



Kendall County Agenda Briefing

Meeting Type: Planning, Building and Zoning
Meeting Date: 9/9/2024
Subject: Minor Amendment for Special Use Permit at 5438 Schlapp Road
Prepared by: Matthew H. Asselmeier, AICP, CFM
Department: Planning, Building and Zoning

Action Requested:

Approval of Petition 24-20, a Request from Lydia Ramirez for Minor Amendments to the Site Plan Granted by Ordinance 2022-26 for a Banquet Facility at 5438 Schlapp Road (Formerly 5100 Block of Schlapp Road), Oswego (PIN: 03-34-100-028) in Oswego Township by Adding a Terrace, Fireplace, Gazebo, Fence, Columns, and Water Fountain, and Changing the Gravel to Asphalt; Property is Zone A-1 with a Special Use Permit

Previous Board/Committee Review:

N/A

Fiscal impact:

N/A

Background and Discussion:

See Attached Memo

Staff Recommendation:

Approval with Conditions

Attachments:

Memo Dated September 4, 2024



DEPARTMENT OF PLANNING, BUILDING & ZONING

111 West Fox Street • Room 204

Yorkville, IL • 60560

(630) 553-4141

Fax (630) 553-4179

MEMORANDUM

To: Kendall County Planning, Building & Zoning Committee
From: Matthew H. Asselmeier, AICP, CFM, Director
Date: September 4, 2024
Re: Petition 24-20 Request for Minor Amendment to a Special Use Permit for a Banquet Facility at 5438 (Formerly 5100 Block) Schlapp Road

On February 19, 2019, the Kendall County Board approved Ordinance 2019-03, granting a special use permit for a banquet facility at 5438 (formerly 5100 block) Schlapp Road in Oswego Township. On September 20, 2022, the Kendall County Board approved Ordinance 2022-26, amending the site plan, photometric plan, and engineering plans at the subject property.

On or about July 18, 2024, and finalized on September 4, 2024, the Petitioner submitted an application for the following minor amendments to the site plan:

1. Install an eighty foot by twenty-two foot (80' X 22') terrace on top of the existing concrete pad with two inch by ten inch (2" X 10") inch cedar exposed attached to the building. The maximum height of the structure would be thirteen feet (13').
2. Install one (1) maximum six foot (6') tall fire place under the terrace.
3. Install one (1) twenty-two foot by twelve foot (22' X 12') gazebo by ceremony area (see Attachment 1). The maximum height of the gazebo would be eleven feet (11').
4. Instead of gravel, install asphalt on the parking lot and walkway area.
5. Install a fountain in the pond.
6. Install a fence along the western perimeter of the property (the location is unknown).
7. Install two (2) columns near the driveway.

The revised site plan is included as Attachment 2. The location of the fence is not shown on the site plan; the present fence was installed without approval and is in the right-of-way. The site plan also shows six (6) columns near the driveway entrance. Four (4) of the columns are in the right-of-way; Staff is unsure if the remaining two (2) columns are setback the required ten feet (10') from the right-of-way.

The application is included as Attachment 3.

The Petitioners do not plan to change the location of the sign as originally requested in their application and shown on the revised site plan.

Section 13:08.N discussing the requirements for minor amendments. Amendments 1 and 2 are proposed on already impervious surface areas. Amendment 3 would be new impervious area, but the added area is small compared to the existing buildings, driveways, and walkways. Regarding amendment 4, when the stormwater permit was issued, an allowance was made regarding future pavement. Amendment 5 does not impact stormwater. An email from WBK Engineering is provided as Attachment 4. Staff cannot comment on amendment 6, because no information was provided regarding the location or description of the fence. Amendment 7 meets for qualifying for a minor amendment.

Ordinance 2019-03 already addresses concerns that may arise with the proposed amendments including lighting of signs (Condition 2.H), noise (Condition 2.J), outside music (Condition 2.K), and hours of operation (Condition 2.L). None of these conditions were proposed for amendment

presently.

Ordinance 2019-03 and 2022-26 are attached.

If the Planning, Building and Zoning Committee wishes to approve the request, a draft minor amendment is attached.

If you have any questions, please let me know.

Thanks,

MHA

ENCs: Gazebo Picture
Proposed Site Plan
Application Material
August 6, 2024, Email from WBK Engineering
Ordinance 2019-33
Ordinance 2022-09
Draft Minor Amendment

Attachment 1 Gazebo Picture



Save

julianoellejumper.com

Bright and Moody Open Air Chapel Wedding



Juliana Noelle Jumper Photography
100 followers

Follow

Comments

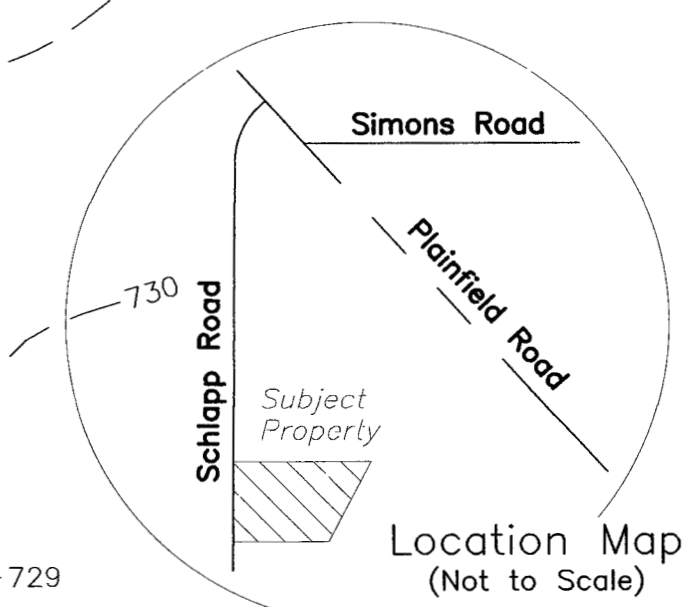
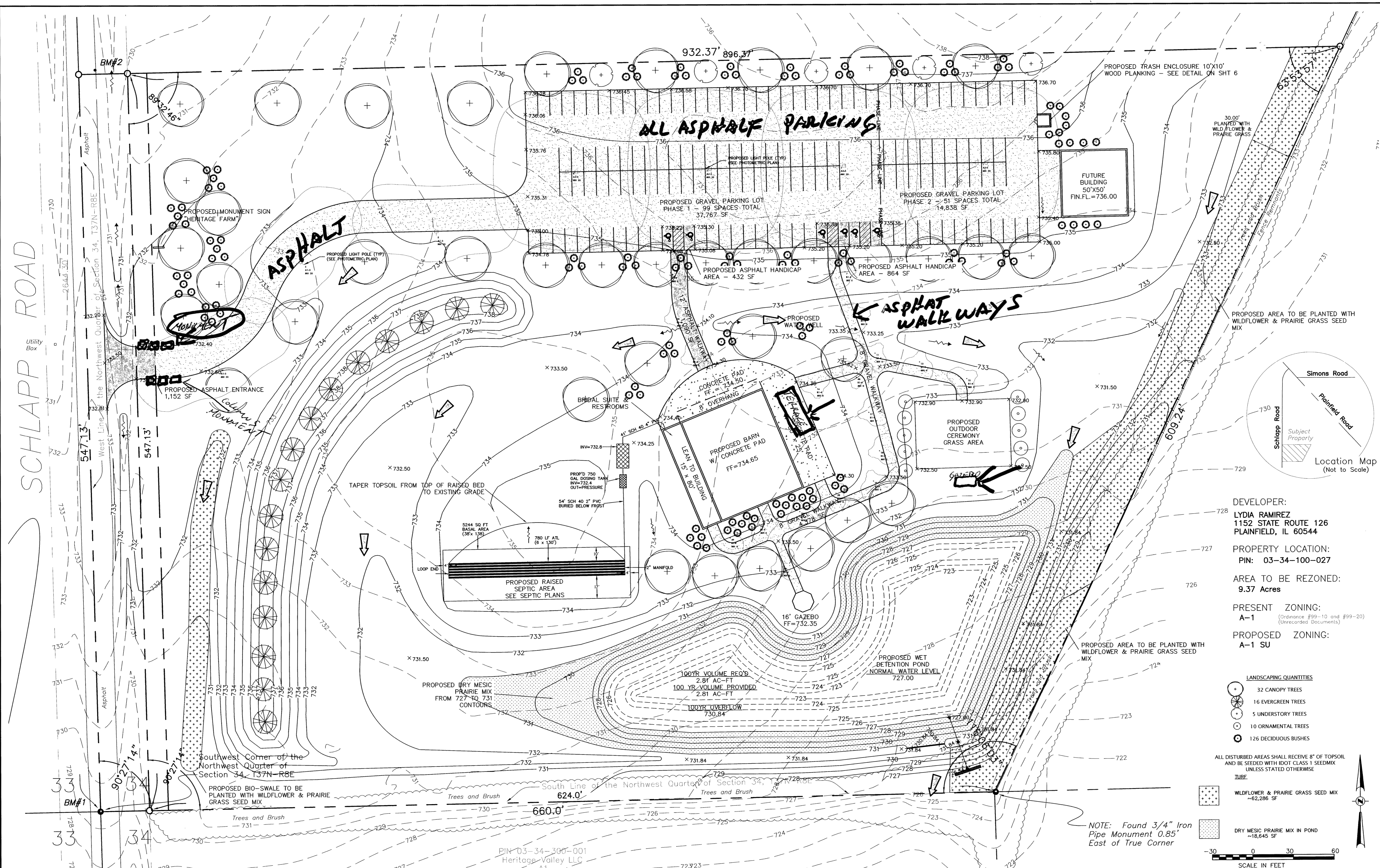
No comments yet! Add one to start the conversation.

What do you think?



Add a comment





DEVELOPER:
 LYDIA RAMIREZ
 1152 STATE ROUTE 126
 PLAINFIELD, IL 60544

PROPERTY LOCATION:
 PIN: 03-34-100-027

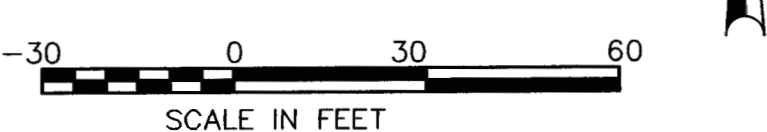
AREA TO BE REZONED:
 9.37 Acres

PRESENT ZONING:
 A-1 (Ordinance #99-10 and #99-20)
 (Unrecorded Documents)

PROPOSED ZONING:
 A-1 SU

- LANDSCAPING QUANTITIES
- 32 CANOPY TREES
 - 16 EVERGREEN TREES
 - 5 UNDERSTORY TREES
 - 10 ORNAMENTAL TREES
 - 126 DECIDUOUS BUSHES
- ALL DISTURBED AREAS SHALL RECEIVE 8" OF TOPSOIL AND BE SEEDED WITH IDOT CLASS 1 SEED MIX UNLESS STATED OTHERWISE
- TURF
- WILDFLOWER & PRAIRIE GRASS SEED MIX ~62,286 SF
 - DRY MESIC PRAIRIE MIX IN POND ~18,645 SF

NOTE: Found 3/4" Iron Pipe Monument 0.85' East of True Corner



SCHLAPP ROAD



DEPARTMENT OF PLANNING, BUILDING & ZONING

111 West Fox Street • Yorkville, IL • 60560
 (630) 553-4141 Fax (630) 553-4179

APPLICATION

PROJECT NAME HERITAGE FARM BANQUET FILE # 22-16

NAME OF APPLICANT (Including First, Middle Initial, and Last Name)		
<u>LYDIA RAMIREZ</u>		
CURRENT LANDOWNER/NAME(S)		
<u>LYDIA RAMIREZ</u>		<u>03-34-100-028</u>
SITE INFORMATION ACRES	SITE ADDRESS OR LOCATION	ASSESSOR'S ID NUMBER (PIN)
	<u>5438 SCHLAP RD. OSWEGO IL.</u>	<u>60543</u>
EXISTING LAND USE	CURRENT ZONING	LAND CLASSIFICATION ON LRMP
REQUESTED ACTION (Check All That Apply):		
<input checked="" type="checkbox"/> SPECIAL USE	<input type="checkbox"/> MAP AMENDMENT (Rezone to ___)	<input type="checkbox"/> VARIANCE
<input type="checkbox"/> ADMINISTRATIVE VARIANCE	<input type="checkbox"/> A-1 CONDITIONAL USE for: _____	<input type="checkbox"/> SITE PLAN REVIEW
<input type="checkbox"/> TEXT AMENDMENT	<input type="checkbox"/> RPD (___ Concept; ___ Preliminary; ___ Final)	<input type="checkbox"/> ADMINISTRATIVE APPEAL
<input type="checkbox"/> PRELIMINARY PLAT	<input type="checkbox"/> FINAL PLAT	<input type="checkbox"/> OTHER PLAT (Vacation, Dedication, etc.)
<input checked="" type="checkbox"/> AMENDMENT TO A SPECIAL USE (___ Major; <input checked="" type="checkbox"/> Minor)		
PRIMARY CONTACT	PRIMARY CONTACT MAILING ADDRESS	PRIMARY CONTACT EMAIL
<u>LYDIA RAMIREZ</u>	[REDACTED]	[REDACTED]
PRIMARY CONTACT PHONE #	P	
[REDACTED]		
ENGINEER CONTACT	ENGINEER MAILING ADDRESS	ENGINEER EMAIL
ENGINEER PHONE #	ENGINEER FAX #	ENGINEER OTHER # (Cell, etc.)
I UNDERSTAND THAT BY SIGNING THIS FORM, THAT THE PROPERTY IN QUESTION MAY BE VISITED BY COUNTY STAFF & BOARD/ COMMISSION MEMBERS THROUGHOUT THE PETITION PROCESS AND THAT THE PRIMARY CONTACT LISTED ABOVE WILL BE SUBJECT TO ALL CORRESPONDANCE ISSUED BY THE COUNTY.		
I CERTIFY THAT THE INFORMATION AND EXHIBITS SUBMITTED ARE TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND THAT I AM TO FILE THIS APPLICATION AND ACT ON BEHALF OF THE ABOVE SIGNATURES. THE APPLICANT ATTESTS THAT THEY ARE FREE OF DEBT OR CURRENT ON ALL DEBTS OWED TO KENDALL COUNTY AS OF THE APPLICATION DATE.		
SIGNATURE OF APPLICANT	[REDACTED]	DATE <u>7/17/2024</u>

FEE PAID: \$ 150.00
 CHECK #: _____

¹Primary Contact will receive all correspondence from County

²Engineering Contact will receive all correspondence from the County's Engineering Consultants

§13:08.N of the Zoning Ordinance states that a Minor Amendments are those that do not alter the intent or uses of the property for which a Special Use has been approved. Minor Amendments shall be limited to the following:

1. Proposed additions, enlargements or changes in any existing or proposed building or buildings, shown on any controlling site plans attached to or referenced in the ordinance which granted the special use (if applicable), and the addition of accessory structures not shown on such plans may be permitted provided that all of the following conditions are met:
 - a) The proposed addition, enlargement or change will, in the opinion of the Zoning Administrator, result in a better utilization of the property or a more efficient and desirable use of the land.
 - b) The change shall not constitute more than a ten (10) percent increase in the lot coverage of all approved buildings on the property or a ten (10) percent increase of the total floor area of all approved buildings on the property.
 - c) The proposed addition, enlargement or change will not infringe upon or extend into any required building setback, off street parking or loading space or required building separation or exceed the height or bulk regulations of the underlying zoning district.
 - d) The additional off-street parking or loading spaces required for such proposed addition, enlargement or change, can be supplied as required by the applicable zoning ordinance provisions.
 - e) The proposed addition, enlargement or change will not result in an enlargement or increase of any previously approved variation.

2. Minor Modifications of Conditions provided that all of the following are met:
 - a) The proposed modification will, in the opinion of the Zoning Administrator, result in equal or better performance than the original condition imposed.
 - b) The proposed modification or change shall not result in a change of more than ten (10) percent of any previously imposed condition.
 - c) The result of the proposed modification shall be that the property will still be in substantial compliance with the previously approved ordinance.

Please verify your modification fits the above criteria and briefly describe the minor amendment below:

1. 80 Ft. X 25ft terrace on top of concrete pad with a 2" X 10" Cedar exposed attached ^{to} Building.
2. from 5ft to left fire place under terrace (Installation)
3. 18ft X 16ft gazebo by ceremony area - 16 feet height max
4. finish asphalt on parking lot and walkway areas
5. Change monument by entrance driveway on brick column

Matt Asselmeier

From: L R <[REDACTED]>
Sent: Tuesday, July 30, 2024 9:41 AM
To: Matt Asselmeier
Subject: Re: [External]RE: Banquet Facility on Schlapp Road

Good morning Matt,
regarding the terrace on the patio I was told from the lumber company the largest cedar beams are 2"x 12"x 22' so is going to be 80' long by 22' wide instead of 25' wide please make a note of it.
Thank you!
Jose R.

On Tue, Jul 23, 2024 at 1:11 PM L R <lyma12939@gmail.com> wrote:
Yes I will call you Friday at 3pm
Thank you!
Sent from my iPhone

On Jul 23, 2024, at 12:53 PM, Greg Chismark <gchismark@bodwegroup.com> wrote:

Friday afternoon after 2:30 is best. Let me know what is good so I can put it on my calendar.

Greg Chismark, PE

Mobile 847-344-5619 | Office 630-338-8527 | gchismark@bodwegroup.com

From: L R <[REDACTED]>
Sent: Tuesday, July 23, 2024 12:23 PM
To: Greg Chismark <gchismark@bodwegroup.com>
Subject: Re: FW: [External]RE: Banquet Facility on Schlapp Road

Hi Greg,

Matt Asselmeier

From: Greg Chismark <gchismark@bodwegroup.com>
Sent: Friday, August 16, 2024 7:17 AM
To: L R; Tebrugge Engineering
Cc: Matt Asselmeier
Subject: [External]RE: Storm Comps 4.12.19.pdf

CAUTION - This email originated from outside the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

All,

I have received a response from John and agree with his evaluation. My apologies, I missed the statement in the calculations identifying future pavement. No permit is necessary for paving the site so long as the extent and drainage patterns of parking and driveways are not changed from the original plan.

Let me know if you need anything else from me.

Greg

Greg Chismark, PE

President, WBK Engineering

Mobile 847-344-5619 | Office 630-338-8527 | gchismark@bodwegroup.com

116 West Main Street Suite 201, St. Charles IL 60174

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State of Illinois
County of Kendall

Zoning Petition
#19-05

ORDINANCE NUMBER 2019-03

GRANTING A SPECIAL USE PERMIT ON PROPERTY ZONED A-1 AGRICULTURAL FOR A BANQUET FACILITY AND A VARIANCE TO SECTION 7.01.D.10.A OF THE KENDALL COUNTY ZONING ORDINANCE TO ALLOW A BANQUET FACILITY TO BE LOCATED OFF OF A NON-ARTERIAL OR NON-MAJOR COLLECTOR ROADWAY FOR A 10.0 ACRE +/- PARCEL LOCATED IN THE 5100 BLOCK OF SCHLAPP ROAD ON THE EAST SIDE OF SCHLAPP ROAD APPROXIMATELY 0.48 MILES SOUTH OF PLAINFIELD ROAD ON THE SOUTH TEN ACRES OF THE PROPERTY IDENTIFIED BY PARCEL IDENTIFICATION NUMBER 03-34-100-024 IN OSWEGO TOWNSHIP

WHEREAS, Section 13.08 of the Kendall County Zoning Ordinance permits the Kendall County Board to issue special use permits and place conditions on special use permits and provides the procedure through which special use permits are granted; and

WHEREAS, Section 13.04 of the Kendall County Zoning Ordinance permits the Kendall County Board to issue variations and place conditions on variations and provides the procedure through which variations are granted; and

WHEREAS, Section 7.01.D.10 of the Kendall County Zoning Ordinance permits the operation of banquet facilities as a special use with certain restrictions in the A-1 Agricultural Zoning District; and

WHEREAS, Section 7.01.D.10.a of the Kendall County Zoning Ordinance requires banquet facilities located in the A-1 Agricultural Zoning District to have direct access to an arterial roadway or major collector road as defined in the Land Resource Management Plan; and

WHEREAS, the property which is the subject of this Ordinance has been, at all relevant times, and remains currently located within the A-1 Agricultural Zoning District and consists of approximately 10.0 acres located on the east side of Schlapp Road approximately 0.48 miles south of Plainfield Road (PIN: 03-34-100-024) in Oswego Township. The legal description for the subject property is set forth in Exhibit A attached hereto and incorporated by reference, and this property shall hereinafter be referred to as “the subject property.”; and

WHEREAS, the subject property is currently owned by Specialty Oswego, LLC and Stuart and Paula Weihler are under contract to purchase the property and shall hereinafter be referred to as “Petitioner”; and

WHEREAS, on or about December 21, 2018, Petitioner filed a petition for a Special Use Permit allowing the operation of a banquet facility at the subject property and a variance to Sections 7.01.D.10.a of the Kendall County Zoning Ordinance; and

WHEREAS, following due and proper notice by publication in the Beacon News not less than fifteen days prior thereto, the Kendall County Zoning Board of Appeals conducted a public hearing on January 28, 2019, at 7:00 p.m., in the County Office Building at 111 W. Fox Street in Yorkville, at which the Petitioner’s attorney presented evidence, testimony, and exhibits in support of the requested special use permit and variance and zero members of the public testified in favor or in opposition; and

WHEREAS, based on the evidence, testimony, and exhibits, the Kendall County Zoning Board of Appeals has made their Findings of Fact and recommended approval of the special use permit and variance with conditions as set forth in the Findings of Fact and Recommendation of the Kendall County Zoning Board of Appeals, dated January 28, 2019, a true and correct copy of which is attached hereto as Exhibit B; and

State of Illinois
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WHEREAS, the Kendall County Planning, Building and Zoning Committee of the Kendall County Board has reviewed the testimony presented at the aforementioned public hearing and has considered the Findings of Fact and Recommendation of the Kendall County Zoning Board of Appeals, and has forwarded to the Kendall County Board a recommendation of approval of the requested special use permit and variance with conditions; and

WHEREAS, the Kendall County Board has considered the recommendation of the Planning, Building and Zoning Committee and the Findings of Fact and Recommendation of the Kendall County Zoning Board of Appeals, and has determined that said petition is in conformance with the provisions and intent of the Kendall County Zoning Ordinance; and

WHEREAS, this special use permit and variance shall be treated as a covenant running with the land and is binding on the successors, heirs, and assigns as to the same special use conducted on the property; and

NOW, THEREFORE, BE IT ORDAINED, BY THE COUNTY BOARD OF KENDALL COUNTY, ILLINOIS, as follows:

1. The Findings of Fact and Recommendation of the Kendall County Zoning Board of Appeals attached hereto as Exhibit B is hereby accepted and the Findings of Fact set forth therein are hereby adopted as the Findings of Fact and Conclusions of this Kendall County Board.
2. The Kendall County Board hereby grants approval of Petitioner's petition for a special use permit and variance allowing the operation of a banquet facility on the subject property subject to the following conditions:
 - A. The site shall be developed substantially in accordance with the attached site plan attached hereto as Exhibit C, the attached landscaping plan attached hereto as Exhibit D, and the attached lighting plan attached hereto as Exhibit E. The previously listed plans may be altered to meet the right-of-way dedication mentioned in condition B. Trees shall be a minimum five feet (5') in height at the time of planting as measured from the top of the root ball to the top of the tree. The trees shall be planted in such location as to provide a complete screening within five (5) years of approval of this ordinance.
 - B. Within sixty (60) days of approval of this special use permit ordinance, the property owners shall convey a strip of land along the entire western portion of the property to Oswego Township to be used as Schlapp Road right-of-way. This dedication shall have a depth of fifty feet (50') as measured from the centerline of Schlapp Road.
 - C. A maximum of two hundred eighty-five (285) guests in attendance at a banquet center related event may be on the subject property at a given time.
 - D. A variance shall be granted to the requirement that the facility shall have direct access to a road designated as an arterial roadway or major collector road as identified in the Land Resource Management Plan as required in Section 7.01.D.10.a of the Kendall County Zoning Ordinance.
 - E. The subject parcel must maintain a minimum of five (5) acres.
 - F. The use of this property shall be in compliance with all applicable ordinances. The banquet facility shall conform to the regulations of the Kendall County Health Department and the Kendall County Liquor Control Ordinance.
 - G. Off-street parking, lighting and landscaping shall be provided in accordance with the provisions of Section 11 of the zoning ordinance except where variances are granted. In particular, lighting

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will not be allowed to cross property lines. Parking lot lights shall not be illuminated on evenings when no events are held.

- H. All signage shall comply with the provisions of Section 12 of the Kendall County Zoning Ordinance. The signage shall be developed in accordance to the attached site plan. The owners of the business allowed by this special use permit may install two (2) directional signs along Schlapp Road. Any signage provided will not be illuminated.
- I. Retail sales are permitted as long as the retail sales will be ancillary to the main operation.
- J. The noise regulations are as follows:

Day Hours: No person shall cause or allow the emission of sound during daytime hours (7:00 A.M. to 10:00 P.M.) from any noise source to any receiving residential land which exceeds sixty five (65) dBA when measured at any point within such receiving residential land, provided; however, that point of measurement shall be on the property line of the complainant.

Night Hours: No person shall cause or allow the emission of sound during nighttime hours (10:00 P.M. to 7:00 A.M.) from any noise source to any receiving residential land which exceeds fifty five (55) dBA when measured at any point within such receiving residential land provided; however, that point of measurement shall be on the property line of the complainant.

EXEMPTION: Powered Equipment: Powered equipment, such as lawn mowers, small lawn and garden tools, riding tractors, and snow removal equipment which is necessary for the maintenance of property is exempted from the noise regulations between the hours of seven o'clock (7:00) A.M. and ten o'clock (10:00) P.M.

- K. No music shall originate outside of any building. This exemption shall not apply to non-amplified music used or performed as part of a wedding ceremony. All speakers shall be pointed towards the inside of buildings.
- L. The hours of operation shall be between 9:00 a.m. and Midnight on weekends and between 9:00 a.m. and 10:00 p.m. on weekdays. The owners of the business allowed by this special use permit shall be allowed an additional two (2) hours after each event for the purposes of cleanup. Setup for events shall occur during the hours of operation. For the purposes of this special use permit ordinance, the term "weekend" shall mean Fridays, Saturdays, the day prior to any Federal or State holiday, and any Federal or State holiday that falls on a Thursday. The term "weekday" shall mean the other days of the week not included in the definition of "weekend."
- M. A new certificate of occupancy must be issued for all buildings.
- N. The operator(s) of the banquet facility acknowledge and agree to follow Kendall County's Right to Farm Clause.
- O. The special use permit for the residential unit of a stable employee, previously granted by Ordinance 1999-10 and amended by Ordinance 1999-20, shall be repealed.
- P. No patrons, employees, or other individuals associated with events at the banquet facility allowed by this special use permit may park along Schlapp Road.
- Q. Prior to the commencement of business operations, the owners of the banquet facility allowed by this special use permit shall plant a thirty foot (30') strip of wild flowers and prairie grasses along the entire eastern property line.
- R. Prior to the commencement of business operations, the owners of the banquet facility allowed by this special use permit shall erect "No Trespassing" signs near the eastern property line.

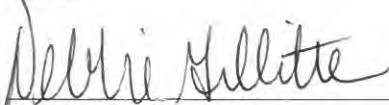
State of Illinois
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#19-05

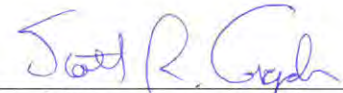
- S. The operator(s) of the banquet facility allowed by this special use permit shall follow all applicable Federal, State, and Local laws related to the operation of this type of business.
 - T. Failure to comply with one or more of the above conditions or restrictions could result in the amendment or revocation of the special use permit.
 - U. If one or more of the above conditions is declared invalid by a court of competent jurisdiction, the remaining conditions shall remain valid.
3. The Zoning Administrator and other appropriate County Officials are hereby authorized and directed to amend the Official Zoning Map of Kendall County to reflect this special use permit.

IN WITNESS OF, this ordinance has been enacted by a majority vote of the Kendall County Board and is effective this 19th day of February, 2019.

Attest:



Kendall County Clerk
Debbie Gillette



Kendall County Board Chairman
Scott R. Gryder

Exhibit A

Legal Description

That Part of the Northwest Quarter of Section 34, Township 37 North, Range 8 East of the Third Principal Meridian described as follows: Beginning at the Southwest Corner of said Northwest Quarter; thence Easterly, along the South Line of said Northwest Quarter, 660.0 feet; thence Northeasterly along a line which forms an angle of $116^{\circ}06'03''$ with the last described course, measured clockwise therefrom, (said Northeasterly Line which if extended would intersect the North Line of said Northwest Quarter at a point which is 660.0 feet Westerly of the Northeast Corner of said Northwest Quarter), 609.24 feet; thence Westerly, parallel with the South Line of said Northwest Quarter, 932.37 feet to the West Line of said Northwest Quarter; thence Southerly, along said West Line, 547.13 feet to the point of beginning in Oswego Township, Kendall County, Illinois.

Exhibit B

FINDINGS OF FACT-SPECIAL USE

That the establishment, maintenance, or operation of the special use will not be detrimental to or endanger the public health, safety, morals, comfort, or general welfare. The establishment, maintenance, or operation of the special use will not be detrimental to or endanger the public health, safety, morals, or general welfare, provided that the site is developed in accordance with an approved site plan, landscaping plan, and lighting plan. Proper buffering and noise controls will be necessary to prevent noise from negatively impacting neighboring properties. The Petitioners plan to seek a variance from the Oswego Fire Protection District for sprinkler requirements. The Petitioners are agreeable to dedicating land for Schlapp Road right-of-way. The Kendall County Sheriff's Department has not submitted comments expressing concerns for public health and safety.

That the special use will not be substantially injurious to the use and enjoyment of other property in the immediate vicinity for the purposes already permitted, nor substantially diminish and impair property values within the neighborhood. The Zoning classification of property within the general area of the property in question shall be considered in determining consistency with this standard. The proposed use shall make adequate provisions for appropriate buffers, landscaping, fencing, lighting, building materials, open space and other improvements necessary to insure that the proposed use does not adversely impact adjacent uses and is compatible with the surrounding area and/or the County as a whole. The proposed use could be injurious to the enjoyment of other property in the immediate vicinity due to noise and light created from the proposed use. Some of the negative impacts of the proposed use on properties in the immediate vicinity could be mitigated by restrictions related to hours of operation, number of events, and buffering within the ordinance granting the special use permit.

That adequate utilities, access roads and points of ingress and egress, drainage, and/or other necessary facilities have been or are being provided. True, the Petitioner plans to work with the Kendall County Health Department, the Kendall County Planning, Building and Zoning Department and Oswego Township to address utilities, drainage, and points of ingress and egress.

That the special use shall in all other respects conform to the applicable regulations of the district in which it is located, except as such regulations may in each instance be modified by the County Board pursuant to the recommendation of the Zoning Board of Appeals. Provided that the variance is approved regarding distance to arterial and collector roads, the special use would conform to the applicable regulations of the district.

That the special use is consistent with the purpose and objectives of the Land Resource Management Plan and other adopted County or municipal plans and policies. True, the proposed use is consistent with an objective found on Page 3-6 of the Kendall County Land Resource Management Plan which states as an objective "Encourage Agriculture and Agribusiness."

FINDINGS OF FACT-VARIANCE

That the particular physical surroundings, shape, or topographical condition of the specific property involved would result in a particular hardship or practical difficulty upon the owner if the strict letter of the regulations were carried out. The proposed banquet facility is approximately one half (1/2) mile from an arterial or major collector (Plainfield Road). In 2018, the County granted a similar variance for a banquet facility located approximately one point two (1.2) miles from an arterial roadway.

That the conditions upon which the requested variation is based would not be applicable, generally, to other property within the same zoning classification. This is not true. Other banquet facilities in the rural areas could face similar concerns. The specific number of properties sharing similar characteristics is unknown.

Exhibit B

That the alleged difficulty or hardship has not been created by any person presently having an interest in the property. The Petitioners created the hardship by desiring to have a banquet facility at the subject property.

That the granting of the variation will not materially be detrimental to the public welfare or substantially injurious to other property or improvements in the neighborhood in which the property is located. True, the Kendall County Sheriff's Department, Oswego Township, and the Oswego Fire Protection District have not expressed any concerns regarding the proposed use being materially detrimental to the public welfare or injurious to other property in the neighborhood provided the right-of-way dedication occurs and provided that the Petitioners secure applicable variances from the Oswego Fire Protection District.

That the proposed variation will not impair an adequate supply of light and air to adjacent property, or substantially increase the congestion in the public streets or increase the danger of fire, or endanger the public safety or substantially diminish or impair property values within the neighborhood. True, the proposed use will not block light or air from adjacent properties. The proposed use will not cause an increase in congestion on public streets because events will not be held every day. Provided the business allowed by the special use permit follows the restrictions placed on the special use permit, no increase to the danger of fire or the endangerment of public safety should occur. Data does not exist as to whether the placement of the proposed use will diminish or impair the property value of the property located southeast of the subject property.

RECOMMENDATION

The Kendall Zoning Board of Appeals unanimously recommends approval of the special use permit and variance subject to the following conditions and restrictions.

1. The site shall be developed substantially in accordance with the attached site plan, landscaping plan, and lighting plan. The previously listed plans may be altered to meet the right-of-way dedication mentioned in condition 2.
2. Within sixty (60) days of approval of this special use permit ordinance, the property owners shall convey a strip of land along the entire western portion of the property to Oswego Township to be used as Schlapp Road right-of-way. This dedication shall have a depth of fifty feet (50') as measured from the centerline of Schlapp Road.
3. A maximum of two hundred eighty-five (285) guests in attendance at a banquet center related event may be on the subject property at a given time.
4. A variance shall be granted to the requirement that the facility shall have direct access to a road designated as an arterial roadway or major collector road as identified in the Land Resource Management Plan as required in Section 7.01.D.10.a of the Kendall County Zoning Ordinance.
5. The subject parcel must maintain a minimum of five (5) acres.
6. The use of this property shall be in compliance with all applicable ordinances. The banquet facility shall conform to the regulations of the Kendall County Health Department and the Kendall County Liquor Control Ordinance. (Ord. 99-34)
7. Off-street parking, lighting and landscaping shall be provided in accordance with the provisions of Section 11 of the zoning ordinance except where variances are granted. In particular, lighting will not be allowed to cross property lines. Parking lot lights shall not be illuminated on evenings when no events are held. **(Second and third sentences added at RPC.)**
8. All signage shall comply with the provisions of Section 12 of the Kendall County Zoning Ordinance. The signage shall be developed in accordance to the attached site plan. The owners of the business allowed by this special use permit may install two (2) directional signs along Schlapp Road. Any signage provided will not be illuminated. **(Signage size could be clarified.)**
9. Retail sales are permitted as long as the retail sales will be ancillary to the main operation.

Exhibit B

10. The noise regulations are as follows:

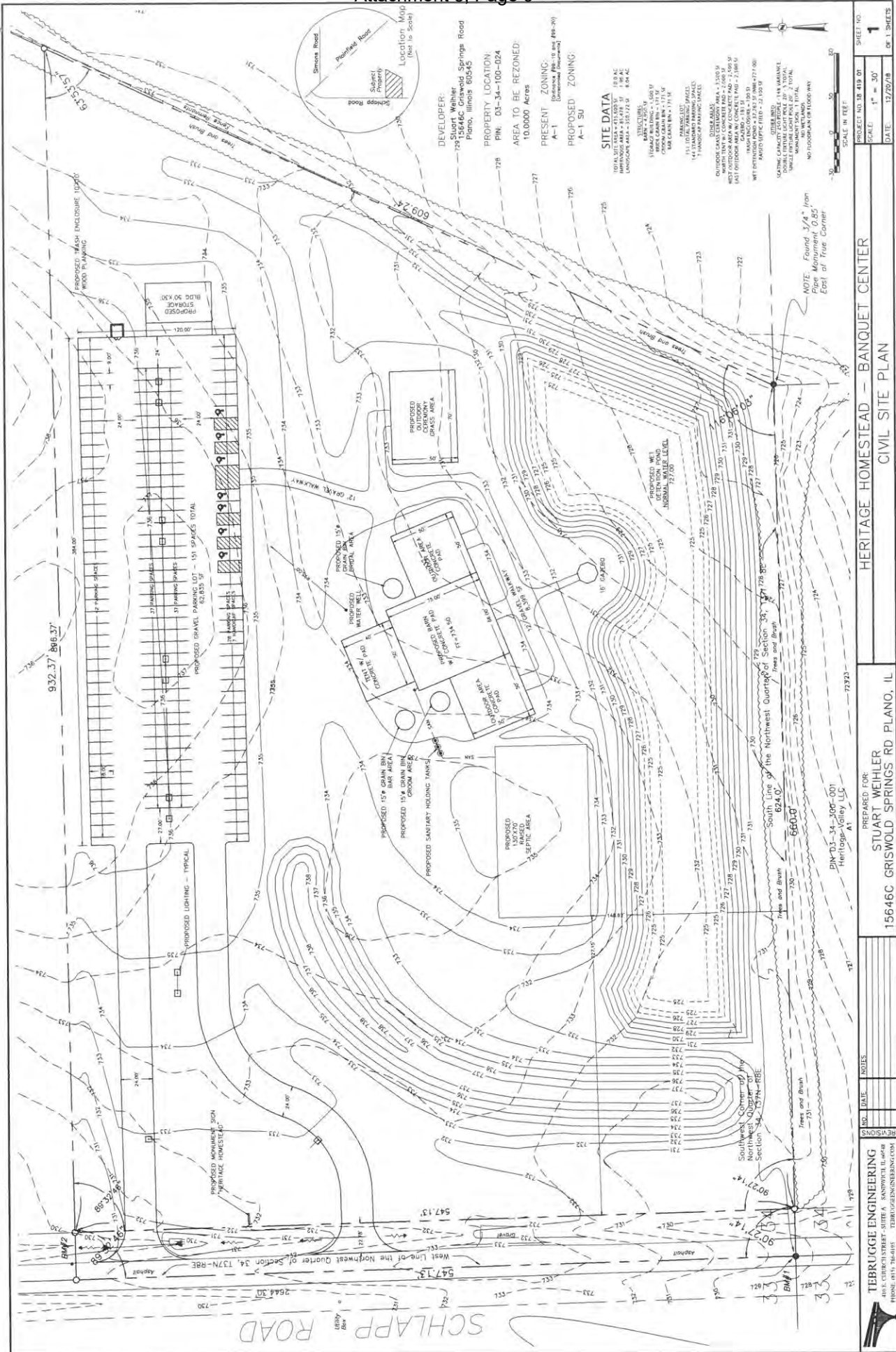
Day Hours: No person shall cause or allow the emission of sound during daytime hours (7:00 A.M. to 10:00 P.M.) from any noise source to any receiving residential land which exceeds sixty five (65) dBA when measured at any point within such receiving residential land, provided; however, that point of measurement shall be on the property line of the complainant.

Night Hours: No person shall cause or allow the emission of sound during nighttime hours (10:00 P.M. to 7:00 A.M.) from any noise source to any receiving residential land which exceeds fifty five (55) dBA when measured at any point within such receiving residential land provided; however, that point of measurement shall be on the property line of the complainant.

EXEMPTION: Powered Equipment: Powered equipment, such as lawn mowers, small lawn and garden tools, riding tractors, and snow removal equipment which is necessary for the maintenance of property is exempted from the noise regulations between the hours of seven o'clock (7:00) A.M. and ten o'clock (10:00) P.M.

11. No music shall originate outside of any building. This exemption shall not apply to non-amplified music used or performed as part of a wedding ceremony. All speakers shall be pointed towards the inside of buildings.
12. The hours of operation shall be between 9:00 a.m. and Midnight on weekends and between 9:00 a.m. and 10:00 p.m. on weekdays. The owners of the business allowed by this special use permit shall be allowed an additional one (1) hour after each event for the purposes of cleanup. Setup for events shall occur during the hours of operation. For the purposes of this special use permit ordinance, the term "weekend" shall mean Fridays, Saturdays, the day prior to any Federal or State holiday, and any Federal or State holiday that falls on a Thursday. The term "weekday" shall mean the other days of the week not included in the definition of "weekend." **(Petitioners will request additional hour from Planning, Building and Zoning Committee.)**
13. A new certificate of occupancy must be issued for all buildings.
14. The operator(s) of the banquet facility acknowledge and agree to follow Kendall County's Right to Farm Clause.
15. The special use permit for the residential unit of a stable employee, previously granted by Ordinance 1999-10 and amended by Ordinance 1999-20, shall be repealed.
16. No patrons, employees, or other individuals associated with events at the banquet facility allowed by this special use permit may park along Schlapp Road. **(Added by ZBA)**
17. Prior to the commencement of business operations, the owners of the banquet facility allowed by this special use permit shall plant a thirty foot (30') strip of wild flowers and prairie grasses along the entire eastern property line. **(Added by ZBA)**
18. Prior to the commencement of business operations, the owners of the banquet facility allowed by this special use permit shall erect "No Trespassing" signs near the eastern property line. **(Added by ZBA)**
19. The operator(s) of the banquet facility allowed by this special use permit shall follow all applicable Federal, State, and Local laws related to the operation of this type of business.
20. Failure to comply with one or more of the above conditions or restrictions could result in the amendment or revocation of the special use permit.
21. If one or more of the above conditions is declared invalid by a court of competent jurisdiction, the remaining conditions shall remain valid.

Exhibit C



DEVELOPER:
Stuart Wehler
15646C Griswold Springs Road
Plano, Illinois 60645

PROPERTY LOCATION:
PIN: 03-34-100-024
10.0000 Acres

AREA TO BE REZONED:
10.0000 Acres

PRESENT ZONING:
A-1 (Ordinance 888-08 and 889-08)

PROPOSED ZONING:
A-1 BU

SITE DATA
TOTAL SITE AREA = 415,000 SF
TOTAL BUILDING AREA = 150,000 SF
LANDSCAPE AREA = 150,000 SF
TOTAL PAVED AREA = 115,000 SF
TOTAL ASPHALT AREA = 115,000 SF
TOTAL CONCRETE AREA = 115,000 SF
TOTAL GRAVEL AREA = 115,000 SF
TOTAL SAND AREA = 115,000 SF
TOTAL OTHER AREA = 115,000 SF
TOTAL UTILITY AREA = 115,000 SF
TOTAL FLOORPLAN AREA = 115,000 SF
TOTAL VOLUME = 115,000 SF
TOTAL WEIGHT = 115,000 SF
TOTAL LENGTH = 115,000 SF
TOTAL WIDTH = 115,000 SF
TOTAL HEIGHT = 115,000 SF
TOTAL AREA = 115,000 SF

PREPARED FOR:
STUART WEHLER
15646C GRISWOLD SPRINGS RD PLANO, IL

PREPARED BY:
TEBRUGGE ENGINEERING
416 E. CHURCH STREET - SUITE A SANDWICH, IL 60489
PHONE: 815.766.8595 TEBRUGGEENGINEERING.COM

PROJECT NO. 18-419-01

SHEET NO. 1

SCALE: 1" = 30'

DATE: 12/20/18

OF 1 SHEETS

HERITAGE HOMESTEAD - BANQUET CENTER

CIVIL SITE PLAN

Pin-D-34-100-001
Heritage-Valley LLC
At

Southwest Quarter of the Northwest Quarter of Section 34, T17N-R0E, E6240
Section 34, T17N-R0E

NOTE: Found 3/4" Iron Pipe Monument 0.85' East of Right Corner

Scale in Feet
0 10 20 30 40 50 60 70 80 90

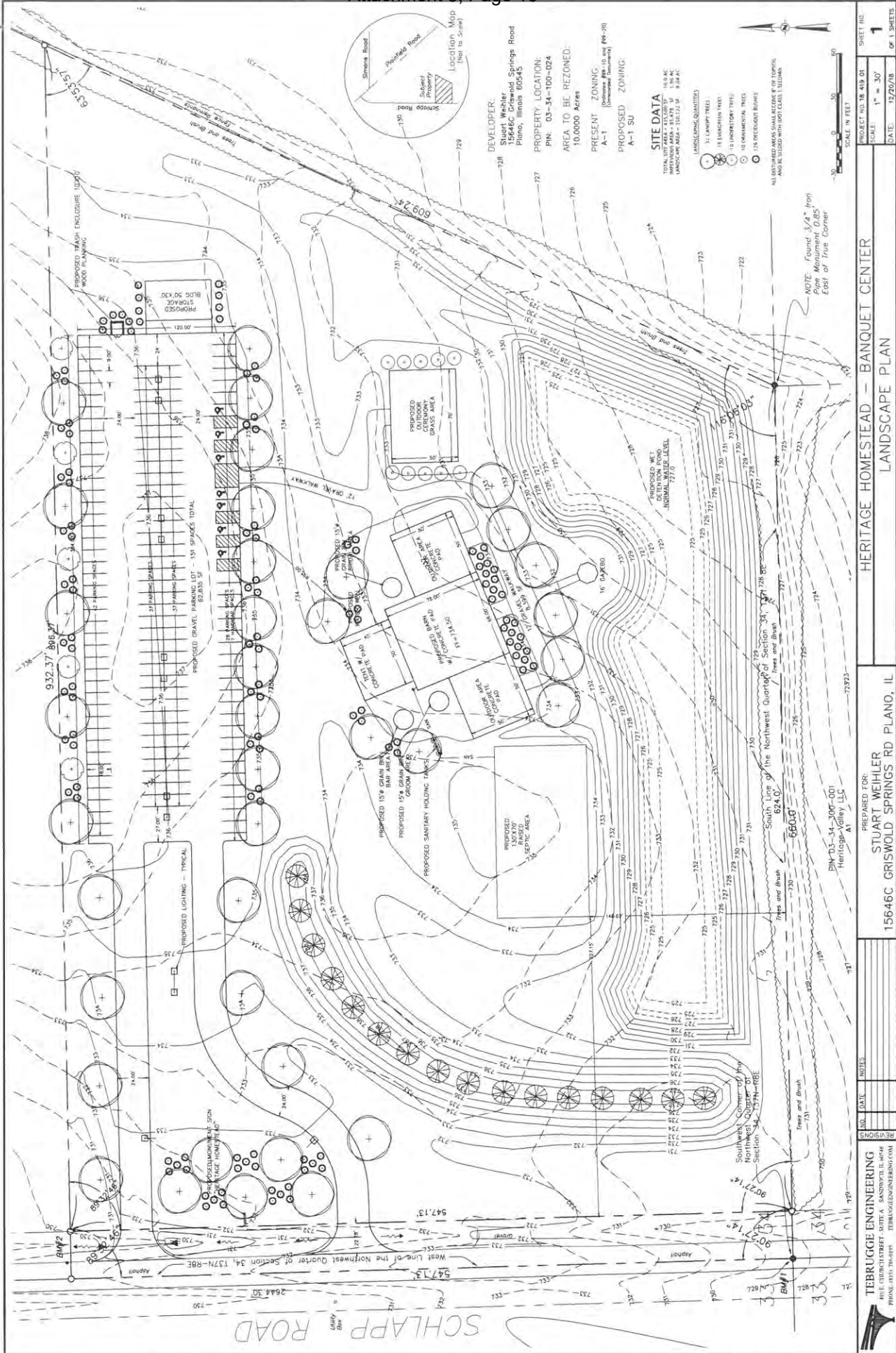


Exhibit D

DEVELOPER:
Stuart Wehler
Heritage Homestead Springs Road
Plain, Illinois 60545

PROPERTY LOCATION:
PIN: 03-34-100-024

AREA TO BE REZONED:
10,000 Acres

PRESENT ZONING:
A-1

PROPOSED ZONING:
A-1 SU

SITE DATA
TOTAL UTIL. UTIL. 154.9 AC
IMPROVED AREA = 51,427.0
UNIMPROVED AREA = 15,017.0
LANDSCAPE AREA = 1,000.0

LANDSCAPE QUANTITIES
31 LARGE TREES
14 MEDIUM TREES
10 SMALL TREES
10 CONDOMINIUM TREES
128 PERENNIAL SHRUBS

ALL DISTURBED AREAS SHALL BE RESTORED TO ORIGINAL
AND BE LEGAL WITH DOT CLASS 1 ILLINOIS

NOTE: Found $1/4"$ Iron
Pile Monument 0.85'
East of True Corner

NO.	DATE	NOTES

REVISION

APPROVED FOR:

PREPARED FOR:

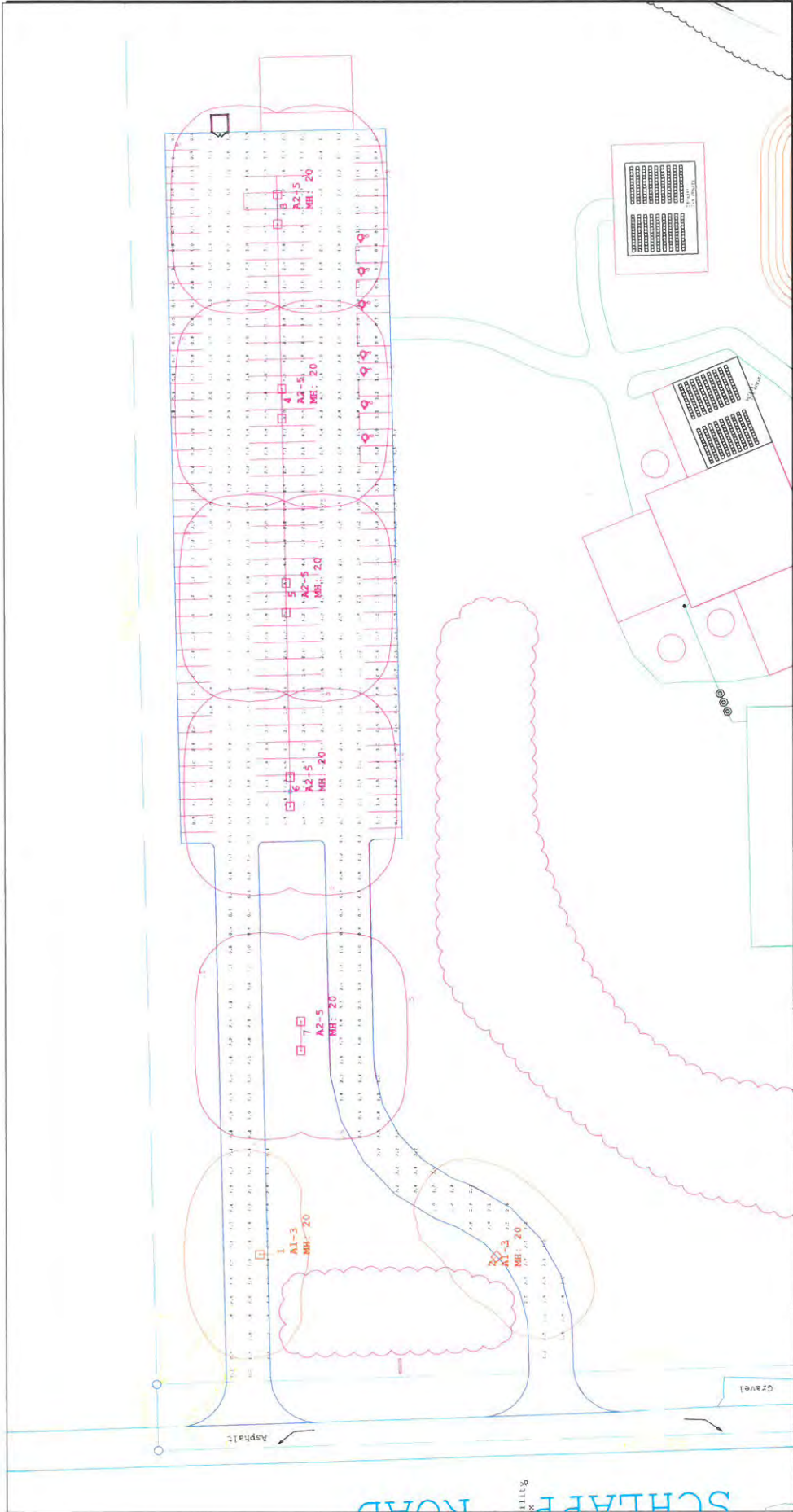
STUART WEHLER
15646C GRISWOLD SPRINGS RD PLANO, IL

Heritage-Valley LLC

Heritage Homestead - Banquet Center
Landscape Plan

PROJECT NO: 18-419-01
SCALE: 1" = 30'
DATE: 12/29/18
SHEET NO: 1
OF 1 SHEETS

TEBRUGGE ENGINEERING
1016 GILBERT STREET, SUITE A, SANDVILLE, OHIO 44870
PHONE: 419-253-7000
WWW.TEBRUGGEENGINEERING.COM



Symbol	Qty	Label	Arrangement	Lum. Watts	Air. Watts	Lum. Lumens	Air. Lumens	LUF	Description	Manufacturer
1	2	A1-3	SINGLE	132	132	15269	15269	0.900	AR18-20M2-MV-NW-3-XX-S30'S	Leotek Electronics USA LLC, 1955 Lundy Ave.,
2	5	A2-5	BACK-BACK	264	264	30418	30418	0.900	AR18-20M2-MV-NW-5-XX-S30'S	Leotek Electronics USA LLC, 1955 Lundy Ave.,

Calculation Summary	Avg	Max	Min	Avg/Min	Max/Min	Readings Taken @
PARKING LOT-Planar	2.07	1.63	0.1	20.70	63.00	GRADE LEVEL

Luminaire Location Summary	LumNo	Label	X	Y	Z	Orient	TH
1	A1-3		8145.5	561.6	20	90	0
2	A1-3		8138.5	550.1	20	315	0
3	A2-5		8711.5	561.3	20	0	0
4	A2-5		8606.5	561.1	20	0	0
5	A2-5		8338.5	560.7	20	0	0
6	A2-5		8394.5	560.7	20	0	0
7	A2-5		8264.4	5601.5	20	0	0

Base:	Base:	Base:	Base:	Base:	Base:
Uniformity Ratio	2.0/2.2	5.0/0.5	10.0/1.0	10.0/1.0	10.0/1.0
Minimum to Maximum	201	151	151	151	151
Recurrence Interval	1.001	2.5025	5.0050	10.0100	20.0200
Recurrence Interval based on R3-33.99, R9-20.98, R9-20.98, 9th Edition (ESMA Lighting Handbook)					

Project Name:	Client Name:
Heritage Homestead Banquet Ctr	Zoch Stevens - TEBRUGE ENGINEERING

#	Date	Comments

Drawn By: Jose Soucedo
 Date: 12/19/2018
 Scale: 1" = 25'



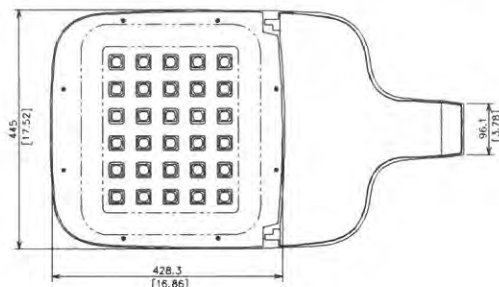
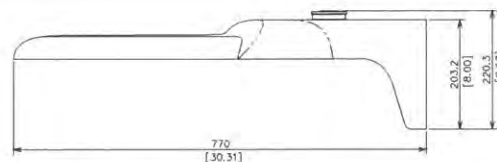
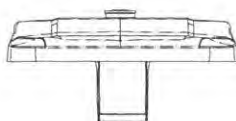
Project
Type
Catalog No.

ARIETA™ 18 Architectural LED Area Luminaire

AR18 M2 Series Specification Data Sheet

Luminaire Data

Weight 24 lbs [10.9 kg]
EPA 0.55 ft²



Ordering Information

Sample Catalog No. AR18 20M2 MV NW 3 DB 700 HSS

Product	LED Code	Voltage	Nominal Color Temperature	Distribution	Finish ¹	Drive Current Code ²	Options
AR18	6M2	MV 120-277V	WW 3000K	2 Type 2	BK Black	350	HSS ³ House Side Shield (Factory Installed)
	10M2	HV 347-480V	NW 4000K	3 Type 3	DB Dark Bronze	530	FDC ⁴ Fixed Drive Current
	15M2		CW 5000K	4 Type 4	WH White	700	FFA ⁵ Full Field Adjustability
	18M2			5 Type 5	GY Gray		PCR ⁶ NEMA Photocontrol Receptacle
	20M2				NA Natural Aluminum		PCR7 ⁶ ANSI 7-wire Photocontrol Receptacle
	24M2						PCR7-CR ⁷ Control Ready 7-wire Photocontrol Receptacle
	30M2						MSL7 ⁸ Motion Sensor with L7 Lens MSL3 ⁸ Motion Sensor with L3 Lens PND1 ⁹ Part-Night Dimming PND2 ⁹ Part-Night Dimming PND3 ⁹ Part-Night Dimming ORR Optics Rotated Right ORL Optics Rotated Left WL Utility Wattage Label

Notes:

- Black, Dark Bronze, White, Gray, or Natural Aluminum standard. Consult factory for other finishes.
- Specified drive current code is the factory set maximum drive current. Field adjustable current selector enables standard dimming to lower wattage drive currents only. Consult factory if wattage limits require a special drive current.
- Flush mounted shield factory installed, also available for field installation. House Side Shield cuts light off at 1/2 mounting height behind luminaire.
- Non-field adjustable drive current. Specify 350mA, 530mA or 700mA setting.
- The FFA option enables full field adjustability from the specified drive current code to all drive currents available. This option is not DLC qualified.
- Field adjustable current selector included to enable standard dimming to lower wattage drive currents only. Field changeable connectors included to enable connection to PCR7 (wireless node dimming is disabled by default).
- Control-ready wired at factory for wireless node dimming. Supplied at maximum drive current. If lower drive current is required, consult factory.
- Motion Sensor available with MV or HV. See L7 or L3 Lens coverage details on page 5. Consult factory for MS specified with ANSI 7-wire Photocontrol Receptacle. PCR option is required for On/Off control using light detection.
- For PND profile options see page 6. Only available with MV (120-277V).
- Specify Color (GY, DB, BK, WH, NA)
- Specify MV (120-277V) or HV (347V or 480V)

Accessories*

HSSAR18 ^{3,10}	House Side Shield
RPA ¹⁰	Round Pole Adapter
PTF1 ¹⁰	Square Pole Top Fitter Single
PTF2 ¹⁰	Square Pole Top Fitter Twin at 180°
PTF4 ¹⁰	Square Pole Top Fitter Quad
WM ¹⁰	Wall Mount
BSK	Bird Deterrent Spider Kit
LLPC ¹¹	Long-Life Twist Lock Photocontrol
SC	Twist Lock Shorting Cap
FSIR100	Motion Sensor Configuration Tool

*Accessories are ordered separately and not to be included in the catalog number



ARIETA™ 18 Architectural LED Area Luminaire

AR18 M2 Series Specification Data Sheet

Luminaire Specifications

Housing

Die cast aluminum housing with universal mounting design allows for attachment to existing pole without re-drilling for retrofit applications. Aluminum housing provides passive heat-sinking of the LEDs and has upper surfaces that shed precipitation. Mounting provisions meet 3G vibration per ANSI C136.31-2010 Normal Application, Bridge & Overpass. Electrical components are accessed without tools and are mounted on removable power door.

Light Emitting Diodes

Hi-flux/Hi-power white LEDs produce a minimum of 90% of initial intensity at 100,000 hours of life based on IES TM-21. LEDs are tested in accordance with IES LM-80 testing procedures. LEDs have correlated color temperature of 3000K (WW), 4000K (NW), or 5000K (CW) and 70 CRI minimum. LEDs are 100% mercury and lead free.

Field Adjustability

LED drive current can be changed in the field to adjust light output for local conditions (not available with PCR7-CR option). The specified drive current code will be the factory set maximum drive current and field adjustments can only be made to available lower wattage drive currents. Select the FFA option if full field adjustability to all available drive currents (700mA max) is desired. The FFA option is not DLC qualified.

Quality Control

Every luminaire is performance tested before and after a 2-hour burn-in period. Assembled in the USA.

Optical Systems

Micro-lens optical systems produce IESNA Type 2, Type 3, Type 4 or Type 5 distributions and are fully sealed to maintain an IP66 rating. Luminaire produces 0% total lumens above 90° (BUG Rating, U=0). Optional house side shield (HSS) cuts light off at 1/2 mounting height behind luminaire. Optics may be rotated right or left with options ORR/ORL, respectively.

Electrical

Rated life of electrical components is 100,000 hours. Uses isolated power supply that is 1-10V dimmable. Power supply is wired with quick-disconnect terminals. Power supply features a minimum power factor of .90 and <20% Total Harmonic Distortion (THD). EMC meets or exceeds FCC CFR Part 15. Terminal block accommodates 6 to 14 gauge wire. Surge protection complies with IEEE/ANSI C62.41 Category C High, 20kV/10kA and ANSI C136.2-2015, 20kV/10kA.

Controls

3-Wire photocontrol receptacle (PCR) is available. ANSI C136.41 or 7-wire (PCR7) photocontrol receptacles are available. All photocontrol receptacles have tool-less rotatable bases. Wireless control module is provided by others.

Finish

Housing receives a fade and abrasion resistant polyester powder coat finish with 3.0 mil nominal thickness. Finish tested to withstand 5000 hours in salt spray exposure per ASTM B117. Finish meets scribe creepage rating 8 per ASTM D1654. Finish tested 500 hours in UV exposure per ASTM G154 and meets ASTM D523 gloss retention.

Listings/Ratings/Labels

Luminaires are UL listed for use in wet locations in the United States and Canada. DesignLights Consortium™ qualified product. Consult DLC QPL for Standard and Premium Classification Listings. International Dark Sky Association listed. Luminaire is qualified to operate at ambient temperatures of -40°C to 40°C.

Photometry

Luminaire photometrics are tested by certified independent testing laboratories in accordance with IES LM-79 testing procedures.

Warranty

10-year limited warranty is standard on luminaire and components. 5-year limited warranty on luminaires and components with a motion sensor.

Standards

Luminaire complies with:

ANSI: C136.2, C136.3, C136.10, C136.13, C136.15, C136.22, C136.31, C136.35, C136.37, C136.41, C62.41, C78.377, C82.77
Other: FCC 47 CFR, IEC 60598, ROHS II, UL 1449, UL 1598



ARIETA™ 18 Architectural LED Area Luminaire AR18 M2 Series Specification Data Sheet

Performance Data 3000K (WW)

All data nominal. IES files are available at leotek.com.

LED Code	Current Code	System Wattage (W)	Type 2, 3, 4		Type 5	
			Delivered Lumens (Lm) ¹	Efficacy (Lm/W)	Delivered Lumens (Lm) ¹	Efficacy (Lm/W)
6M2	350	29	2930	101	2750	95
	530	41	4110	99	3860	93
	700	54	5040	94	4950	92
10M2	350	41	4600	112	4500	109
	530	63	6700	106	6600	104
	700	87	8500	97	8400	96
15M2	350	63	7400	117	7300	116
	530	90	9600	107	9500	106
	700	124	12900	104	12700	102
18M2	350	81	9000	111	9100	112
	530	122	12800	105	13000	107
	700	160	16400	103	16700	104
20M2	350	84	10700	127	10800	129
	530	132	15300	116	15500	117
	700	172	18200	106	18500	108
24M2	350	98	10700	109	10800	110
	530	152	15300	100	15500	102
	700	209	19500	93	19900	95
30M2	350	133	14300	107	14500	109
	530	202	20400	101	20600	102
	700	262	24500	93	24800	95

Notes:

1 Normal tolerance ± 10% due to factors including distribution type, LED bin variance, driver variance, and ambient temperatures.

State of Illinois
County of Kendall

Zoning Petition
#22-16

ORDINANCE NUMBER 2022-26

**GRANTING MAJOR AMENDMENTS TO A SPECIAL USE PERMIT GRANTED BY
ORDINANCE 2019-3 ON PROPERTY LOCATED IN THE 5100 BLOCK OF SCHLAPP ROAD
ON THE EAST SIDE OF SCHLAPP ROAD APPROXIMATELY 0.48 MILES SOUTH OF
PLAINFIELD ROAD AND IDENTIFIED BY PARCEL IDENTIFICATION NUMBER 03-34-100-
027 IN OSWEGO TOWNSHIP**

WHEREAS, Section 13:08 of the Kendall County Zoning Ordinance permits the Kendall County Board to issue special use permits and place conditions on special use permits and amend special use permits and provides the procedure through which special use permits are granted and amended; and

WHEREAS, the property which is the subject of this Ordinance has been, at all relevant times, and remains currently located within the A-1 Agricultural Zoning District and consists of approximately 10.0 acres located on the east side of Schlapp Road approximately 0.48 miles south of Plainfield Road (PIN: 03-34-100-027) in Oswego Township. The legal description for the subject property is set forth in Exhibit A attached hereto and incorporated by reference, and this property shall hereinafter be referred to as “the subject property.”; and

WHEREAS, on February 19, 2019, the Kendall County Board approved Ordinance 2019-3 which granted a special use permit for a banquet facility with conditions at the subject property; and

WHEREAS, Condition 2.A of Ordinance 2019-3 required the site be developed substantially in conformance to a site plan, landscaping plan, and lighting plan; and

WHEREAS, the subject property is currently owned by Lydia Ramirez and shall hereinafter be referred to as “Petitioner”; and

WHEREAS, on or about July 18, 2022, Petitioner’s representative filed a petition for major amendments to the special use permit granted by Ordinance 2019-3 by removing and replacing the site plan, landscaping plan, and photometric plan with different versions of these documents; and

WHEREAS, following due and proper notice by publication in the Aurora Beacon on August 12, 2022, the Kendall County Zoning Board of Appeals conducted a public hearing on August 29, 2022, at 7:00 p.m., in the County Office Building at 111 W. Fox Street in Yorkville, at which the Petitioner’s representative presented evidence, testimony, and exhibits in support of the requested major amendment to an existing special use permit and zero members of the public testified in favor or in opposition; and

WHEREAS, based on the evidence, testimony, and exhibits, the Kendall County Zoning Board of Appeals has made their Findings of Fact and recommended approval of the major amendment to an existing special use permit with conditions as set forth in the Findings of Fact and Recommendation of the Kendall County Zoning Board of Appeals, dated August 29, 2022, a true and correct copy of which is attached hereto as Exhibit B; and

WHEREAS, the Kendall County Planning, Building and Zoning Committee of the Kendall County Board has reviewed the testimony presented at the aforementioned public hearing and has considered the Findings of Fact and Recommendation of the Kendall County Zoning Board of Appeals, and has forwarded to the Kendall County Board a recommendation of approval of the requested major amendment to an existing special use permit; and

WHEREAS, the Kendall County Board has considered the recommendation of the Planning, Building and

State of Illinois
County of Kendall

Zoning Petition
#22-16

Zoning Committee and the Findings of Fact and Recommendation of the Kendall County Zoning Board of Appeals, and has determined that said petition is in conformance with the provisions and intent of the Kendall County Zoning Ordinance; and

WHEREAS, this major amendment to an existing special use permit shall be treated as a covenant running with the land and is binding on the successors, heirs, and assigns as to the same special use conducted on the property; and

NOW, THEREFORE, BE IT ORDAINED, BY THE COUNTY BOARD OF KENDALL COUNTY, ILLINOIS, as follows:

1. The Findings of Fact and Recommendation of the Kendall County Zoning Board of Appeals attached hereto as Exhibit B is hereby accepted and the Findings of Fact set forth therein are hereby adopted as the Findings of Fact and Conclusions of this Kendall County Board.
2. The Kendall County Board hereby grants approval of Petitioner's petition for major amendments to an existing special use permit allowing the operation of a banquet facility on the subject property subject to the following conditions:
 - A. Condition 2.A of Ordinance 2019-3 is deleted and replaced with the following: "The site shall be developed substantially in accordance with the site plan and landscaping plan attached hereto as Exhibit C, photometric plan attached hereto as Exhibit D, engineering plans attached hereto as Exhibit E, and auto turning exhibit attached hereto as Exhibit F. The wall to wall specs shall be forty-four feet seven inches (44' 7"). Trees shall be a minimum five feet (5') in height at the time of planting as measured from the top of the root ball to the top of the tree. The trees shall be planted in such locations as to provide a complete screening within five (5) years of approval of this amendment. The specific dimensions of the pond shall be governed by the stormwater management permit."
 - B. Installation of the vegetation shown in the landscaping plan attached hereto as Exhibit C shall be completed by June 1, 2023. The Planning, Building and Zoning Committee may extend the deadline to install the vegetation upon request of the property owner or operator of the business allowed by the special use permit.
 - C. The parking lot and driveway shall be constructed in a manner so that it can be maintained in drivable and accessible condition year-round for emergency response vehicles.
 - D. The remaining conditions and restrictions contained in Ordinance 2019-3 shall remain valid and effective.
 - E. Failure to comply with one or more of the above conditions or restrictions or the conditions or restrictions contained in Ordinance 2019-3 could result in the amendment or revocation of the special use permit.
 - F. If one or more of the above conditions is declared invalid by a court of competent jurisdiction, the remaining conditions shall remain valid.
3. This major amendment to an existing special use permit shall be treated as a covenant running with the land and is binding on the successors, heirs, and assigns as to the same special use conducted on the property.

State of Illinois
County of Kendall

Zoning Petition
#22-16

IN WITNESS OF, this ordinance has been enacted by a majority vote of the Kendall County Board and is effective this 20th day of September, 2022.

Attest:



Kendall County Clerk
Debbie Gillette



Kendall County Board Chairman
Scott R. Gryder



Exhibit A Legal Description

That Part of the Northwest Quarter of Section 34, Township 37 North, Range 8 East of the Third Principal Meridian described as follows: Beginning at the Southwest Corner of said Northwest Quarter; thence Easterly, along the South Line of said Northwest Quarter, 660.0 feet; thence Northeasterly along a line which forms an angle of $116^{\circ}06'03''$ with the last described course, measured clockwise therefrom, (said Northeasterly Line which if extended would intersect the the North Line of said Northwest Quarter at a point which is 660.0 feet Westerly of the Northeast Corner of said Northwest Quarter), 609.24 feet; thence Westerly, parallel with the South Line of said Northwest Quarter, 932.37 feet to the West Line of said Northwest Quarter; thence Southerly, along said West Line, 547.13 feet to the point of beginning in Oswego Township, Kendall County, Illinois.

Exhibit B

The Kendall County Zoning Board of Appeals approved the following Findings of Fact and Recommendation at their meeting on August 29, 2022 by a vote of five (5) in favor and zero (0) in opposition; Member Cherry abstained and Chairman Mohr was absent.

FINDINGS OF FACT-SPECIAL USE PERMIT

*That the establishment, maintenance, or operation of the special use will not be detrimental to or endanger the public health, safety, morals, comfort, or general welfare. **The establishment, maintenance, or operation of the special use will not be detrimental to or endanger the public health, safety, morals, or general welfare, provided that the site is developed in accordance with an approved site plan, landscaping plan, and lighting plan. Proper buffering and noise controls are included in the plan to prevent noise from negatively impacting neighboring properties.***

*That the special use will not be substantially injurious to the use and enjoyment of other property in the immediate vicinity for the purposes already permitted, nor substantially diminish and impair property values within the neighborhood. The Zoning classification of property within the general area of the property in question shall be considered in determining consistency with this standard. The proposed use shall make adequate provisions for appropriate buffers, landscaping, fencing, lighting, building materials, open space and other improvements necessary to insure that the proposed use does not adversely impact adjacent uses and is compatible with the surrounding area and/or the County as a whole. **The proposed use could be injurious to the enjoyment of other property in the immediate vicinity due to noise and light created from the proposed use. Some of the negative impacts of the proposed use on properties in the immediate vicinity could be mitigated by restrictions related to hours of operation, number of events, and buffering within the ordinance granting the special use permit.***

*That adequate utilities, access roads and points of ingress and egress, drainage, and/or other necessary facilities have been or are being provided. **True, the Petitioner plans to work with the Kendall County Health Department, the Kendall County Planning, Building and Zoning Department and Oswego Township to address utilities, drainage, and points of ingress and egress.***

*That the special use shall in all other respects conform to the applicable regulations of the district in which it is located, except as such regulations may in each instance be modified by the County Board pursuant to the recommendation of the Zoning Board of Appeals. **True, no additional variances are requested.***

*That the special use is consistent with the purpose and objectives of the Land Resource Management Plan and other adopted County or municipal plans and policies. **True, the proposed use is consistent with an objective found on Page 3-3 of the Kendall County Land Resource Management Plan which states as an objective "Encourage Agriculture and Agribusiness."***

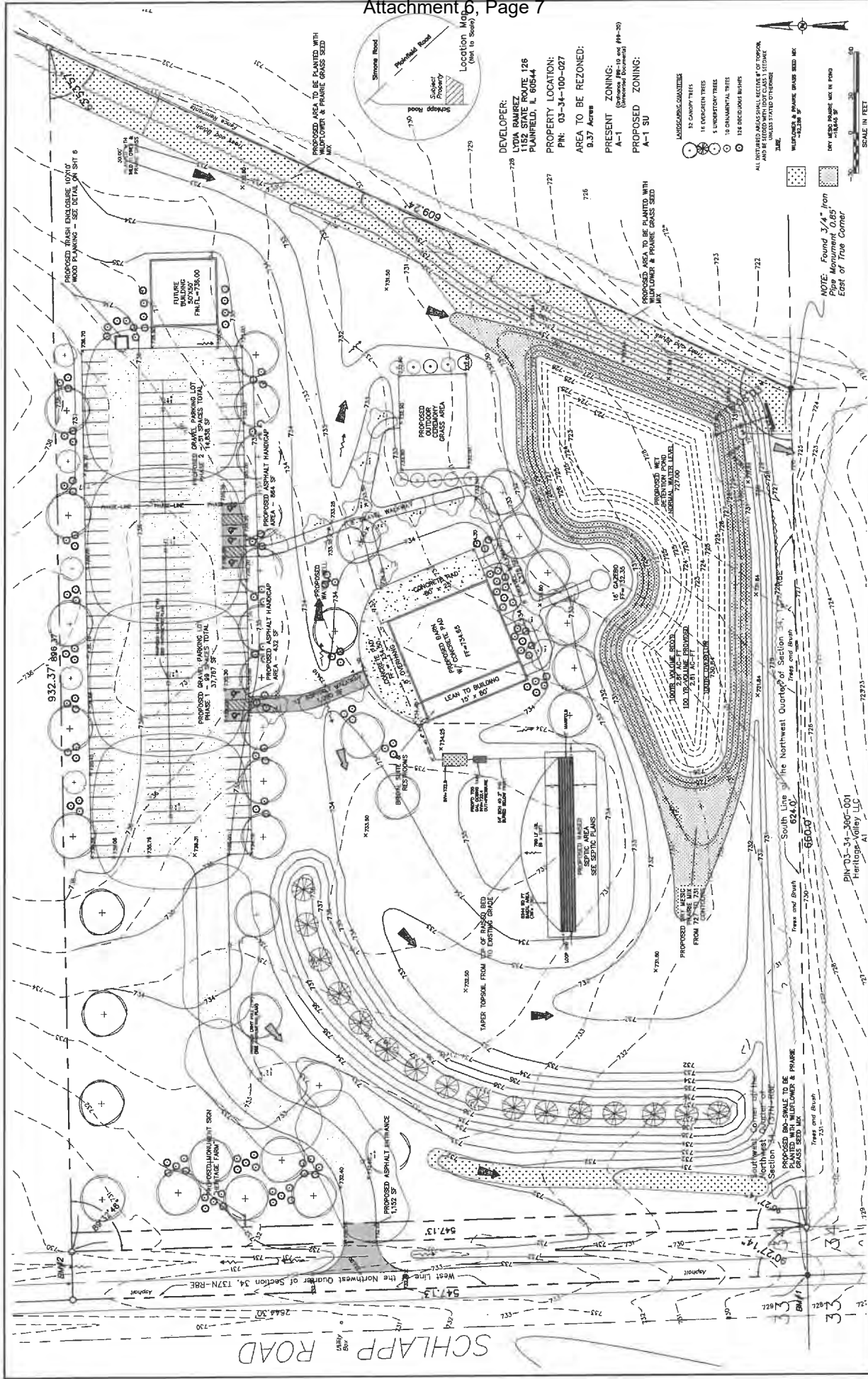
RECOMMENDATION

Approval subject to the following conditions and restrictions:

1. The special use shall be restricted to the unit shown as 67 Boulder Pass in the site plan. No outdoor services shall be held at the subject property.
2. Condition 2.A of Ordinance 2019-3 is deleted and replaced with the following: "The site shall be developed substantially in accordance with the submitted site plan, landscaping plan, photometric plan, engineering plans, and auto turning exhibit. The wall to wall specs shall be forty-four feet seven inches (44' 7"). Trees shall be a minimum five feet (5') in height at the time of planting as measured from the top of the root ball to the top of the tree. The trees shall be planted in such locations as to provide a complete screening within five (5) years of approval of this amendment. The specific dimensions of the pond shall be governed by the stormwater management permit."
3. Installation of the vegetation shown in the landscaping plan (Attachment 4) shall be completed by

June 1, 2023. The Planning, Building and Zoning Committee may extend the deadline to install the vegetation upon request of the property owner or operator of the business allowed by the special use permit.

4. The parking lot and driveway shall be constructed in a manner so that it can be maintained in drivable and accessible condition year-round for emergency response vehicles.
5. The remaining conditions and restrictions contained in Ordinance 2019-3 shall remain valid and effective.
6. Failure to comply with one or more of the above conditions or restrictions or the conditions or restrictions contained in Ordinance 2019-3 could result in the amendment or revocation of the special use permit.
7. If one or more of the above conditions is declared invalid by a court of competent jurisdiction, the remaining conditions shall remain valid.



TEBRUGGE ENGINEERING
 1001 W. STATE ST. SUITE 200
 PLAINFIELD, NJ 07061
 PHONE: 908.766.9455 TEBRUGGE@TEBRUGGE.COM

PREPARED FOR:
LYDIA RAMIREZ
 1152 STATE ROUTE 126, PLAINFIELD, IL

PROJECT NO. 22 833 01
 SCALE: 1" = 30'
 DATE: JUNE 14, 2022

SHEET NO. **1**
 OF 2 SHEETS

HERITAGE FARM - BANQUET CENTER
 LANDSCAPE PLAN

Encl. C, Page 1

NOTE: Found 3/4" Iron Pipe Monument 0.65' East of True Corner

- LANDSCAPING QUANTITIES
- 12 CANOPY TREES
 - 8 DECIDUOUS TREES
 - 1 EVERGREEN TREES
 - 10 DECORATIVE TREES
 - 14 DECORATIVE SHRUBS

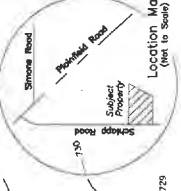
DEVELOPER:
 LYDIA RAMIREZ
 82 STATE ROUTE 126
 PLAINFIELD, IL 60544

PROPERTY LOCATION:
 PIN: 03-34-00-027

AREA TO BE REZONED:
 8.37 Acres

PRESENT ZONING:
 A-1
 (Ordinance #8-10-01 #8-30)

PROPOSED ZONING:
 A-1 SU



ALL OUTLINED AREAS SHALL BE PLANTED WITH MULCHER & PRAIRIE GRASS SEED AND BE IRRIGATED WITH DROPPED FLASK SYSTEMS. PLANTING TO BE PERFORMED.

PROPOSED AREA TO BE PLANTED WITH MULCHER & PRAIRIE GRASS SEED

PROPOSED AREA TO BE PLANTED WITH MULCHER & PRAIRIE GRASS SEED

PROPOSED AREA TO BE PLANTED WITH MULCHER & PRAIRIE GRASS SEED

FUTURE BUILDING
 20' x 20'
 FIN.F.L.=736.00

PROPOSED OUTDOOR EVENT SPACE
 60' x 30'

PROPOSED GRAVEL PARKING LOT
 PHASE 2 - 20' SPACES TOTAL
 14,036 SF

PROPOSED ASPHALT HANDICAP AREA - 604 SF

PROPOSED ASPHALT HANDICAP AREA - 432 SF

LEAN TO BUILDING 10' x 80'

PROPOSED 10' x 10' SEPTIC TANK SEE SEPTIC PLANS

PROPOSED WET DETENTION POND ASSEMBLY LEVEL 277.00

PROPOSED 10' x 10' SEPTIC TANK SEE SEPTIC PLANS

PROPOSED 10' x 10' SEPTIC TANK SEE SEPTIC PLANS

PROPOSED 10' x 10' SEPTIC TANK SEE SEPTIC PLANS

PROPOSED 10' x 10' SEPTIC TANK SEE SEPTIC PLANS

PROPOSED 10' x 10' SEPTIC TANK SEE SEPTIC PLANS

PROPOSED 10' x 10' SEPTIC TANK SEE SEPTIC PLANS

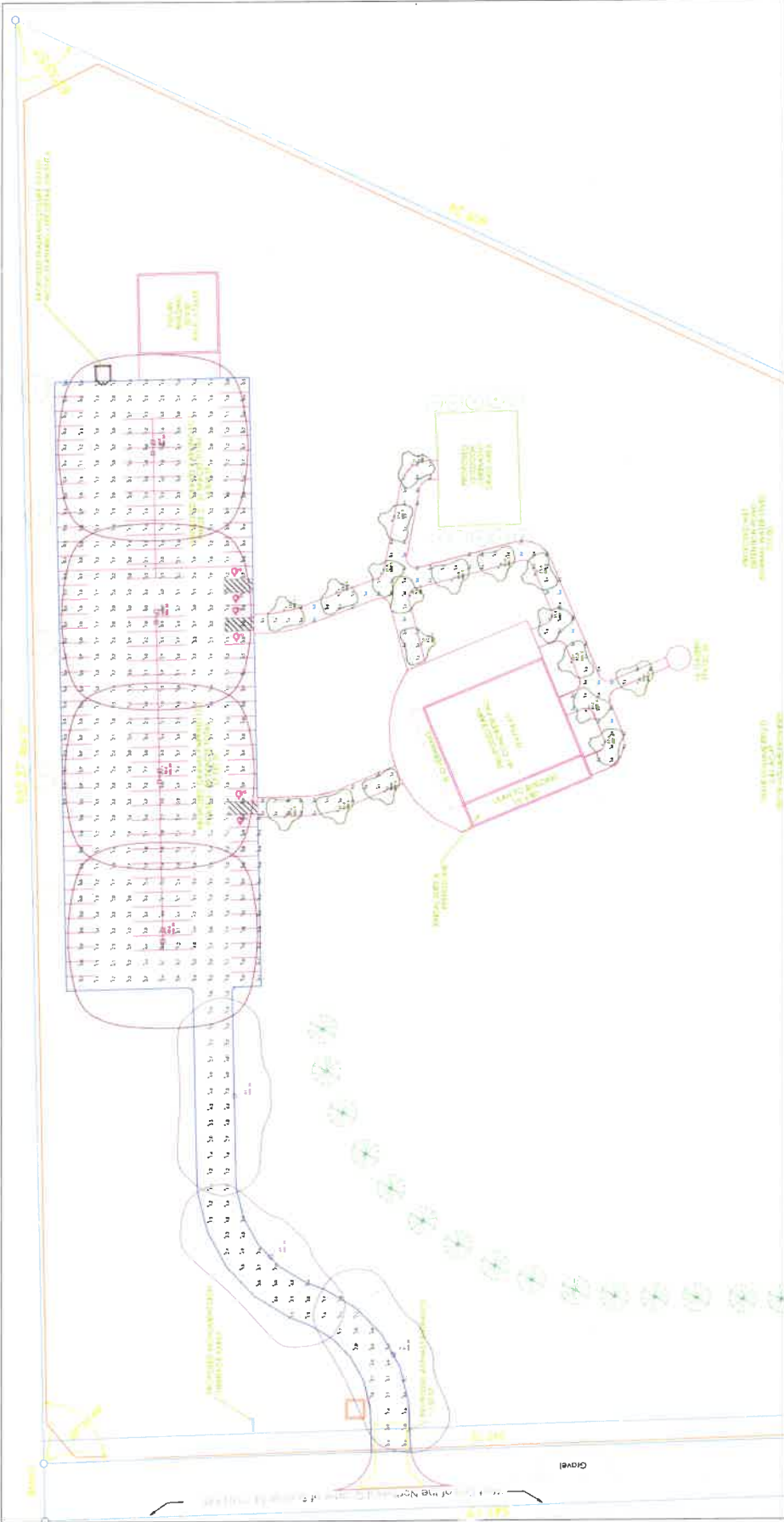
PROPOSED 10' x 10' SEPTIC TANK SEE SEPTIC PLANS

Luminaire Schedule - Part numbers are provided by the manufacturer and are only intended to be used as a reference to output and optics used.

Symbol	Qty	Tag	Arrangement	Luminaire Lumens	Air. Lum. Lumens	Luminaire Watts	Air. Watts	LF	Description
3	A1-3	3/1/1	3/1/1	15652	31304	105	210	0.900	ARI8-76H-MV-NW-5-XX-150 (2@180)
4	A2-5	3/1/1	3/1/1	15652	31304	105	210	0.900	ARI8-76H-MV-NW-5-XX-150 (2@180)
18	B1-4	3/1/1	3/1/1	895	895	10.3	10.3	0.900	AIMMB1700D1X10U4KX

Calculation Summary

Label	Units	Avg	Max	Min	Max/Min	Avg/Min	Description
WALKWAYS - Planar	FC	1.50	7.9	0.2	39.50	4.05	READINGS @ GRADE
WALKWAYS - Planar	FC	1.50	7.9	0.2	39.50	4.50	READINGS @ GRADE



NOTES

1. CALCULATIONS ARE BASED ON THE LATEST REVISIONS OF THE DRAWINGS. ANY CHANGES TO THE LATEST REVISIONS WILL BE REFLECTED IN THE CALCULATIONS.

2. THE CALCULATIONS ARE BASED ON THE LATEST REVISIONS OF THE DRAWINGS. ANY CHANGES TO THE LATEST REVISIONS WILL BE REFLECTED IN THE CALCULATIONS.

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PARKING LOT DESIGN GUIDE

APPLICATION AND TIME	MANAGED HORIZONTAL	MANAGED VERTICAL	MAXIMUM
	AVERAGE (FC)	RANGE (FC)	AVERAGE (FC)
PARKING (UNCOVERED) (ZONE 1 SUBURBAN)	1.5	0.75-3	0.8
PARKING (UNCOVERED) (ZONE 2 SUBURBAN)	1	0.5-2	0.6
SAFETY (BIBLING EMBLEM)	1	0.5-2	0.6
SAFETY (BIBLING EMBLEM) (OR SECURITY BLUE)	1	0.5-2	0.6
SAFETY (BIBLING EMBLEM) (OR SECURITY BLUE) (OR SECURITY BLUE)	1	0.5-2	0.6
SAFETY (BIBLING EMBLEM) (OR SECURITY BLUE) (OR SECURITY BLUE) (OR SECURITY BLUE)	1	0.5-2	0.6

NOTE: THE ABOVE RECOMMENDATIONS DO NOT SUPERSEDE ANY APPLICABLE CODES.

Scale: 1 inch = 30 ft.

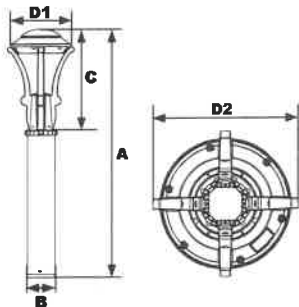


AIWMB12Q | **L70**
25°C | **187,000 Hours**

LED Small Monarch Bollard



AIWMB12Q with Clear Polycarbonate Optical Lens



Dimensions

Diameter 1 (D1)	10 1/2" (264mm)
Diameter 2 (D2)	11 1/2" (294mm)
Height 1 (A)	43" (1093mm)
Height 2 (C)	17 3/4" (441mm)
Base (B)	4 3/4" (120mm)

The Atlantic AIWMB12Q LED Small Monarch Bollard with Sealed UV-stabilized clear polycarbonate optical lens are designed to replace HID lighting systems up to 70w MH or HPS. These fixtures are ideal for retail centers, industrial parks, schools and universities, public transit and airports, office buildings and medical facilities.

Specifications and Features:

Housing:

Extruded and Die Cast with Flush Mounting Base & Vandal-Resistant Screws, Internal Driver Tray for Easy Maintenance.

Listing & Ratings:

CSA: Listed for Wet Locations, ANSI/UL 1598, 8750; IP66 Sealed LED Compartment.

Finish:

Textured Architectural Black Powdercoat Finish Over a Chromate Conversion Coating. Custom Colors Available Upon Request.

Lens:

Full Cutoff IP66 Sealed UV-Stabilized Clear Polycarbonate Optical Vandal-Resistant Lens..

Mounting Options:

Mounting Kit with 8" Zinc-Plated Anchor Bolts, Included.

LED:

Aluminum Boards with Conformal Coating

Wattage:

Array: 10w, System: 10.3w (up to 35w HID equivalent)

Array: 19w, System: 20.5w (up to 50w HID equivalent)

Array: 28w, System: 30.8w (up to 70w HID equivalent)

Driver:

Electronic Driver, 120-277V, 50/60Hz; Less Than 20% THD and PF>0.90. Standard Internal Surge Protection 2kV. 0-10V Dimming Standard for a Dimming Range of 100% to 10%; Dimming Source Current is 150 Microamps.

Controls:

Fixtures are Internally Wired for Switching and/or 1-10V Dimming Within the Housing. Remote Direct Wired Interface of 1-10V Dimming is Not Implied and May Not Be Available. Please Consult Factory. Fixtures are Tested with Atlantic Controls and May Not Function Properly With Controls Supplied By Others. Fixtures are NOT Designed for Use with Line Voltage Dimmers.

Warranty:

5-Year Warranty for -20°C to +40°C Environment.

See Page 4 for Projected Lumen Maintenance Table.

Project Information:

Project Name: _____ Fixture Type: _____

Complete Catalog #: _____ Date: _____

Comments: _____

Certification & Listings:



Order Information Example: **AIWMB12QF1X28U5KCBSF**

AIWMB12Q			U		C		
Model	Optic	Wattage	Driver	CCT	Lens	Color	Options
AIWMB12Q =LED Small Monarch Bollard	B =Type II C =Type III D =Type IV F =Type V	1X10 =10w 1X19 =19w 1X28 =28w	U =120-277V	3K =3000K 4K =4000K 5K =5000K	C =Clear UV-Stabilized Polycarbonate Vandal-Resistant Optical Lens	B =Black C =Custom (Consult Factory)	SF =Single Fuse* DF =Double Fuse* SP =Surge Protection GF1 =GFCI Outlet, 15A, 120V S3 =Microwave Sensor with Dimming & Remote Programming* (See AIP17121 Spec Page for Details.) BU =Battery Backup, 90 Minutes* BUC =Cold Start Battery Backup, -20°C, 90 Minutes* *120-277V Models Only.

Accessories & Replacement Parts:

Mounting Accessories (Order Separately, Field Installed)

AIBREBASE* Bollard Retrofit Base Kit Adapts New Bollards to Most Existing Bolt Patterns. Fits all Atlantic Bollards. Die Cast with Powdercoat Finish, Hardware Included. 1 1/2" Dia. x 1 1/2" H

*Specify Color: Z=Bronze, B=Black, C=Custom (Consult Factory)



AIBREBASE*
*Shown Mounted

Accessories (Order Separately, Field Installed)

AIP17122 Remote Programming Tool for AIP17121



AIP17122

Replacement Parts (Order Separately, Field Installed)

AIP17121 Internal Microwave Sensor with Dimming & Remote Programming, 120-277V Only. See AIP17121 Spec. Page for Details.

AIBOADP1 Adapter Plate with Gaskets for Outlet Boxes. Fits Atlantic Round Bollards. Die Cast with Bronze Powdercoat Finish.

For Replacement Battery Backup, see the Atlantic LED Battery Backup Specification Sheet.

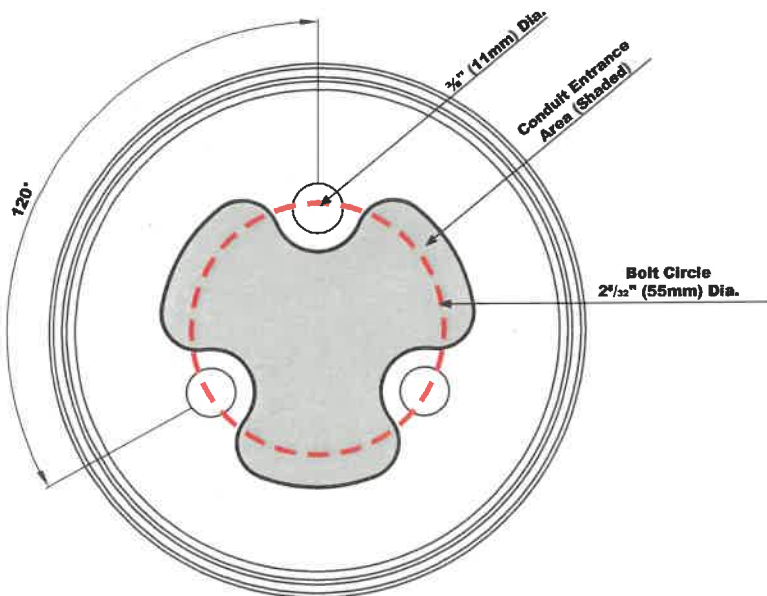


AIP17121



AIBOADP1

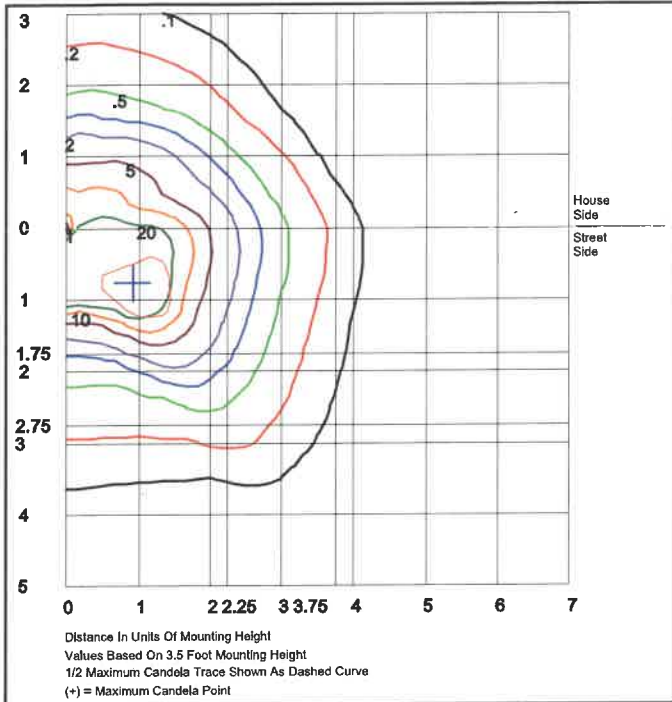
Base Dimensions



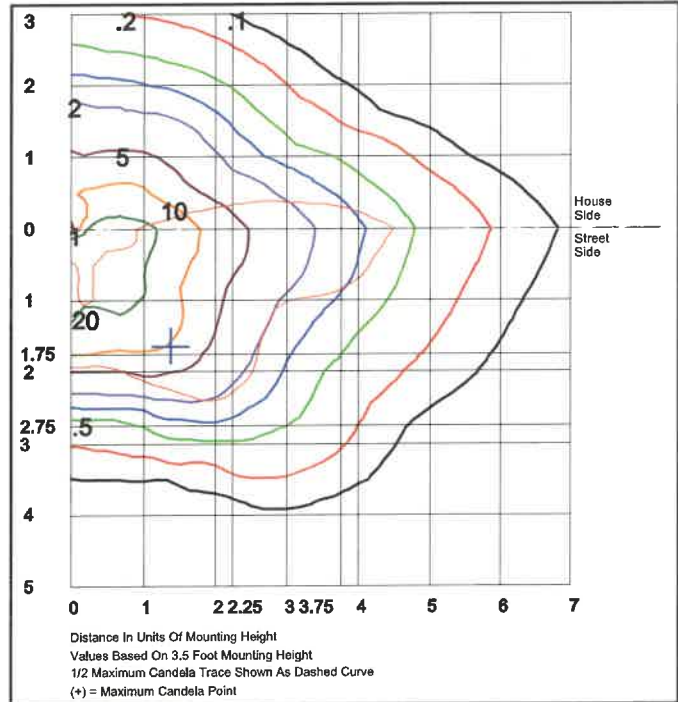
Specifications subject to change without notice. Rev. 120921



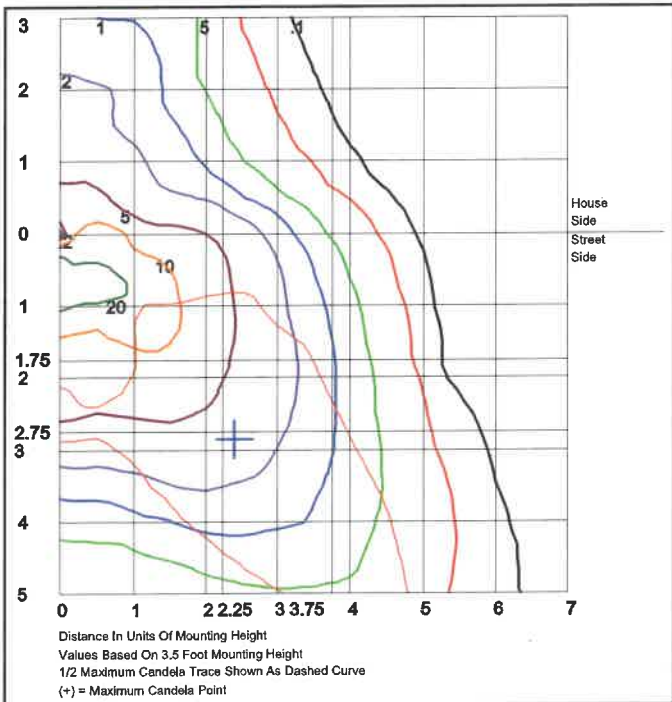
Photometric Data



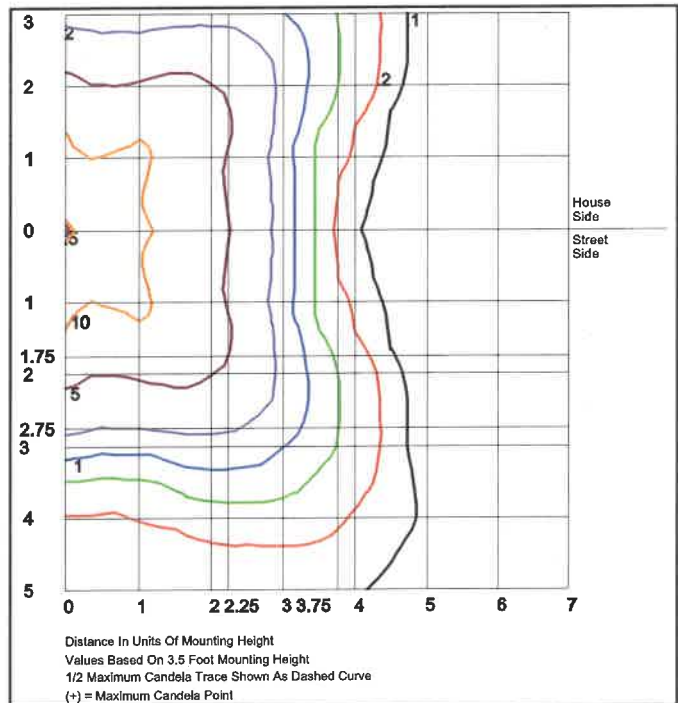
AIWMB12QB1X28U5K
Type II
 Grid in feet, Mounting Height = 3.5 ft.



AIWMB12QC1X28U5K
Type III
 Grid in feet, Mounting Height = 3.5 ft.



AIWMB12QD1X28U5K
Type IV
 Grid in feet, Mounting Height = 3.5 ft.



AIWMB12QF1X28U5K
Type V
 Grid in feet, Mounting Height = 3.5 ft.

Specifications subject to change without notice. Rev. 120921



AIWMB12Q

L70
25°C

187,000 Hours

LED Small Monarch Bollard

Photometric Performance

Optic	CCT	Delivered Lumens		
		10W (1X10)	19W (1X19)	28W (1X28)
Wattage (Catalog Logic)		10.3W	20.5W	30.8W
Input Watts		10.3W	20.5W	30.8W
AIWMB12Q with Clear Polycarbonate Optical Lens B=Type II	3000K	833	1,666	2,499
	4000K	860	1,720	2,579
	5000K	893	1,787	2,680
	BUG Rating	B0-U0-G0	B0-U0-G1	B1-U0-G1
AIWMB12Q with Clear Polycarbonate Optical Lens C=Type III	3000K	876	1,752	2,628
	4000K	904	1,809	2,712
	5000K	939	1,879	2,818
	BUG Rating	B0-U0-G1	B1-U0-G1	B1-U0-G1
AIWMB12Q with Clear Polycarbonate Optical Lens D=Type IV	3000K	867	1,735	2,602
	4000K	895	1,790	2,686
	5000K	930	1,860	2,790
	BUG Rating	B0-U0-G1	B1-U0-G2	B1-U0-G2
AIWMB12Q with Clear Polycarbonate Optical Lens F=Type V	3000K	918	1,836	2,753
	4000K	947	1,894	2,841
	5000K	984	1,968	2,952
	BUG Rating	B1-U0-G1	B2-U0-G1	B2-U0-G1

Projected Lumen Maintenance

Data shown for 5000 CCT TM-21-11	Input Watts	Compare to MH				Calculated LED Life
		Initial	25,000 Hrs	50,000 Hrs	100,000 Hrs	
L70 Lumen Maintenance @ 25°C / 77°F	All wattages up to and including 31w	1.00	0.96	0.92	0.84	187,000
L70 Lumen Maintenance @ 50°C / 122°F		1.00	0.93	0.87	0.73	113,000
L80 Lumen Maintenance @ 40°C / 104°F		1.00	0.97	0.93	0.86	144,000

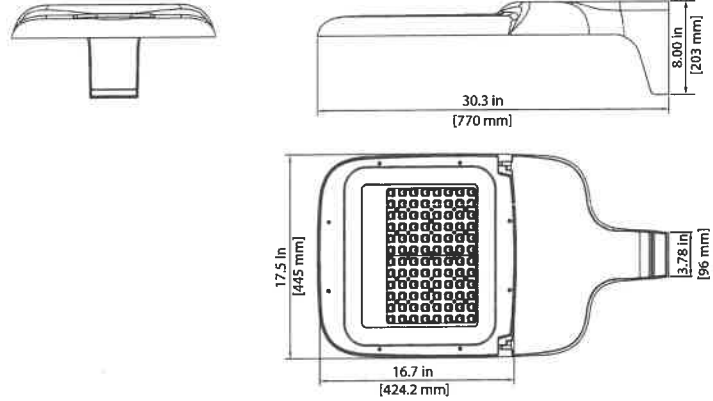
- NOTES:**
- Projected per IESNA TM-21-11. Data references the extrapolated performance projections for the base model in a 25°C ambient, based on 10,000 hours of LED testing per IESNA LM-80-08.
 - Compare to MH box indicates suggested Light Loss Factor (LLF) to be used when comparing to Metal Halide (MH) systems.

ARIETA® 18 Architectural LED Area Luminaire

AR18 N-Series Specification Data Sheet

Luminaire Data

Weight 24 lbs [10.9 kg]
EPA 0.55 ft²



Ordering Information

Sample Catalog No. AR18 96N MV NW 3 DB 400 BLS

Product	LED Code	Voltage	Nominal Color Temperature	Distribution	Finish ¹	Output Code ²	Options
AR18	96N	MV 120-277V HV 347-480V	WW 3000K	2 Type 2 3 Type 3 4 Type 4 5 Type 5 AFR Auto Front Row	BK Black DB Dark Bronze (RAL6022) DB1 Dark Bronze (RAL8019) WH White GY Gray NA Natural Aluminum	WW - 3000K	BLS ³ Back Light Shield (Factory Installed)
						140	FOC ⁴ Fixed Output Code
						180	PCR NEMA Photocontrol Receptacle
						210	PCR7 ⁵ ANSI 7-wire Photocontrol Receptacle
						240	PCR7-CR ⁶ Control Ready 7-wire Photocontrol Receptacle
						270	MSL7 ⁷ Motion Sensor with L7 Lens
		300	MSL3 ⁷ Motion Sensor with L3 Lens				
		340	SP2 20kV/10kA Surge Protector				
		380	PND1 ⁸ Part-Night Dimming				
		NW - 4000K CW - 5000K	220 PND2 ⁸ Part-Night Dimming				
		150	250 PND3 ⁸ Part-Night Dimming				
		190	ORR Optics Rotated Right				
220	ORL Optics Rotated Left						
250	WL Utility Wattage Label						
290	400 DS ¹¹ Dual Switching						
330							
380							
400							

- 1 Black, Dark Bronze, White, Gray, or Natural Aluminum standard. DB (RAL6022) is our original dark bronze. DB1 (RAL8019) is a new dark bronze option. Consult factory for other finishes. See page 2 for specifications.
- 2 Specified output code set at the factory set. Includes fixture mounted output selector that enables field adjustable light levels.
- 3 Flush mounted enhanced back light shield, factory installed.
- 4 No field adjustable output. Specified output code set at the factory.
- 5 Includes output selector that enables field adjustability of light levels. Field changeable connectors included to enable dimming connection to PCR7 (wireless node dimming is disabled by default).
- 6 Control-ready wired at factory for wireless node dimming. Output selector not included in fixture. Not able to adjust above specified drive current.
- 7 See L7 or L3 Lens coverage details on page 4. Consult factory for MS specified with ANSI 7-wire Photocontrol Receptacle. PCR option is required for On/Off control using light detection.
- 8 For PND profile options see page 5. Only available with MV (120-277V).
- 9 Specify Color (GY, DB, DB1, BK, WH, NA)
- 10 Specify MV (120-277V) or HV (347V-480V)
- 11 Provides 50/50 fixture operation via two independent drivers. Requires two separately switched circuits. Not available with PCR3 or PCR7.

Accessories*	
BLS	Enhanced Back Light Shield
RPA ⁹	Round Pole Adapter
PTF1 ⁹	Square Pole Top Fitter Single
PTF2 ⁹	Square Pole Top Fitter Twin at 180°
PTF4 ⁹	Square Pole Top Fitter Quad
WM ⁹	Wall Mount
BSK	Bird Deterrent Spider Kit
LLPC ¹⁰	Long-Life Twist Lock Photocontrol
SC	Twist Lock Shorting Cap
FSIR100	Motion Sensor Configuration Tool

Luminaire Specifications

Housing

Die cast aluminum housing with universal mounting design allows for attachment to existing pole without redrilling for retrofit applications. Aluminum housing provides passive heat-sinking of the LEDs and has upper surfaces that shed precipitation. Mounting provisions meet 3G vibration per ANSI C136.31-2010 Normal Application, Bridge & Overpass. Electrical components are accessed without tools and are mounted on removable power door.

Light Emitting Diodes

Hi-flux/Hi-power white LEDs produce a minimum of 90% of initial intensity at 100,000 hours of life based on IES TM-21. LEDs are tested in accordance with IES LM-80 testing procedures. LEDs have correlated color temperature of 3000K, 4000K, or 5000K and 70 CRI minimum. LEDs are 100% mercury and lead free.

Field Adjustability

An output selector is supplied to adjust light output for local conditions (not available with PCR7-CR option). The specified output code will be factory set.

Quality Control

Every luminaire is performance tested before and after a 2-hour burn-in period. Assembled in the USA.

Optical Systems

Micro-lens optical systems are fully sealed to maintain an IP66 rating. Luminaire produces 0% total lumens above 90° (BUG Rating, U=0). Auto Front Row (AFR) optics are designed to enhance light levels at site perimeter while minimizing wattage and backlight. Optional enhanced Back Light Shield (BLS) is designed to meet strict light trespass and LEED requirements. Optics may be rotated right or left with options ORR/ORL, respectively.

Electrical

Rated life of electrical components is 100,000 hours. Uses isolated power supply that is 1-10V dimmable. Power supply is wired with quick-disconnect terminals. Power supply features a minimum power factor of .90 and <20% Total Harmonic Distortion (THD). EMC meets or exceeds FCC CFR Part 15. Terminal block accommodates 6 to 14 gauge wire. Standard surge protection complies with IEEE/ANSI C62.41 and ANSI C136.2-2015, Enhanced (10kV/5kA). SP2 option provides Extreme level (20kV/10kA).

Controls

3-Wire photocontrol receptacle (PCR) is available. ANSI C136.41 7-wire (PCR7) photocontrol receptacles are available. All photocontrol receptacles have tool-less rotatable bases. Wireless control module is provided by others.

Finish

Housing receives a fade and abrasion resistant polyester powder coat finish with 3.0 mil nominal thickness. Finish tested to withstand 5000 hours in salt spray exposure per ASTM B117. Finish meets scribe creepage rating 8 per ASTM D1654. Finish tested 500 hours in UV exposure per ASTM G154 and meets ASTM D523 gloss retention.

Listings/Ratings/Labels

Luminaires are UL listed for use in wet locations in the United States and Canada. DesignLights Consortium™ Premium Classification qualified product. International Dark Sky Association listed. Luminaire is qualified to operate at ambient temperatures of -40°C to 40°C.

Photometry

Luminaires photometrics are tested by certified independent testing laboratories in accordance with IES LM-79 testing procedures.

Warranty

10-year limited warranty is standard on luminaire and components. 5-year limited warranty on luminaires and components with a motion sensor.

Standards

Luminaire complies with:
 ANSI: C136.2, C136.3, C136.10, C136.13, C136.15, C136.22, C136.31, C136.35, C136.37, C136.41, C62.41, C78.377, C82.77
 Other: FCC 47 CFR, IEC 60598, ROHS II, UL 1449, UL 1598

Color Specifications

Order Code	Color	RAL #	Pantone Equivalent
GY	Gray	7040	429C
BK	Black	9004	426C
DB	Dark Bronze	6022	BLACK 2C
DB1	Dark Bronze	8019	412
WH	White	9003	11-0601
NA	Natural Aluminum	9006	N/A

Performance Data 3000K

All data nominal. IES files are available at leotek.com.

LED Code	Output Code	Drive Current (mA)	System Wattage (W)	Delivered Lumens (Lm) ¹	Efficacy (Lm/W)	Field Adjustable Output Range ²
96N	140	350	103	14600	142	↑ ↓
	180	450	129	18170	141	
	210	540	150	20940	140	
	240	600	170	23620	139	
	270	750	207	27400	132	↑ ↓
	300	820	234	30300	129	
	340	930	268	34010	127	
	380	1050	299	37780	126	

Performance Data 4000K & 5000K

All data nominal. IES files are available at leotek.com.

LED Code	Output Code	Drive Current (mA)	System Wattage (W)	Delivered Lumens (Lm) ¹	Efficacy (Lm/W)	Field Adjustable Output Range ²
96N	150	350	104	15650	150	↑ ↓
	190	450	130	19330	149	
	220	540	152	22900	151	
	250	600	170	25670	151	
	290	750	206	29770	145	↑ ↓
	330	820	235	33830	144	
	380	930	272	38070	140	
	400	1050	297	40990	138	

Notes:

1 Normal tolerance ± 10% due to factors including distribution type, LED bin variance, driver variance, and ambient temperatures.

2 Performance codes available in two ranges for adjustable output as shown in performance data tables. Output set at factory to specified performance code.

Motion Sensor (Optional) Specifications

Description

Digital passive infrared luminaire integrated outdoor occupancy sensor provides high/low/off control based on motion detection. Initial setup and subsequent sensor adjustments are made using a handheld configuration tool. PCR option is required for On/Off control using light detection. Available with both MV or HV input voltage options.

Operation

Standard factory setting will dim the luminaire to 50% until motion is sensed and then it will power to 100%. When motion is not detected for five minutes, the luminaire will dim back to 50%. Ramp up and fade down times are adjustable, but initially set to NONE. The percent dimming and time durations may be field adjusted as required using FSIR-100 configuration tool. FSIR-100 user guide available at: www.wattstopper.com.

Optical System

Multi-cell, multi-tier Fresnel lens with a 360 degree view detects unobstructed motion within one mounting height, up to 20 ft. maximum (MSL3) or 40 ft. maximum (MSL7). Consult factory for higher mounting height requirements.

Finish

Sensor exterior ring and lens are white polycarbonate, UV and impact resistant.

Listings/Ratings

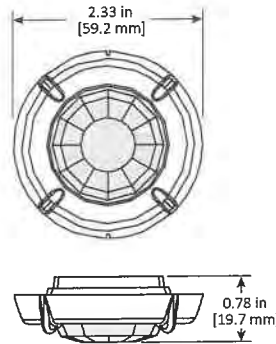
Sensor is TUV, UL and cUL listed, IP66 rated and CE compliant.

Warranty

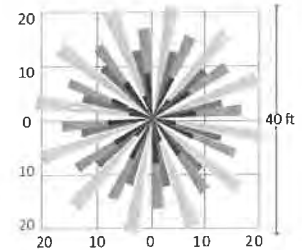
5-year limited warranty on luminaires and components with a motion sensor.

Motion Sensor (Optional) Data

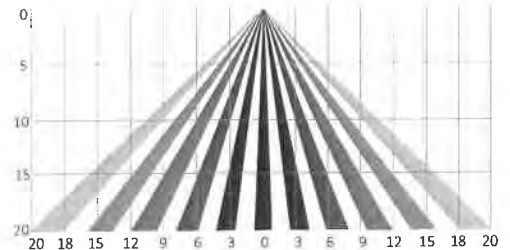
MSL3 Lens Dimensions



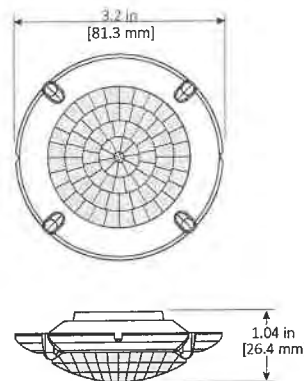
MSL3 Lens Coverage Top View



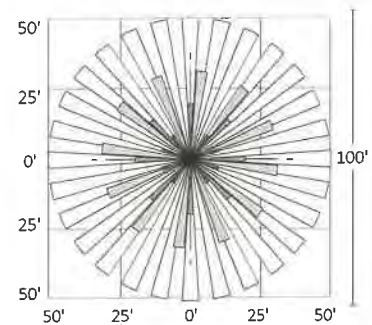
MSL3 Lens Coverage Side View



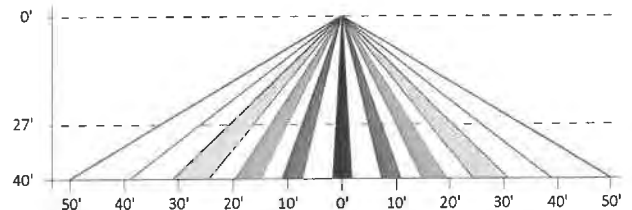
MSL7 Lens Dimensions



L7 Lens Coverage Top View



L7 Lens Coverage Side View



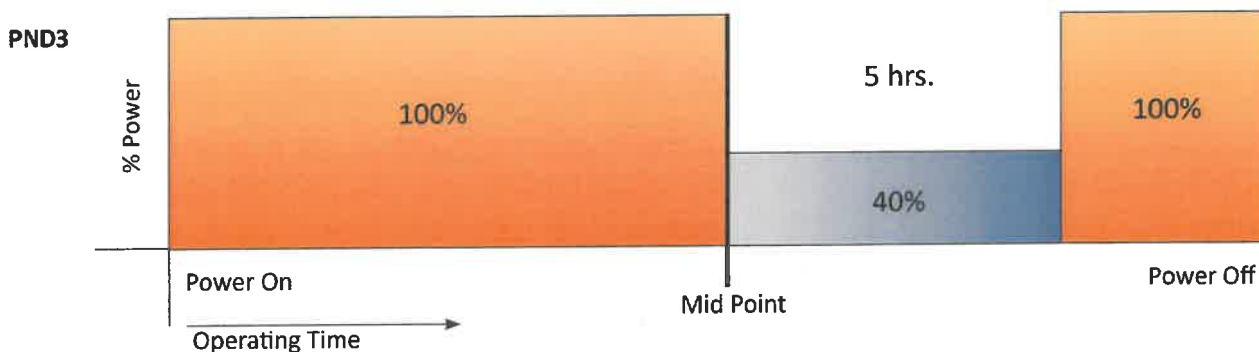
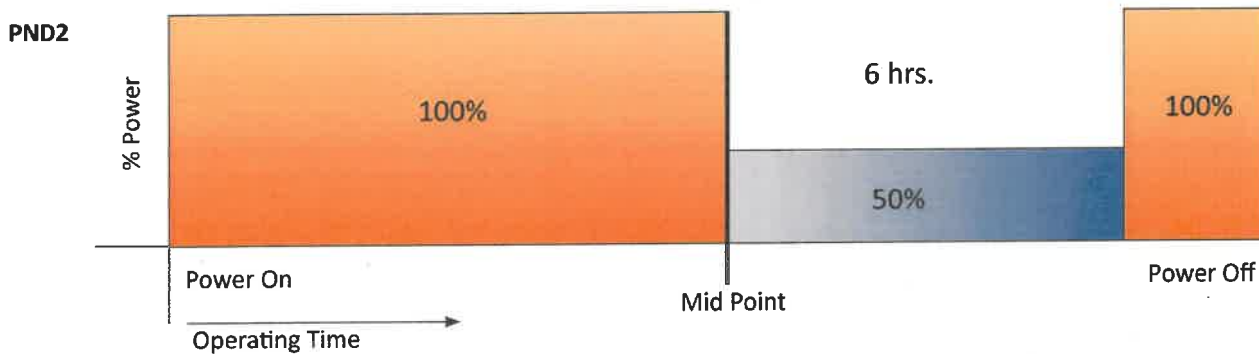
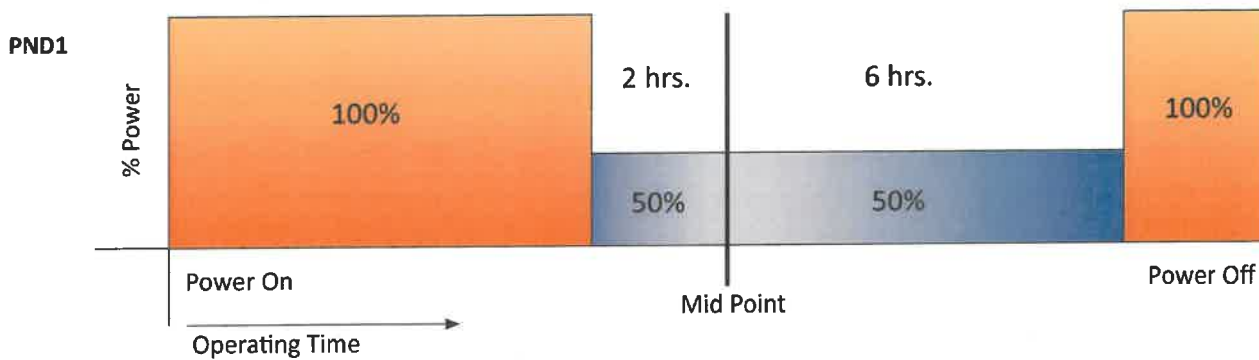
Part-Night Dimming Specifications

Description

Arieta's Part-Night Dimming (PND) option enables significant energy savings by automatically dimming the luminaire during early morning hours when infrequent use is expected. Factory programmed dimming profiles automatically take into account seasonal changes based on geographical location by continuously monitoring the nighttime midpoint. PND does not provide power on/off control which is provided by external controls (example: time clock) or a photocontrol using PCR3 or PCR7 option. Dimming profile of PND option is not field adjustable.

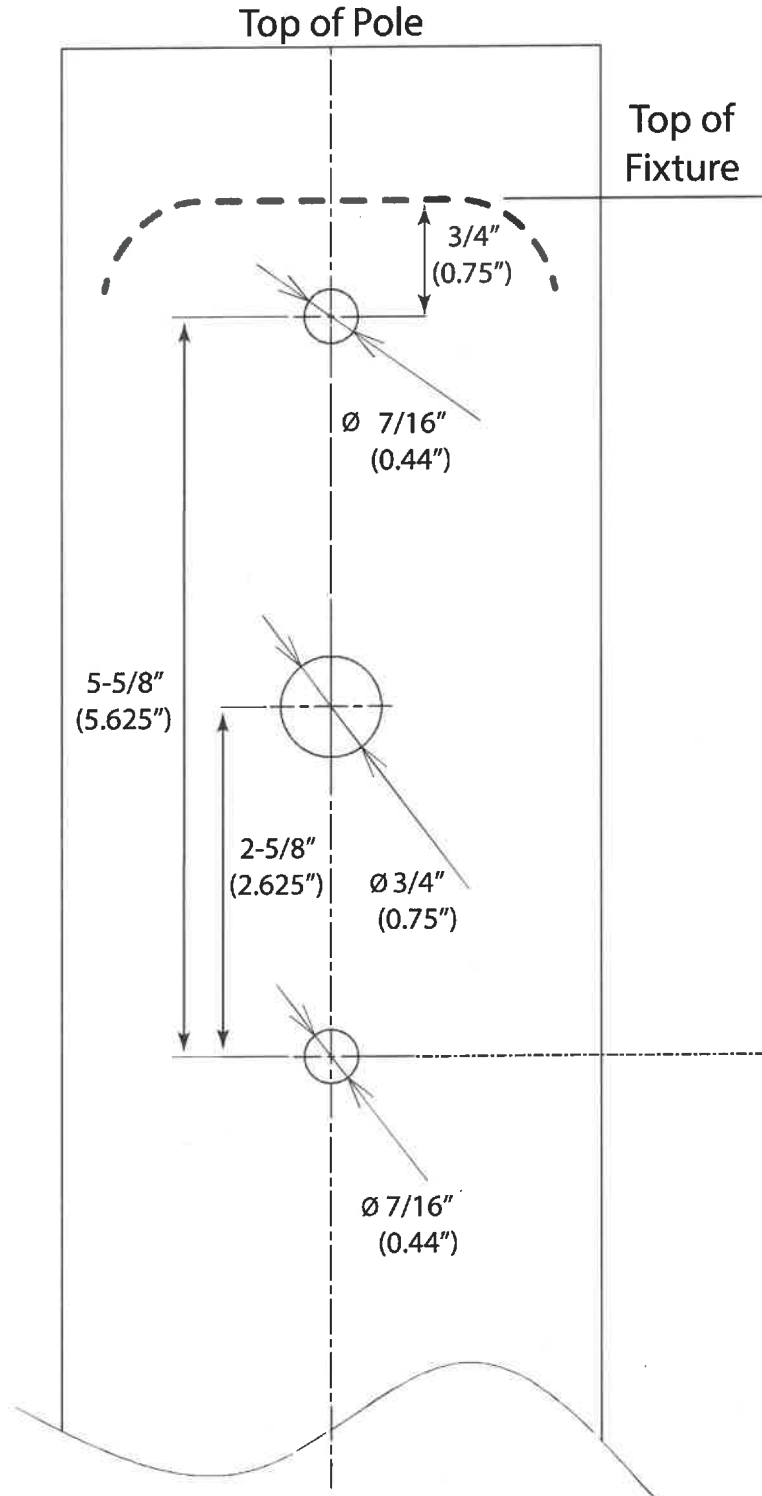
Operation

Based on the PND profile that is selected, the luminaire dims to the corresponding % power for the corresponding length of time (based on the nighttime mid-point) as shown below. Mid-point is continuously recalculated in the luminaire by monitoring the average length of time between when the light turns on (power on) and turns off (power off) over the previous two days. In effect, this functionality will take two days to initialize after installation before any dimming will occur. Power interruptions are ignored and do not affect the determination of mid-point. A motion sensor (MSL3 or MSL7) can be used with PND to temporarily override the dimming profile when motion is detected. Three factory programmed PND profiles are available for selection:



**Pole Mount Drilling Dimensions
for New Construction**

For more details, consult
the Arieta Installation Guide



**Mounting Pole Drilling Dimensions
for New Construction**

Sheet E, Page 1

ENGINEERING PLANS FOR HERITAGE FARM - BANQUET CENTER SECTION 34, TOWNSHIP 37 NORTH, RANGE 8 EAST 5139-5199 S SCHLAPP ROAD OSWEGO, IL 60543 KENDALL COUNTY AUGUST, 2022

LEGEND	
---	PROPERTY BOUNDARY
- - - -	EXISTING CONTOUR LINE
---	EXISTING STORM SEWER
---	EXISTING SANITARY SEWER LINE
---	EXISTING WATERMAIN
---	EXISTING UNDERGROUND ELECTRIC
---	EXISTING OVERHEAD ELECTRIC
---	EXISTING GAS SERVICE
---	EXISTING TELEPHONE
---	PROPOSED CONTOUR LINE
---	PROPOSED WATERMAIN
---	PROPOSED STORM SEWER
---	PROPOSED SANITARY SEWER LINE
---	PROPOSED DRAINAGE SERVICE LINE
---	PROPOSED WPT LINE
---	EXISTING FENCELINE
---	PROPOSED SALT FENCE
---	EXISTING SPOT SHOT
---	EXISTING SPOT GRADE
---	PROPOSED SPOT GRADE
---	PROP
---	WATERS
---	EXCISE
---	WATER
---	HYDRANT
---	VALVE
---	VALVE VAULT
---	INLET-CURB
---	INLET OR MANHOLE
---	FLARED END SECTION
---	CLEAREDT
---	MANHOLE
---	UTILITY POLE
---	CITY WIRE LOC.
---	UTL. CABINET
---	UTL. PIEDestal
---	LIGHT POLE
---	TRAFFIC SIGNAL
---	ELECTRIC VAULT
---	GAS VALVE
---	PROP
---	R.O.W. MONUMENT
---	P.V. MARK
---	CHISELED MARK
---	BENCHMARK
---	4x8 & JACK
---	SOIL BURNING
---	GROUND POLEP
---	FLOW DIRECTION

PROJECT LOCATION



BENCHMARKS:
BM#1 - SURVEY SPIRE AT SOUTHWEST CORNER OF SUBJECT PROPERTY. ELEVATION = 729.43
BM#2 - MANHOLE AT EDGE OF PAVEMENT NEAR NORTHWEST CORNER OF SUBJECT PROPERTY. ELEVATION = 720.63

PLANS PREPARED FOR:
L. J. ZVALYAN
111 E. PAVAN
PLAINFIELD, IL 60544
PHONE: (815) 465-3710
EMAIL: LIZVAL@GMAIL.COM

CIVIL ENGINEER:
FERBRUCCE ENGINEERING
4101 N. WILSON
SANDWICH, ILLINOIS 60548
(815) 786-0195
WWW.FERBRUCCEENGINEERING.COM

INDEX TO SHEETS

1. COVER SHEET
2. EXISTING CONDITIONS & DEMOLITION PLAN
3. STORMWATER POLLUTION & PREVENTION PLAN 1
4. STORMWATER POLLUTION & PREVENTION PLAN 2
5. CIVIL SITE PLANS
6. GENERAL NOTES & DETAILS

PROFESSIONAL ENGINEER'S CERTIFICATION
STATE OF ILLINOIS: CERTIFICATE NO. 123456789
LAND SURVEYING - TOPOGRAPHIC MAPPING
LIC.# 18-002775

PROFESSIONAL ENGINEER'S CERTIFICATION
STATE OF ILLINOIS: CERTIFICATE NO. 123456789
CIVIL ENGINEERING
LIC.# 18-002775

Signature
L. J. ZVALYAN
REGISTERED PROFESSIONAL ENGINEER
NO. 002-04128 EXPIRES NOV. 30, 2023



CONTRACT # 2022-01-001
ALL RIGHTS RESERVED. NOTHING OF THIS CAN BE ENGINEERING PLAN OR PART THEREOF, INCLUDING PHOTOGRAPHIC, TOPOGRAPHIC, OR OTHER INFORMATION, MAY BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, WITHOUT THE WRITTEN PERMISSION OF FERBRUCCE ENGINEERING.

SURVEY COMPLETED BY:
Phillip D Young
& ASSOCIATES, INC.
LAND SURVEYING - TOPOGRAPHIC MAPPING
LIC.# 18-002775
11078 SOUTH BRIDGE STREET, YORKVILLE, IL 62590
PHONE: 618-253-7252 EMAIL: PHILLIP@PDIENGINEERING.COM



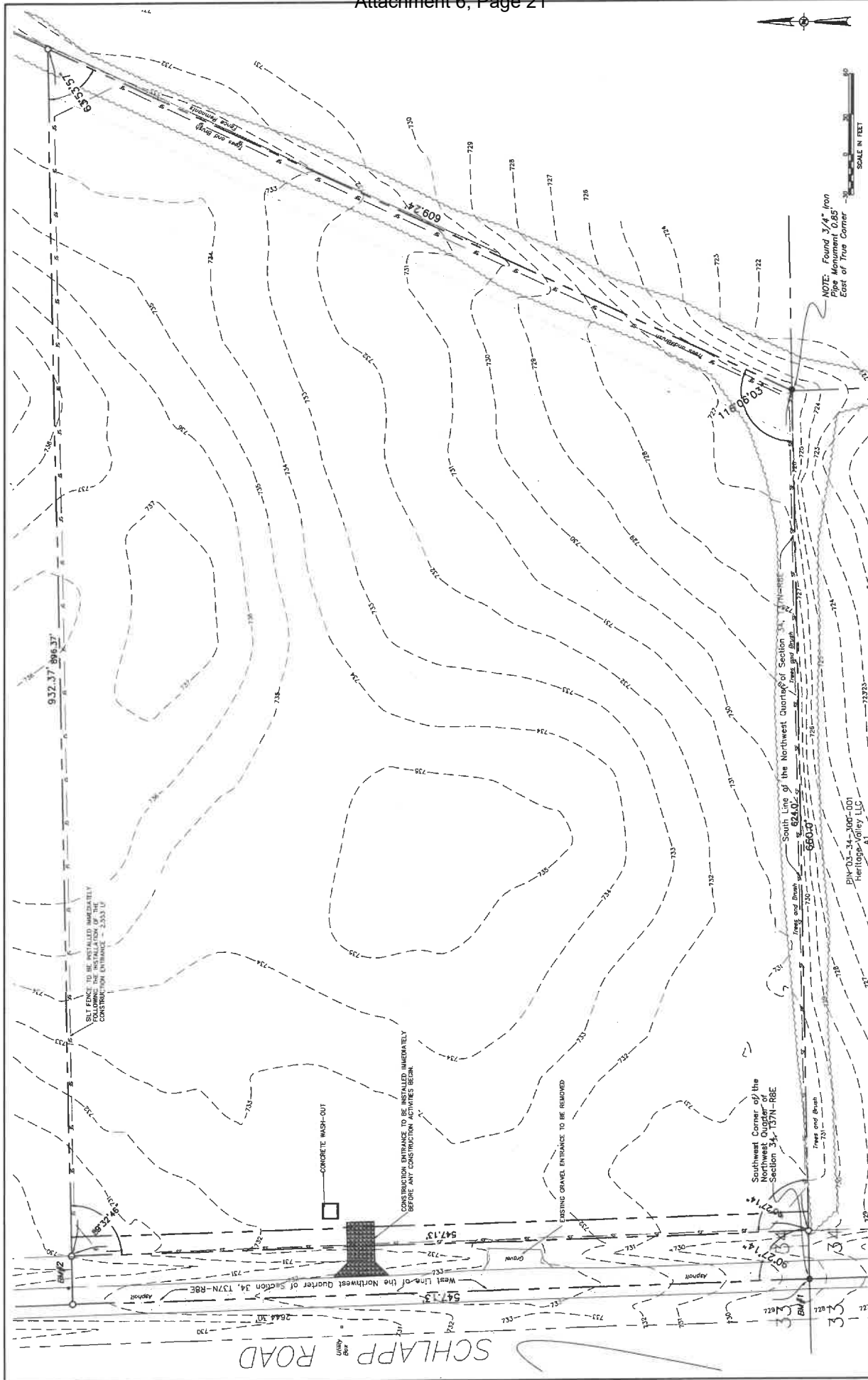
Know what's below you dig.
Call before you dig.

Contractor and/or subcontractors shall verify locations of all underground utilities prior to digging. Contact 811.U.I.L.L.E. (Leave Utility Location for Everyone) at 1-800-485-4742 or call 811.

UTILITY STATEMENT
I hereby certify that the utility locations shown on this plan were obtained from the utility companies listed below. I warrant that the information is true and correct to the best of my knowledge and belief. I warrant that the utility locations shown on this plan were obtained from the utility companies listed below. I warrant that the information is true and correct to the best of my knowledge and belief.

NO.	DATE	REVISION
1	8/22/22	ISSUE FOR PERMIT SUBMITTAL

Exhibit E, Page 2



NOTE: Found 3/4" non
Pipe Monument 0.85'
East of True Corner

PROJECT NO. 22-033-01		SHEET NO.
SCALE: 1" = 30'		2
DATE: JUNE 14, 2022		OF 8 SHEETS
HERITAGE FARM — BANQUET CENTER EXISTING CONDITIONS & DEMOLITION PLAN		
PREPARED FOR: LYDIA RAMIREZ 1152 STATE ROUTE 126, PLAINFIELD, IL		
TERRUGGE ENGINEERING 410 E. CHRYSLER STREET, SUITE A • JANDWICH, IL 60448 PHONE 630-766-0405 TERRUGGEENGINEERING.COM		

TYPICAL SOIL PROTECTION CHART

DATE	BY	REVISION

STORMWATER CUTTING CONTRIBUTING/RECEIVING WATERS

FROM: PK 03+10.00 TO PK 03+40.00
 TO: STORM MAIN - S1000-000

SOIL EROSION / SEDIMENT CONTROL OPERATION TIME SCHEDULE

CONTRACTOR TO COMPLETE TABLE WITH THEIR SPECIFIC PROJECT SCHEDULE

CONSTRUCTION SOURCE	TEMPORARY CONSTRUCTION EXITS	SEEDING / STABILIZATION	SEED / SOIL TREATMENT	SEED / SOIL TREATMENT

- 1) CONTRACTOR SHALL UPDATE THE TABLE BY DURING OR DURING THE APPLICABLE ACTIVITIES AS PROJECT PROGRESS.
- 2) THE SCHEDULE MUST COMBINE WITH SEQUENCE OF CONSTRUCTION.

1. SITE STABILIZATION: CONSTRUCTION SHALL BE COMPLETED WITHIN 14 DAYS OF THE END OF CONSTRUCTION AND SHALL BE MAINTAINED FOR A PERIOD OF 180 DAYS. ALL EXPOSED SOIL SHALL BE PROTECTED WITH A 10% SLOPE PROTECTION. CONTRACTOR SHALL MAINTAIN ALL EXPOSED SOIL AT ALL TIMES TO PREVENT EROSION. CONTRACTOR SHALL MAINTAIN ALL EXPOSED SOIL AT ALL TIMES TO PREVENT EROSION. CONTRACTOR SHALL MAINTAIN ALL EXPOSED SOIL AT ALL TIMES TO PREVENT EROSION.

2. THE CONTRACTOR SHALL PERFORM THE FOLLOWING: A. ALL EXPOSED SOIL SHALL BE PROTECTED WITH A 10% SLOPE PROTECTION. CONTRACTOR SHALL MAINTAIN ALL EXPOSED SOIL AT ALL TIMES TO PREVENT EROSION. CONTRACTOR SHALL MAINTAIN ALL EXPOSED SOIL AT ALL TIMES TO PREVENT EROSION. CONTRACTOR SHALL MAINTAIN ALL EXPOSED SOIL AT ALL TIMES TO PREVENT EROSION.

3. THE CONTRACTOR SHALL PERFORM THE FOLLOWING: A. ALL EXPOSED SOIL SHALL BE PROTECTED WITH A 10% SLOPE PROTECTION. CONTRACTOR SHALL MAINTAIN ALL EXPOSED SOIL AT ALL TIMES TO PREVENT EROSION. CONTRACTOR SHALL MAINTAIN ALL EXPOSED SOIL AT ALL TIMES TO PREVENT EROSION. CONTRACTOR SHALL MAINTAIN ALL EXPOSED SOIL AT ALL TIMES TO PREVENT EROSION.

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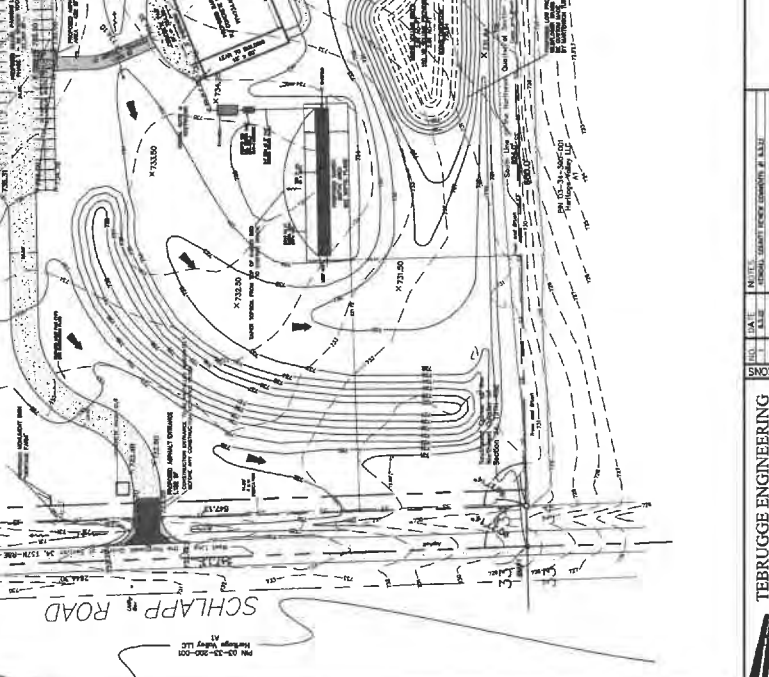
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8. THE CONTRACTOR SHALL PERFORM THE FOLLOWING: A. ALL EXPOSED SOIL SHALL BE PROTECTED WITH A 10% SLOPE PROTECTION. CONTRACTOR SHALL MAINTAIN ALL EXPOSED SOIL AT ALL TIMES TO PREVENT EROSION. CONTRACTOR SHALL MAINTAIN ALL EXPOSED SOIL AT ALL TIMES TO PREVENT EROSION. CONTRACTOR SHALL MAINTAIN ALL EXPOSED SOIL AT ALL TIMES TO PREVENT EROSION.

9. THE CONTRACTOR SHALL PERFORM THE FOLLOWING: A. ALL EXPOSED SOIL SHALL BE PROTECTED WITH A 10% SLOPE PROTECTION. CONTRACTOR SHALL MAINTAIN ALL EXPOSED SOIL AT ALL TIMES TO PREVENT EROSION. CONTRACTOR SHALL MAINTAIN ALL EXPOSED SOIL AT ALL TIMES TO PREVENT EROSION. CONTRACTOR SHALL MAINTAIN ALL EXPOSED SOIL AT ALL TIMES TO PREVENT EROSION.

10. THE CONTRACTOR SHALL PERFORM THE FOLLOWING: A. ALL EXPOSED SOIL SHALL BE PROTECTED WITH A 10% SLOPE PROTECTION. CONTRACTOR SHALL MAINTAIN ALL EXPOSED SOIL AT ALL TIMES TO PREVENT EROSION. CONTRACTOR SHALL MAINTAIN ALL EXPOSED SOIL AT ALL TIMES TO PREVENT EROSION. CONTRACTOR SHALL MAINTAIN ALL EXPOSED SOIL AT ALL TIMES TO PREVENT EROSION.



ACREAGE SUMMARY

TYPE	AREA (AC)
TOTAL SITE AREA	8.37
TOTAL DISTURBED AREA	8.37
PROPOSED IMPERVIOUS AREA	1.72
LANDSCAPED AREA	7.39
PROPOSED ON	7.39

CONTRACTOR INFORMATION

GENERAL CONTRACTOR / OWNER SHALL COMPLETE WITH CONTRACTORS WILL BE RESPONSIBLE FOR OBTAINING NECESSARY PERMITS AND APPROVALS. CONTRACTOR SHALL MAINTAIN ALL EXPOSED SOIL AT ALL TIMES TO PREVENT EROSION. CONTRACTOR SHALL MAINTAIN ALL EXPOSED SOIL AT ALL TIMES TO PREVENT EROSION. CONTRACTOR SHALL MAINTAIN ALL EXPOSED SOIL AT ALL TIMES TO PREVENT EROSION.

CONTRACTOR SIGNATURE

CONTRACTOR NAME & TITLE: _____ DATE: _____
 ADDRESS: _____ PHONE # _____
 ADDRESS: _____ PHONE # _____

DATE: _____

PROJECT NO. 2323 01 SHEET NO. 3
 SCALE: 1" = 50'
 DATE: JUNE 16, 2022 OF 6 SHEETS



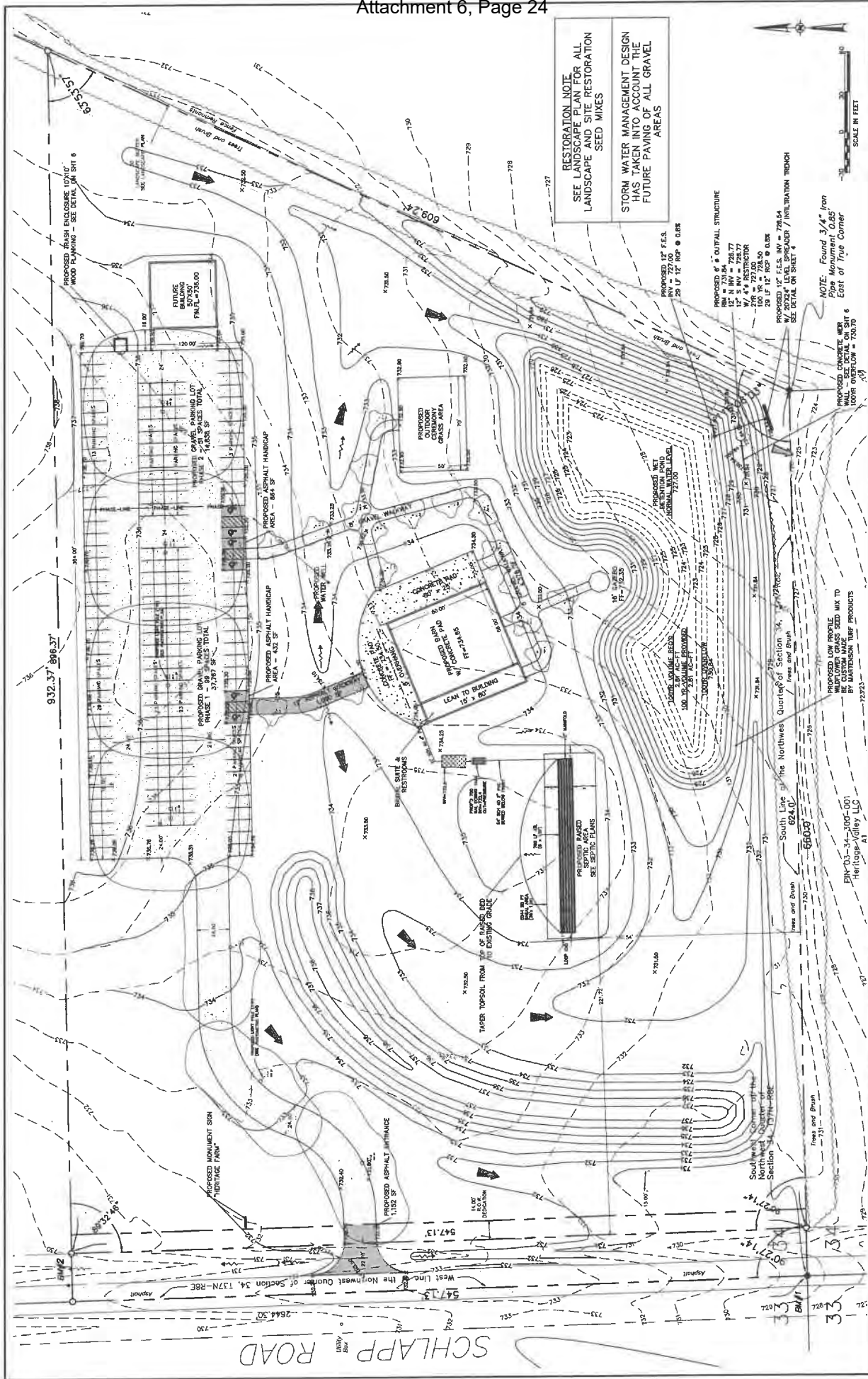
TEBRUGGE ENGINEERING
 410 S. CHRYSLER STREET, SUITE 101 • SANDWICH, IL 60488
 PHONE (815) 784-5953 • TEBRUGGEENGINEERING.COM

PREPARED FOR:
 LYDIA RAMIREZ
 1152 STATE ROUTE 126, PLAINFIELD, IL

HERITAGE FARM — BANQUET CENTER
 STORM WATER POLLUTION PREVENTION PLAN

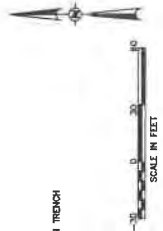
ENR 100-26-100-101
 Engr. At Large
 Lyndee M. Hain

PK 03+10.00-024
 Stormwater Structure



RESTORATION NOTE
SEE LANDSCAPE PLAN FOR ALL
LANDSCAPE AND SITE RESTORATION
SEED MIXES

STORM WATER MANAGEMENT DESIGN
HAS TAKEN INTO ACCOUNT THE
FUTURE PAVING OF ALL GRAVEL
AREAS



SHEET NO. **5**
PROJECT NO. 22-533-01
SCALE: 1" = 30'
DATE: JUNE 14, 2022
OF 8 SHEETS

HERITAGE FARM -- BANQUET CENTER
CIVIL SITE PLAN

PREPARED FOR:
LYDIA RAMIREZ
1152 STATE ROUTE 126, PLAINFIELD, IL

TERRUGGE ENGINEERING
110 S. CHURCH STREET - SUITE A - RANDOLPH, IL 62451
PHONE: (772) 786-0100 TERRUGGEENGINEERING.COM



REVISIONS

NO.	DATE	DESCRIPTION
1	6/14/22	ISSUE FOR PERMIT

APPROVED COUNTY ENGINEER: R. B. BISHOP

HERITAGE FARM AT
PIN-03--44--200--001
Heritage-Village LLC

PROPOSED LOW PROFILE
CONCRETE CURB WALLS
BE CUSTOM MADE SEED MIX TO
BY MATRISON TURF PRODUCTS

PROPOSED CONCRETE CURB WALL
SEE DETAIL ON SHIT 6
100% OVERFLOW 720.70

NOTE: Found 3/4" Iron
Pipe Monument 0.85'
East of True Corner

PROPOSED 12" F.E.S. HW = 728.54
W/ 2024 LEVEL SPREADER / INFILTRATION TRENCH
SEE DETAIL ON SHEET 4

PROPOSED 12" F.E.S. HW = 728.77
12" N HW = 728.77
12" S HW = 728.77
21R = 727.00
30" F 12' RCP @ 0.85

PROPOSED 12" F.E.S. HW = 728.77
12" N HW = 728.77
12" S HW = 728.77
21R = 727.00
30" F 12' RCP @ 0.85

PROPOSED 12" F.E.S. HW = 728.77
12" N HW = 728.77
12" S HW = 728.77
21R = 727.00
30" F 12' RCP @ 0.85

PROPOSED 6" # 4 OUTFALL STRUCTURE
12" N HW = 728.77
12" S HW = 728.77
21R = 727.00
30" F 12' RCP @ 0.85

PROPOSED 12" F.E.S. HW = 728.54
W/ 2024 LEVEL SPREADER / INFILTRATION TRENCH
SEE DETAIL ON SHEET 4

PROPOSED CONCRETE CURB WALL
SEE DETAIL ON SHIT 6
100% OVERFLOW 720.70

NOTE: Found 3/4" Iron
Pipe Monument 0.85'
East of True Corner

PROPOSED LOW PROFILE
CONCRETE CURB WALLS
BE CUSTOM MADE SEED MIX TO
BY MATRISON TURF PRODUCTS

HERITAGE FARM AT
PIN-03--44--200--001
Heritage-Village LLC

REVISIONS

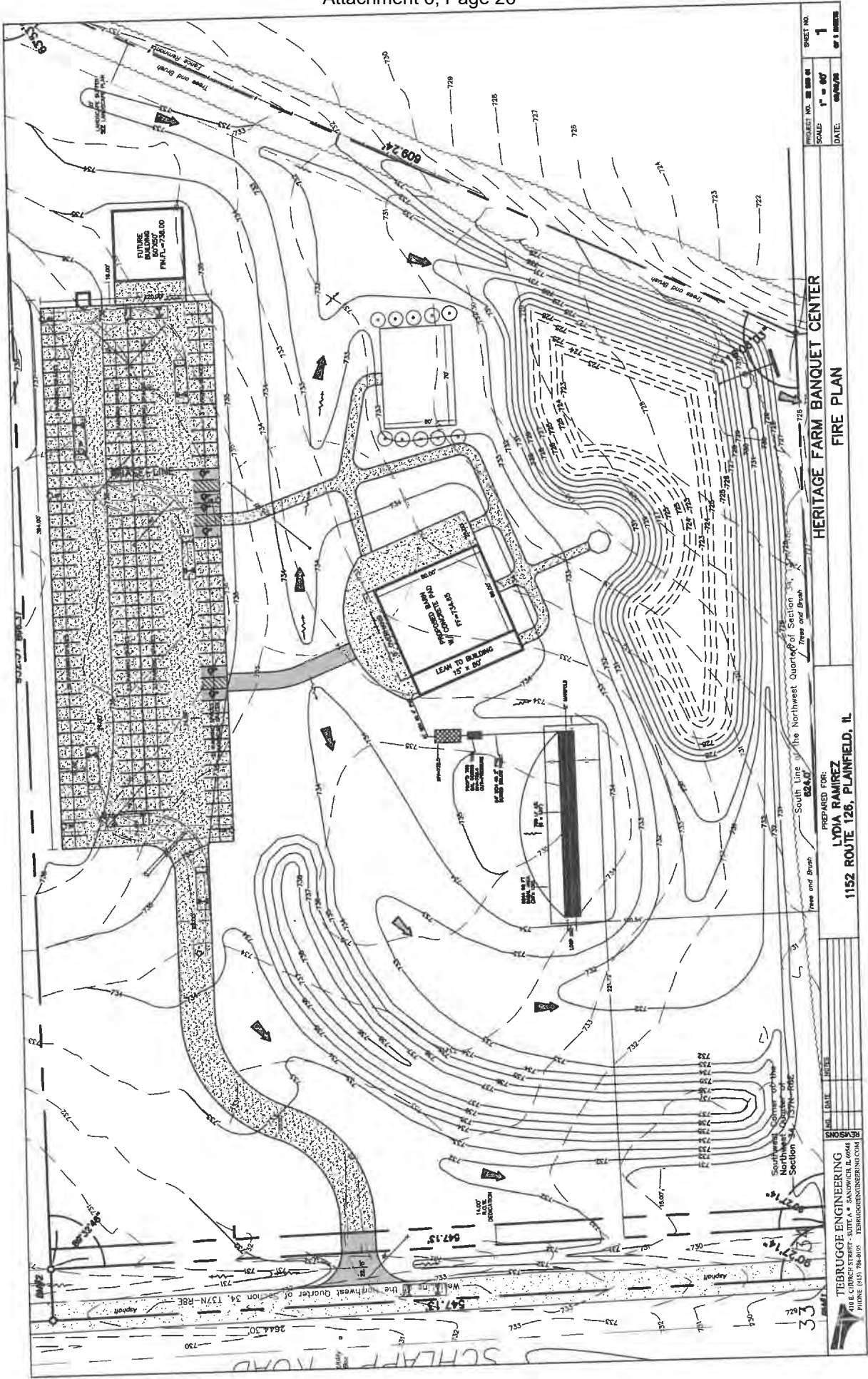
NO.	DATE	DESCRIPTION
1	6/14/22	ISSUE FOR PERMIT

APPROVED COUNTY ENGINEER: R. B. BISHOP

PREPARED FOR:
LYDIA RAMIREZ
1152 STATE ROUTE 126, PLAINFIELD, IL



Exhibit F



PROJECT NO. 22 000 01
 SCALE 1" = 60'
 DATE 09/27/23
 SHEET NO. 1
 OF 1 SHEETS

HERITAGE FARM BANQUET CENTER
 FIRE PLAN

PREPARED FOR:
 LYDIA RAMIREZ
 1152 ROUTE 126, PLAINFIELD, IL

TEBRUGGE ENGINEERING
 701 E. CHURCH STREET - SUITE A • SANDSPRING, IL 62448
 PHONE: (618) 786-9195 • TEBRUGGEENGINEERING.COM

NO.	DATE	REVISIONS

State of Illinois
County of Kendall

Zoning Petition
#24-20

MINOR AMENDMENT TO EXISTING SPECIAL USE

AMENDING THE SITE PLAN FOR A BANQUET FACILITY LOCATED AT 5438 SCHLAPP ROAD (FORMER THE 5100 BLOCK OF SCHLAPP ROAD) AND IDENTIFIED BY PARCEL IDENTIFICATION NUMBER 03-34-100-028 IN OSWEGO TOWNSHIP

WHEREAS, Section 13:08 of the Kendall County Zoning Ordinance permits the Kendall County Planning, Building and Zoning Committee of the Kendall County Board to approve minor amendments to existing special use permits and provides the procedure through which minor amendments to existing special use permits are granted; and

WHEREAS, the property which is the subject of this Ordinance has been, at all relevant times, and remains currently located within the A-1 Agricultural Zoning District and consists of approximately 10.0 acres located on the east side of Schlapp Road approximately 0.48 miles south of Plainfield Road (PIN: 03-34-100-028) in Oswego Township. The legal description for the subject property is set forth in Exhibit A attached hereto and incorporated by reference, and this property shall hereinafter be referred to as “the subject property.”; and

WHEREAS, on February 19, 2019, the Kendall County Board approved Ordinance 2019-3 which granted a special use permit for a banquet facility with conditions at the subject property; and

WHEREAS, on September 20, 2022, the Kendall County Board approved Ordinance 2022-26 which amended the special use permit for a banquet facility with conditions at the subject property; and

WHEREAS, Condition 2.A of Ordinance 2022-26 required the site be developed in accordance with an attached site plan; and

WHEREAS, the subject property is currently owned by Lydia Ramirez and hereinafter shall be referred to as “Petitioner”; and

WHEREAS, on or about September 4, 2024, Petitioner’s representative filed a petition for a minor amendment to Condition Number 2.A of Ordinance 2022-26 to install one terrace, one fireplace, one gazebo, one fence, two columns, and one fountain in the pond, and to change the gravel parking to asphalt; and

NOW, THEREFORE, BE IT ORDAINED, BY THE PLANNING, BUILDING AND ZONING COMMITTEE OF THE COUNTY BOARD OF KENDALL COUNTY, ILLINOIS, as follows:

1. The Planning, Building and Zoning Committee of the Kendall County Board finds that the requested minor amendment will result in equal or better performance than the original condition imposed and the property will still be in substantial compliance with the previously approved Ordinance 2019-3 and Ordinance 2022-26.
2. The Planning, Building and Zoning Committee of the Kendall County Board hereby grants approval of Petitioner’s petition for a minor amendment to Condition Number 2.A of Ordinance 2022-26 by allowing for the installation one eighty foot by twenty-two foot terrace at a maximum height of thirteen feet, one fireplace at a maximum height of six feet, one twenty-two foot by twelve foot gazebo at a maximum height of eleven feet, one fence along the western perimeter of the property, two columns, one water fountain in the pond, and asphalt instead of gravel in the locations depicted on the site plan attached hereto as Exhibit B.

State of Illinois
County of Kendall

Zoning Petition
#24-20

3. The amendment to the sign location shown on Exhibit B is not approved.
4. This minor amendment shall be treated as a covenant running with the land and is binding on the successors, heirs, and assigns as to the same special use conducted on the property.

IN WITNESS OF, this minor amendment to an existing special use permit has been enacted by a majority vote of the Planning, Building and Zoning Committee of the Kendall County Board and is effective this 9th day of September, 2024.

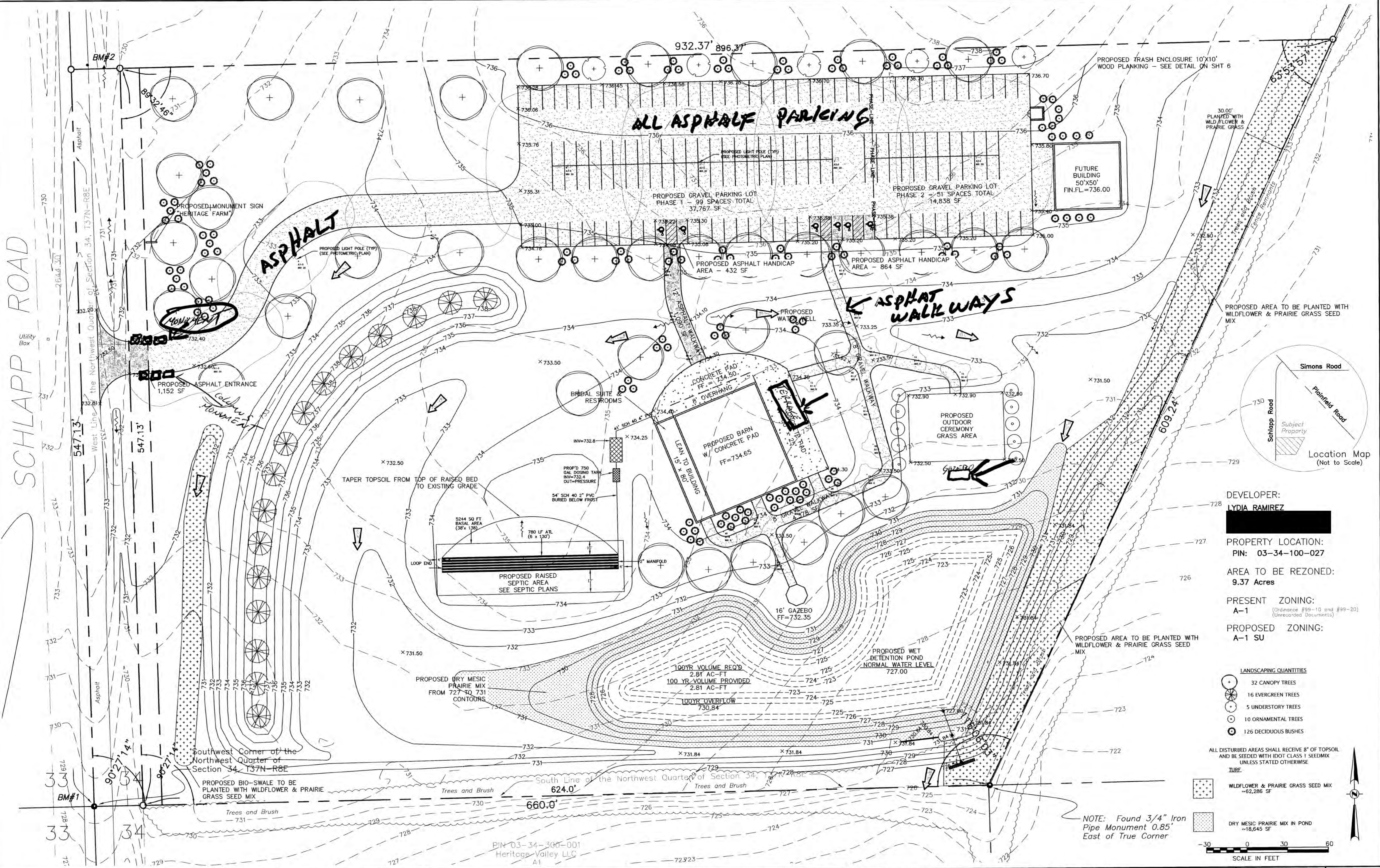
Attest:

Kendall County Zoning Administrator
Matthew H. Asselmeier

Kendall County PBZ Committee Chairman
Seth Wormley

Exhibit A Legal Description

That Part of the Northwest Quarter of Section 34, Township 37 North, Range 8 East of the Third Principal Meridian described as follows: Beginning at the Southwest Corner of said Northwest Quarter; thence Easterly, along the South Line of said Northwest Quarter, 660.0 feet; thence Northeasterly along a line which forms an angle of 116°06'03" with the last described course, measured clockwise therefrom, (said Northeasterly Line which if extended would intersect the the North Line of said Northwest Quarter at a point which is 660.0 feet Westerly of the Northeast Corner of said Northwest Quarter), 609.24 feet; thence Westerly, parallel with the South Line of said Northwest Quarter, 932.37 feet to the West Line of said Northwest Quarter; thence Southerly, along said West Line, 547.13 feet to the point of beginning in Oswego Township, Kendall County, Illinois.



DEVELOPER:
LYDIA RAMIREZ

PROPERTY LOCATION:
PIN: 03-34-100-027

AREA TO BE REZONED:
9.37 Acres

PRESENT ZONING:
A-1 (Ordinance #89-10 and #99-20) (Unrecorded Documents)

PROPOSED ZONING:
A-1 SU

- LANDSCAPING QUANTITIES
- 32 CANOPY TREES
 - 16 EVERGREEN TREES
 - 5 UNDERSTORY TREES
 - 10 ORNAMENTAL TREES
 - 126 DECIDUOUS BUSHES

ALL DISTURBED AREAS SHALL RECEIVE 8" OF TOPSOIL AND BE SEEDED WITH IDOT CLASS 1 SEEDMIX UNLESS STATED OTHERWISE

- TURF
- WILDFLOWER & PRAIRIE GRASS SEED MIX ~62,286 SF
 - DRY MESIC PRAIRIE MIX IN POND ~18,645 SF

NOTE: Found 3/4" Iron Pipe Monument 0.85' East of True Corner

