weight of the following:

1. PRIOR TO SEEDING AND/OR SODDING 10-0-20 Nitrogen..... 10% Phosphorous...... 0%

Potash.....

2. AFTER SEEDING AND/OR SODDING 26-0-4 Nitrogen..... 26% Phosphorous...... 0%

> a) One-quarter of the nitrogen shall be in the form of nitrates, one-quarter in the form of ammonia salts, and one-half in the form of organic nitrogen. b) No phosphorus is allowed to be applied. c) The potash shall be in the form of sulphate of potash.

The balance of the fertilizer shall be made up of materials usually present in such a product. It shall be free from dust, sticks, sand, stone, or other

2.3 GRASS SEED (if specified)

2. SALT TOLERANT MIX (if specified)

Grass seed shall be reclaimed seed of the previous season's seed crops. All seed shall meet requirements established by the State and Federal Seed and Weed Controls Laws. The grass seed mixture shall be composed of the following grass seeds mixed in proportions by weight and shall meet or exceed the minimum percentages of purity and germination as indicated.

PROPORTION BY WEIGHT TYPE OF GRASS

1. CONVENTIONAL TURF GRASS MIX (if specified) .. KENTUCKY BLUEGRASS (blend of 3 cultivars) PERENNIAL RYEGRASS (blend of 2 cultivars) ... CREEPING RED FESCUE (Apply at 7 lbs./1,000 S.F. for mechanical seeding)

> ... 'FULTS' ALKALI GRASS (PUCCINELLIA DISTANS) .. CREEPING RED FESCUE .. KENTUCKY BLUEGRASS ... PERENNIAL RYEGRASS (Apply at 5 lbs./1,000 S.F. for mechanical seeding)

The percentage of hard seed included as a part of the germination percentage of any lot of seed, shall not exceed twenty. Kentucky bluegrass seed shall weigh a minimum of 28 pounds to the nearest measured bushel. Weed seed content shall not exceed 0.25%.

SoilCover Hydraulic Wood Mulch by Profile distributed by ERO-TEX (866)437-6839

b. AEC Premier Straw/Cocnut Blanket (American Excelsior Company)

2.7 WATER

The Owner shall provide at no cost, sufficient water for the Contractor to maintain plant materials and seeded and sodded areas in accordance with the requirements of the applicable technical specifications. Potable water shall be supplied by the Owner by way of a permanent underground irrigation system, quick coupler system, hose bibs, fire hydrants or a designated fill-up source for mobile tanks. When water is provided by way of fire hydrants, it shall be the Contractor's responsibility to be completely familiar with all local ordinances concerning the use of this water source. If a meter is required, it is the Contractor's responsibility to obtain, store and return the meter. All fees incurred by the Contractor in obtaining the meter and utilizing the water supply will be reimbursed to him by the Owner.

kind of seed contained, b) the percentage of purity and germination, c) the percentage of hard seed, if any, d) a statement conforming to the laws of the STATE OF ILLINOIS hereinbefore mentioned showing percentage of weed seeds, if any. Seed which has become wet, moldy, or otherwise damaged will

In the event that the on-site water supply is curtailed or terminated by the Owner or by ordinance during the period the Contract is in effect, or that there is no on-site sources of water, the Contractor shall supply water from off-site in sufficient quantities to complete the job. Compensation for this additional item will be in accordance with a solicited price quote. If authorization to supply off-site water is not given to the Contractor by the Owner, when the Owner is unable to supply the water in sufficient quantities, the Contractor shall not be left responsible for damage to new plantings (plant materials & sod) or failure of seed to germinate and grow caused a direct result of an inadequate water supply.

PART 3 - EXECUTION

3.1 SEED - The accepted seasons for sowing seed in lawn areas shall be defined as follows:

PLANTING SEASONS April 1 * to May 31 Aug. 15 to Sept. 30 * or as soon as the soil is free of frost and in a workable condition.

3.3 REQUIRED MAINTENANCE The Contractor shall be responsible for maintaining all newly seeded and sodded areas until such a time as these areas are granted acceptance by the

Seeding during other time periods shall require the approval of the Owner and/or Landscape Architect. All sowing of seed shall be completed after all trees

Owner and/or Landscape Architect. Maintenance during this time period shall and consist of watering, mowing, fertilization and herbicide application, as

well as any other horticultural practices necessary to establish an acceptable stand of grass. A. WATERING

and shrubs have been installed, if any.

1. The Contractor shall water all newly seeded areas once immediately upon completion. Additional watering shall be performed as needed in the absence of adequate rainfall. All water should be applied as a spray or dispersion to prevent run-off or damage. The Contractor shall be responsible for watering until turf is established and accepted. If the Owner supplies an in-ground irrigation system, the Contractor shall be responsible for monitoring the effectiveness of the system and shall report any problems with the system to the Owner immediately, followed up in writing. If the Owner does not provide an irrigation system, then additional watering shall be performed in accordance with the Supplemental Bids where alternate watering prices shall be quoted. If this work item is not included as part of the original Contract, it must be authorized. Compensation shall be in accordance with the Supplemental Bid Prices. If the Owner fails to supply water or authorize supplemental watering the Contractor's warranty for providing an established stand of turf will be voided.

Seeded areas after completion of the second required mowing, the Contractor shall apply an 18-5-9 commercial fertilizer at the rate of 15 pounds

1. The Contractor shall mow all **seeded** areas three (3) times. The three (3) mowings shall be performed once the turf has reached a height of three

inches (3") and shall maintain the turf at 2-2½". At no time should more than 1/3 of the leaf blade be removed by any mowing.

per 1,000 square feet (650 lbs/ac.) to all turf areas using a mechanical spreader and by making two (2) passes at right angles to each

HERBICIDE The Contractor shall be responsible for one (1) application of a weed control product no sooner than the second mowing with the areas seeded. The

product shall reflect the specific weed problem which may exist.

Acceptance of seeded areas will be determined by the Owner and/or Landscape Architect.

Acceptance shall be granted upon conformance with the following:

Grass shall display a reasonably uniform distribution of grass plants Grass shall display vigorous growth and be green and healthy in appearance

3. Grass shall have received the required movings, fertilization and herbicide application. The Contractor shall not be held liable for damage incurred to the seed areas caused by deicing compounds, toxic substances, fertilizers, pesticides and

The Contractor shall guarantee the provision of a green, healthy relatively weed free turf at the time of acceptance.

TEMPORARY WATERING

Temporary watering shall be performed via a temporary above ground irrigation system from the building water supply and/or from water trucks.

other materials not specified or not applied by him or under his supervision, nor those damages caused by vandalism or acts of nature.

A. Seed Mixes with Straw Blanket

1. Immediately after the completion of seeding operations, all seed & blanket areas shall be watered to a depth of two (2) inches. Additional watering shall be performed to a total of fifteen (15) times.

2. During the seed germination period, seeded areas shall be kept moist in the absence of adequate rainfall to a depth of one (1) inch. A fine spray should be utilized to avoid seed bed disturbance/erosion. Watering personnel shall routinely probe the seeded areas in multiple locations to determine moisture levels and the watering program should be adjusted accordingly. A five to ten (5-10) minute watering duration is generally adequate. During the germination period, daily watering may be

3. Once the seed has fully germinated (not just the cover crop) the watering shall be increased to a two (2) inch depth. The soil should be allowed to dry out between waterings and generally every other day watering during this stage is adequate, depending on rainfall.

B. Plant Material Watering

required during extremely hot periods.

1. All plants shall receive a thorough watering immediately subsequent to installation including a minimum of four (4) additional waterings when needed.

2. During times of extreme heat, all evergreen and deciduous trees shall receive a minimum of ten (10) gallons of water per tree per watering. Hand injection probe watering or slow release watering bags are the preferred methods for effectively applying water to trees. The use of 20-gallon slow-release irrigation tree bags is highly encouraged and may be substituted for the above mentioned injection waterings. Such watering bags shall be kept operational for a minimum of five (5) continuous days. If this watering method is used in lieu of injection waterings, they shall be provided, as weather conditions dictate, for three (3) watering periods of five (5) continuous days each.

Plant material shall be nursery grown and be either balled and bur-lapped or container grown. Sizes and spreads on plant list represent minimum requirements.

GENERAL NOTES:

The requirements for measurement, branching and ball size shall conform to the latest addition of ANSI Z60.1, AMERICAN STANDARD OF NURSERY STOCK by the American Nursery & Landscape Association.

Any materials with damaged or crooked/disfigured leaders, bark abrasion, sun scald, insect damage, etc. are not acceptable and will be rejected. Trees with multiple leaders will be rejected unless called for in the plant list as multi-stem or clump (cl.).

If any mistakes, omissions, or discrepancies are found to exist with the work product, the Landscape Architect shall be promptly notified so that they have the opportunity to take any steps necessary to resolve the issue. Failure to promptly notify the Landscape Architect and the Owner of such conditions shall absolve them from any responsibility for the consequences of such

Under no circumstances should these plans be used for construction purposes without examining actual locations of utilities on site, and reviewing all related documents mentioned herein, including related documents prepared by the project Civil Engineer and Architect.

Civil Engineering or Architectural base information has been provided by others. The location of various site improvements on this set of drawings is only illustrative and should not be relied upon for construction purposes.

Quantity lists are supplied as a convenience. However, Bidders and the

Installing Contractor should verify all quantities. The drawings shall take

precedence over the lists. Any discrepancies shall be reported to the Landscape Architect. Actions taken without the knowledge and consent of the Owner and the Landscape Architect or in contradiction to the Owner and the Landscape

Architect's work product or recommendations, shall become the responsibility

not of the Owner and the Landscape Architect, but for the parties responsible

for the taking of such action. Refer to Civil Engineering documents for detailed information regarding size, location, depth and type of utilities, as well as locations of other site improvements, other than landscape improvements,

Plant symbols illustrated on this plan are a graphic representation of proposed plant material types and are intended to provide for visual clarity. However, the symbols do not necessarily represent actual plant spread at the time of installation.

All plant species specified are subject to availability. Material shortages in the

approved by the Village, Landscape Architect and Owner. The Landscape Contractor shall verify location of all underground utilities prior to digging by calling "J.U.L.I.E." (Joint Utility Location for Excavators) 1-800-892-0123 and any other public or private agency necessary for utility

landscape industry may require substitutions. All substitutions must be

All bed lines and tree saucers shall require a hand spaded edge between lawn and mulched areas.

drainage shall be provided in all areas. Seed mixes shall be applied mechanically so that the seed is incorporated into the top one-half inch (1/2") of the seed bed. The seed shall then be covered with the specified blanket (installed per manufacturer's, specs) or

All completed planting beds and tree saucers, except for groundcover beds

shall be mulched with three (3) inches of un-dyed shredded hardwood bark.

All groundcover beds shall be mulched with three (3) inches of pine bark

Grading shall provide slopes which are smooth and continuous. Positive

All plant material shall be guaranteed for one (1) year from the date of

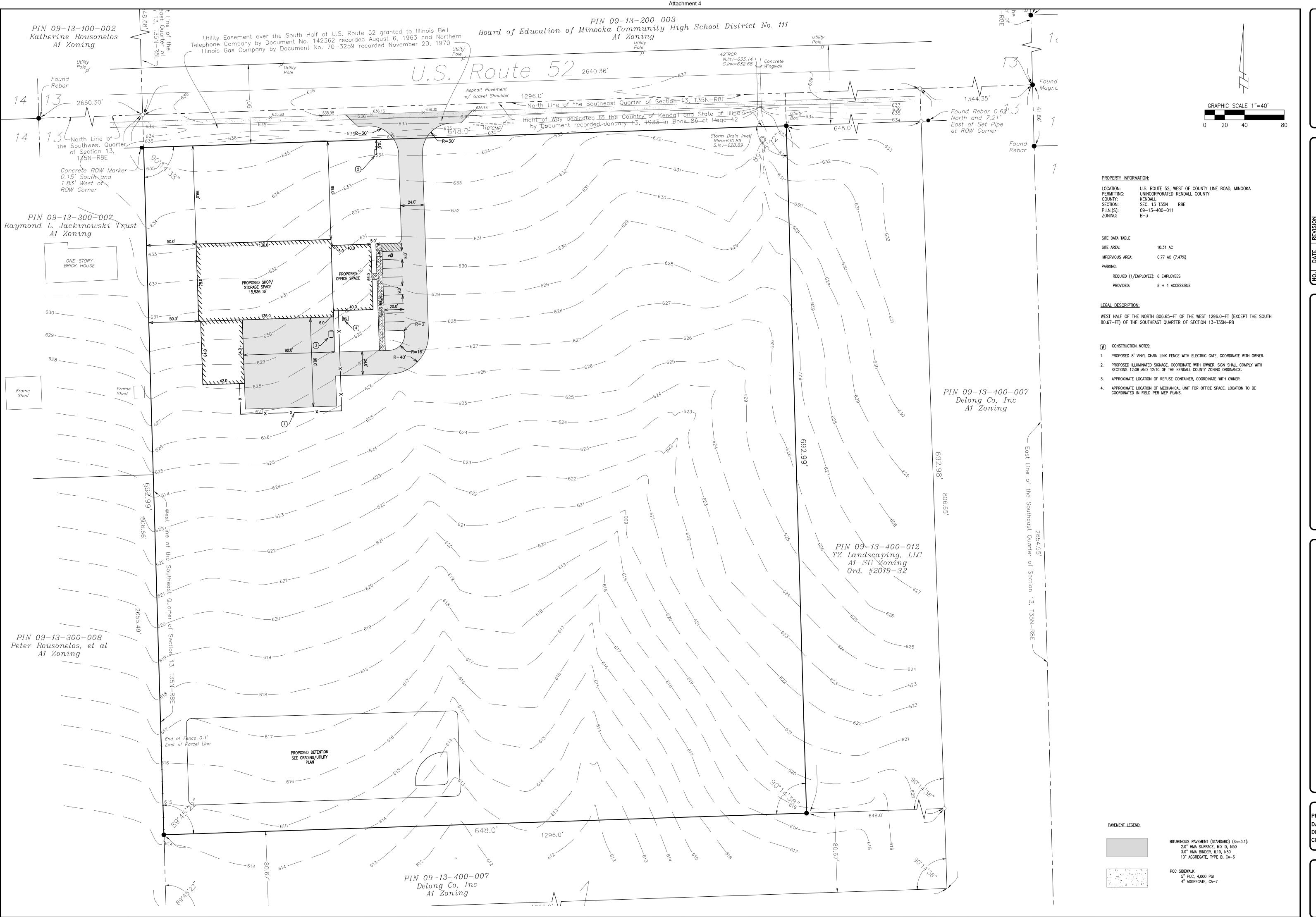
Hydro-mulch.

STUDIOS, LLC

SPECIFICATIONS &

DATE: <u>2024-07-18</u> SCALE: PLANNER: RP DRAWN BY: RP CHECKED:

PROJECT NO.: 1425 - 2415



FILOTTO ROOFING U.S. ROUTE 52 MINOOKA, IL

PROJECT NO. 21641 DRAWN BY: ____TC CHECKED BY: CP

SHEET NO.

Attachment 5



August 21, 2024

Mr. Matt Asselmeier Kendall County Planning, Building, & Zoning 111 West Fox Street Yorkville, IL 60560-1498

Subject: Filotto Roofing- WBK Project 19-102.CF

Dear Mr. Asselmeier:

We have received and reviewed the following information for the subject project:

- Stormwater Management Report prepared by Geotech Inc. dated July 19, 2024 and received August 6, 2024.
- Stormwater Management Permit prepared by owner dated August 2, 2024 and received August 2, 2024.
- Site Improvement Plans prepared by Geotech Inc. dated August 12, 2024 and received August 12, 2024.
- Site Plan prepared by Geotech Inc. dated July 29, 2024 and received August 12, 2024 and received August 12, 2024.
- Landscape Plan prepared by Heritage Oak Studios, LLC dated August 12, 2024 and received August 12, 2024.

We find the stormwater report and construction documents submitted to be in general conformance with the County stormwater ordinance. The stormwater permit and construction documents are approved conditioned on resolution of the following comments.

- 1. In the Stormwater Management Report, the Detention Tributary Area exhibit and detention calculations reflect that the basin provides detention for the disturbed 2.87 acres, however, in proposed conditions the basin will accept runoff from an additional area between the proposed disturbance and possibly areas north of the proposed building. Please evaluate the overflow weir for this additional flow as to depth and velocity with the understanding overflow conditions will occur more frequently.
- 2. The weir coefficient is represented as two different values in the stormwater report. Verify the appropriate value. Also verify the weir length in the calculations matches the plans.

- Site Improvement Plans Please add dimensions to the restrictor manhole detail to verify
 that the minimum 4" clearance will be met with the proposed top of wall elevation.
 Revise the grate type to maximize the overflow potential using a beehive type or "O1" for
 EJIW products.
- 4. We understand the drainage swales along the east and west limits of the disturbed area are intended to capture flow from disturbed areas and route it to the stormwater basin. The definition of the swale is lacking in some areas. It is preferred that a typical minimum swale section be depicted that call out a minimum swale bottom side slope and depth to convey flows. Verify minimum depth with a channel capacity calculation. It is not necessary to revise all contours or include this additional area in the stormwater calculations, however we have no objection if that is done. Our primary concern is that the final field conditions will indicate clear capture and routing of the flows.
- 5. Access to US 52 will require approval from IDOT.
- 6. An NPDES permit is needed for the project.

The applicant's design professionals are responsible for performing and checking all design computations, dimensions, details, and specifications in accordance with all applicable codes and regulations, and obtaining all permits necessary to complete this work. In no way does this review relieve applicant's design professionals of their duties to comply with the law and any applicable codes and regulations, nor does it relieve the Contractors in any way from their sole responsibility for the quality and workmanship of the work and for strict compliance with the permitted plans and specifications.

If you have any questions or comments, please contact us at (630) 443-7755.

Sincerg

Greg Chismark PE WBK Engineering, LLC