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**KENDALL COUNTY  
STORMWATER MANAGEMENT OVERSIGHT COMMITTEE  
PUBLIC HEARING**

111 West Fox Street • Room 209 and 210 • Yorkville, IL • 60560  
(630) 553-4141 Fax (630) 553-4179

**AGENDA**

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December 12, 2019 – 4:00 p.m.

CALL TO ORDER

ROLL CALL: Amy Cesich (Vice-Chair), Elizabeth Flowers, Scott Gengler, Tony Giles, Judy Gilmour, Scott Gryder (Chair), Audra Hendrix, Matt Kellogg, Matthew Prochaska, and Robyn Vickers

APPROVAL OF AGENDA

APPROVAL OF MINUTES October 11, 2018 Public Hearing/Meeting (Pages 2-4)

PUBLIC COMMENT

OPEN OF STORMWATER MANAGEMENT OVERSIGHT COMMITTEE PUBLIC HEARING

ITEMS OF BUSINESS FOR PUBLIC HEARING

1. **Petition 19-40 Kendall County Forest Preserve District (Pages 5-43)**

Request	Stormwater Management Variance
Location	Pickerill Pigot Forest Preserve (6350 Minkler Road)
PIN	05-01-300-004, 05-02-400-029, 05-02-400-030, 05-02-200-007, 05-02-200-003 and 05-02-200-006
Purpose	Request for approval of a Variance to Section 203.1 of the Kendall County Stormwater Management Ordinance Regarding Applicability of Site Runoff Storage Requirements. The Petitioner is Requesting that the Required 0.18 Acre-Foot Site Runoff Storage Requirement for the Proposed Forest Preserve Development be Varied in an Effort to Save Valuable Environmental Resources Including Native Trees
2. Comments on Stormwater Management Related Regulations and Enforcement (Pages 44-51)
3. Proposed Changes to the Kendall County Stormwater Management Ordinance (Page 44)

CLOSE OF STORMWATER MANAGEMENT OVERSIGHT COMMITTEE PUBLIC HEARING

OTHER BUSINESS

ADJOURNMENT

If special accommodations or arrangements are needed to attend this County meeting, please contact the Administration Office at 630-553-4171, a minimum of 24-hours prior to the meeting time.

**KENDALL COUNTY  
STORMWATER OVERSIGHT COMMITTEE  
PUBLIC HEARING  
*Kendall County Office Building  
Rooms 209 & 210  
111 W. Fox Street, Yorkville, Illinois*  
Meeting Minutes of October 11, 2018  
4:00 p.m.**

**CALL TO ORDER**

Member Purcell called the Stormwater Oversight Committee Public Hearing to order at 4:08 p.m.

**ROLL CALL**

Committee Members Present: Bob Davidson, Judy Gilmour, Audra Hendrix, Matt Kellogg, Matthew Prochaska, and John Purcell

Committee Members Absent: Lynn Cullick, Elizabeth Flowers, Tony Giles, and Scott Gryder

Also present: Matt Asselmeier, Senior Planner; Leslie Johnson, State's Attorney's Office; Megan Andrews, Kendall County Soil and Water Conservation District; and Jennifer Hughes, Village of Oswego

Due to the absence of Chairman Gryder, Member Hendrix made a motion to nominate Matthew Prochaska to the position of Acting-Chairman, seconded by Member Purcell. There were no additional nominees. By voice vote of all ayes, the nomination of Matthew Prochaska to the position of Acting-Chairman was approved.

**APPROVAL OF AGENDA**

Member Hendrix made a motion, seconded by Member Davidson, to approve the agenda as presented. With a voice vote of all ayes, the motion carried.

**APPROVAL OF MINUTES**

Member Hendrix made a motion, seconded by Member Gilmour, to approve the minutes of the September 5, 2017, public hearing and meeting. With a voice vote of all ayes, the motion carried.

**PUBLIC COMMENT**

None

**OPEN OF ANNUAL STORMWATER MANAGEMENT OVERSIGHT COMMITTEE  
PUBLIC HEARING**

Acting-Chairman Prochaska opened the Stormwater Management Oversight Committee Public Hearing at 4:10 p.m.

**Comments on Stormwater Management Related Regulations and Enforcement**

No comments from Staff, the Committee, or members of the public.

**Proposed Changes to the Kendall County Stormwater Management Ordinance**

No proposed changes by Staff, the Committee, or members of the public

**CLOSE OF ANNUAL STORMWATER MANAGEMENT OVERSIGHT COMMITTEE  
PUBLIC HEARING**

Member Purcell made a motion, seconded by Member Gilmour, to adjourn the Public Hearing. With a voice vote of all ayes the motion carried. Acting-Chairman Prochaska adjourned the Stormwater Management Oversight Committee Public Hearing at 4:11 p.m.

**OTHER BUSINESS**

None

**ADJOURNMENT**

Member Kellogg made a motion, seconded by Member Gilmour, to adjourn the meeting. With a voice vote of all ayes, the motion carried. The Stormwater Management Oversight Committee adjourned at 4:11 p.m.

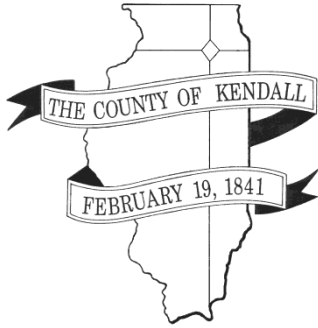
Respectfully submitted,  
Matthew H. Asselmeier, AICP  
Senior Planner

Enc.

**KENDALL COUNTY  
STORMWATER MANAGEMENT OVERSIGHT COMMITTEE  
OCTOBER 11, 2018**

IF YOU WOULD LIKE TO BE CONTACTED ON FUTURE MEETINGS REGARDING THIS TOPIC, PLEASE PROVIDE YOUR ADDRESS OR EMAIL ADDRESS

NAME	ADDRESS (OPTIONAL)	EMAIL ADDRESS (OPTIONAL)
Megan Andrews	Kendall SWCD 7775A Rt. 47 Yorkville 60560	Megan.Andrews@ il.nacdn.net
Jennifer Hughes	Village of Oswego 100 Parkers Mill Oswego, IL 60543	jhughes@ oswegoil.org



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**DEPARTMENT OF PLANNING, BUILDING & ZONING**

111 West Fox Street • Room 316

Yorkville, IL • 60560

(630) 553-4141

Fax (630) 553-4179

**MEMORANDUM**

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To: Stormwater Management Oversight Committee  
From: Matthew H. Asselmeier, AICP, Senior Planner  
Date: November 14, 2019  
Re: Petition 19-40 – Proposed Stormwater Management Request for the Kendall Forest Preserve District at the Pickerill Pigot Forest Preserve

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Kendall County received a request from the City of Plano for a variance to Section 203.1 of the Kendall County Stormwater Management Ordinance. The Kendall County Forest Preserve District desires to create a pond trail, shelter and parking area.

According to the application materials, “While the project results in new impervious surface totaling 484,115 square feet and a total development area of 312,348 square feet, the provision of site runoff storage would be prohibitive to achieve, given existing site grades and the linear nature of much of proposed new impervious surface, making implementation of runoff storage infeasible”. The Petitioner also desires to protect local environmental resources including several native trees.

The application is included as Attachment 1. The plat of survey is included as Attachment 2. The plan sets are included as Attachment 3.

Greg Chismark, from WBK, also provided comments which are included as Attachment 4. The Kendall County Forest Preserve District’s response is included as Attachment 5.

Based on the information provided by the Petitioner and WBK, Staff believes that the following findings of fact as required by Section 904.1 of the Kendall County Stormwater Management Ordinance have been met:

1. The variance will not increase the probability of flood damage or create an additional threat to the public health, safety or welfare.
2. The variance requested is the minimum relief necessary to accomplish the objectives of the development without compromising the objectives of Section 102 of the Kendall Stormwater Management Ordinance.
3. The variance will not result in a reduction of water quality benefits as compared to compliance with ordinance requirements.
4. The variance is not requested solely for the purpose of reducing site runoff storage requirements.
5. The variance shall not cause conveyance of stormwater from the project to increase peak discharges beyond design capacity of existing offsite conveyance facilities for any storm event from the 2-year to the 100-year recurrence frequency.
6. The variance shall seek to preserve valuable environmental and biological resources including but not limited to stands of native trees, existing wetlands and natural floodplain storage.

Staff recommends approval of the variance as proposed on the condition that the Kendall County

Forest Preserve Districts secures all applicable permits required by Local, State and Federal regulatory agencies and abides by any conditions placed on the permits and that the site is development substantially in accordance with the plan sets. A copy of a proposed variance ordinance without exhibits is included as Attachment 6.

If you have any questions prior to the December 12<sup>th</sup> meeting, please let me know.

MHA

- Attachment 1 Application
- Attachment 2 Plat of Survey
- Attachment 3 Plan Sets
- Attachment 4 Chismark Comments
- Attachment 5 Kendall County Forest Preserve District Response to Chismark Comments
- Attachment 6 Draft Variance Ordinance Without Exhibits

## Kendall County Variance Application

- a. **Site:** Pickerill Pigot Forest Preserve at 6350 Minkler Road, Yorkville, Illinois
- a. **Legal Description:** Below are the legal descriptions for all parcels that make up the forest preserve site. There are three parcel maps that accompany these for clarification and they are attached for reference.

LEGAL DESCRIPTION OF 26.9511 ACRE TRACT: That part of the East Half of Section 2, Township 36 North, Range 7 East of the Third Principal Meridian described as follows: Commencing at the Southeast Corner of the Southeast Quarter of said Section 2; thence North 00°30'37" West, along the East Line of said Southeast Quarter, 2159.16 feet for a point of beginning; thence North 00°30'37" West, along said East Line, 148.77 feet to the Southerly Line of a Tract conveyed to Penelope P. Dann by Warranty Deed recorded as Document 200600023830 on August 4, 2006; thence North 62°08'01" West, along said Southerly Line, 490.95 feet; thence North 60°57'37" West, along said Southerly Line, 893.98 feet; thence North 63°57'06" West, along said Southerly Line, 460.90 feet; thence North 89°25'50" West, along said Southerly Line, 303.18 feet to the Northeasterly Corner of a Tract conveyed to Five H, L.L.C. and described as Parcel One in a Warranty Deed recorded as Document 200100001972 on February 7, 2001; thence South 29°25'53" West, along the Easterly Line of said Five H, L.L.C. Tract, being also a Westerly Line of a Tract conveyed to Kenneth and Jacqueline Pickerill by Warranty Deed recorded as Document 71-3447 on September 14, 1971, a distance of 816.77 feet to a line drawn North 82°31'47" West from the point of beginning, being also the Southerly Line of said Pickerill Tract; thence South 82°31'47" East, along said Southerly Line of said Pickerill Tract, 2355.52 feet to the point of beginning in Kendall Township, Kendall County, Illinois, and containing 26.9511 acres.

LEGAL DESCRIPTION OF TRACT "A": That part of the East Half of Section 2, Township 36 North, Range 7 East of the Third Principal Meridian described as follows: Commencing at the Southeast Corner of the Southeast Quarter of said Section 2; thence North 00°30'37" West, along the East Line of said Southeast Quarter, 2159.16 feet; thence North 00°30'37" West, along said East Line, 148.77 feet to the Southerly Line of a Tract conveyed to Penelope P. Dann by Warranty Deed recorded as Document 200600023830 on August 4, 2006; thence North 62°08'01" West, along said Southerly Line, 490.95 feet; thence North 60°57'37" West, along said Southerly Line, 893.98 feet; thence North 63°57'06" West, along said Southerly Line, 460.90 feet; thence North 89°25'50" West, along said Southerly Line, 303.18 feet to the Northeasterly Corner of a Tract conveyed to Five H, L.L.C. and described as Parcel One in a Warranty Deed recorded as Document 200100001972 on February 7, 2001, for a point of beginning; thence South 89°25'50" East, along the Southerly Line of said Dann Tract, 35.85 feet; thence South 55°21'45" East, 382.62 feet; thence South 26°32'02" East, 172.35 feet; thence South 86°43'02" East, 262.44 feet; thence South 03°16'58" West, 157.48 feet; thence South 40°21'04" East, 142.24 feet; thence South 49°38'56" West, 103.0 feet; thence North 60°10'23" West, 278.28 feet; thence North 23°26'07" West, 379.50 feet; thence North 55°21'45" West, 378.87 feet to the Easterly Line of said Five H, L.L.C. Tract; thence North 29°25'53" East, along said Easterly Line, 20.0 feet to the point of beginning in Kendall Township, Kendall County, Illinois, and containing 2.3808 acres.

LEGAL DESCRIPTION: That part of the East Half of Section 2, Township 36 North, Range 7 East of the Third Principal Meridian described as follows: Commencing at the Southwest Corner of the Southeast Quarter of said Section 1; thence North 00°30'57" West, along the East Line of the West Half of said Section, 713.80 feet; thence South 65°34'48" West, 298.72 feet; thence South 88°31'15" West, 1516.20 feet to an iron pipe monument; thence North 88°45'06" West, 30.47 feet to an iron pipe monument on the line of a fence extended from the North, being the Westerly Line of a Tract conveyed

to Boughton Trucking and Materials, Inc. and described in Warranty Deed recorded as Document No. 9806174 on May 13, 1998; thence North 88°45'06" West, along a Southerly Line of a Tract described as Parcel One conveyed to John C. Pigott by Warranty Deed recorded as Document No. 70-3330 on November 24, 1970, a distance of 234.73 feet to an iron pipe monument; thence North 81°37'02" West, along said Southerly Line, 567.36 feet to an iron pipe monument on the East Line of said Section 2; thence North 00°30'37" West, along said East Line of said Section, 1612.69 feet for the point of beginning; thence North 62°08'01" West, 468.94 feet to an iron pipe monument on the Westerly Line of said Pigott Parcel One; thence North 60°57'37" West, along the Southerly Line of a Tract described as Parcel Three conveyed to John C. Pigott by Warranty Deed recorded as Document No. 70-3330 on November 24, 1970, a distance of 894.61 feet to an iron pipe monument; thence North 63°57'06" West, along said Southerly Line, 470.98 feet to an iron pipe monument; thence North 89°25'50" West, along said Southerly Line, 389.56 feet to an iron pipe monument; thence North 65°56'44" West, along said Southerly Line, 593.30 feet to the centerline of Minkler Road; thence South 28°28'49" West, along said centerline, 40.12 feet to a point on a line which is 40.0 feet southerly of and parallel with the last described course; thence South 65°56'44" East, along a line which is 40.0 feet southerly of and parallel with said Southerly Line, 604.71 feet to an iron pipe monument; thence South 89°25'50" East, along a line which is 40.0 feet southerly of and parallel with said Southerly Line, 388.83 feet; thence South 63°57'06" East, along a line which is 40.0 feet southerly of and parallel with said Southerly Line, 460.90 feet; thence South 60°57'37" East, along a line which is 40.0 feet southerly of and parallel with said Southerly Line, 893.98; thence South 62°08'01" East, along a line which is 40.0 feet southerly of and parallel with a Southerly Line of said Pigott Parcel One, 490.95 feet to said East Line of Section 2; thence North 00°30'37" West, along said East Line, 45.46 feet to the point of beginning the Kendall Township, Kendall County, Illinois and containing 2.5972 acres.

LEGAL DESCRIPTION OF PARCEL ONE: That part of the West Half of Section 1 and that part of the East Half of Section 2, Township 36 North, Range 7 East of the Third Principal Meridian described as follows: Commencing at the Southwest Corner of the Southeast Quarter of said Section 1; thence North 00°30'57" West, along the East Line of the West Half of said Section, 713.80 feet; thence South 65°34'48" West, 298.72 feet; thence South 88°31'15" West, 1516.20 feet to an iron pipe monument; thence North 88°45'06" West, 30.47 feet to an iron pipe monument on the line of a fence extended from the North, being the Westerly Line of a Tract conveyed to Boughton Trucking and Materials, Inc. and described in Warranty Deed recorded as Document No. 9806174 on May 13, 1998, for the point of beginning; thence North 88°45'06" West, along a Southerly Line of a Tract described as Parcel One conveyed to John C. Pigott by Warranty Deed recorded as Document No. 70-3330 on November 24, 1970, a distance of 234.73 feet to an iron pipe monument; thence North 81°37'02" West, along said Southerly Line, 567.36 feet to an iron pipe monument on the West Line of said Section 1; thence North 00°30'37" West, along said West Line of said Section, 1612.69 feet; thence North 62°08'01" West, 468.94 feet to an iron pipe monument on the Westerly Line of said Pigott Parcel One; thence North 13°41'35" East, along said Westerly Line of Pigott Parcel One, 928.57 feet to an iron pipe monument; thence South 60°32'16" East, along a Northerly Line of said Pigott Parcel One, 543.30 feet to an iron pipe monument; thence South 16°09'32" West, along an Easterly Line of said Pigott Parcel One, 120.38 feet to an iron pipe monument; thence South 65°59'24" East, along a Northerly Line of said Pigott Parcel One, 554.81 feet to an iron pipe monument; thence North 12°57'59" East, along a Westerly Line of said Pigott Parcel One, 213.97 feet to an iron pipe monument; thence South 72°00'40" East, along a Northerly Line of said Pigott Parcel One, 795.71 feet to an iron pipe monument on said Westerly Line of the Boughton Trucking Tract; thence South 25°44'00" West, along said Westerly Line of the Boughton Trucking Tract, 1027.44 feet to an iron pipe monument; thence North 86°44'00" West, along a Northerly Line of said Boughton Trucking Tract, 314.07 feet to an iron pipe monument; thence South 00°36'46" East, along said Westerly Line of the Boughton Trucking Tract, 1268.42 feet to the point of beginning in Kendall Township, Kendall County, Illinois and containing 64.247 acres. LEGAL DESCRIPTION OF PARCEL TWO: That part of the East Half of Section 2,



Township 36 North, Range 7 East of the Third Principal Meridian described as follows: Commencing at the Southwest Corner of the Southeast Quarter of said Section 1; thence North 00°30'57" West, along the East Line of the West Half of said Section, 713.80 feet; thence South 65°34'48" West, 298.72 feet; thence South 88°31'15" West, 1516.20 feet to an iron pipe monument; thence North 88°45'06" West, 30.47 feet to an iron pipe monument on the line of a fence extended from the North, being the Westerly Line of a Tract conveyed to Boughton Trucking and Materials, Inc. and described in Warranty Deed recorded as Document No. 9806174 on May 13, 1998; thence North 88°45'06" West, along a Southerly Line of a Tract described as Parcel One conveyed to John C. Pigott by Warranty Deed recorded as Document No. 70-3330 on November 24, 1970, a distance of 234.73 feet to an iron pipe monument; thence North 81°37'02" West, along said Southerly Line, 567.36 feet to an iron pipe monument on the West Line of said Section 1; thence North 00°30'37" West, along said West Line of said Section, 1612.69 feet; thence North 62°08'01" West, 468.94 feet to an iron pipe monument on the Westerly Line of said Pigott Parcel One for the point of beginning; thence North 60°57'37" West, along the Southerly Line of a Tract described as Parcel Three conveyed to John C. Pigott by Warranty Deed recorded as Document No. 70-3330 on November 24, 1970, a distance of 894.61 feet to an iron pipe monument; thence North 63°57'06" West, along said Southerly Line, 470.98 feet to an iron pipe monument; thence North 89°25'50" West, along said Southerly Line, 389.56 feet to an iron pipe monument; thence North 65°56'44" West, along said Southerly Line, 593.30 feet to the centerline of Minkler Road; thence North 29°46'26" East, along said centerline, 33.17 feet to a point on a line which is 33.0 feet north of and parallel with the last described course, being the Northerly Line of said Pigott Parcel Three; thence South 65°56'44" East, along said Northerly Line, 583.13 feet to an iron pipe monument; thence South 89°25'50" East, along said Northerly Line, 390.16 feet to an iron pipe monument; thence South 63°57'06" East, along said Northerly Line, 479.31 feet to an iron pipe monument; thence South 60°57'37" East, along said Northerly Line, 886.42 feet to the Easterly Line of said Pigott Parcel Three; thence South 13°41'35" West, 34.22 feet to the point of beginning in Kendall Township, Kendall County, Illinois and containing 1.776 acres.

- b. Applicant and Owner:** Forest Preserve District of Kendall County, 111 W. Madison Avenue, Yorkville, IL 60560
- c. N/A** No portion of the lands are held in trust.
- d. N/A**
- e. Consultants:** Upland Design Ltd, 24042 Lockport Street, Plainfield, Illinois, 60544  
Hey and Associates, 26575 W. Commerce Drive, Volo, Illinois, 60073
- f. Adjacent property owners within 250':**  
Property Address: None-pin 05-02-400-016  
Property Owner Name and Mailing Address: FIRST MIDWEST BANK BLOCK TRUST ,2801 W JEFFERSON ST, JOLIET IL 60435  
Property Address: None-pin 05-02-400-025  
Property Owner Name and Mailing Address: MYERS TRUST 1, MYERS GISELE TRUSTEE, YORKVILLE IL 60560  
Property Address: None – Pin 05-01-100-010  
Property Owner Name and Mailing Address: BOUGHTON TRUCKING & MATERIALS, 11746 NAPERVILLE-PLAINFIELD RD, PLAINFIELD IL 60544  
Property Address: 6700A RESERVATION RD ,YORKVILLE IL 60560  
Property Owner Name and Mailing Address: JORGENSEN STANLEY & LAUNA, 6700A RESERVATION RD, YORKVILLE IL 60560  
Property Address 6600 MINKLER RD, YORKVILLE IL 60560

Property Owner Name and Mailing Address: JAFFKE EMILY, 6600 MINKLER RD, YORKVILLE IL 60560

Property Address 6650B MINKLER RD, YORKVILLE IL 60560

Property Owner Name and Mailing Address: HALMAGYI WILLIAM TRUST, 6650 B MINKLER RD, YORKVILLE IL 60560

Site Address: 6361 MINKLER RD, YORKVILLE IL 60560

Property Owner Name and Mailing Address: FIVE H LLC, 13351 B FAXON RD, PLANO IL 60545

Property Address: 6272 MINKLER RD, YORKVILLE IL 60560

Property Owner and Mailing Address: OLD 2ND NATIONAL BANK, RONALD WEHRLI, OSWEGO IL 60543

Site Address: 6530 MINKLER RD ,YORKVILLE IL 60560Property Owner and Mailing Address LOOS KENNETH A & DAWN M, 6530 MINKLER RD, YORKVILLE IL 60560

Site Address: 6600 MINKLER RD ,YORKVILLE IL 60560

Property Owner and Mailing JAFFKE EMILY, 6600 MINKLER RD, YORKVILLE IL 60560

Site Address: 6650D MINKLER RD ,YORKVILLE IL 60560

Property Owner and Mailing SMITHMEYER PHILIP M & SUSAN M, 6650 D MINKLER RD, YORKVILLE IL 60560

Property Address: None – Pin 05-01-300-003

Property Owner and Mailing Address STEWART FARMS LLC R CRAIG STEWART, 6605 RTE 126, YORKVILLE IL 60560

- g. Feature that requires variance: The petitioner is requesting variance relief in creating on site detention for the proposed forest preserve development in an effort to save valuable environmental resources including native trees. The goal is to provide public access to the forest preserve site and at the same time retain the existing trees, establish prairie at the site and keep the existing native soil structure in place. By keeping the existing soil structure, the proposed native plantings will establish and thrive, existing trees can be preserved and the important habitat will be maintained and enhanced.
- h. Specific provision of the Certified Community Stormwater Ordinance from which the stormwater variance is sought and the precise extent of the variance there from; The petitioner is seeking a variance from the requirements of Section 203.1.b of the Kendall County Stormwater Management Ordinance (Ordinance) that requires Site Runoff Storage for non-residential development that results in either 45,000 square feet of development or 32,000 square feet of new impervious surface. While the project results in new impervious surface totaling 48,4115 square feet and a total development area of 312, 348 square feet, the provision of site runoff storage would be prohibitive to achieve, given existing site grades and the linear nature of much of proposed new impervious surface, making implementation of runoff storage infeasible.

The attached exhibit shows site calculations on Table 203 of the Ordinance, identifying that the variance is requesting that the required 0.18 acre-feet Site Runoff Storage be waived.

We note that the proposed site use will remain largely open space under the operation of the Forest Preserve District. All proposed impervious area will surface drain to vegetated surface, and not create

new point discharges in the form of storm sewer. Further, the existing on-site man-made pond volume will be maintained and to the extent practical, new impervious surfaces will drain to the pond to mitigate any increase in discharges from the surfaces. The proposed pond trail will be constructed such that any pond overflows will occur in very shallow depths over a long length of the trail, eliminating the need for a concentrated outlet point that would be needed in the event Site Runoff Storage were included per the Ordinance. All other Ordinance requirements will be met

- i. Specific Provision of the Stormwater ordinance from which variance is being requested and the precise extent of the variance there from: See above under h.
- j. See above under h.
- k. A statement that the variance requested is the minimum variance necessary to permit the development; the variance is the minimum to both create access while saving and protecting existing native vegetation and soil structures in place for the establishment and enhancement of native habitat on the site.
- l. A statement as to how the variance requested satisfies the standards set forth in Section 904 of this ordinance;

The variance will not increase the probability of flood damage or create an additional threat to the public health, safety or welfare. The variance will not result in a reduction of water quality benefits as compared to compliance with ordinance requirements.

The variance shall not cause conveyance of stormwater from the project to increase peak discharges beyond design capacity of existing offsite conveyance facilities for any storm event from the 2-year to the 100-year recurrence frequency.

The variance shall seek to preserve valuable environmental and biological resources including but not limited to stands of native trees, existing wetlands and natural floodplain storage.

The variation is in harmony with the general purpose and intent of the zoning ordinance.

The granting of the variation will not impair an adequate supply of light and air to the adjacent property.

The granting of the variation will not increase hazard from fire or other dangers to said property.

The granting of the variation will not diminish the value of land and building throughout the County.

The granting of the variance will not be detrimental to the public welfare or be in conflict with the County's comprehensive plan for development.

Total New Impervious = 1.11 AC  
Total Project Area = 7.17 AC  
Impervious Percentage = 15.5%  
AC-FT/AC (100-Year)= 0.16  
1.11 AC New Imp. x 0.16 = 0.18 AC-FT

5/21/2013

### DETENTION VOLUME VS PERCENT IMPERVIOUS 2-YEAR AND 100-YEAR UNIT AREA DETENTION

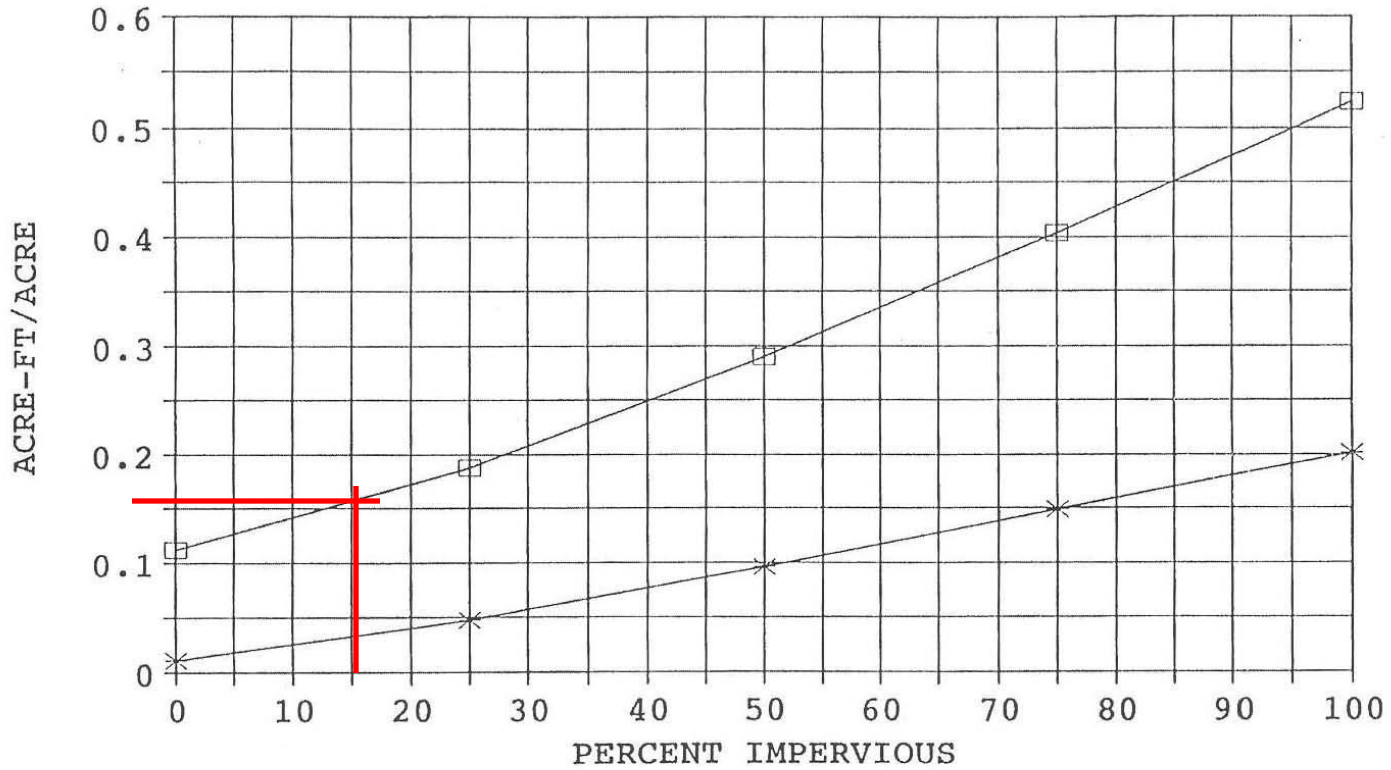


Table 203

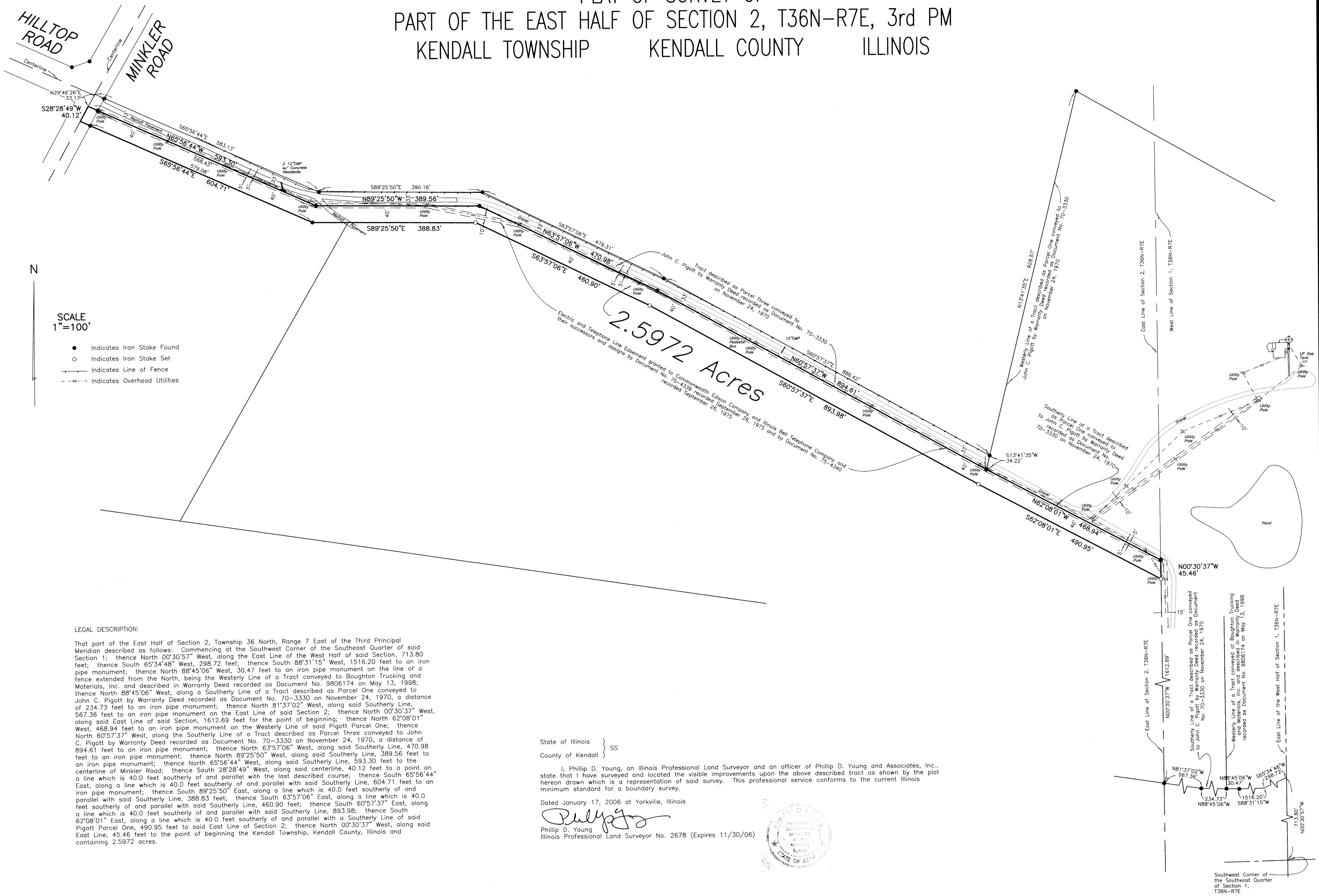
2-year release = 0.04 cfs/acre, 100-year release = 0.15 cfs/acre

—\*— 2-YEAR    —□— 100-YEAR

Reference: Northeastern Illinois Planning Commission, Investigation of Hydrologic Methods for Urban Development in Northeastern Illinois

Article 2 Page 10

# PLAT OF SURVEY OF PART OF THE EAST HALF OF SECTION 2, T36N-R7E, 3rd PM KENDALL TOWNSHIP      KENDALL COUNTY      ILLINOIS



**SCALE**  
1"=100'

- Indicates Iron Stake Found
- Indicates Iron Stake Set
- Indicates Line of Fence
- - - - Indicates Overhead Utilities

**LEGAL DESCRIPTION:**

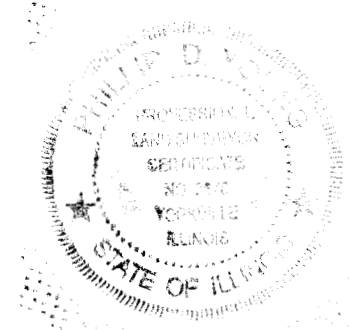
That part of the East Half of Section 2, Township 36 North, Range 7 East of the Third Principal Meridian described as follows: Commencing at the Southwest Corner of the Southeast Quarter of said Section 1; thence North 00°30'57" West, along the East Line of the West Half of said Section, 713.80 feet; thence South 65°34'48" West, 298.72 feet; thence South 88°31'15" West, 1516.20 feet to an iron pipe monument; thence North 88°45'06" West, 30.47 feet to an iron pipe monument on the line of a fence extended from the North, being the Westerly Line of a Tract conveyed to Boughton Trucking and Materials, Inc. and described in Warranty Deed recorded as Document No. 9806174 on May 13, 1998; thence North 88°45'06" West, along a Southerly Line of a Tract described as Parcel One conveyed to John C. Pigott by Warranty Deed recorded as Document No. 70-3330 on November 24, 1970, a distance of 234.73 feet to an iron pipe monument; thence North 81°37'02" West, along said Southerly Line, 567.36 feet to an iron pipe monument on the East Line of said Section 2; thence North 00°30'37" West, along said East Line of said Section, 1612.69 feet for the point of beginning; thence North 62°08'01" West, 468.94 feet to an iron pipe monument on the Westerly Line of said Pigott Parcel One; thence North 60°57'37" West, along the Southerly Line of a Tract described as Parcel Three conveyed to John C. Pigott by Warranty Deed recorded as Document No. 70-3330 on November 24, 1970, a distance of 894.61 feet to an iron pipe monument; thence North 63°57'06" West, along said Southerly Line, 470.98 feet to an iron pipe monument; thence North 89°25'50" West, along said Southerly Line, 389.56 feet to an iron pipe monument; thence North 65°56'44" West, along said Southerly Line, 593.30 feet to the centerline of Minkler Road; thence South 28°28'49" West, along said centerline, 40.12 feet to a point on a line which is 40.0 feet southerly of and parallel with the last described course; thence South 65°56'44" East, along a line which is 40.0 feet southerly of and parallel with said Southerly Line, 604.71 feet to an iron pipe monument; thence South 89°25'50" East, along a line which is 40.0 feet southerly of and parallel with said Southerly Line, 388.83 feet; thence South 63°57'06" East, along a line which is 40.0 feet southerly of and parallel with said Southerly Line, 460.90 feet; thence South 60°57'37" East, along a line which is 40.0 feet southerly of and parallel with said Southerly Line, 893.98 feet; thence South 62°08'01" East, along a line which is 40.0 feet southerly of and parallel with a Southerly Line of said Pigott Parcel One, 490.95 feet to said East Line of Section 2; thence North 00°30'37" West, along said East Line, 45.46 feet to the point of beginning the Kendall Township, Kendall County, Illinois and containing 2.5972 acres.

State of Illinois    } SS  
County of Kendall    }

I, Phillip D. Young, an Illinois Professional Land Surveyor and an officer of Phillip D. Young and Associates, Inc., state that I have surveyed and located the visible improvements upon the above described tract as shown by the plat hereon drawn which is a representation of said survey. This professional service conforms to the current Illinois minimum standard for a boundary survey.

Dated January 17, 2006 at Yorkville, Illinois

*Phillip D. Young*  
Phillip D. Young  
Illinois Professional Land Surveyor No. 2678 (Expires 11/30/06)

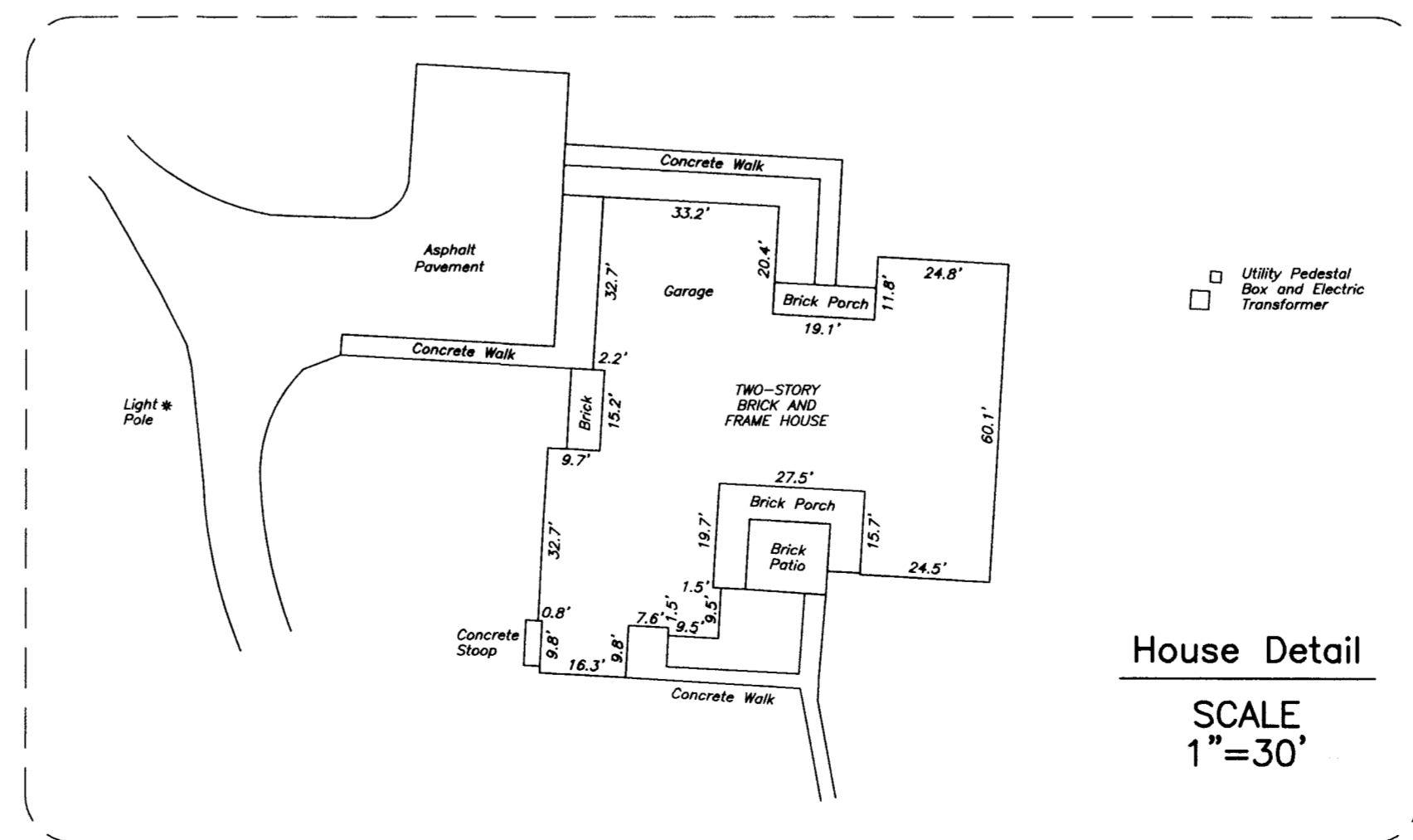
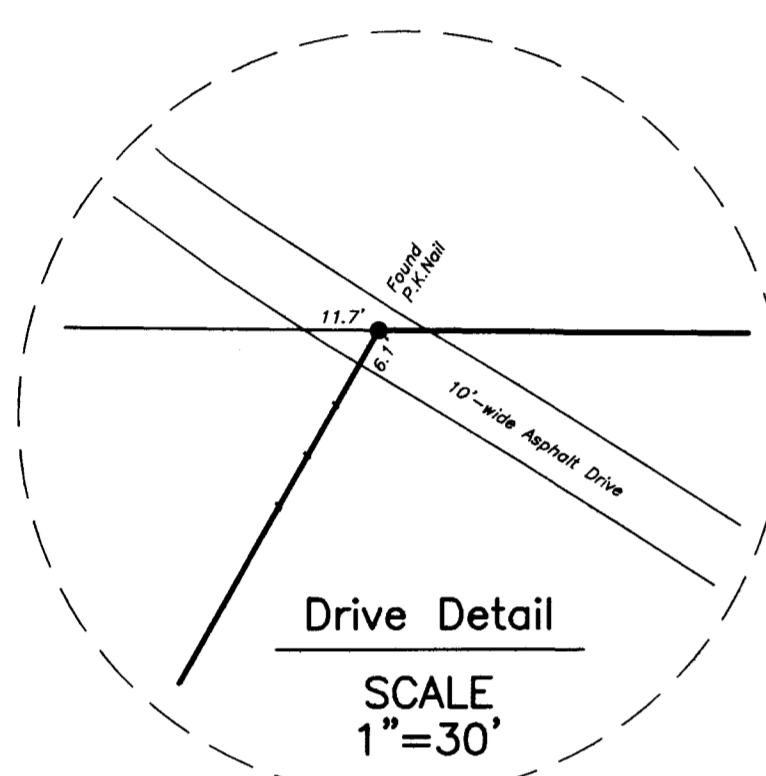
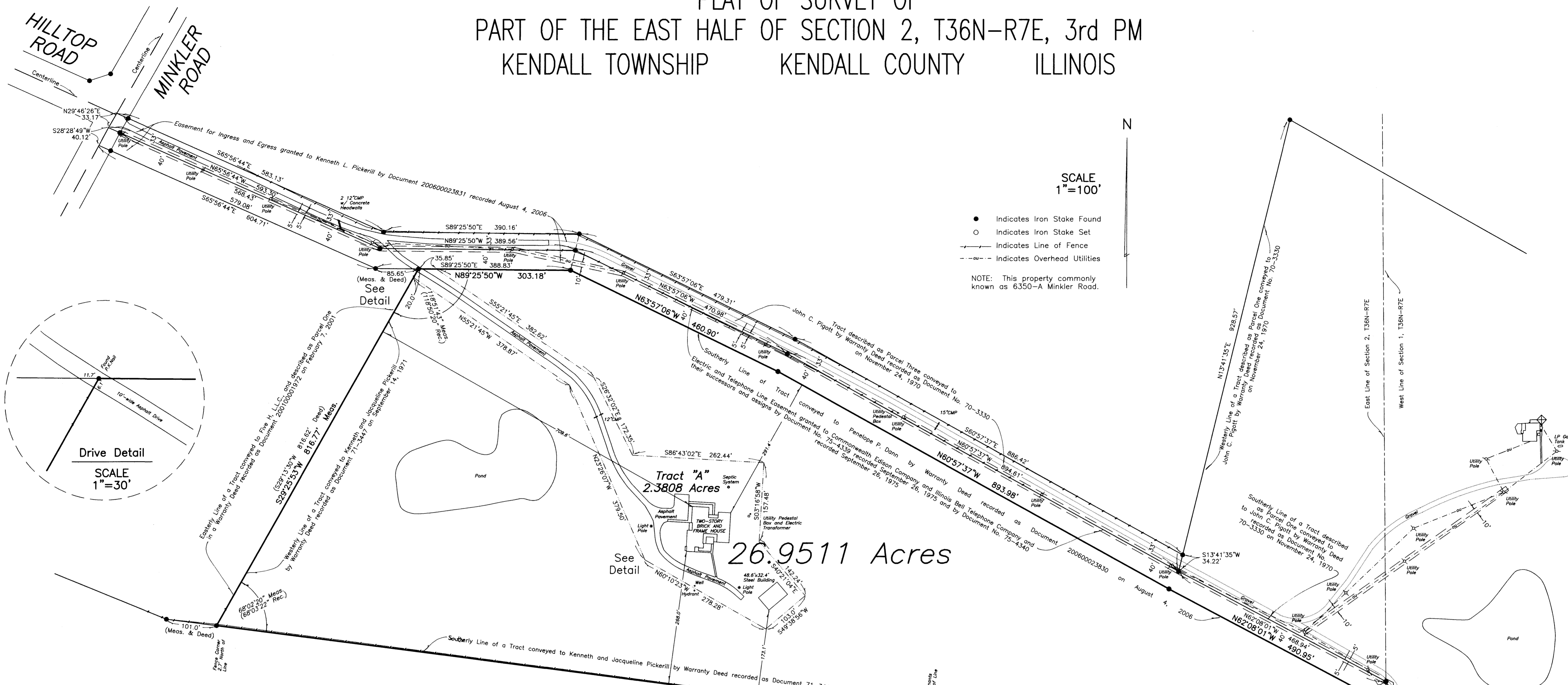


1107B South Bridge Street  
Yorkville, Illinois 60560  
Telephone (630)553-1580

**Phillip D. Young and Associates, Inc.**  
LAND SURVEYING - TOPOGRAPHIC MAPPING - Lic.#184-002775

JOB NO.	JOB NAME	DWG FILE	REVISION DATE
06008	DANN	06008	

# PLAT OF SURVEY OF PART OF THE EAST HALF OF SECTION 2, T36N-R7E, 3rd PM KENDALL TOWNSHIP KENDALL COUNTY ILLINOIS



**LEGAL DESCRIPTION OF 26.9511 ACRE TRACT:**  
That part of the East Half of Section 2, Township 36 North, Range 7 East of the Third Principal Meridian described as follows: Commencing at the Southeast Corner of the Southeast Quarter of said Section 2; thence North 00°30'37" West, along the East Line of said Southeast Quarter, 2159.16 feet for a point of beginning; thence North 00°30'37" West, along said East Line, 148.77 feet to the Southerly Line of a Tract conveyed to Penelope P. Dann by Warranty Deed recorded as Document 200600023830 on August 4, 2006; thence North 62°08'01" West, along said Southerly Line, 490.95 feet; thence North 89°25'50" West, along said Southerly Line, 303.18 feet to the Northeastly Corner of a Tract conveyed to Five H, L.L.C. and described as Parcel One in a Warranty Deed recorded as Document 200100001972 on February 7, 2001; thence South 29°25'53" West, along the Easterly Line of said Five H, L.L.C. Tract, being also a Westerly Line of a Tract conveyed to Kenneth and Jacqueline Pickerill by Warranty Deed recorded as Document 71-3447 on September 14, 1971, a distance of 816.77 feet to a line drawn North 82°31'47" West from the point of beginning, being also the Southerly Line of said Pickerill Tract; thence South 82°31'47" East, along said Southerly Line of said Pickerill Tract, 2355.52 feet to the point of beginning in Kendall Township, Kendall County, Illinois, and containing 26.9511 acres.

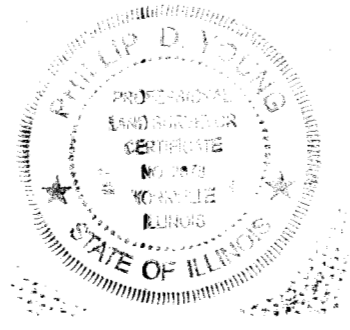
**LEGAL DESCRIPTION OF TRACT "A":**  
That part of the East Half of Section 2, Township 36 North, Range 7 East of the Third Principal Meridian described as follows: Commencing at the Southeast Corner of the Southeast Quarter of said Section 2; thence North 00°30'37" West, along the East Line of said Southeast Quarter, 2159.16 feet; thence North 00°30'37" West, along said East Line, 148.77 feet to the Southerly Line of a Tract conveyed to Penelope P. Dann by Warranty Deed recorded as Document 200600023830 on August 4, 2006; thence North 62°08'01" West, along said Southerly Line, 490.95 feet; thence North 89°25'50" West, along said Southerly Line, 303.18 feet to the Northeastly Corner of a Tract conveyed to Five H, L.L.C. and described as Parcel One in a Warranty Deed recorded as Document 200100001972 on February 7, 2001, for a point of beginning; thence South 89°25'50" East, along the Southerly Line of said Dann Tract, 35.85 feet; thence South 55°21'45" East, 382.62 feet; thence South 26°32'02" East, 172.35 feet; thence South 86°43'02" East, 262.44 feet; thence South 03°16'58" West, 157.48 feet; thence South 40°21'04" East, 142.24 feet; thence South 49°38'56" West, 103.0 feet; thence North 60°10'23" West, 278.28 feet; thence North 23°26'07" West, 379.50 feet; thence North 55°21'45" West, 378.87 feet to the Easterly Line of said Five H, L.L.C. Tract; thence North 29°25'53" East, along said Easterly Line, 20.0 feet to the point of beginning in Kendall Township, Kendall County, Illinois, and containing 2.3808 acres.

State of Illinois }  
County of Kendall } SS

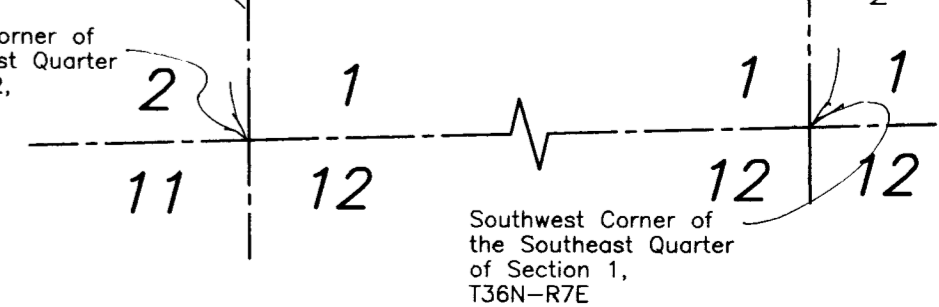
I, Phillip D. Young, an Illinois Professional Land Surveyor and an officer of Phillip D. Young and Associates, Inc., state that I have surveyed and located the visible improvements upon the above described tract as shown by the plat hereon drawn which is a representation of said survey. This professional service conforms to the current Illinois minimum standard for a boundary survey.

Dated October 17, 2007 at Yorkville, Illinois

*Phillip D. Young*  
Phillip D. Young  
Illinois Professional Land Surveyor No. 2678 (Expires 11/30/08)



Plat Revised 10/29/07 to show Tract "A" and Tract "A" legal description.



1107B South Bridge Street  
Yorkville, Illinois 60560  
Telephone (630)553-1580

**Philip D. Young and Associates, Inc.**  
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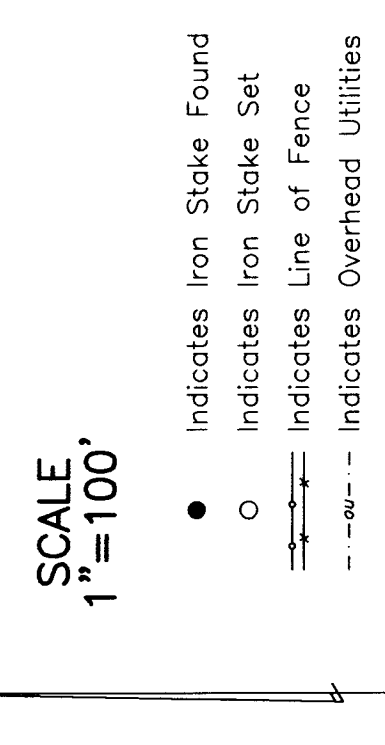
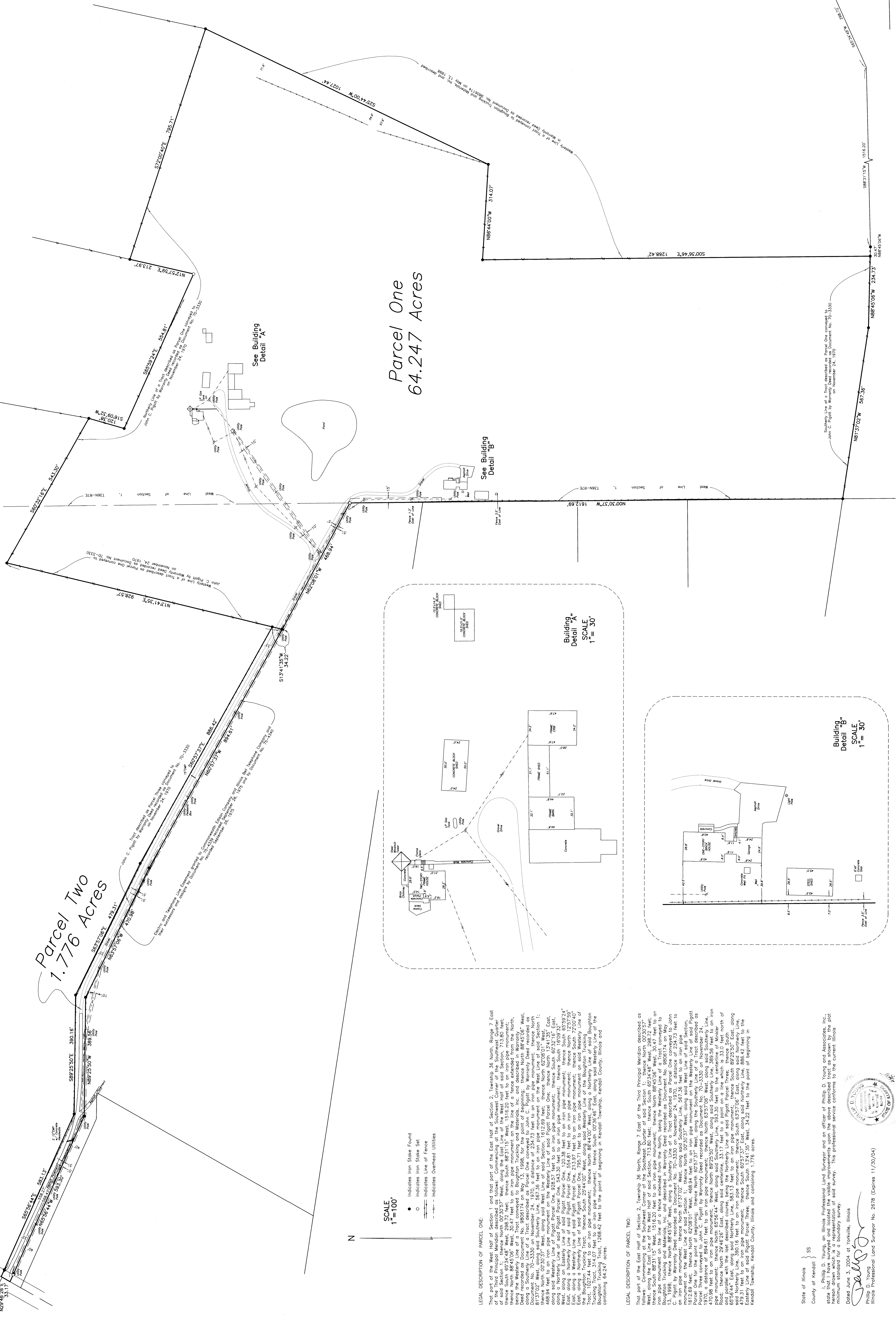
JOB NO.	07078
JOB NAME	PICKERILL
DWG FILE	07078B
REVISION DATE	10/29/07

PLAT OF SURVEY OF  
PART OF THE WEST HALF OF SECTION 1 AND PART OF THE EAST HALF OF SECTION 2, T36N-R7E, 3rd PM  
KENDALL TOWNSHIP KENDALL COUNTY ILLINOIS

HILLTOP ROAD  
MINKLER ROAD

Parcel Two  
1.776 Acres

Parcel One  
64.247 Acres



LEGAL DESCRIPTION OF PARCEL ONE:  
That part of the West half of Section 1 and that part of the East half of Section 2, Township 36 North, Range 7 East of the West half of the East half of Section 1 and that part of the East half of Section 2, Township 36 North, Range 7 East of the West half of the East half of Section 1, thence North 00°30'37\"/>

LEGAL DESCRIPTION OF PARCEL TWO:  
That part of the East half of Section 2, Township 36 North, Range 7 East of the West half of the East half of Section 1, thence North 00°30'37\"/>

State of Illinois }  
County of Kendall } SS  
Philip D. Young, Illinois Professional Land Surveyor No. 2678 (Expires 11/30/04)

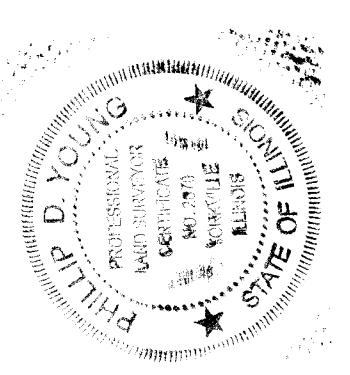
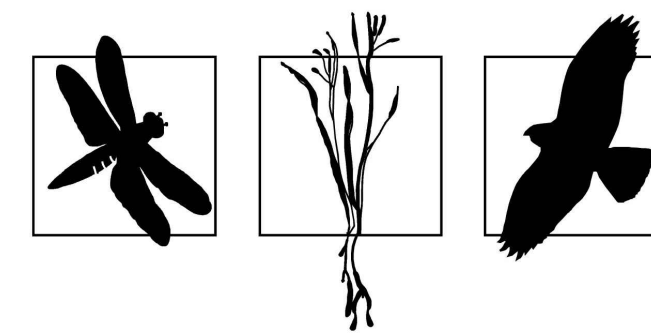


Table with 4 columns: JOB NO., JOB NAME, DWG. FILE, REVISION DATE. Values: 046041, PHILIP D. YOUNG AND ASSOCIATES, INC., 1107B SOUTH BRIDGE STREET, YORKVILLE, ILLINOIS 60560, TELEPHONE (630) 553-1580.

Philip D. Young and Associates, Inc.  
LAND SURVEYING -- TOPOGRAPHIC MAPPING -- Lic.#184-002775  
1107B South Bridge Street  
Yorkville, Illinois 60560  
Telephone (630) 553-1580

# Pickerill Piggot Forest Preserve: Public Access Phase 1 OSLAD Development

6350 Minkler Road, Yorkville, Illinois 60560



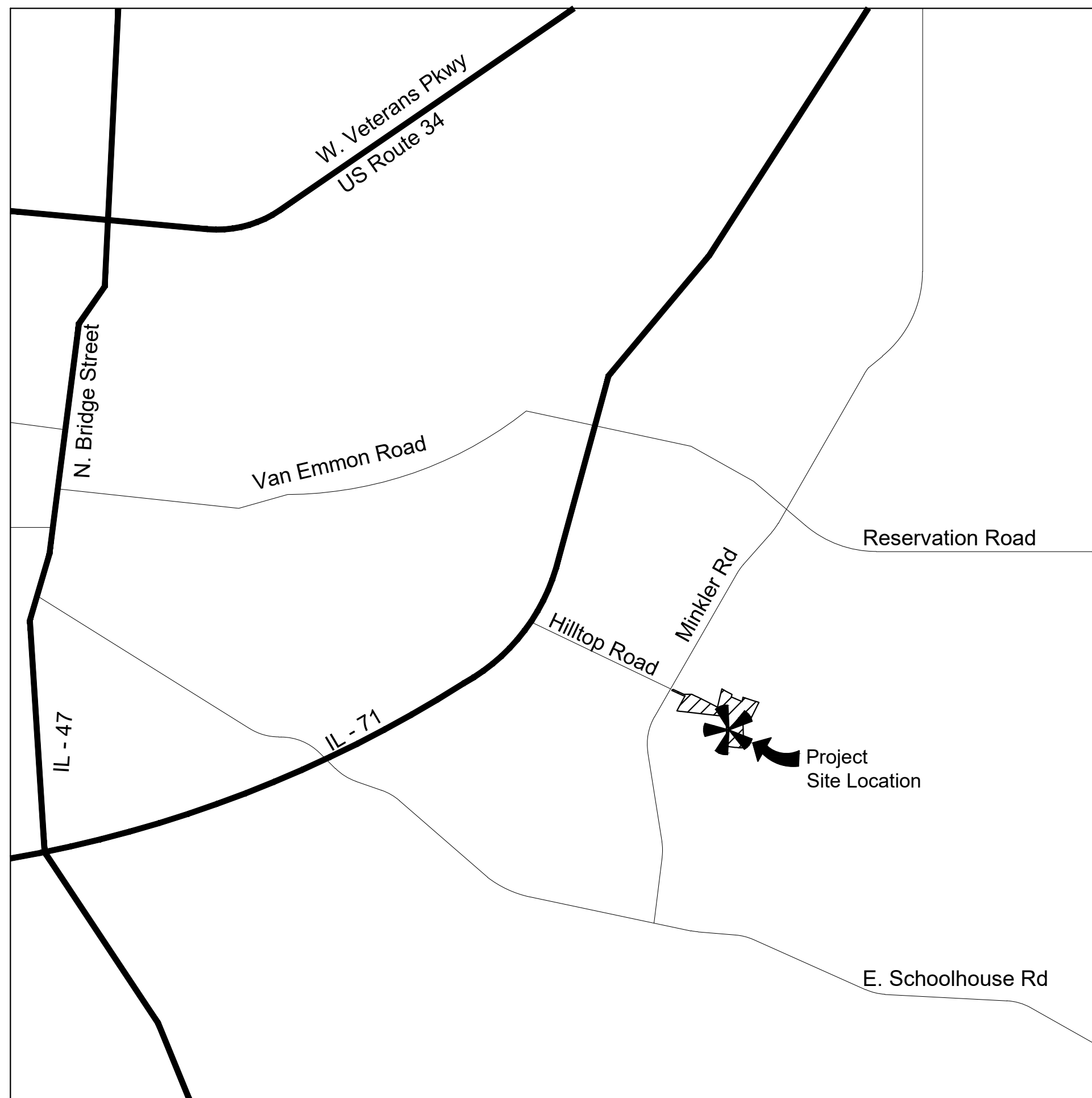
Kendall County Forest Preserve District

110 W. Madison Street  
Yorkville, IL 60560

Partially Funded by Illinois Department of Natural Resources  
OSLAD Grant No. OS 19 - 2018

## SHEET INDEX

- 1.0 Title Sheet
- 2.0 Existing Conditions & Removals Plan - Overall
- 2.1 Existing Conditions & Removals Plan - Entrance
- 2.2 Existing Conditions & Removals Plan - Shelter & Parking
- 2.3 Existing Conditions & Removals Plan - House
- 2.4 Existing Conditions & Removals Plan - Overlook
- 3.0 Layout Plan - Overall
- 3.1 Layout Plan - Entrance
- 3.2 Layout Plan - Shelter & Parking Lot
- 3.3 Layout Plan - House
- 3.4 Layout Plan - Overlook
- 4.0 Grading Plan - Overall
- 4.1 Grading Plan - Entrance
- 4.2 Grading Plan - Shelter & Parking Lot
- 4.3 Grading Plan - House
- 4.4 Grading Plan - Overlook
- 4.5 Erosion Control Plan
- 5.0 Construction Details
- 5.1 Construction Details
- 5.2 Construction Details



LOCATION MAP

SCALE: not to scale



### LANDSCAPE ARCHITECT:



Landscape Architecture & Park Planning  
1250 W. 18th St, Chicago, Illinois 60608  
24042 Lockport St, Plainfield, Illinois 60544  
815-254-0091 www.uplandDesign.com

IL License 060-007797

### CIVIL ENGINEER:

**Hey and Associates, Inc.**

Engineering, Ecology and Landscape Architecture  
26575 WEST COMMERCE DRIVE, SUITE 601  
VOLO, ILLINOIS 60073  
OFFICE (847) 740-0888  
FAX (847) 740-2888  
VOLO@HEYASSOC.COM

IL License 184-002429

### SURVEYOR:

Prairie Land Survey Company  
2342 Woodhill Court  
Plainfield, Illinois  
Phone: 815-341-0659

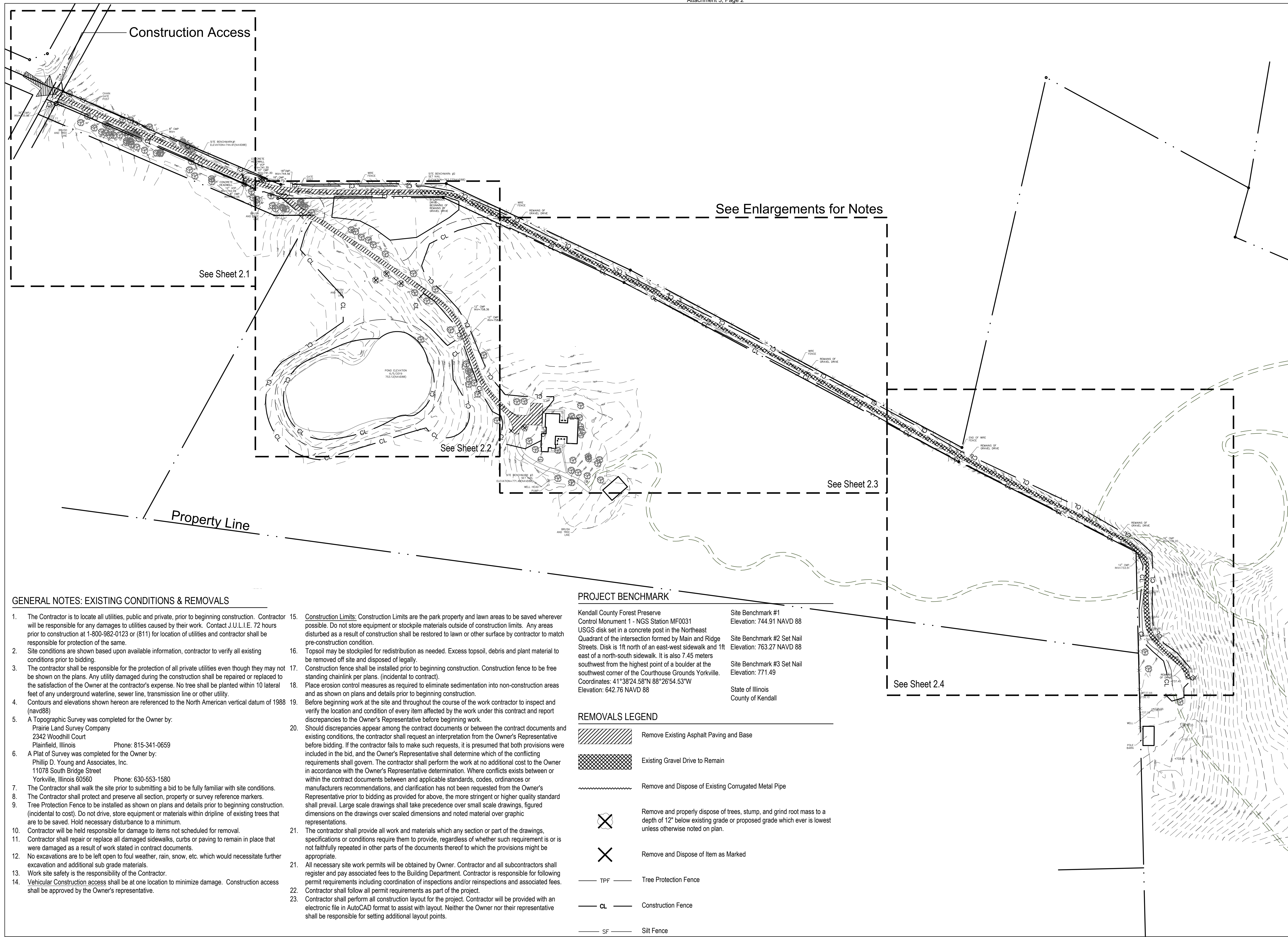


This project has been prepared by and reviewed by Licensed Landscape Architects.  
Michelle A. Kelly # 157.001002  
Heath A. Wright # 157.000994  
Maria Blood # 157.001511

SHEET NUMBER **1.0**

Pickerill-Piggot Forest Preserve: Public Access  
Phase I OSLAD Development  
Project Number 737  
October 18, 2019  
95% Construction Documents  
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**GENERAL NOTES: EXISTING CONDITIONS & REMOVALS**

1. The Contractor is to locate all utilities, public and private, prior to beginning construction. Contractor will be responsible for any damages to utilities caused by their work. Contact J.U.L.I.E. 72 hours prior to construction at 1-800-982-0123 or (811) for location of utilities and contractor shall be responsible for protection of the same.
2. Site conditions are shown based upon available information, contractor to verify all existing conditions prior to bidding.
3. The contractor shall be responsible for the protection of all private utilities even though they may not be shown on the plans. Any utility damaged during the construction shall be repaired or replaced to the satisfaction of the Owner at the contractor's expense. No tree shall be planted within 10 lateral feet of any underground waterline, sewer line, transmission line or other utility.
4. Contours and elevations shown hereon are referenced to the North American vertical datum of 1988 (navd88)
5. A Topographic Survey was completed for the Owner by:  
Prairie Land Survey Company  
2342 Woodhill Court  
Plainfield, Illinois Phone: 815-341-0659
6. A Plat of Survey was completed for the Owner by:  
Phillip D. Young and Associates, Inc.  
11078 South Bridge Street  
Yorkville, Illinois 60560 Phone: 630-553-1580
7. The Contractor shall walk the site prior to submitting a bid to be fully familiar with site conditions.
8. The Contractor shall protect and preserve all section, property or survey reference markers.
9. Tree Protection Fence to be installed as shown on plans and details prior to beginning construction. (incidental to cost). Do not drive, store equipment or materials within dripline of existing trees that are to be saved. Hold necessary disturbance to a minimum.
10. Contractor will be held responsible for damage to items not scheduled for removal.
11. Contractor shall repair or replace all damaged sidewalks, curbs or paving to remain in place that were damaged as a result of work stated in contract documents.
12. No excavations are to be left open to foul weather, rain, snow, etc. which would necessitate further excavation and additional sub grade materials.
13. Work site safety is the responsibility of the Contractor.
14. Vehicular Construction access shall be at one location to minimize damage. Construction access shall be approved by the Owner's representative.

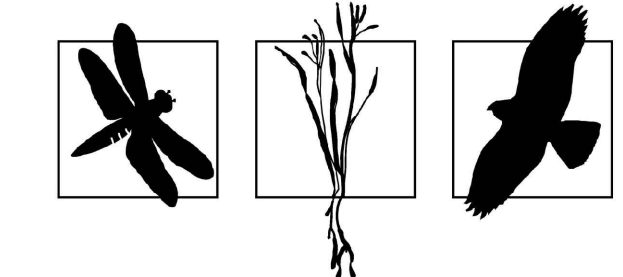
15. **Construction Limits:** Construction Limits are the park property and lawn areas to be saved wherever possible. Do not store equipment or stockpile materials outside of construction limits. Any areas disturbed as a result of construction shall be restored to lawn or other surface by contractor to match pre-construction condition.
16. Topsoil may be stockpiled for redistribution as needed. Excess topsoil, debris and plant material to be removed off site and disposed of legally.
17. Construction fence shall be installed prior to beginning construction. Construction fence to be free standing chainlink per plans. (incidental to contract).
18. Place erosion control measures as required to eliminate sedimentation into non-construction areas and as shown on plans and details prior to beginning construction.
19. Before beginning work at the site and throughout the course of the work contractor to inspect and verify the location and condition of every item affected by the work under this contract and report discrepancies to the Owner's Representative before beginning work.
20. Should discrepancies appear among the contract documents or between the contract documents and existing conditions, the contractor shall request an interpretation from the Owner's Representative before bidding. If the contractor fails to make such requests, it is presumed that both provisions were included in the bid, and the Owner's Representative shall determine which of the conflicting requirements shall govern. The contractor shall perform the work at no additional cost to the Owner in accordance with the Owner's Representative determination. Where conflicts exist between or within the contract documents between and applicable standards, codes, ordinances or manufacturers recommendations, and clarification has not been requested from the Owner's Representative prior to bidding as provided for above, the more stringent or higher quality standard shall prevail. Large scale drawings shall take precedence over small scale drawings, figured dimensions on the drawings over scaled dimensions and noted material over graphic representations.
21. The contractor shall provide all work and materials which any section or part of the drawings, specifications or conditions require them to provide, regardless of whether such requirement is or is not faithfully repeated in other parts of the documents thereof to which the provisions might be appropriate.
21. All necessary site work permits will be obtained by Owner. Contractor and all subcontractors shall register and pay associated fees to the Building Department. Contractor is responsible for following permit requirements including coordination of inspections and/or reinspections and associated fees.
22. Contractor shall follow all permit requirements as part of the project.
23. Contractor shall perform all construction layout for the project. Contractor will be provided with an electronic file in AutoCAD format to assist with layout. Neither the Owner nor their representative shall be responsible for setting additional layout points.

**PROJECT BENCHMARK**

Kendall County Forest Preserve Control Monument 1 - NGS Station MF0031 USGS disk set in a concrete post in the Northeast Quadrant of the intersection formed by Main and Ridge Streets. Disk is 1ft north of an east-west sidewalk and 1ft east of a north-south sidewalk. It is also 7.45 meters southwest from the highest point of a boulder at the southwest corner of the Courthouse Grounds Yorkville. Coordinates: 41°38'24.58"N 88°26'54.53"W Elevation: 642.76 NAVD 88	Site Benchmark #1 Elevation: 744.91 NAVD 88
	Site Benchmark #2 Set Nail Elevation: 763.27 NAVD 88
	Site Benchmark #3 Set Nail Elevation: 771.49
	State of Illinois County of Kendall

**REMOVALS LEGEND**

	Remove Existing Asphalt Paving and Base
	Existing Gravel Drive to Remain
	Remove and Dispose of Existing Corrugated Metal Pipe
	Remove and properly dispose of trees, stump, and grind root mass to a depth of 12" below existing grade or proposed grade which ever is lowest unless otherwise noted on plan.
	Remove and Dispose of Item as Marked
	Tree Protection Fence
	Construction Fence
	Silt Fence



110 W. Madison Street  
Yorkville, IL 60560  
Phone: 630-553-4025

**PROJECT**  
**Pickerill Piggot  
Forest Preserve:  
Public Access  
Phase 1 OSLAD  
Development**  
6350 Minkler Road  
Yorkville, Illinois 60560

**PROJECT TEAM**  
  
**uplandDesign Ltd**  
Park Planning and Landscape Architecture  
24042 Lockport St, Plainfield, Illinois 60544  
815-254-0091 www.uplanddesign.com

**SURVEYOR**  
Prairie Land Survey Company  
2342 Woodhill Court  
Plainfield, Illinois  
Phone: 815-341-0659

**CIVIL ENGINEER**  
Hey and Associates, Inc.  
8755 W. Higgins Road, Suite 835  
Chicago, IL 60631  
Phone: 773-693-9200

**SHEET TITLE**  
**Existing  
Conditions &  
Removals Plan  
- Overall**

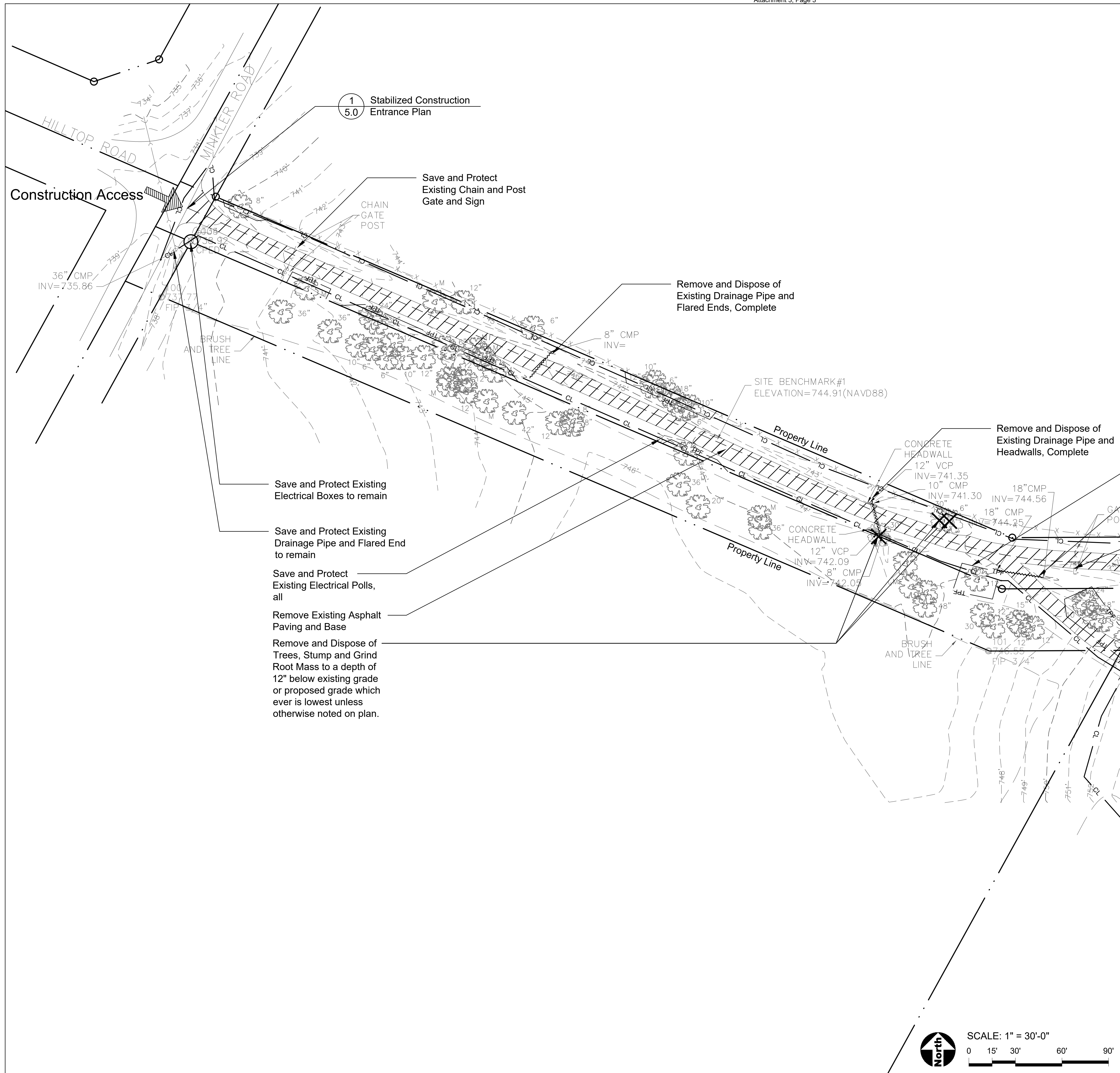
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**DRAW / REVISION**

MB/TD	95% Construction Documents	18OCT2019

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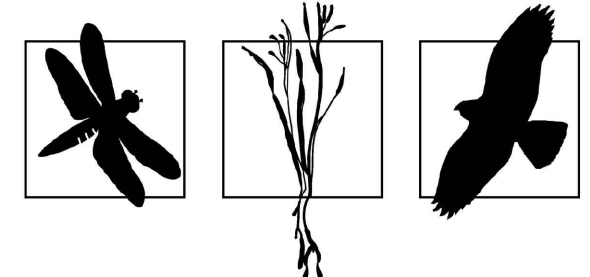
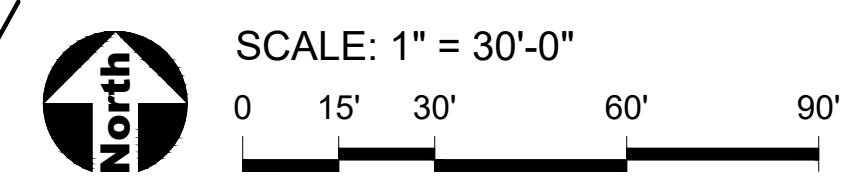
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PLOT\UPLAND\2019



- 4 5.0 Tree Protection Fence, typ.
- Remove and Dispose of Existing Drainage Pipe and Flared Ends, Complete
- Save and Protect Existing Chain and Gate Post

**REMOVALS LEGEND**

- Remove Existing Asphalt Paving and Base
- Existing Gravel Drive to Remain
- Remove and Dispose of Existing Corrugated Metal Pipe
- Remove and properly dispose of trees, stump, and grind root mass to a depth of 12" below existing grade or proposed grade which ever is lowest unless otherwise noted on plan.
- Remove and Dispose of Item as Marked
- TPF Tree Protection Fence
- CL Construction Fence
- SF Silt Fence



110 W. Madison Street  
 Yorkville, IL 60560  
 Phone: 630-553-4025

**PROJECT**  
**Pickerill Piggot Forest Preserve: Public Access Phase 1 OSLAD Development**  
 6350 Minkler Road  
 Yorkville, Illinois 60560

**PROJECT TEAM**



**uplandDesign Ltd**  
 Park Planning and Landscape Architecture  
 24042 Lockport St, Plainfield, Illinois 60544  
 815-254-0091 www.uplanddesign.com

**SURVEYOR**  
 Prairie Land Survey Company  
 2342 Woodhill Court  
 Plainfield, Illinois  
 Phone: 815-341-0659

**CIVIL ENGINEER**  
 Hey and Associates, Inc.  
 8755 W. Higgins Road, Suite 835  
 Chicago, IL 60631  
 Phone: 773-693-9200

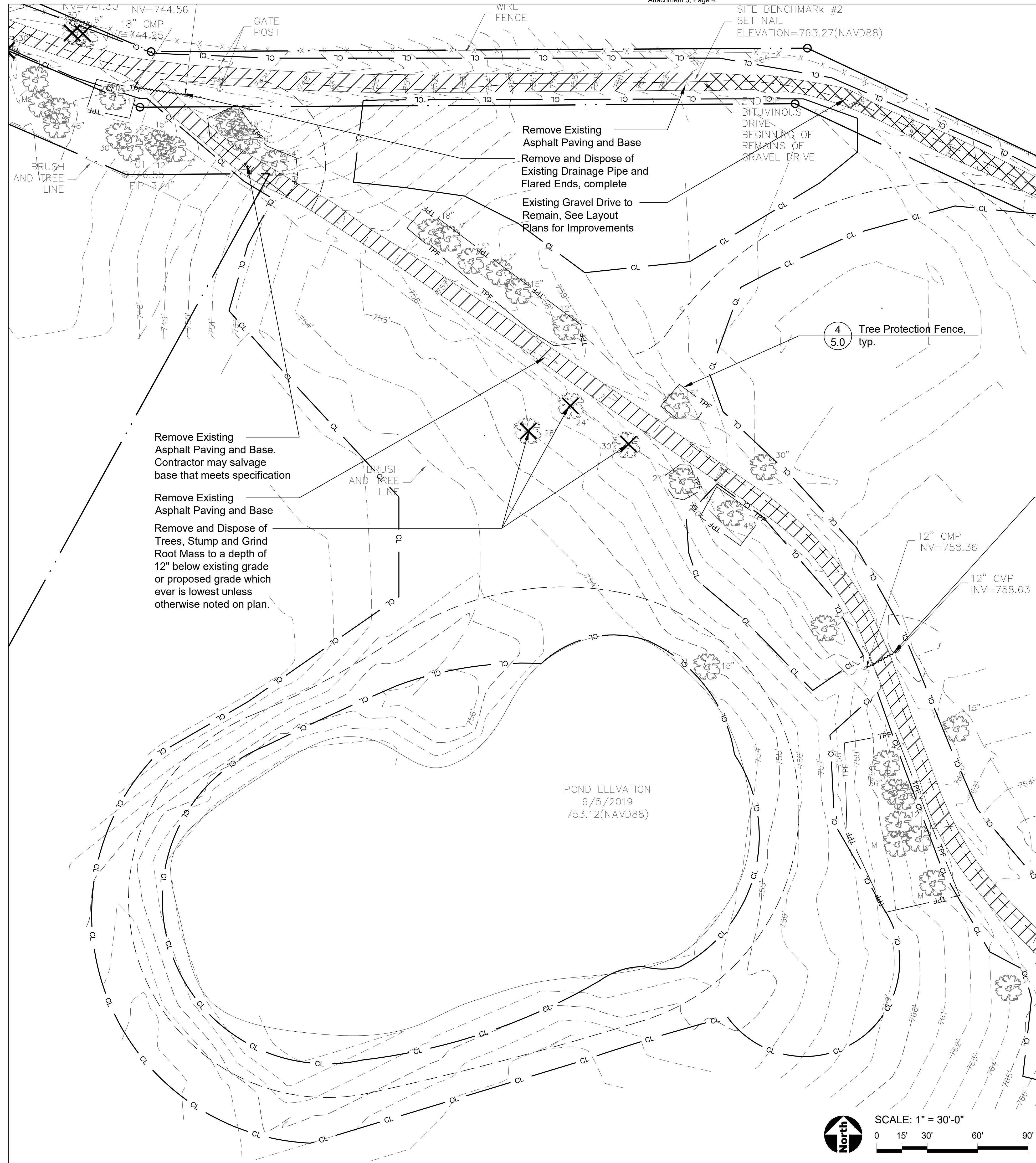
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**Existing Conditions & Removals Plan - Entrance**

**SHEET NUMBER** 2.1

**DRAW / REVISION**

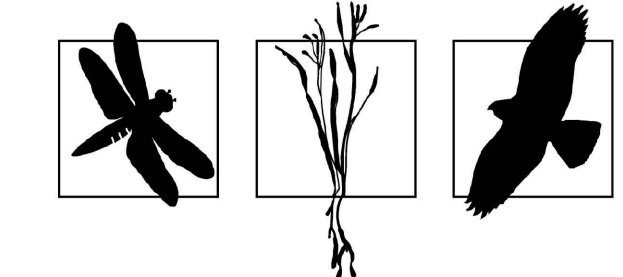
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 PLOT1 UPLAND 2019



**REMOVALS LEGEND**

	Remove Existing Asphalt Paving and Base
	Existing Gravel Drive to Remain
	Remove and Dispose of Existing Corrugated Metal Pipe
	Remove and properly dispose of trees, stump, and grind root mass to a depth of 12" below existing grade or proposed grade which ever is lowest unless otherwise noted on plan.
	Remove and Dispose of Item as Marked
	Tree Protection Fence
	Construction Fence
	Silt Fence



110 W. Madison Street  
Yorkville, IL 60560  
Phone: 630-553-4025

**PROJECT**  
**Pickerill Piggot Forest Preserve: Public Access Phase 1 OSLAD Development**  
6350 Minkler Road  
Yorkville, Illinois 60560

**PROJECT TEAM**  
  
**uplandDesign Ltd**  
Park Planning and Landscape Architecture  
24042 Lockport St, Plainfield, Illinois 60544  
815-254-0091 www.uplanddesign.com

**SURVEYOR**  
Prairie Land Survey Company  
2342 Woodhill Court  
Plainfield, Illinois  
Phone: 815-341-0659

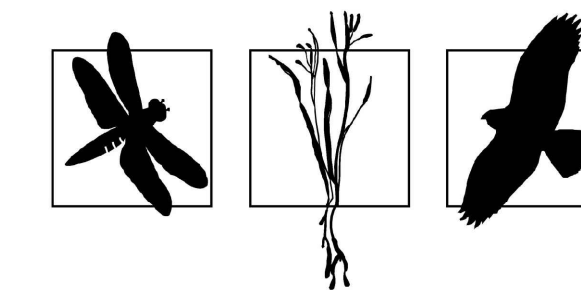
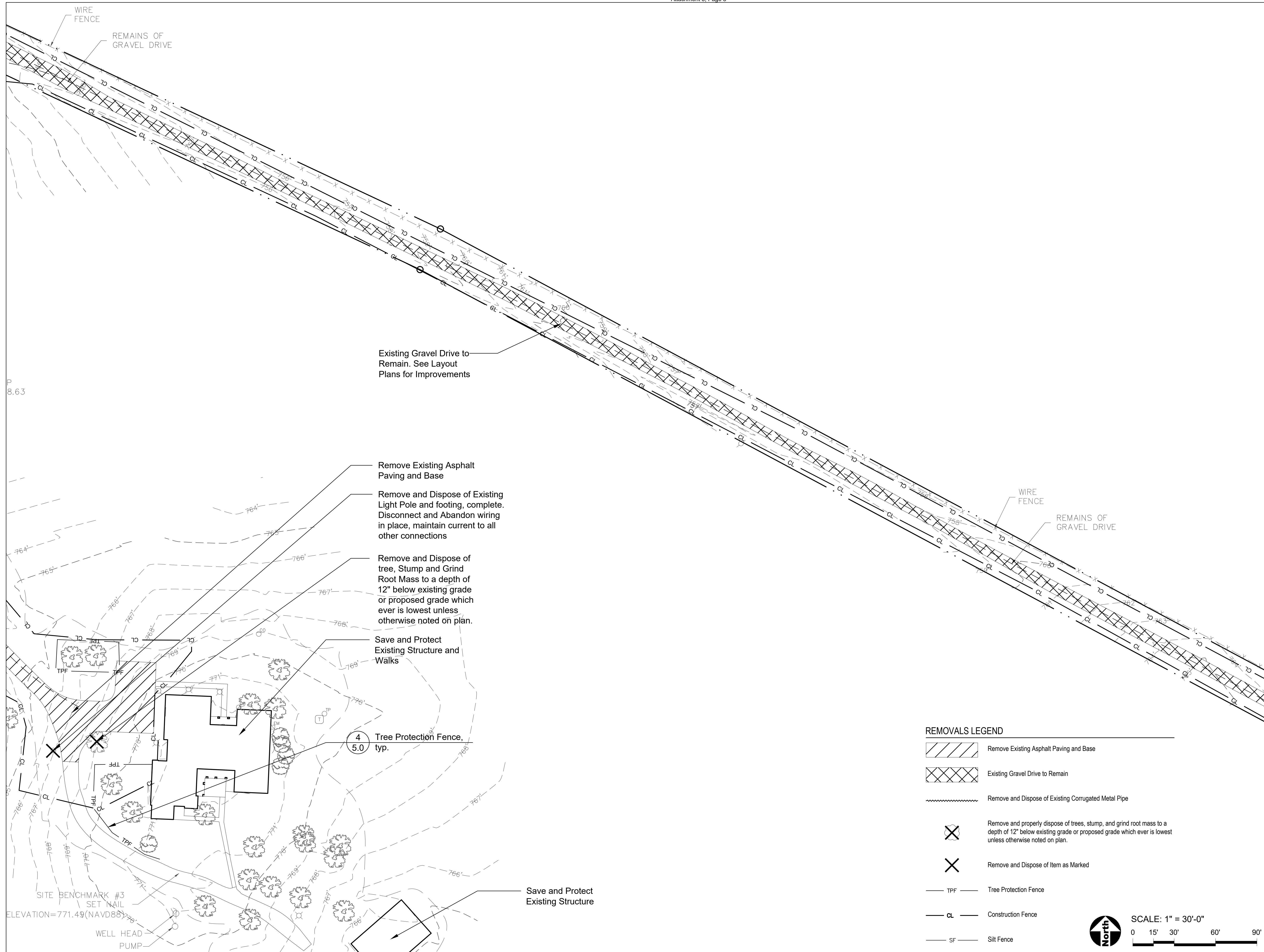
**CIVIL ENGINEER**  
Hey and Associates, Inc.  
8755 W. Higgins Road, Suite 835  
Chicago, IL 60631  
Phone: 773-693-9200

**SHEET TITLE**  
**Existing Conditions & Removals Plan - Shelter & Parking Lot**  
**SHEET NUMBER** 2.2

**DRAW / REVISION**

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PLOT UPLAND 2019



110 W. Madison Street  
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PROJECT  
**Pickerill Piggot  
Forest Preserve:  
Public Access  
Phase 1 OSLAD  
Development**  
6350 Minkler Road  
Yorkville, Illinois 60560

PROJECT TEAM



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2342 Woodhill Court  
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Phone: 815-341-0659

CIVIL ENGINEER  
Hey and Associates, Inc.  
8755 W. Higgins Road, Suite 835  
Chicago, IL 60631  
Phone: 773-693-9200

SHEET TITLE  
**Existing  
Conditions &  
Removals Plan  
- House**









SHEET NUMBER **2.3**

DRAW / REVISION

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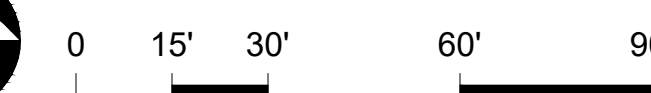
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PLOT1 UPLAND 2019

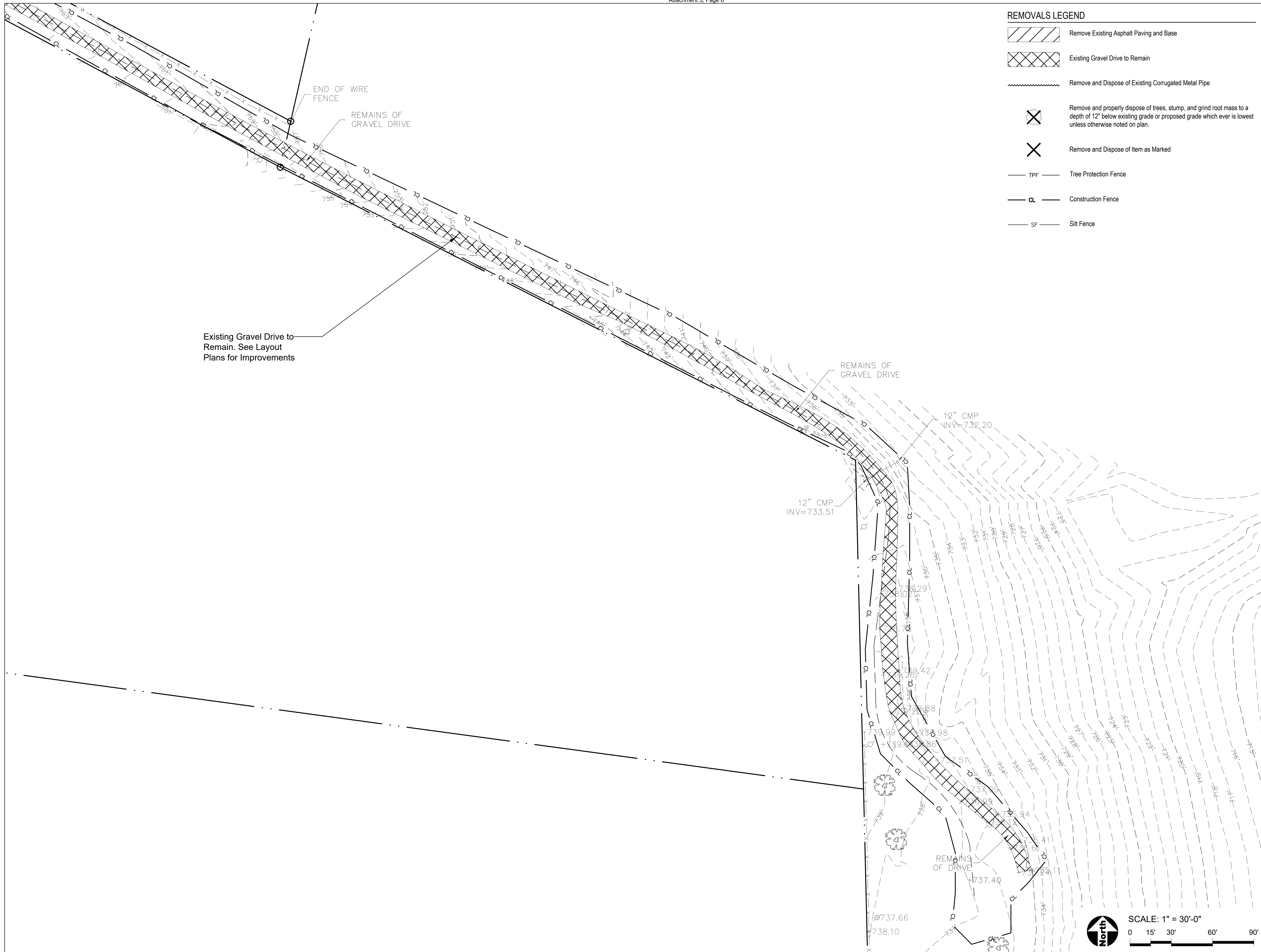
REMOVALS LEGEND

-  Remove Existing Asphalt Paving and Base
-  Existing Gravel Drive to Remain
-  Remove and Dispose of Existing Corrugated Metal Pipe
-  Remove and properly dispose of trees, stump, and grind root mass to a depth of 12" below existing grade or proposed grade which ever is lowest unless otherwise noted on plan.
-  Remove and Dispose of Item as Marked
-  TPF Tree Protection Fence
-  CL Construction Fence
-  SF Silt Fence











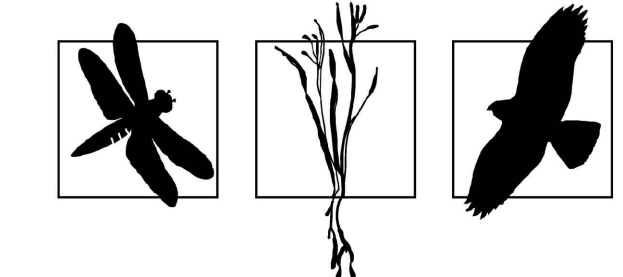
SCALE: 1" = 30'-0"





**REMOVALS LEGEND**

	Remove Existing Asphalt Paving and Base
	Existing Gravel Drive to Remain
	Remove and Dispose of Existing Corrugated Metal Pipe
	Remove and properly dispose of trees, stump, and grind root mass to a depth of 12" below existing grade or proposed grade which ever is lowest unless otherwise noted on plan.
	Remove and Dispose of Item as Marked
	TPF Tree Protection Fence
	CL Construction Fence
	SF Silt Fence



110 W. Madison Street  
 Yorkville, IL 60560  
 Phone: 630-553-4025

**PROJECT**  
**Pickerill Piggot Forest Preserve: Public Access Phase 1 OSLAD Development**

6350 Minkler Road  
 Yorkville, Illinois 60560

**PROJECT TEAM**



**uplandDesign Ltd**  
 Park Planning and Landscape Architecture  
 24042 Lockport St, Plainfield, Illinois 60544  
 815-254-0091 www.uplanddesign.com

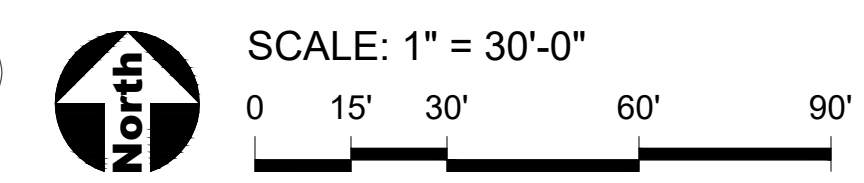
**SURVEYOR**  
 Prairie Land Survey Company  
 2342 Woodhill Court  
 Plainfield, Illinois  
 Phone: 815-341-0659

**CIVIL ENGINEER**  
 Hey and Associates, Inc.  
 8755 W. Higgins Road, Suite 835  
 Chicago, IL 60631  
 Phone: 773-693-9200

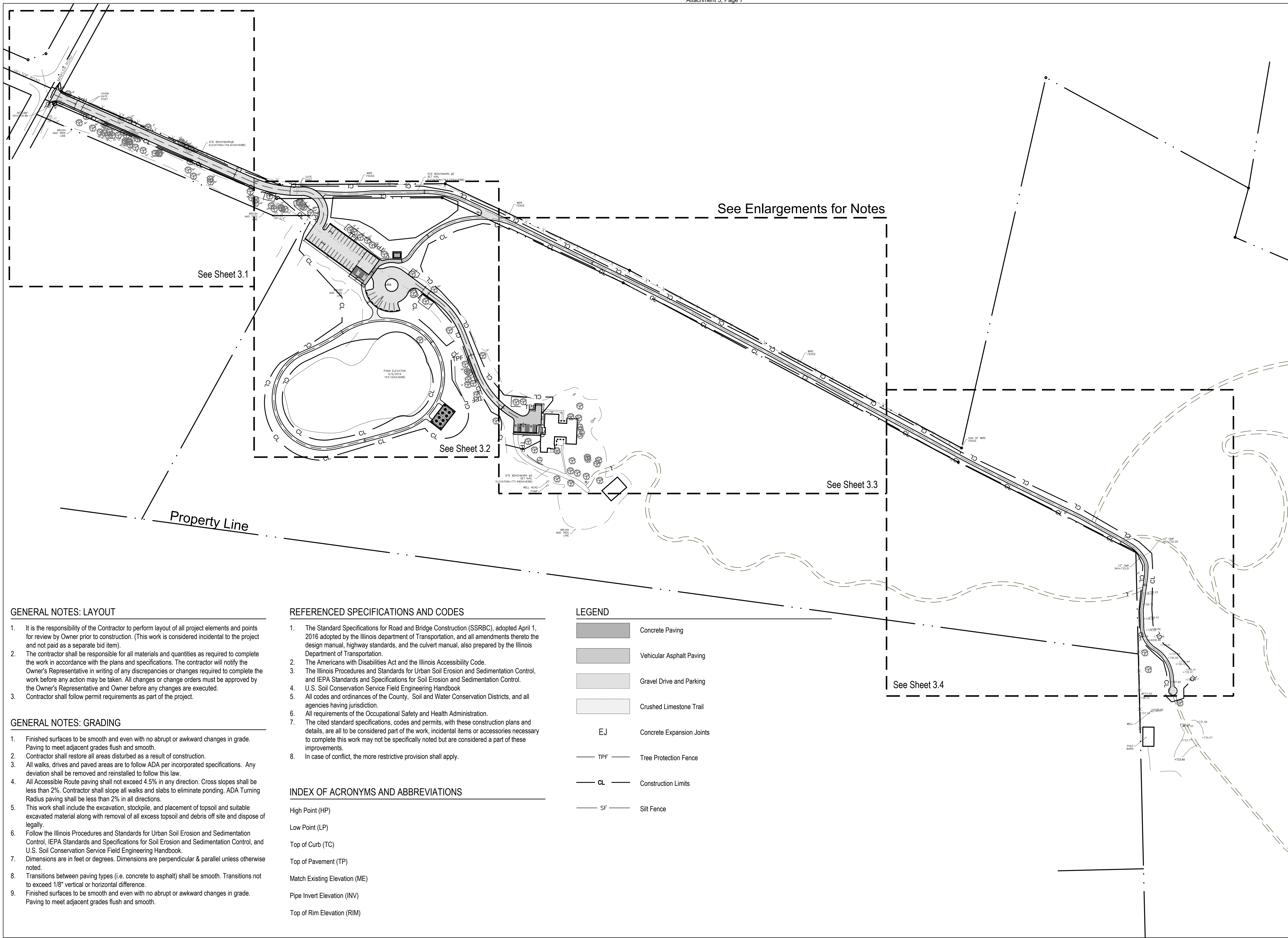
**SHEET TITLE**  
**Existing Conditions & Removals Plan - Overlook**

**SHEET NUMBER** **2.4**  
**DRAW / REVISION**

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**GENERAL NOTES: LAYOUT**

1. It is the responsibility of the Contractor to perform layout of all project elements and points for review by Owner prior to construction. (This work is considered incidental to the project and not paid as a separate bid item).
2. The contractor shall be responsible for all materials and quantities as required to complete the work in accordance with the plans and specifications. The contractor will notify the Owner's Representative in writing of any discrepancies or changes required to complete the work before any action may be taken. All changes or change orders must be approved by the Owner's Representative and Owner before any changes are executed.
3. Contractor shall follow permit requirements as part of the project.

**GENERAL NOTES: GRADING**

1. Finished surfaces to be smooth and even with no abrupt or awkward changes in grade. Paving to meet adjacent grades flush and smooth.
2. Contractor shall restore all areas disturbed as a result of construction.
3. All walks, drives and paved areas are to follow ADA per incorporated specifications. Any deviation shall be removed and reinstalled to follow this law.
4. All Accessible Route paving shall not exceed 4.5% in any direction. Cross slopes shall be less than 2%. Contractor shall slope all walks and slabs to eliminate ponding. ADA Turning Radius paving shall be less than 2% in all directions.
5. This work shall include the excavation, stockpile, and placement of topsoil and suitable excavated material along with removal of all excess topsoil and debris off site and dispose of legally.
6. Follow the Illinois Procedures and Standards for Urban Soil Erosion and Sedimentation Control, IEPA Standards and Specifications for Soil Erosion and Sedimentation Control, and U.S. Soil Conservation Service Field Engineering Handbook.
7. Dimensions are in feet or degrees. Dimensions are perpendicular & parallel unless otherwise noted.
8. Transitions between paving types (i.e. concrete to asphalt) shall be smooth. Transitions not to exceed 1/8" vertical or horizontal difference.
9. Finished surfaces to be smooth and even with no abrupt or awkward changes in grade. Paving to meet adjacent grades flush and smooth.

**REFERENCED SPECIFICATIONS AND CODES**

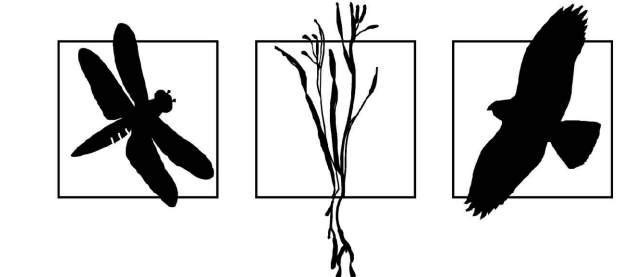
1. The Standard Specifications for Road and Bridge Construction (SSRBC), adopted April 1, 2016 adopted by the Illinois Department of Transportation, and all amendments thereto the design manual, highway standards, and the culvert manual, also prepared by the Illinois Department of Transportation.
2. The Americans with Disabilities Act and the Illinois Accessibility Code.
3. The Illinois Procedures and Standards for Urban Soil Erosion and Sedimentation Control, and IEPA Standards and Specifications for Soil Erosion and Sedimentation Control.
4. U.S. Soil Conservation Service Field Engineering Handbook
5. All codes and ordinances of the County, Soil and Water Conservation Districts, and all agencies having jurisdiction.
6. All requirements of the Occupational Safety and Health Administration.
7. The cited standard specifications, codes and permits, with these construction plans and details, are all to be considered part of the work, incidental items or accessories necessary to complete this work may not be specifically noted but are considered a part of these improvements.
8. In case of conflict, the more restrictive provision shall apply.

**INDEX OF ACRONYMS AND ABBREVIATIONS**

- High Point (HP)
- Low Point (LP)
- Top of Curb (TC)
- Top of Pavement (TP)
- Match Existing Elevation (ME)
- Pipe Invert Elevation (INV)
- Top of Rim Elevation (RIM)

**LEGEND**

- Concrete Paving
- Vehicular Asphalt Paving
- Gravel Drive and Parking
- Crushed Limestone Trail
- EJ Concrete Expansion Joints
- TPF Tree Protection Fence
- CL Construction Limits
- SF Silt Fence



110 W. Madison Street  
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**uplandDesign Ltd**  
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2342 Woodhill Court  
Plainfield, Illinois  
Phone: 815-341-0659

**CIVIL ENGINEER**  
Hey and Associates, Inc.  
8755 W. Higgins Road, Suite 835  
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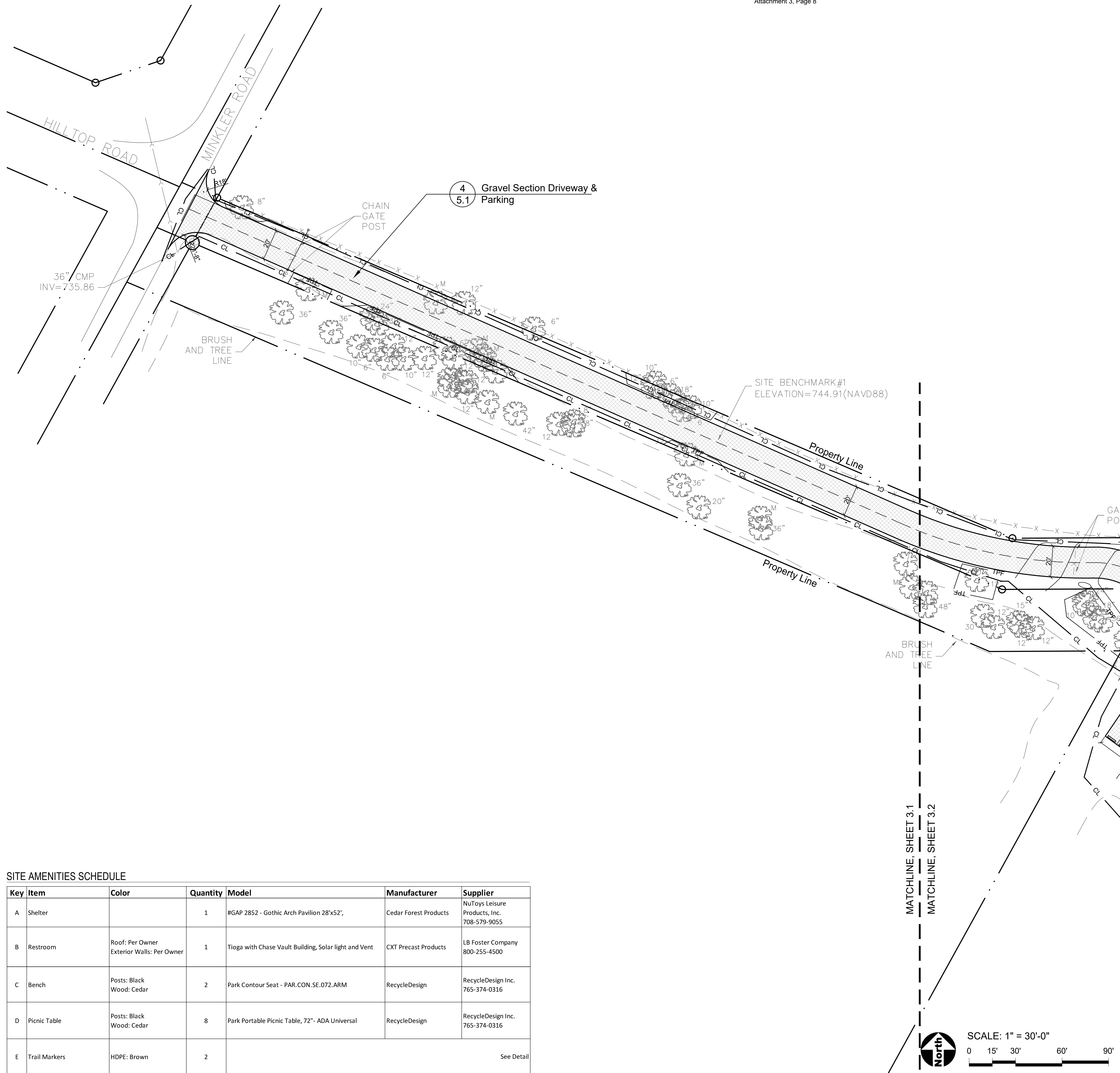
**SHEET TITLE**  
**Layout Plan - Overall**

**SHEET NUMBER** 3.0

**DRAW / REVISION**

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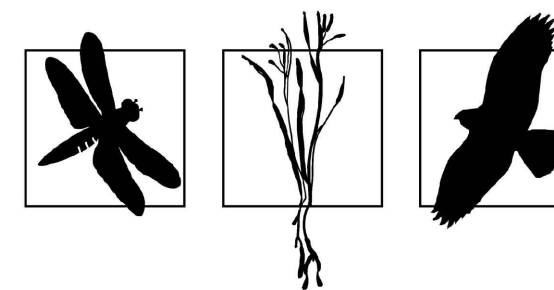
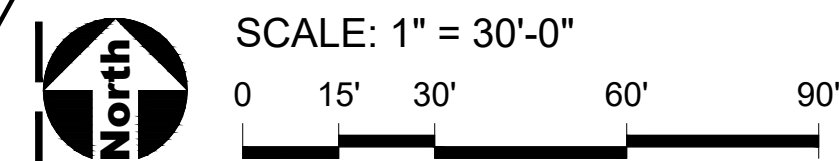


SITE AMENITIES SCHEDULE

Key	Item	Color	Quantity	Model	Manufacturer	Supplier
A	Shelter		1	#GAP 2852 - Gothic Arch Pavilion 28'x52'	Cedar Forest Products	NuToys Leisure Products, Inc. 708-579-9055
B	Restroom	Roof: Per Owner Exterior Walls: Per Owner	1	Tioga with Chase Vault Building, Solar light and Vent	CXT Precast Products	LB Foster Company 800-255-4500
C	Bench	Posts: Black Wood: Cedar	2	Park Contour Seat - PAR.CON.SE.072.ARM	RecycleDesign	RecycleDesign Inc. 765-374-0316
D	Picnic Table	Posts: Black Wood: Cedar	8	Park Portable Picnic Table, 72"- ADA Universal	RecycleDesign	RecycleDesign Inc. 765-374-0316
E	Trail Markers	HDPE: Brown	2			See Detail

LEGEND

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PROJECT  
**Pickerill Piggot  
Forest Preserve:  
Public Access  
Phase 1 OSLAD  
Development**  
6350 Minkler Road  
Yorkville, Illinois 60560

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8755 W. Higgins Road, Suite 835  
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SHEET TITLE  
**Layout Plan -  
Entrance**

SHEET NUMBER **3.1**

DRAW / REVISION

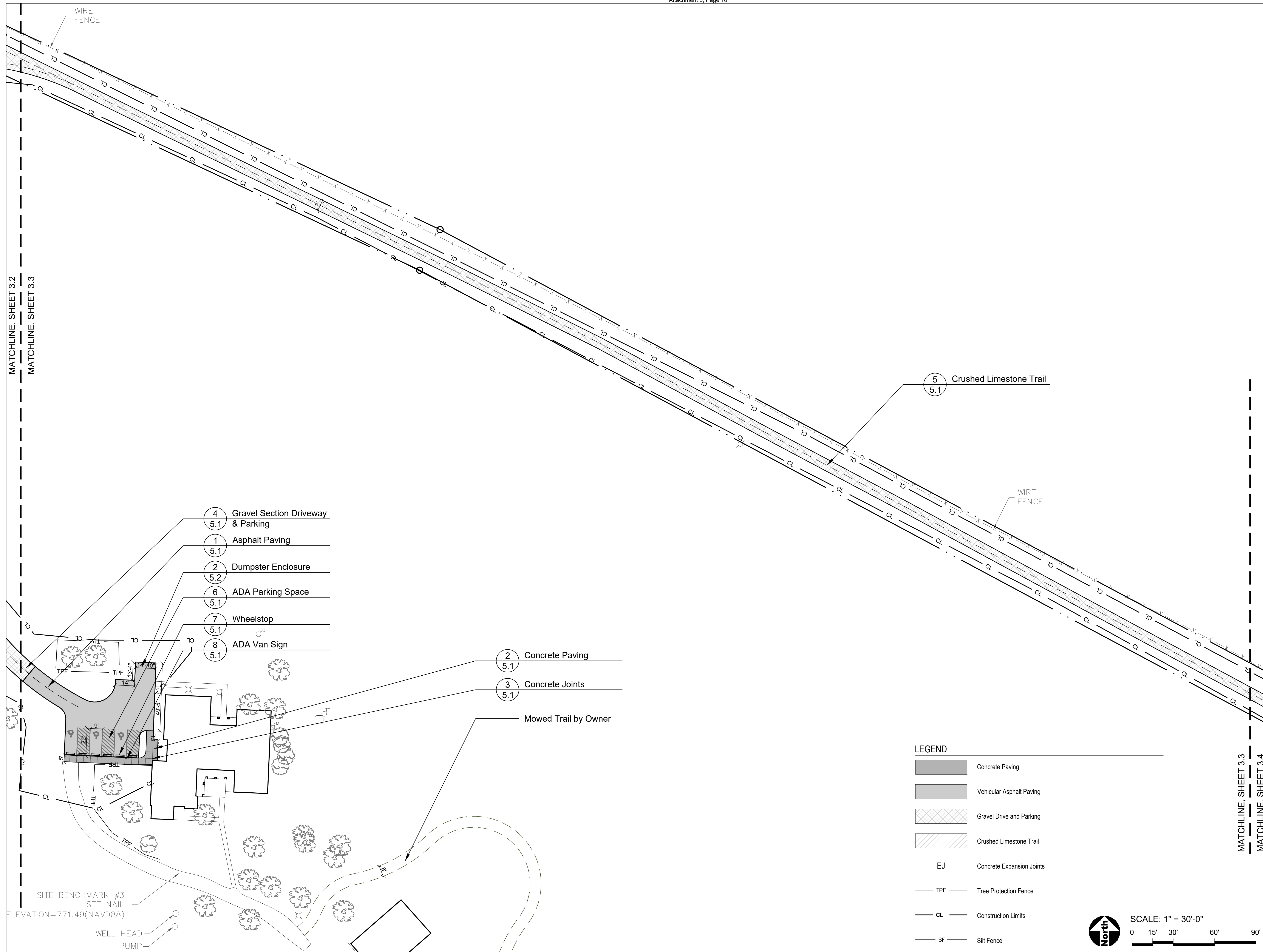
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MATCHLINE, SHEET 3.2  
MATCHLINE, SHEET 3.3

MATCHLINE, SHEET 3.3  
MATCHLINE, SHEET 3.4

- 4 Gravel Section Driveway & Parking
- 5.1
- 1 Asphalt Paving
- 5.1
- 2 Dumpster Enclosure
- 5.2
- 6 ADA Parking Space
- 5.1
- 7 Wheelstop
- 5.1
- 8 ADA Van Sign
- 5.1

- 2 Concrete Paving
- 5.1
- 3 Concrete Joints
- 5.1

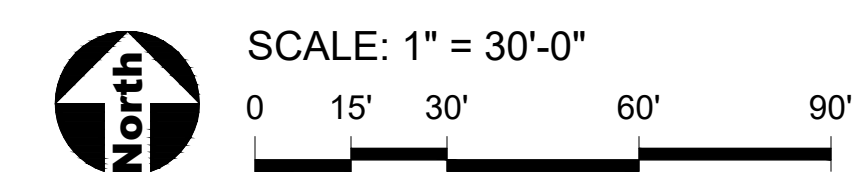
Mowed Trail by Owner

5 Crushed Limestone Trail

WIRE FENCE

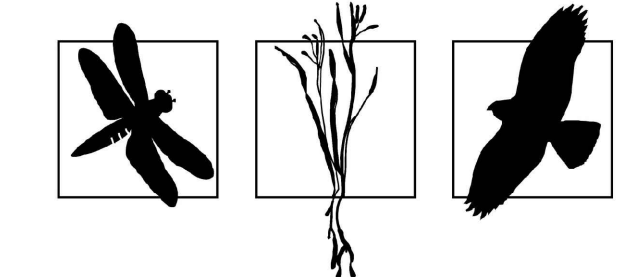
LEGEND

- Concrete Paving
- Vehicular Asphalt Paving
- Gravel Drive and Parking
- Crushed Limestone Trail
- EJ Concrete Expansion Joints
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- CL Construction Limits
- SF Silt Fence



SITE BENCHMARK #3  
SET NAIL  
ELEVATION=771.49(NAVD88)

WELL HEAD  
PUMP



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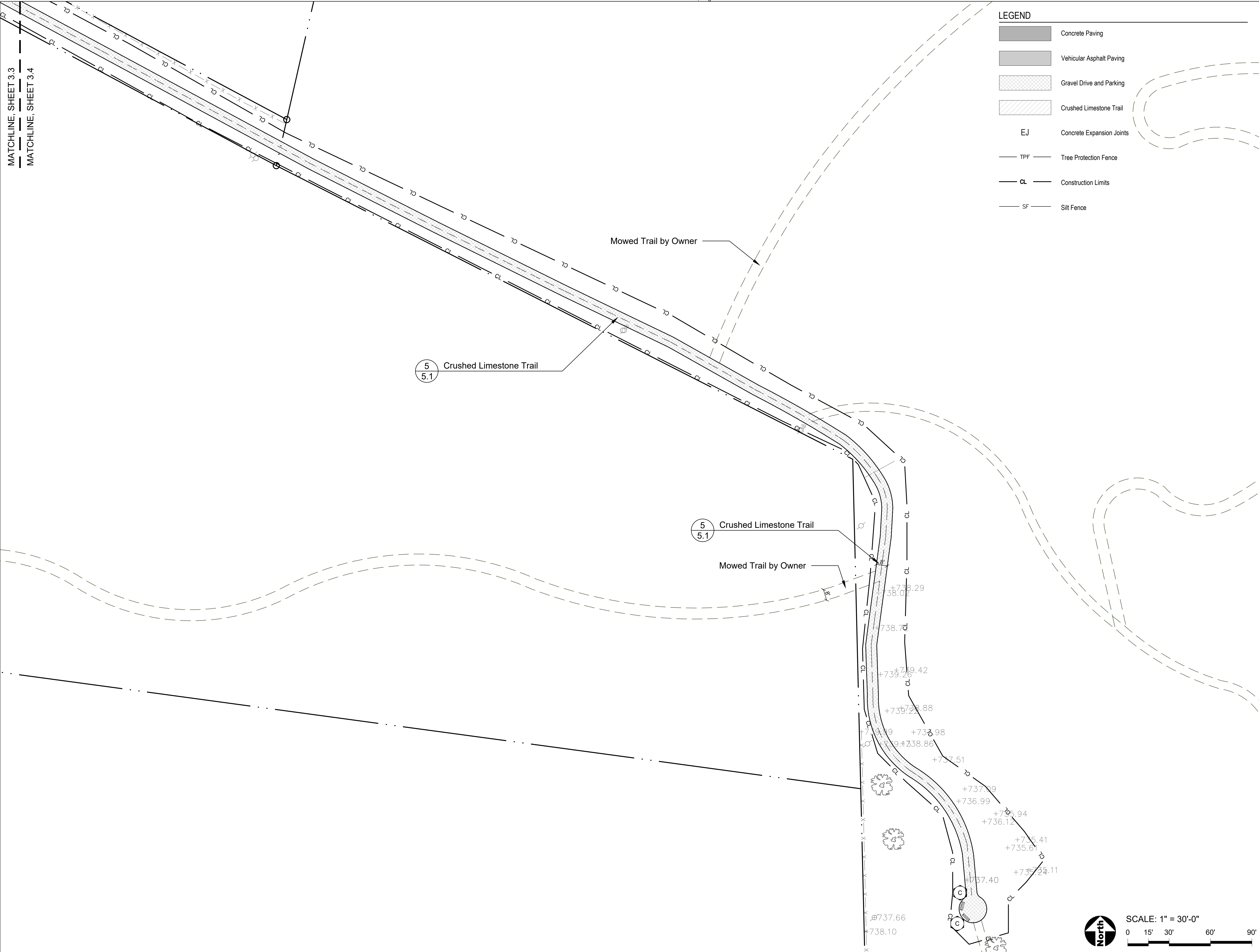
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**Layout Plan - House**

SHEET NUMBER **3.3**






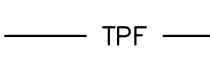
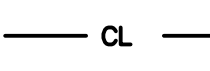
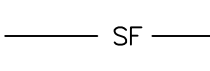
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**LEGEND**

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-  EJ
-  TPF
-  CL
-  SF

MATCHLINE, SHEET 3.3  
MATCHLINE, SHEET 3.4

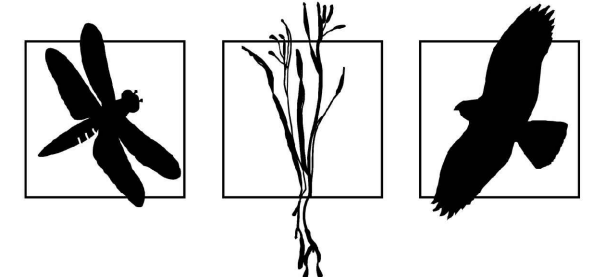
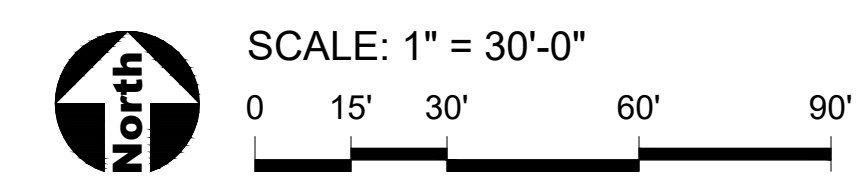
5  
5.1  
Crushed Limestone Trail

Mowed Trail by Owner

5  
5.1  
Crushed Limestone Trail

Mowed Trail by Owner

+739.29  
+738.70  
+739.42  
+739.26  
+737.88  
+737.99  
+738.98  
+738.86  
+737.51  
+737.09  
+736.99  
+735.94  
+736.12  
+735.41  
+735.61  
+737.22  
+737.40  
+737.66  
+738.10



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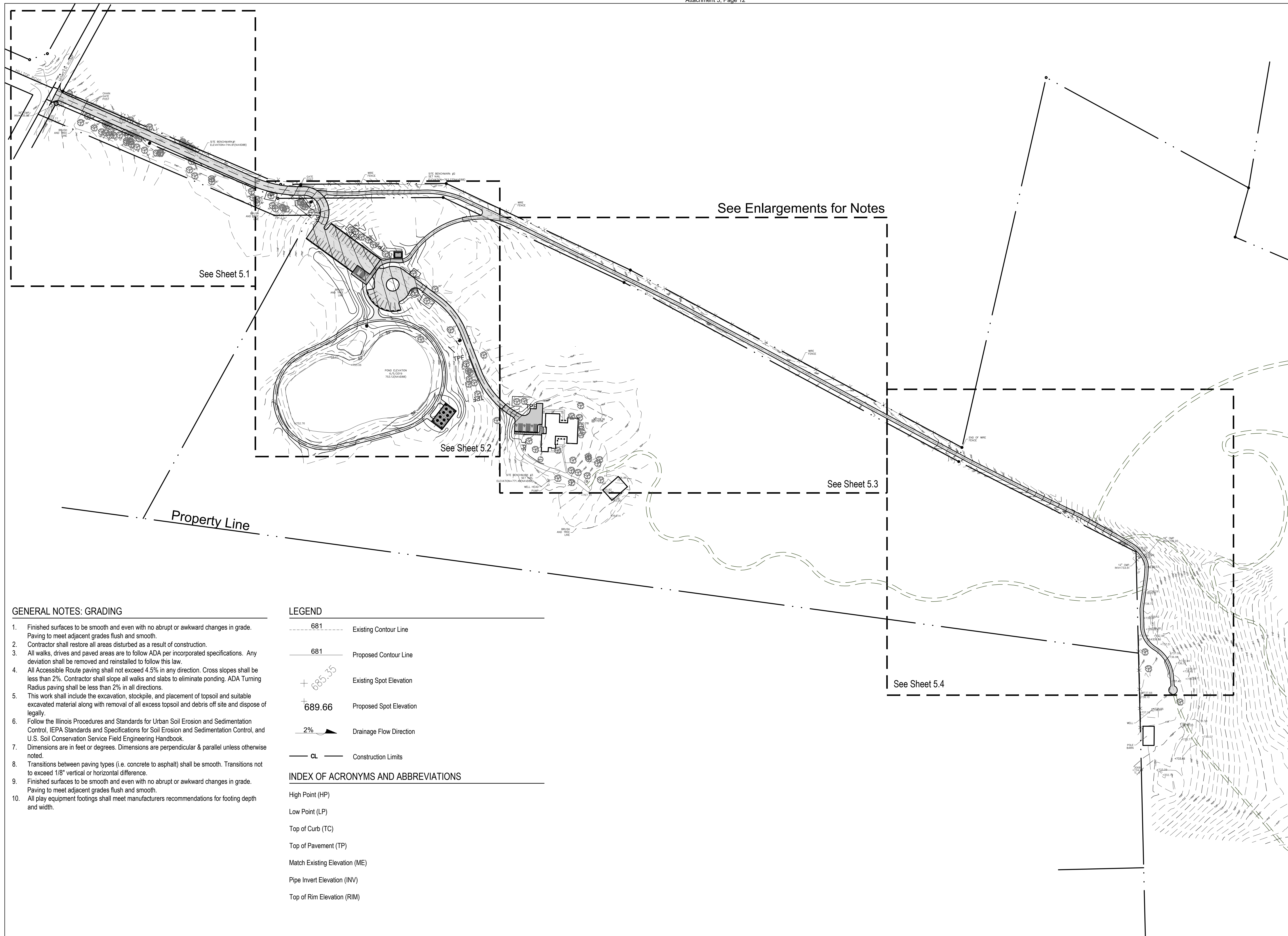
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**Layout Plan - Overlook**

**SHEET NUMBER** **3.4**

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**GENERAL NOTES: GRADING**

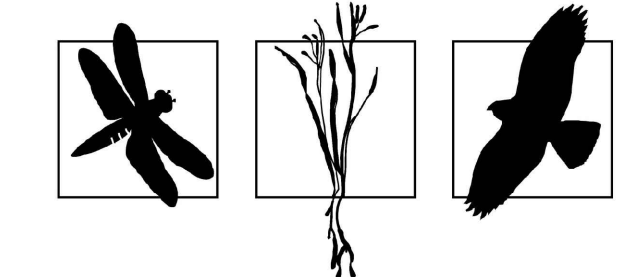
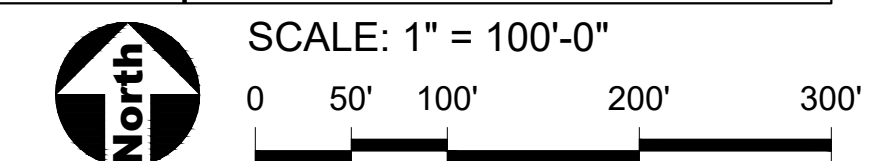
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6. Follow the Illinois Procedures and Standards for Urban Soil Erosion and Sedimentation Control, IEPA Standards and Specifications for Soil Erosion and Sedimentation Control, and U.S. Soil Conservation Service Field Engineering Handbook.
7. Dimensions are in feet or degrees. Dimensions are perpendicular & parallel unless otherwise noted.
8. Transitions between paving types (i.e. concrete to asphalt) shall be smooth. Transitions not to exceed 1/8" vertical or horizontal difference.
9. Finished surfaces to be smooth and even with no abrupt or awkward changes in grade. Paving to meet adjacent grades flush and smooth.
10. All play equipment footings shall meet manufacturers recommendations for footing depth and width.

**LEGEND**

- 681 --- Existing Contour Line
- 681 — Proposed Contour Line
- + 685.35 Existing Spot Elevation
- + 689.66 Proposed Spot Elevation
- 2% — Drainage Flow Direction
- CL — Construction Limits

**INDEX OF ACRONYMS AND ABBREVIATIONS**

- High Point (HP)
- Low Point (LP)
- Top of Curb (TC)
- Top of Pavement (TP)
- Match Existing Elevation (ME)
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**SHEET TITLE**  
**Grading Plan - Overall**

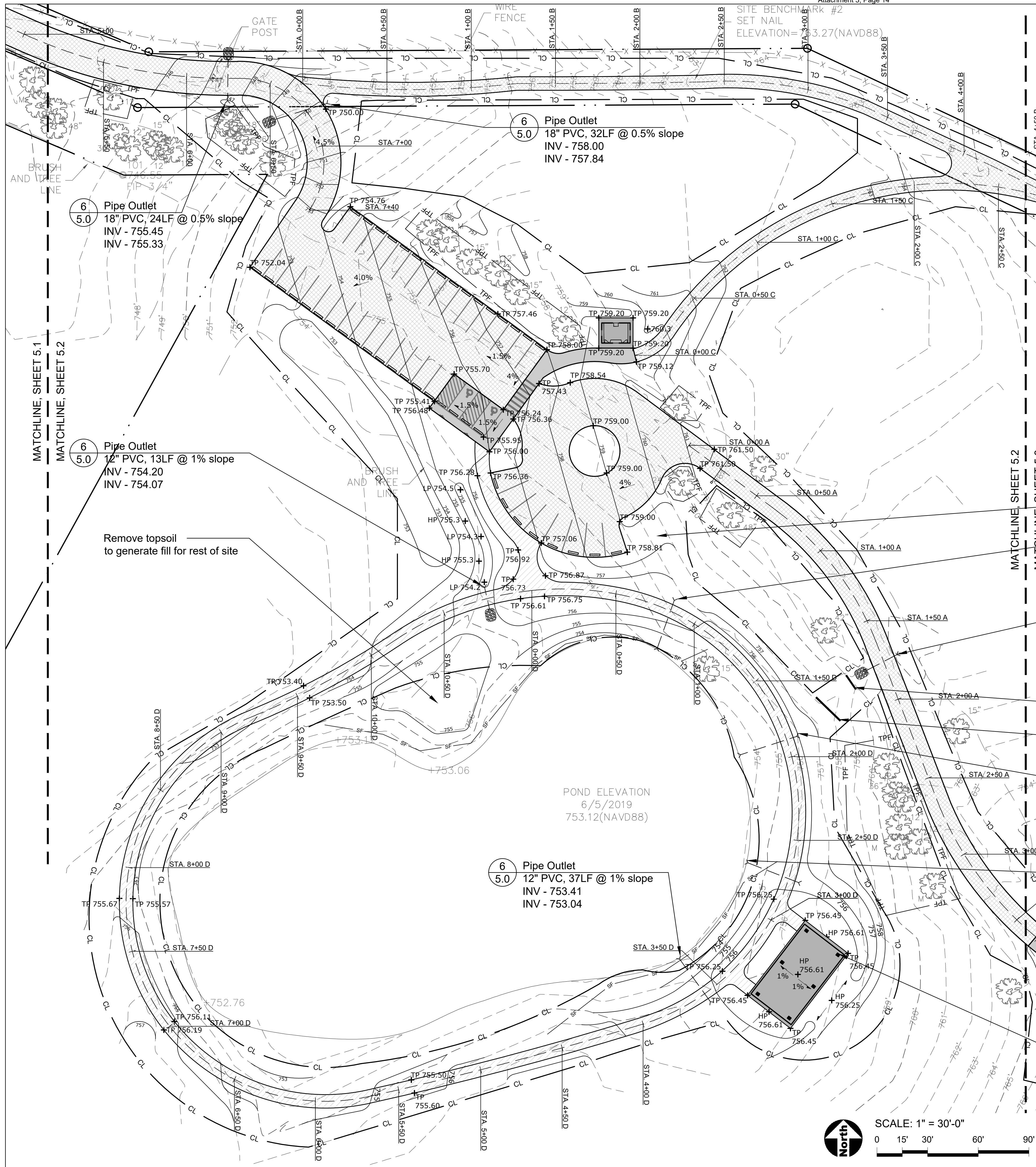
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**DRAW / REVISION**

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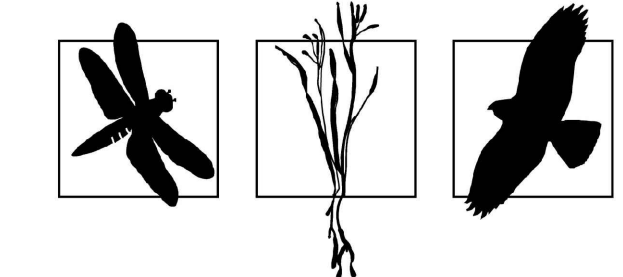
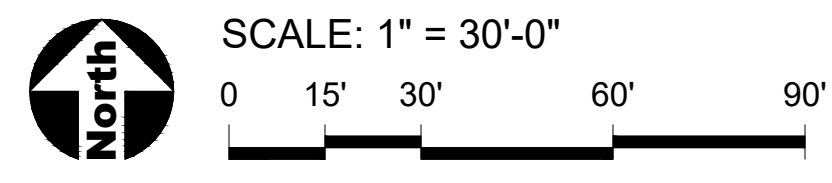
**LEGEND**

- 681 --- Existing Contour Line
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**INDEX OF ACRONYMS AND ABBREVIATIONS**

- HP High Point
- LP Low Point
- TC Top of Curb
- TP Top of Pavement
- ME Match Existing Elevation
- INV Pipe Invert Elevation
- RIM Top of Rim Elevation

- Topsoil, seed, and blanket all areas disturbed due to construction
- 6 Pipe Outlet  
5.0 12" PVC, 30LF @ 1% slope  
INV - 754.18  
INV - 753.88
- 6 Pipe Outlet  
5.0 12" PVC, 20LF @ 1% slope  
INV - 758.20  
INV - 758.10
- 5 Ditch Check  
5.0
- 5 Ditch Check  
5.0 (Double Row)
- 6 Pipe Outlet  
5.0 12" PVC, 35LF @ 1% slope  
INV - 753.57  
INV - 753.22
- 6 Pipe Outlet  
5.0 12" PVC, 32LF @ 0.5% slope  
INV - 754.21  
INV - 754.05
- All shelter footings shall have an elevation of 756.49



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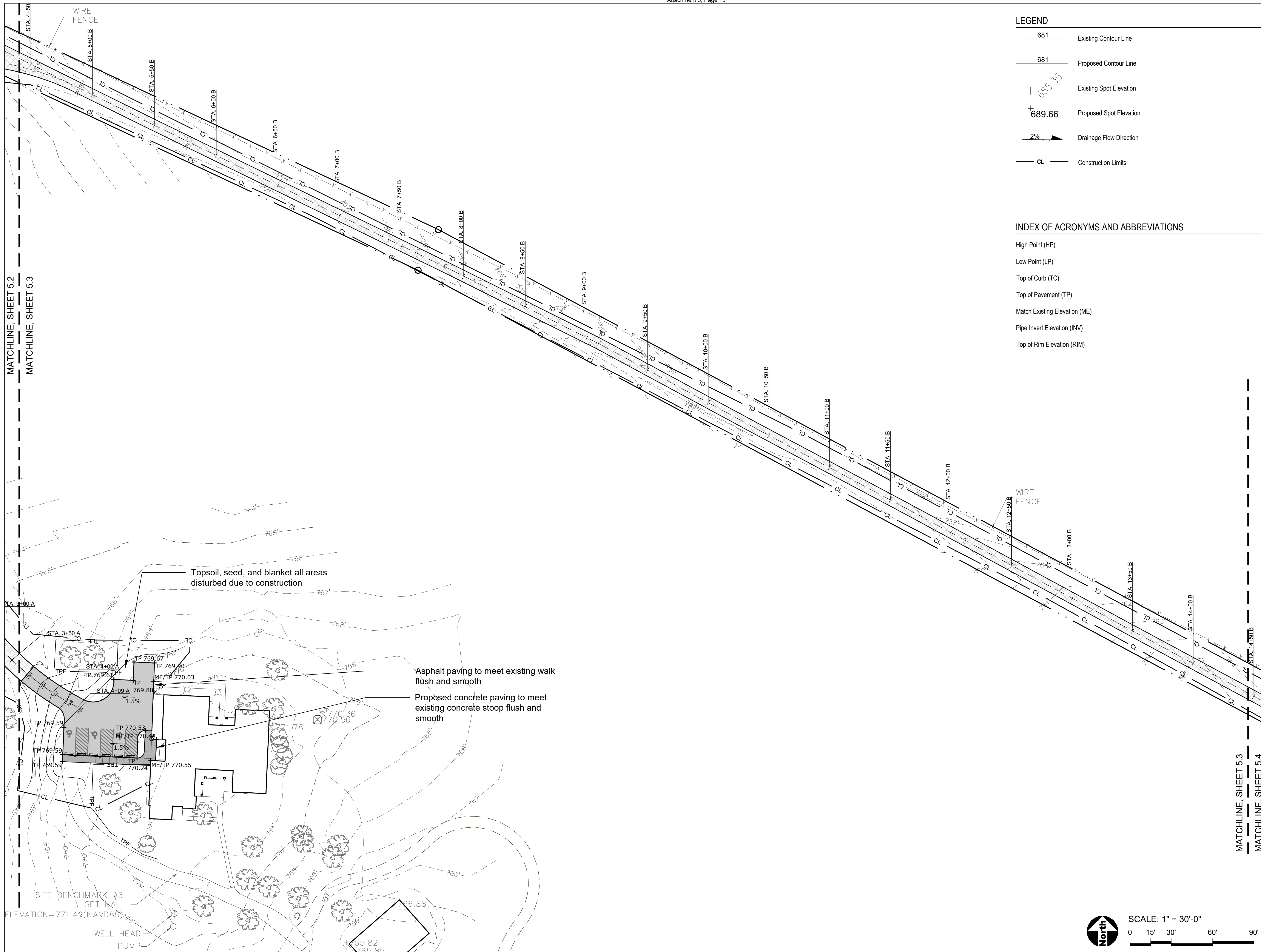
**SHEET TITLE**  
**Grading Plan - Shelter & Parking Lot**

**SHEET NUMBER** 4.2

**DRAW / REVISION**

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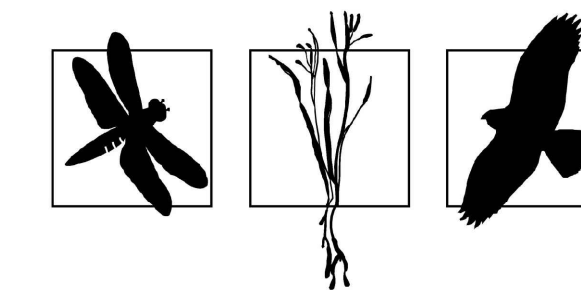


**LEGEND**

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- 2% Drainage Flow Direction
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**SHEET TITLE**  
**Grading Plan - House**

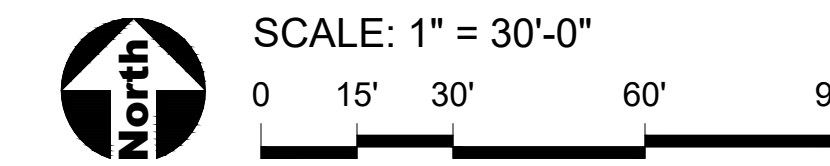
**SHEET NUMBER**  
**4.3**

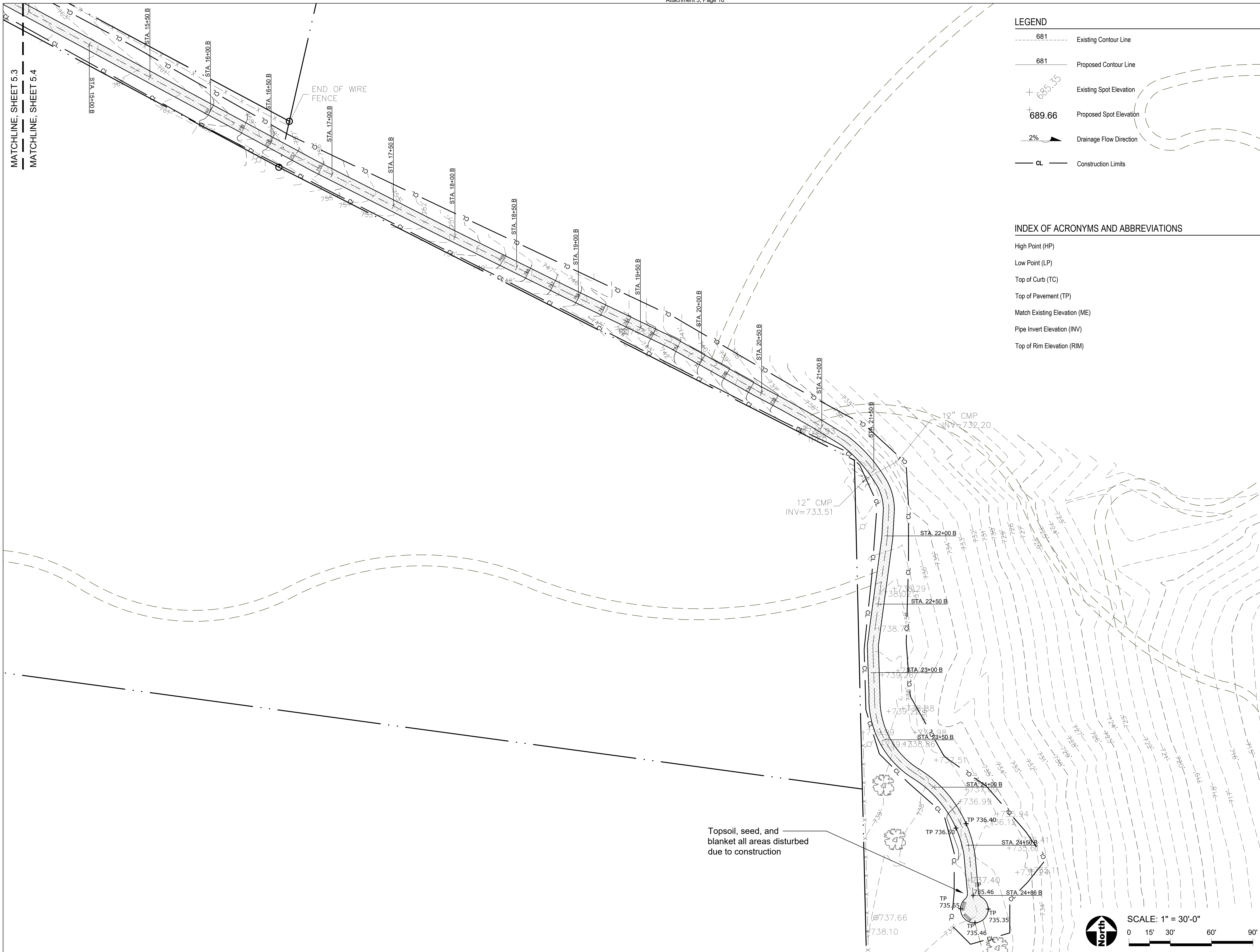
**DRAW / REVISION**

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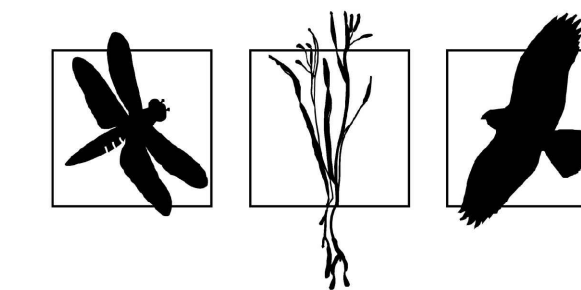
MATCHLINE, SHEET 5.3  
MATCHLINE, SHEET 5.4

LEGEND

- 681 --- Existing Contour Line
- 681 — Proposed Contour Line
- + 685.35 Existing Spot Elevation
- + 689.66 Proposed Spot Elevation
- 2% ▴ Drainage Flow Direction
- CL — Construction Limits

INDEX OF ACRONYMS AND ABBREVIATIONS

- High Point (HP)
- Low Point (LP)
- Top of Curb (TC)
- Top of Pavement (TP)
- Match Existing Elevation (ME)
- Pipe Invert Elevation (INV)
- Top of Rim Elevation (RIM)



110 W. Madison Street  
Yorkville, IL 60560  
Phone: 630-553-4025

PROJECT  
**Pickerill Piggot  
Forest Preserve:  
Public Access  
Phase 1 OSLAD  
Development**  
6350 Minkler Road  
Yorkville, Illinois 60560

PROJECT TEAM

**uplandDesign Ltd**  
Park Planning and Landscape Architecture  
24042 Lockport St, Plainfield, Illinois 60544  
815-254-0091 www.uplanddesign.com

**SURVEYOR**  
Prairie Land Survey Company  
2342 Woodhill Court  
Plainfield, Illinois  
Phone: 815-341-0659

**CIVIL ENGINEER**  
Hey and Associates, Inc.  
8755 W. Higgins Road, Suite 835  
Chicago, IL 60631  
Phone: 773-693-9200

SHEET TITLE  
**Grading Plan -  
Overlook**

SHEET NUMBER **4.4**

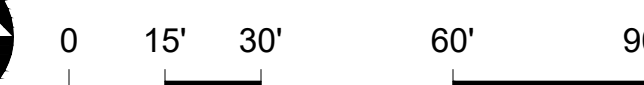
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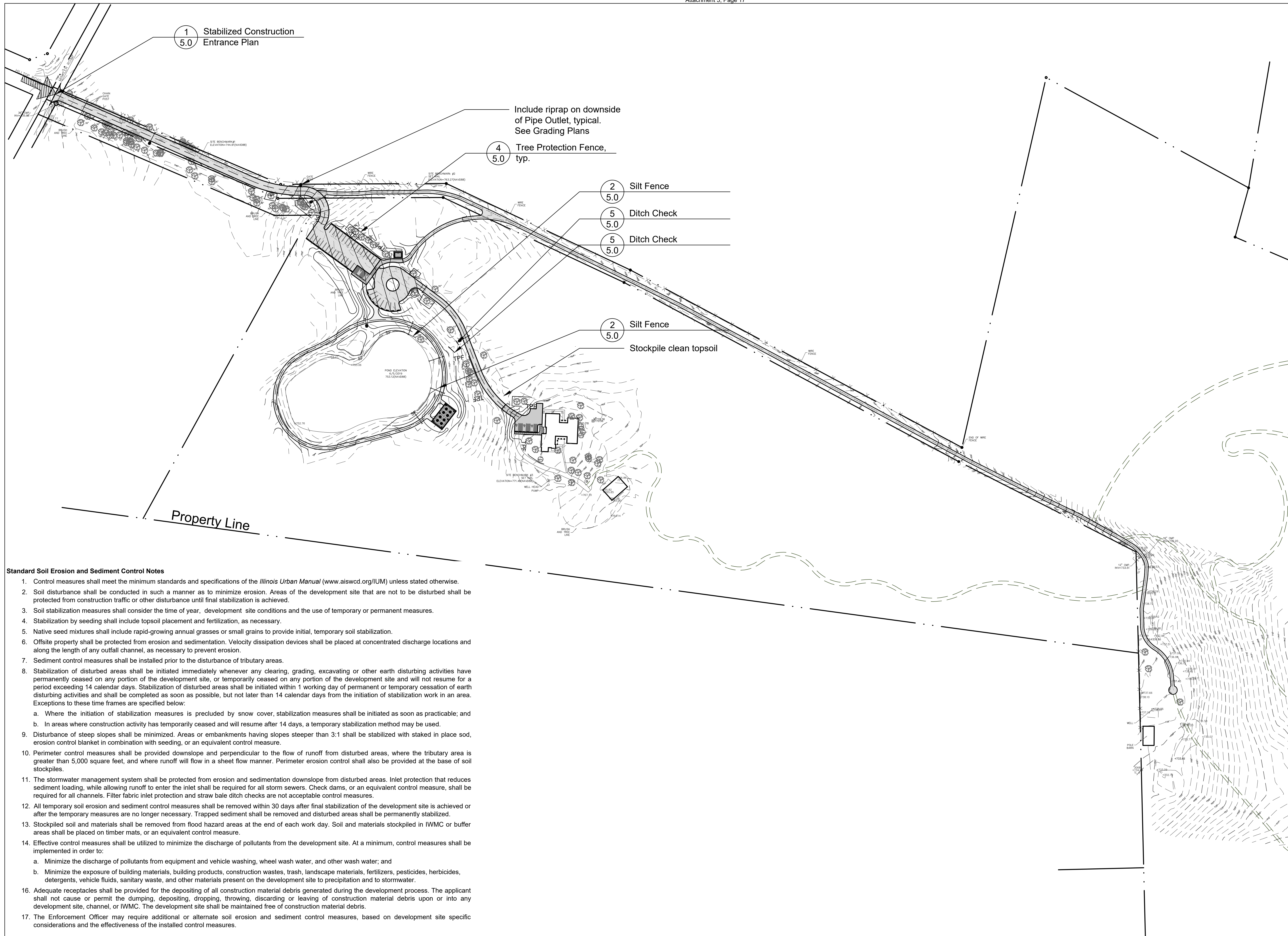
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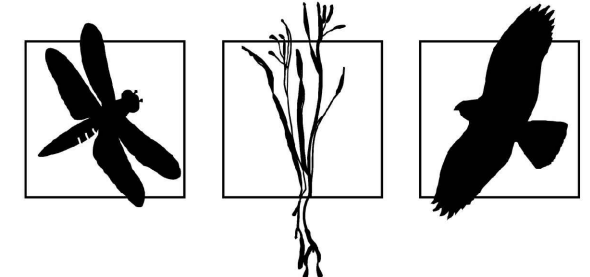
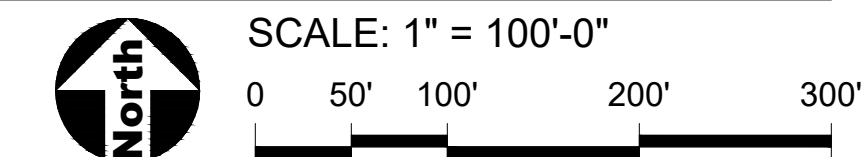
SCALE: 1" = 30'-0"





**Standard Soil Erosion and Sediment Control Notes**

1. Control measures shall meet the minimum standards and specifications of the *Illinois Urban Manual* ([www.aiswd.org/IUM](http://www.aiswd.org/IUM)) unless stated otherwise.
2. Soil disturbance shall be conducted in such a manner as to minimize erosion. Areas of the development site that are not to be disturbed shall be protected from construction traffic or other disturbance until final stabilization is achieved.
3. Soil stabilization measures shall consider the time of year, development site conditions and the use of temporary or permanent measures.
4. Stabilization by seeding shall include topsoil placement and fertilization, as necessary.
5. Native seed mixtures shall include rapid-growing annual grasses or small grains to provide initial, temporary soil stabilization.
6. Offsite property shall be protected from erosion and sedimentation. Velocity dissipation devices shall be placed at concentrated discharge locations and along the length of any outfall channel, as necessary to prevent erosion.
7. Sediment control measures shall be installed prior to the disturbance of tributary areas.
8. Stabilization of disturbed areas shall be initiated immediately whenever any clearing, grading, excavating or other earth disturbing activities have permanently ceased on any portion of the development site, or temporarily ceased on any portion of the development site and will not resume for a period exceeding 14 calendar days. Stabilization of disturbed areas shall be initiated within 1 working day of permanent or temporary cessation of earth disturbing activities and shall be completed as soon as possible, but not later than 14 calendar days from the initiation of stabilization work in an area. Exceptions to these time frames are specified below:
  - a. Where the initiation of stabilization measures is precluded by snow cover, stabilization measures shall be initiated as soon as practicable; and
  - b. In areas where construction activity has temporarily ceased and will resume after 14 days, a temporary stabilization method may be used.
9. Disturbance of steep slopes shall be minimized. Areas or embankments having slopes steeper than 3:1 shall be stabilized with staked in place sod, erosion control blanket in combination with seeding, or an equivalent control measure.
10. Perimeter control measures shall be provided downslope and perpendicular to the flow of runoff from disturbed areas, where the tributary area is greater than 5,000 square feet, and where runoff will flow in a sheet flow manner. Perimeter erosion control shall also be provided at the base of soil stockpiles.
11. The stormwater management system shall be protected from erosion and sedimentation downslope from disturbed areas. Inlet protection that reduces sediment loading, while allowing runoff to enter the inlet shall be required for all storm sewers. Check dams, or an equivalent control measure, shall be required for all channels. Filter fabric inlet protection and straw bale ditch checks are not acceptable control measures.
12. All temporary soil erosion and sediment control measures shall be removed within 30 days after final stabilization of the development site is achieved or after the temporary measures are no longer necessary. Trapped sediment shall be removed and disturbed areas shall be permanently stabilized.
13. Stockpiled soil and materials shall be removed from flood hazard areas at the end of each work day. Soil and materials stockpiled in IWMC or buffer areas shall be placed on timber mats, or an equivalent control measure.
14. Effective control measures shall be utilized to minimize the discharge of pollutants from the development site. At a minimum, control measures shall be implemented in order to:
  - a. Minimize the discharge of pollutants from equipment and vehicle washing, wheel wash water, and other wash water; and
  - b. Minimize the exposure of building materials, building products, construction wastes, trash, landscape materials, fertilizers, pesticides, herbicides, detergents, vehicle fluids, sanitary waste, and other materials present on the development site to precipitation and to stormwater.
16. Adequate receptacles shall be provided for the depositing of all construction material debris generated during the development process. The applicant shall not cause or permit the dumping, depositing, dropping, throwing, discarding or leaving of construction material debris upon or into any development site, channel, or IWMC. The development site shall be maintained free of construction material debris.
17. The Enforcement Officer may require additional or alternate soil erosion and sediment control measures, based on development site specific considerations and the effectiveness of the installed control measures.



110 W. Madison Street  
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**Pickerill Piggot  
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815-254-0091 [www.uplanddesign.com](http://www.uplanddesign.com)

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Plainfield, Illinois  
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CIVIL ENGINEER  
Hey and Associates, Inc.  
8755 W. Higgins Road, Suite 835  
Chicago, IL 60631  
Phone: 773-693-9200

SHEET TITLE

**Erosion  
Control Plan**

SHEET NUMBER

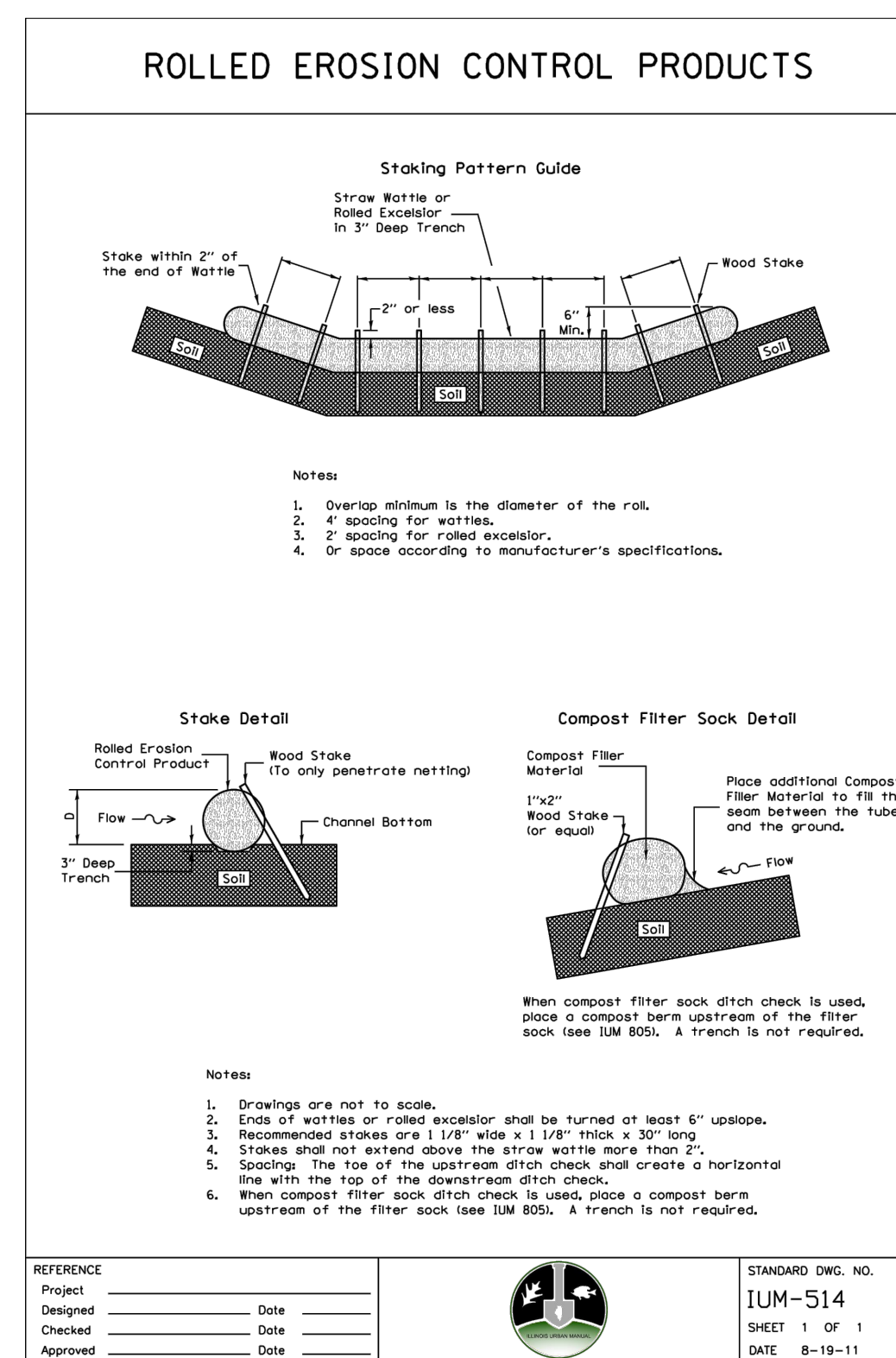
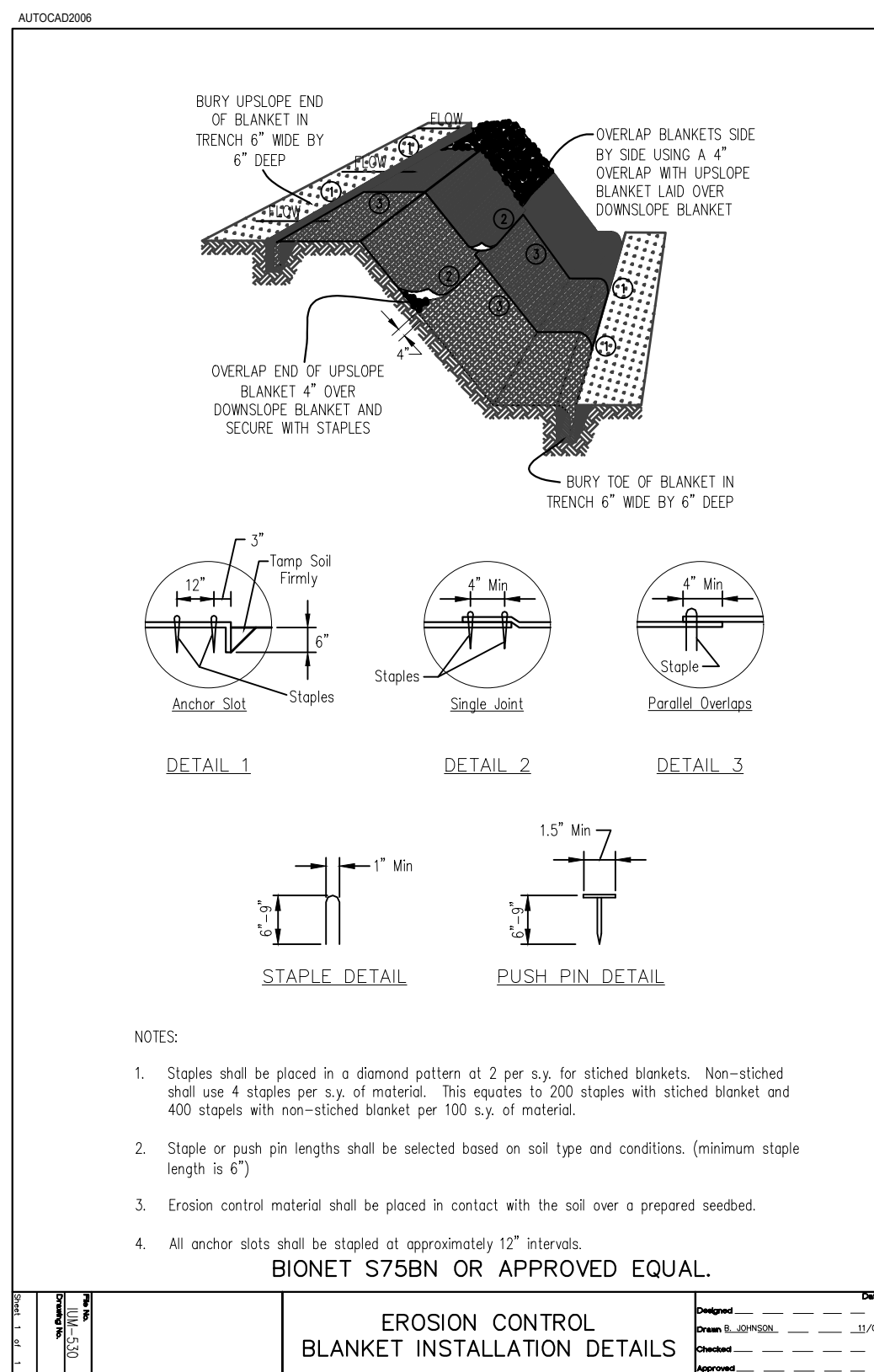
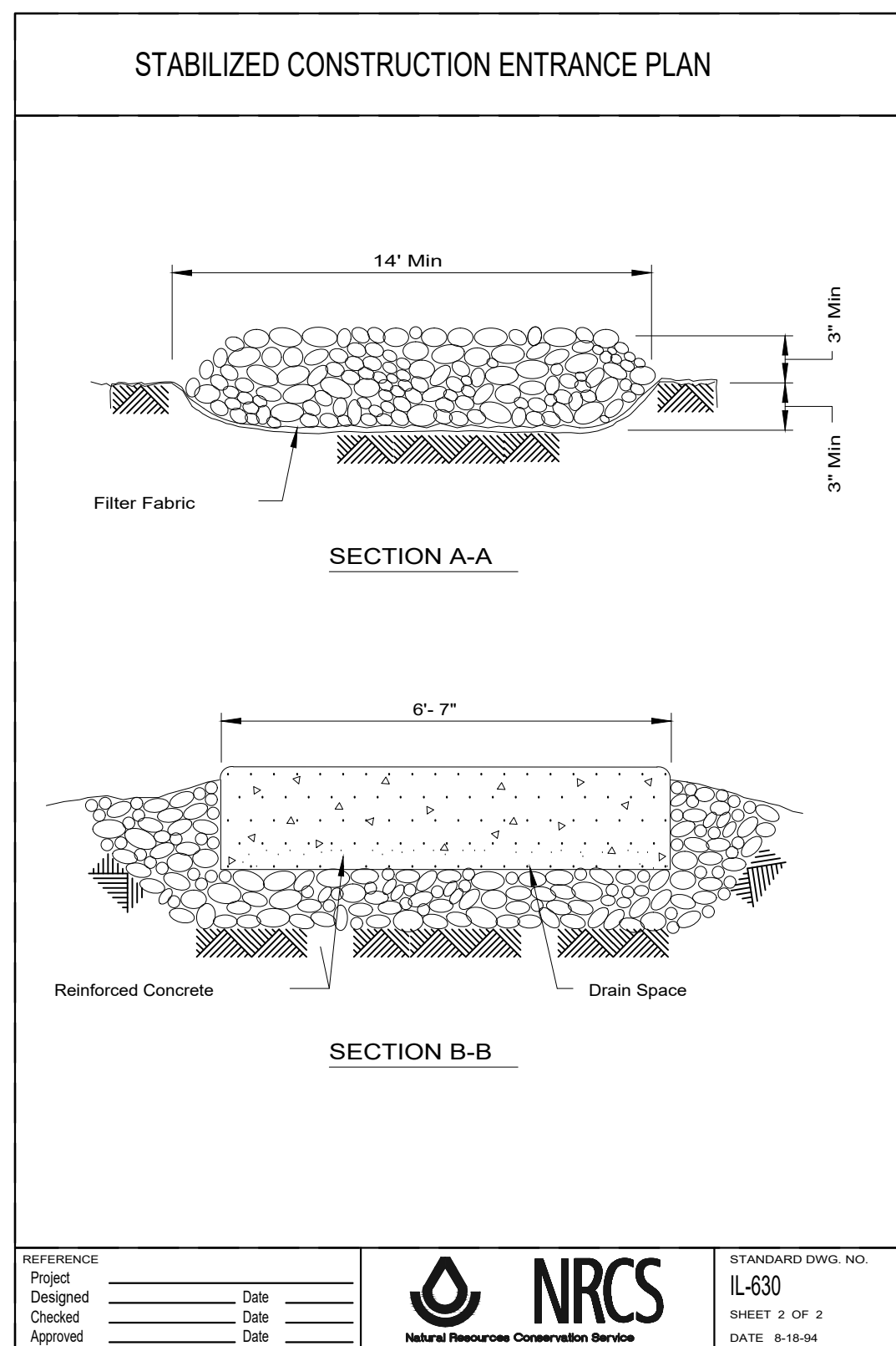
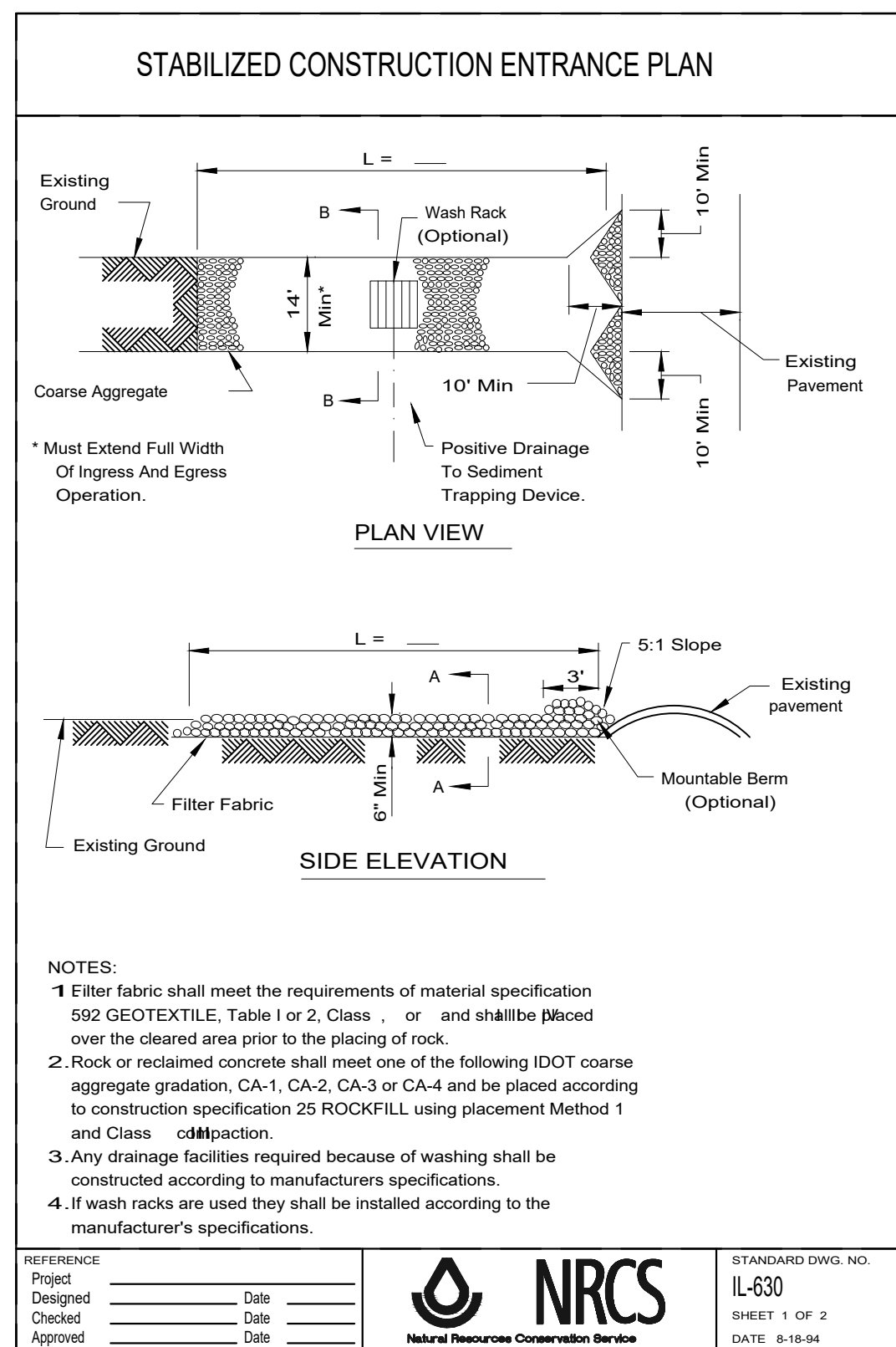
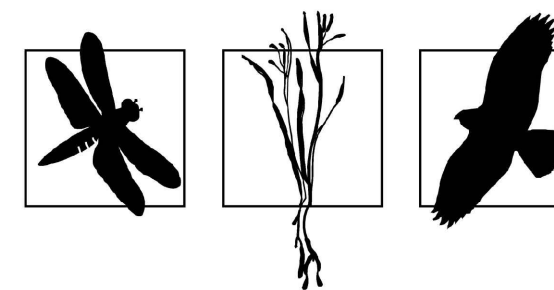
**4.5**

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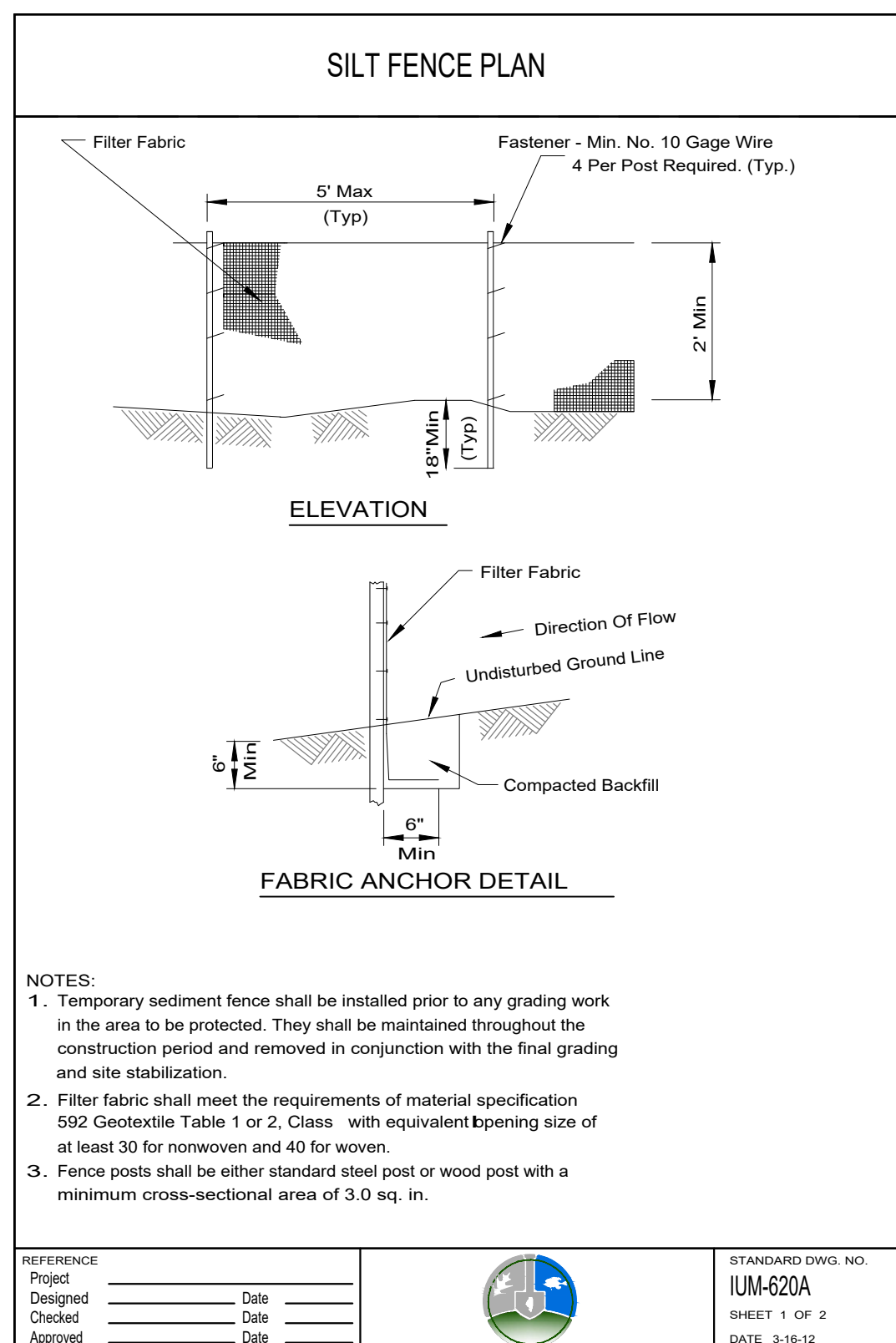
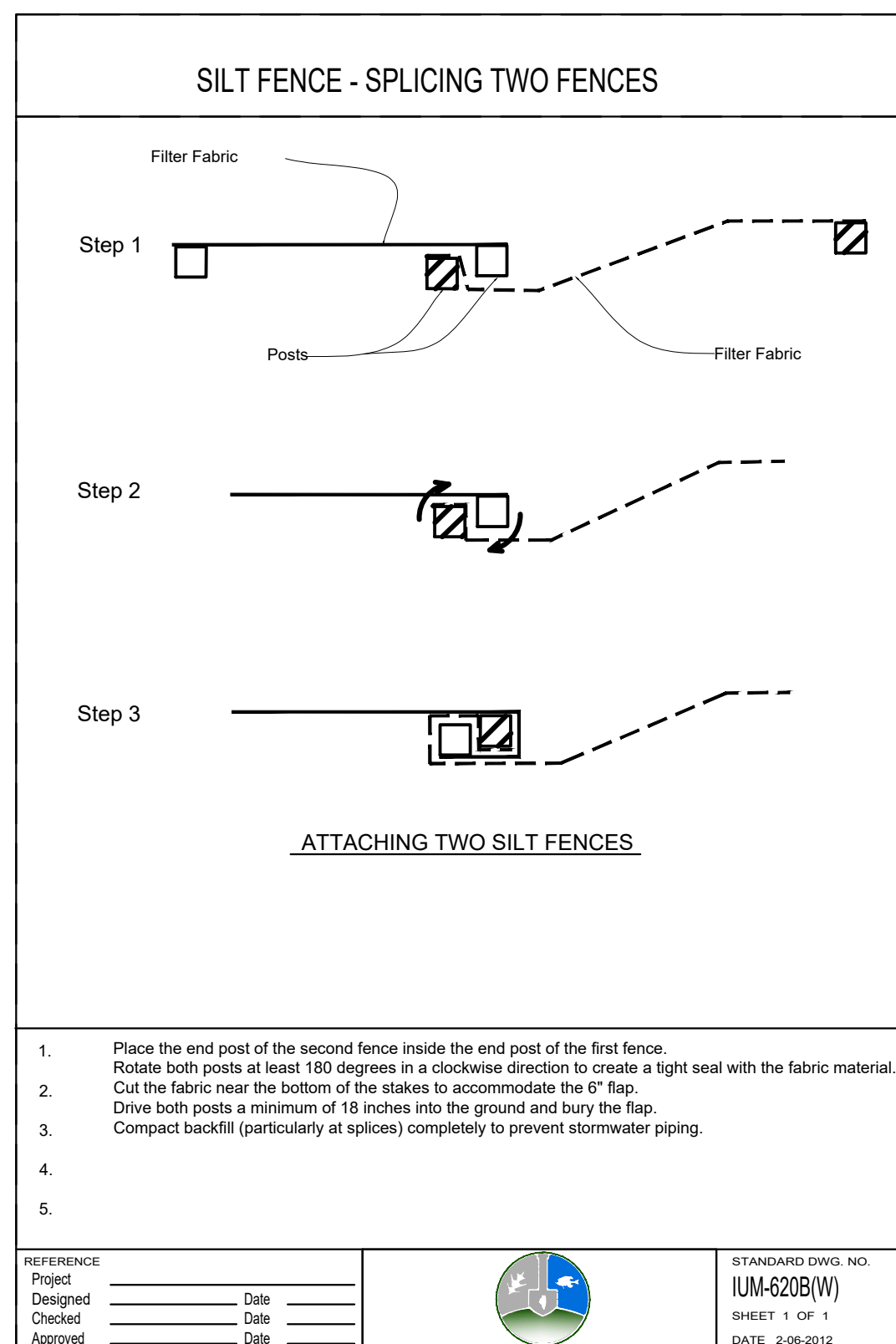




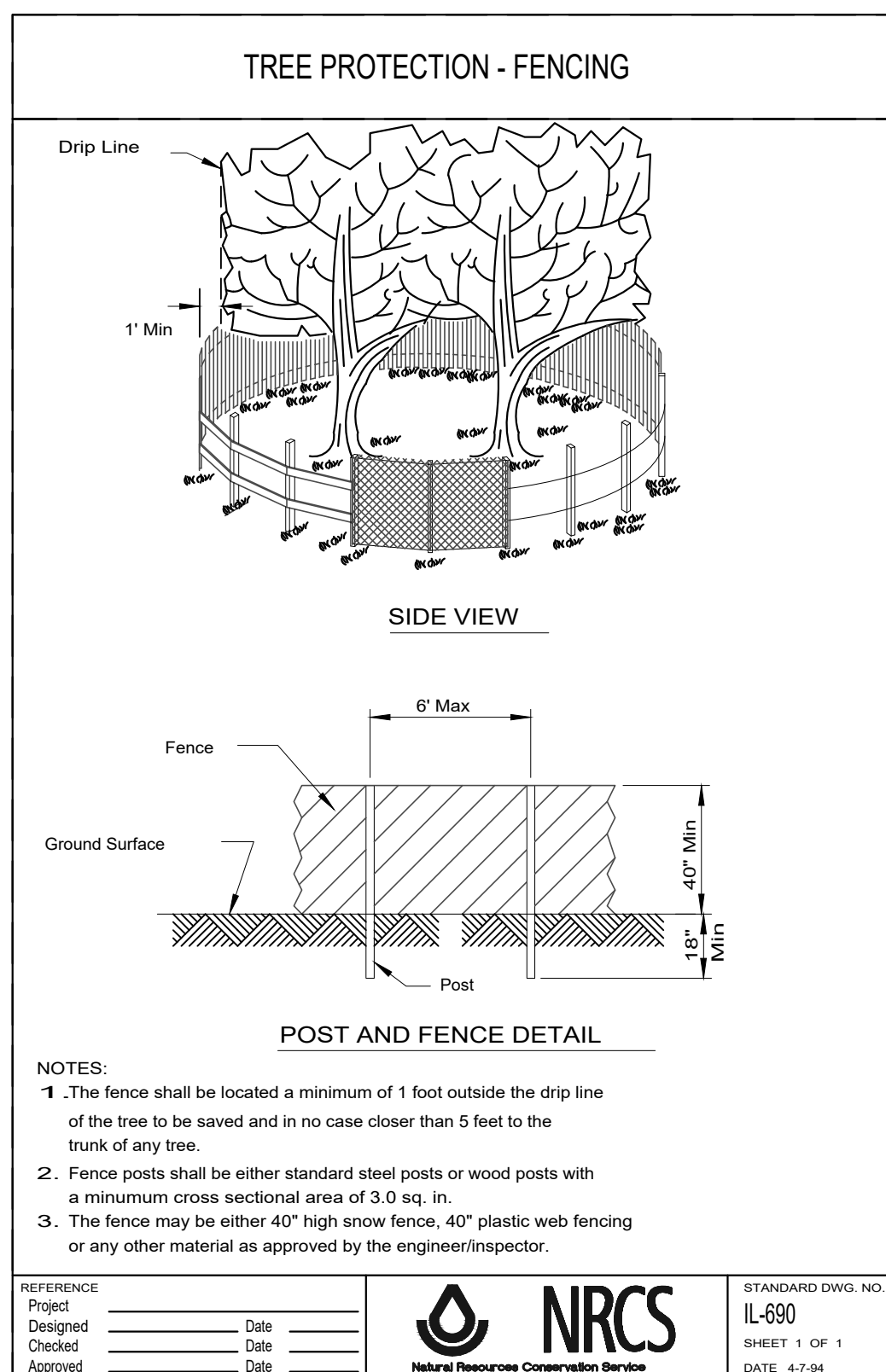
1 Stabilized Construction Entrance Plan SCALE: NTS d-NRCS-IL630-construction entrance\_12

3 Erosion Control Blanket SCALE: NTS d-IUM-530-erosion control blanket\_12

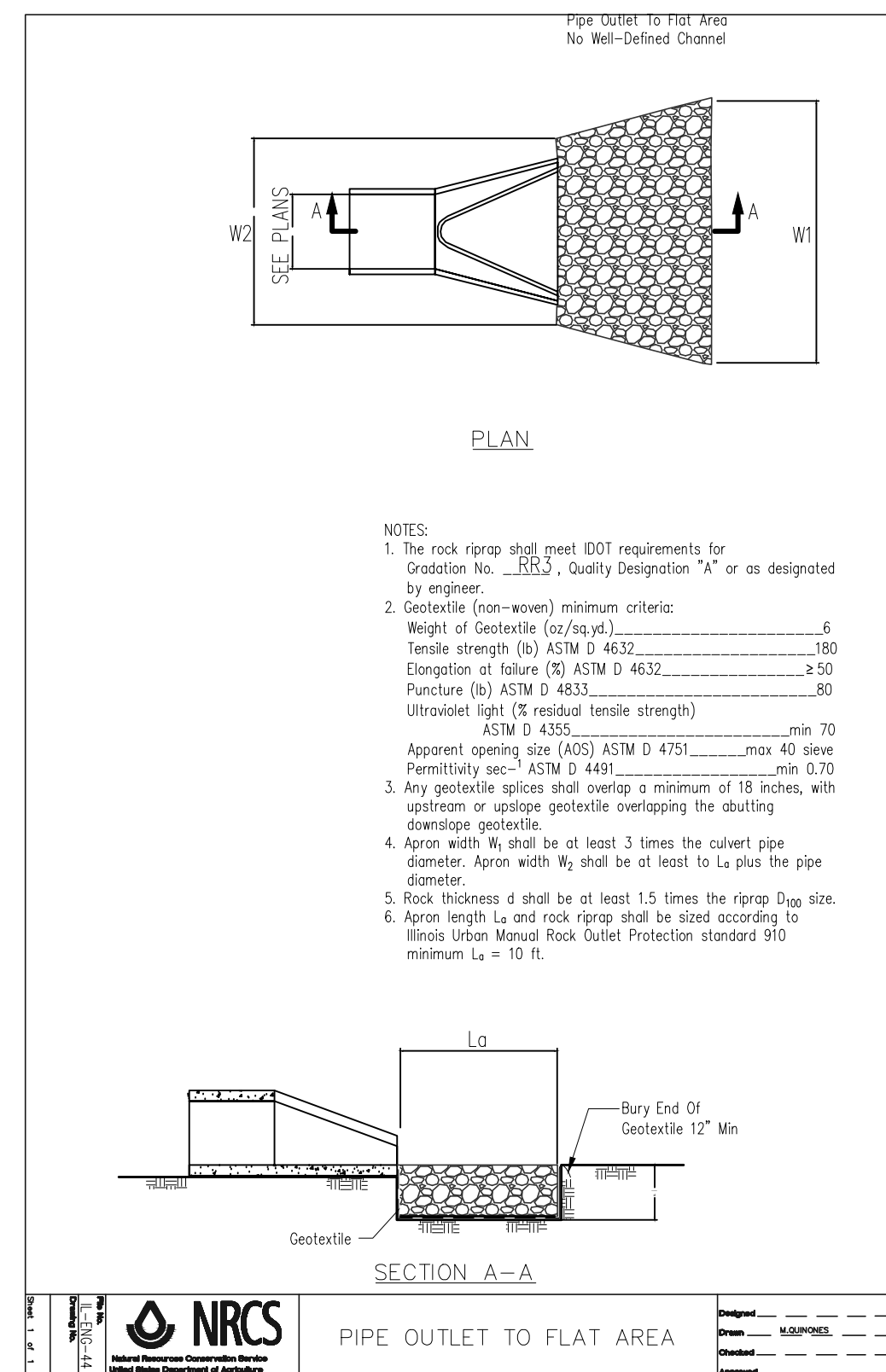
5 Ditch Check SCALE: NTS d-IUM-514RC-ditch check\_12



2 Silt Fence SCALE: NTS d-IUM 620B-silt fence\_12



4 Tree Protection Fence SCALE: NTS d-NRCS-IL690-tree protection fence\_12

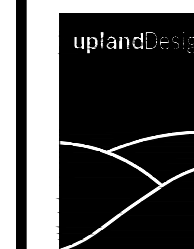


6 Pipe Outlet SCALE: NTS d-NRCS-IL-ENG44-pipe outlet\_12

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PROJECT  
**Pickerill Piggot Forest Preserve: Public Access Phase 1 OSLAD Development**  
6350 Minkler Road  
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PROJECT TEAM



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24042 Lockport St, Plainfield, Illinois 60544  
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CIVIL ENGINEER  
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Chicago, IL 60631  
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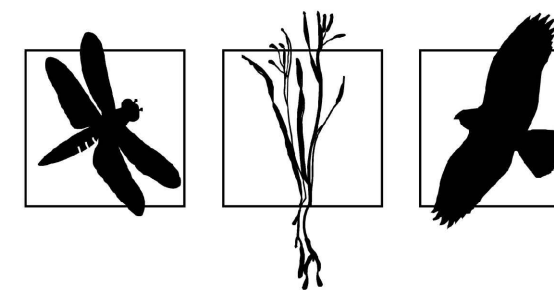
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**Construction Details**

SHEET NUMBER **5.0**

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PROJECT  
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SURVEYOR  
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SHEET TITLE  
**Construction Details**

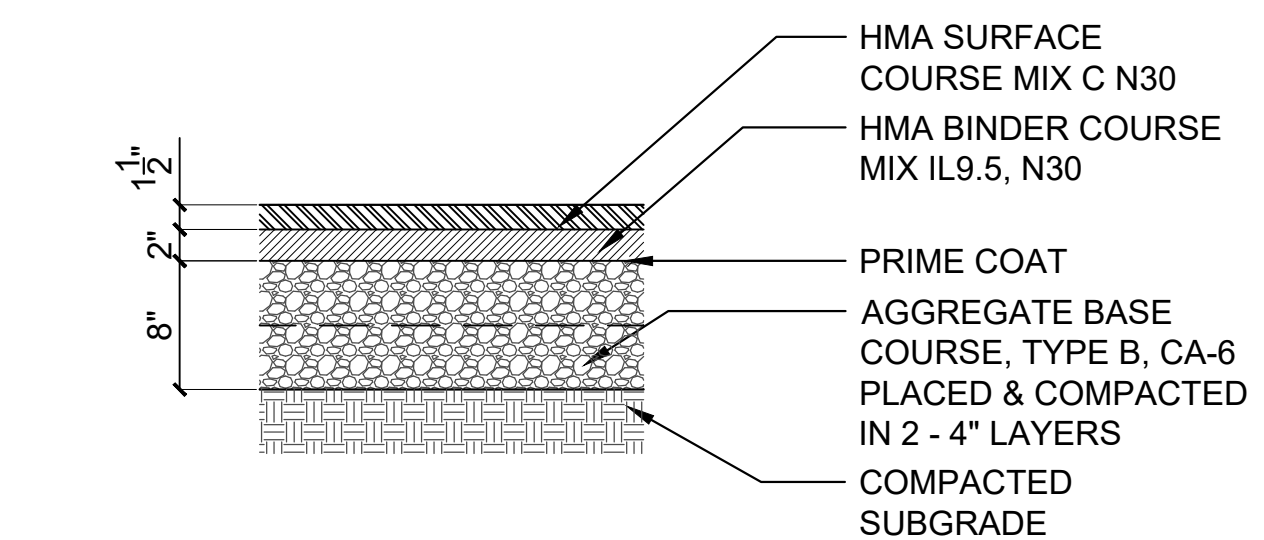
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**5.1**

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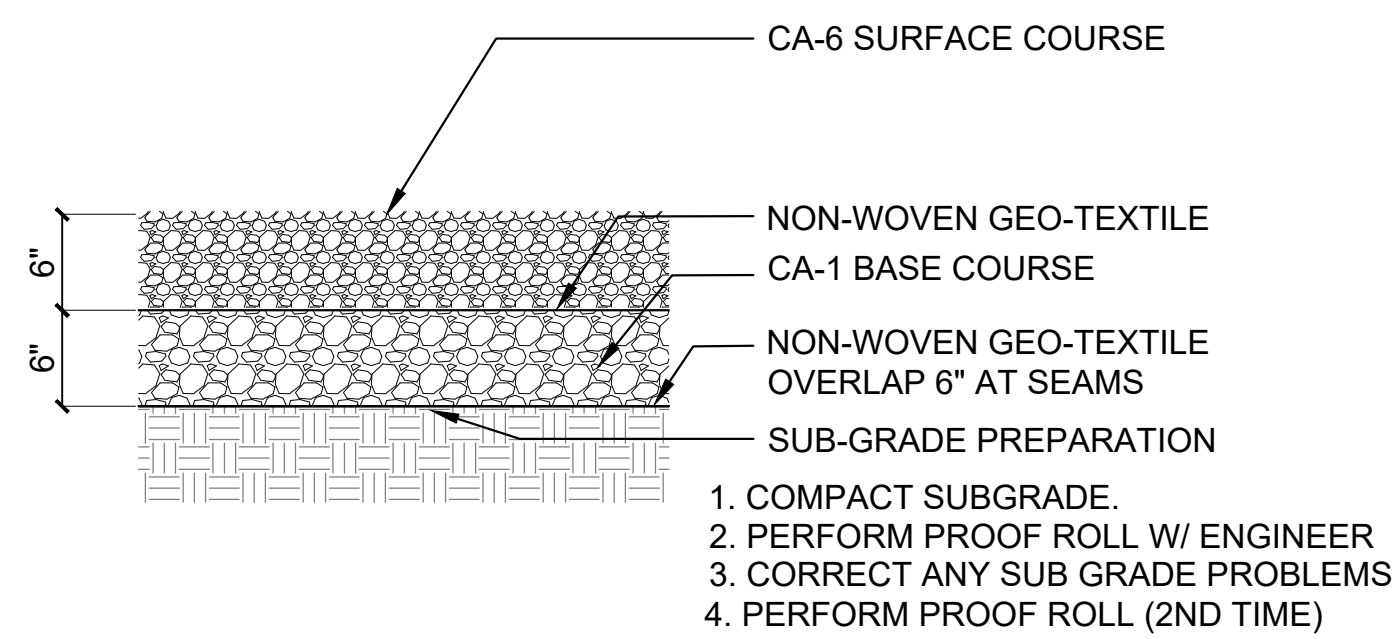
MB/TD	95% Construction Documents	18OCT2019

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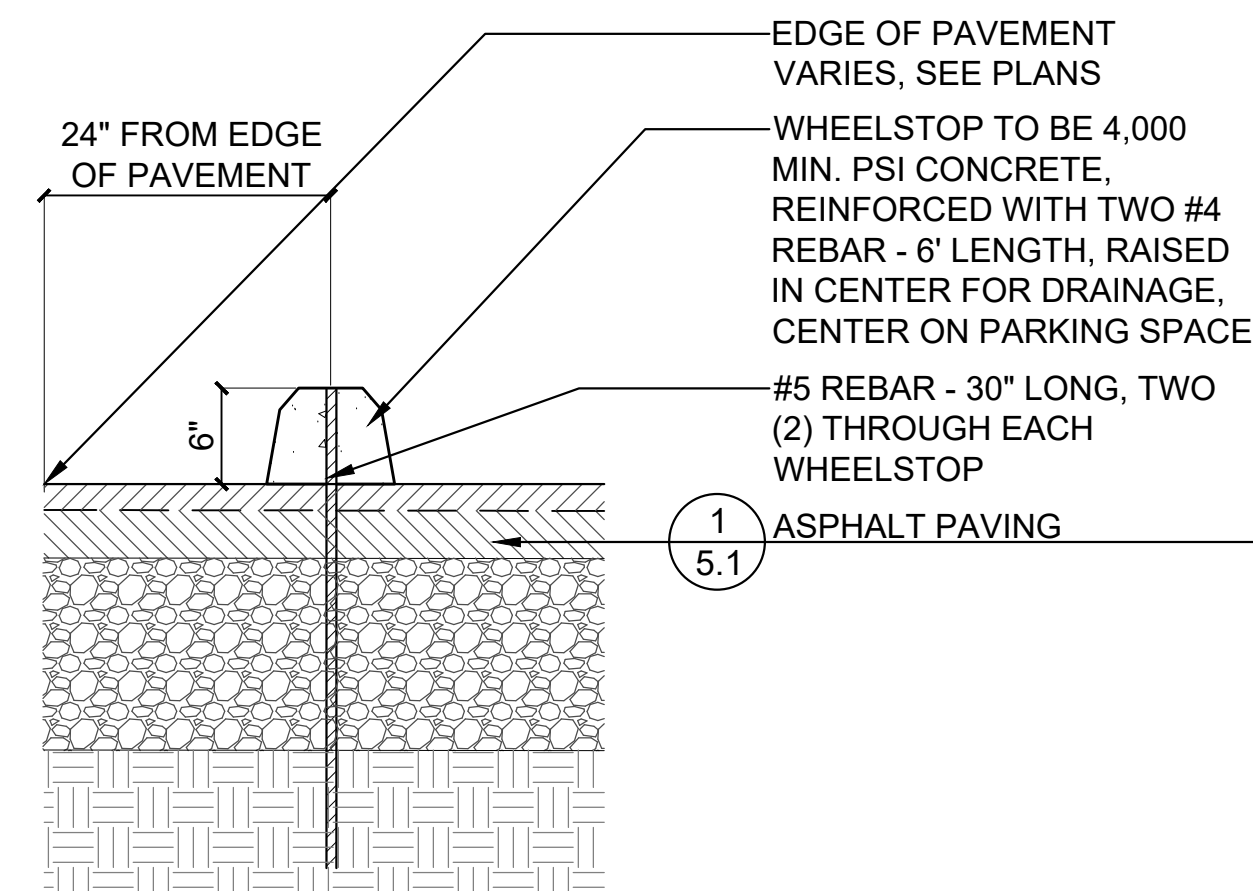
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PLOT: UPLAND 2019



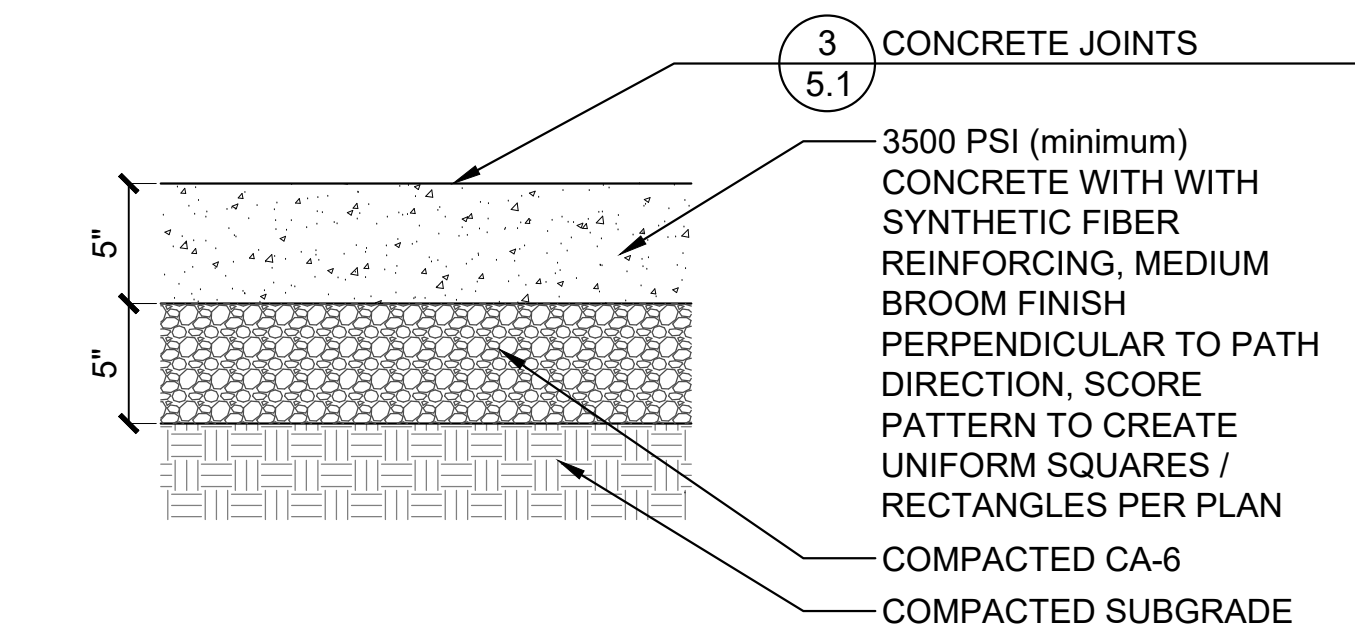
**1 Asphalt Paving**  
SCALE: 1"=1'-0"  
d-asph\_parking\_3.5in\_12.dwg



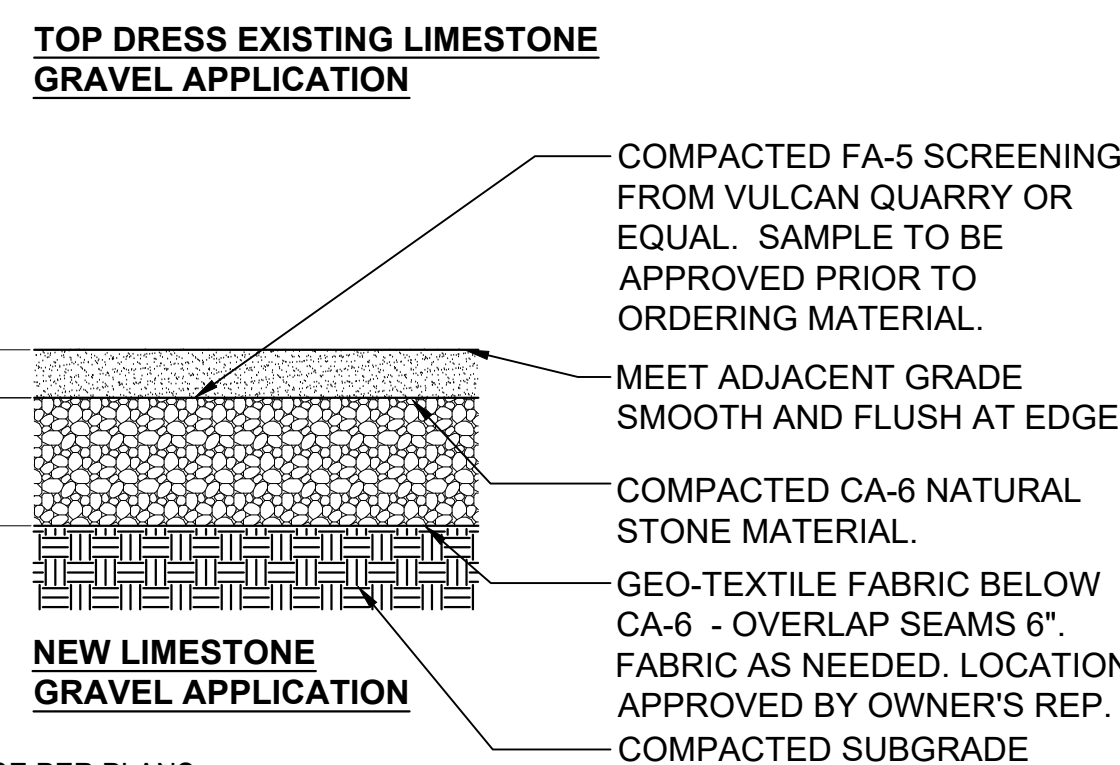
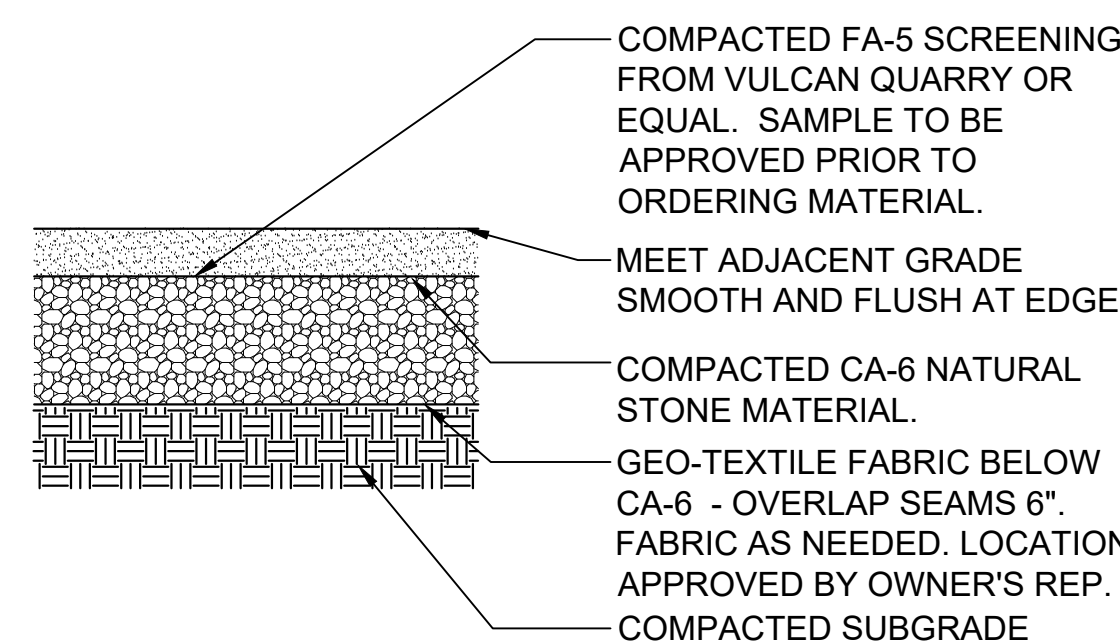
**4 Gravel Section Driveway & Parking**  
SCALE: 1"=1'-0"  
d-gravel\_parking\_12.dwg



**7 Wheelstop**  
SCALE: 1"=1'-0"  
d-parking\_wheelstop\_12.dwg

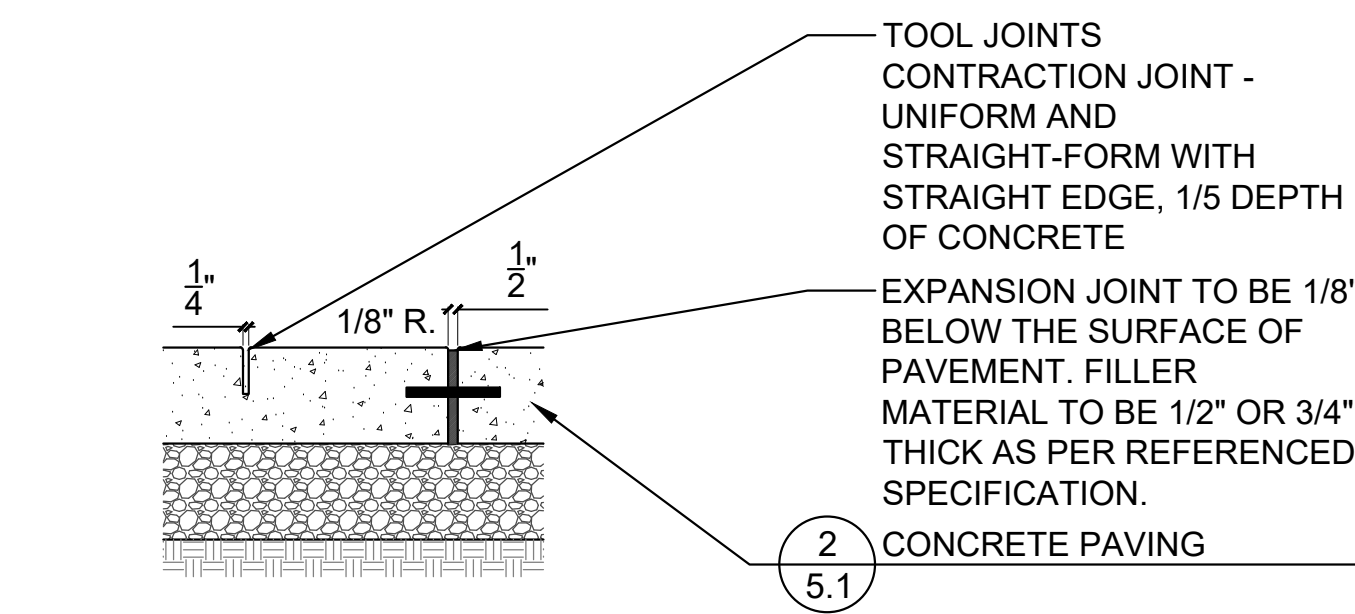


**2 Concrete Paving**  
SCALE: 1 1/2" = 1'-0"  
d-conc\_pav-5\_8



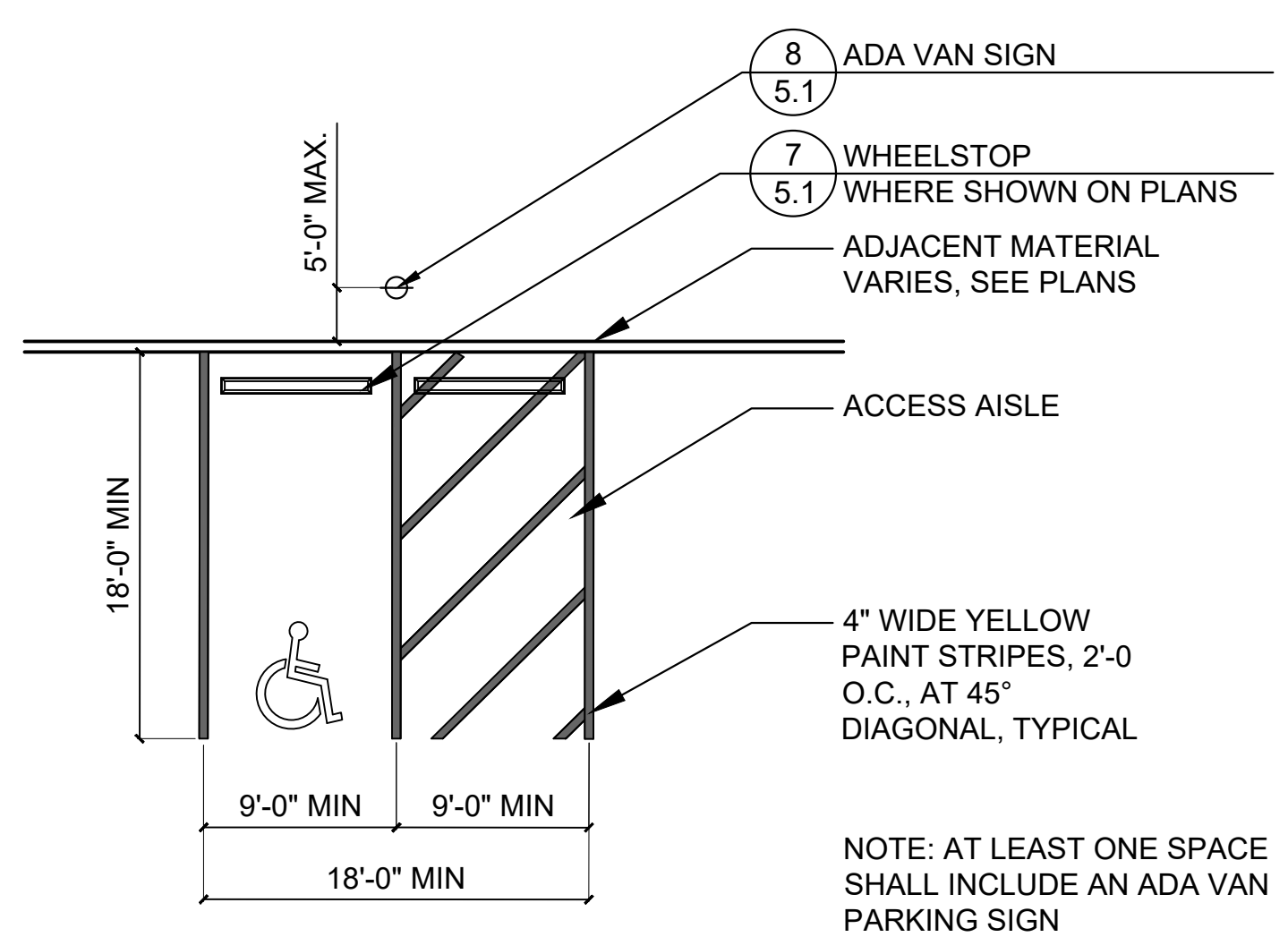
NOTES:  
1. SLOPE SURFACE PER PLANS  
2. MAXIMUM CROSS SLOPE TO BE 1.5% MAXIMUM  
3. GEOTEXTILE PER BID QUANTITY; PLACE AT AREAS OF UNSUITABLE SUBGRADE  
4. COMPOSITION TO BE 90% MINIMUM

**5 Crushed Limestone Trail**  
SCALE: 1" = 1'-0"  
Limestone-FA5 A

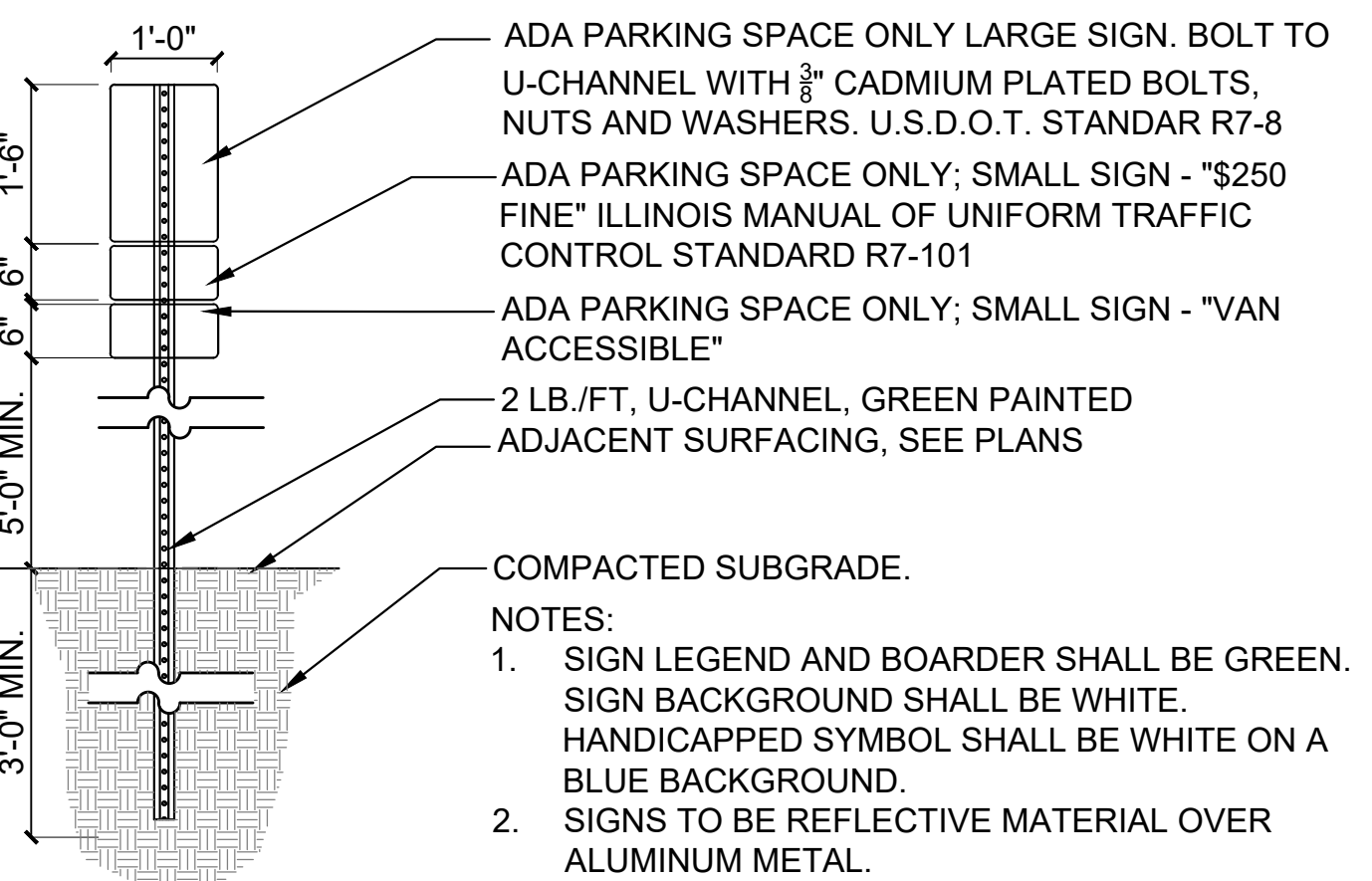


NOTES:  
1. JOINTS PLAN TAKES PRIORITY OVER NOTES EXCEPT FOR MAXIMUM SPACING.  
2. CONTRACTION JOINTS TO BE PLACED 10' O.C. MAXIMUM  
3. EXPANSION JOINTS TO BE PLACED 30' O.C. MAXIMUM  
4. PLACE EXPANSION JOINTS BETWEEN NEW CONCRETE POURS AND INSTALL 8" EPOXY COATED BARS, 12" O.C.  
5. CURB JOINTS TO MATCH CONCRETE PAVING WHERE APPLICABLE  
6. NO 'CALIFORNIA JOINTS'

**3 Concrete Joints**  
SCALE: 1 1/2"=1'-0"  
d-conc\_joints\_8.dwg

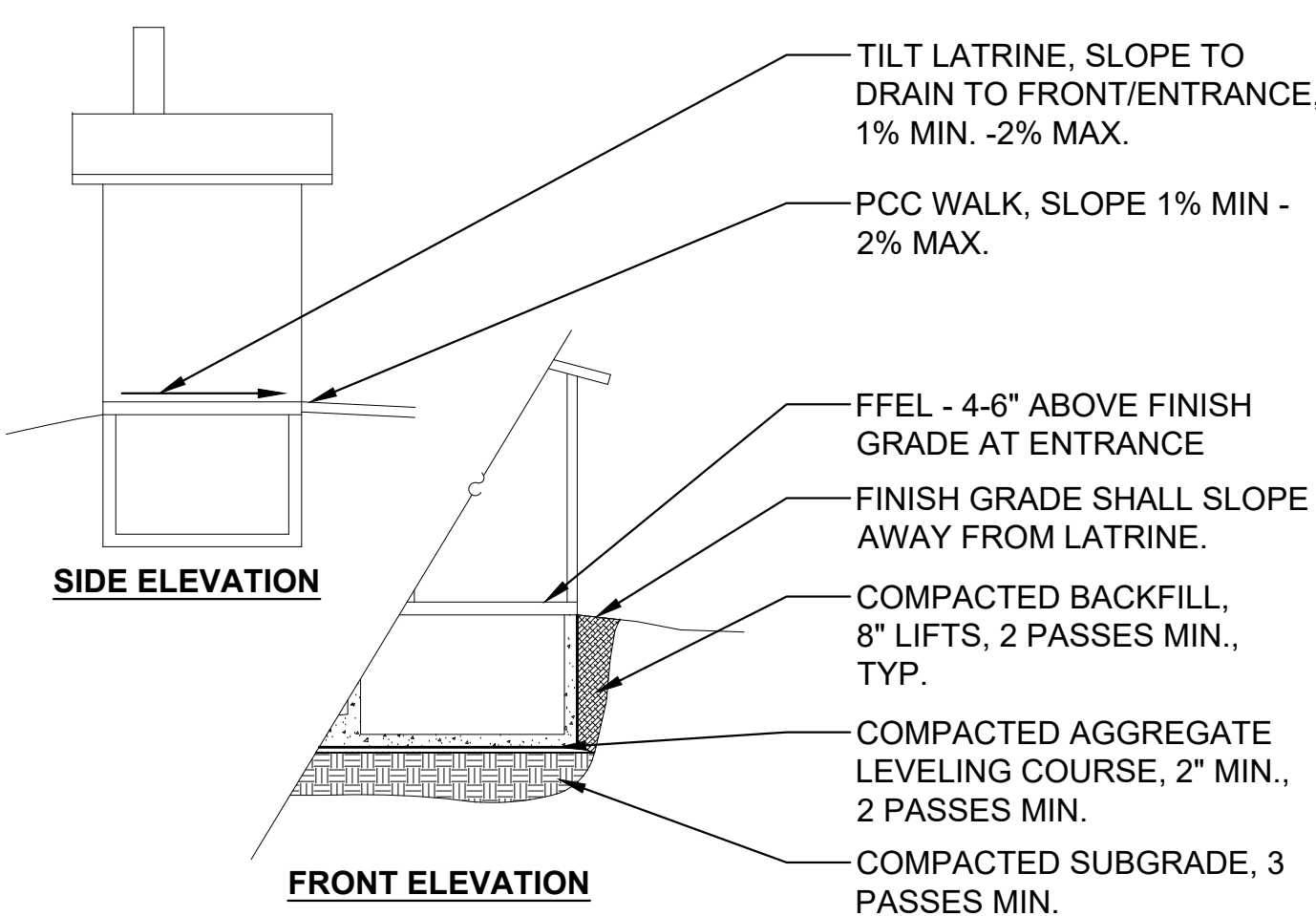


**6 ADA Parking Space**  
SCALE: NTS  
d-ADA\_parking\_12

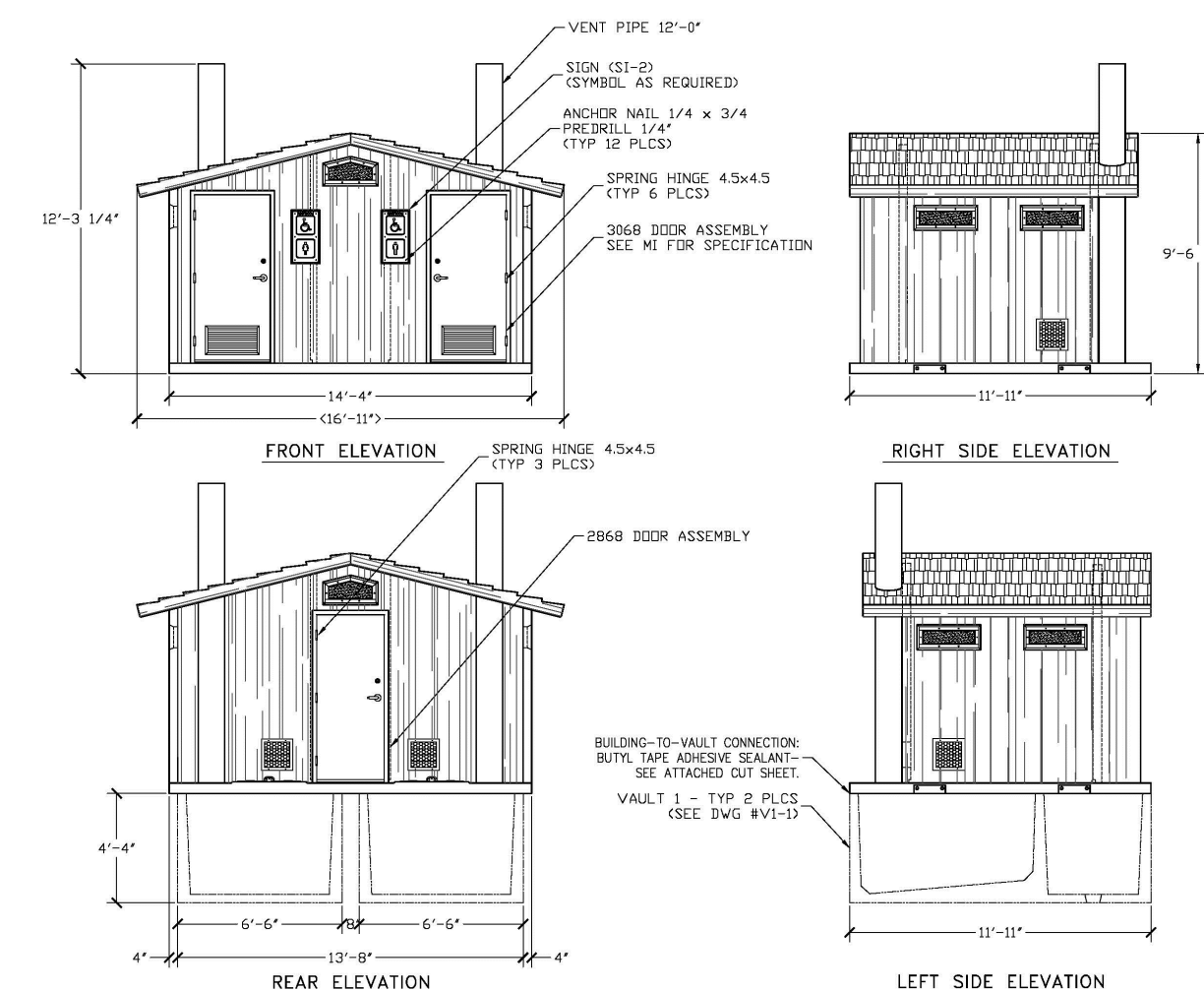
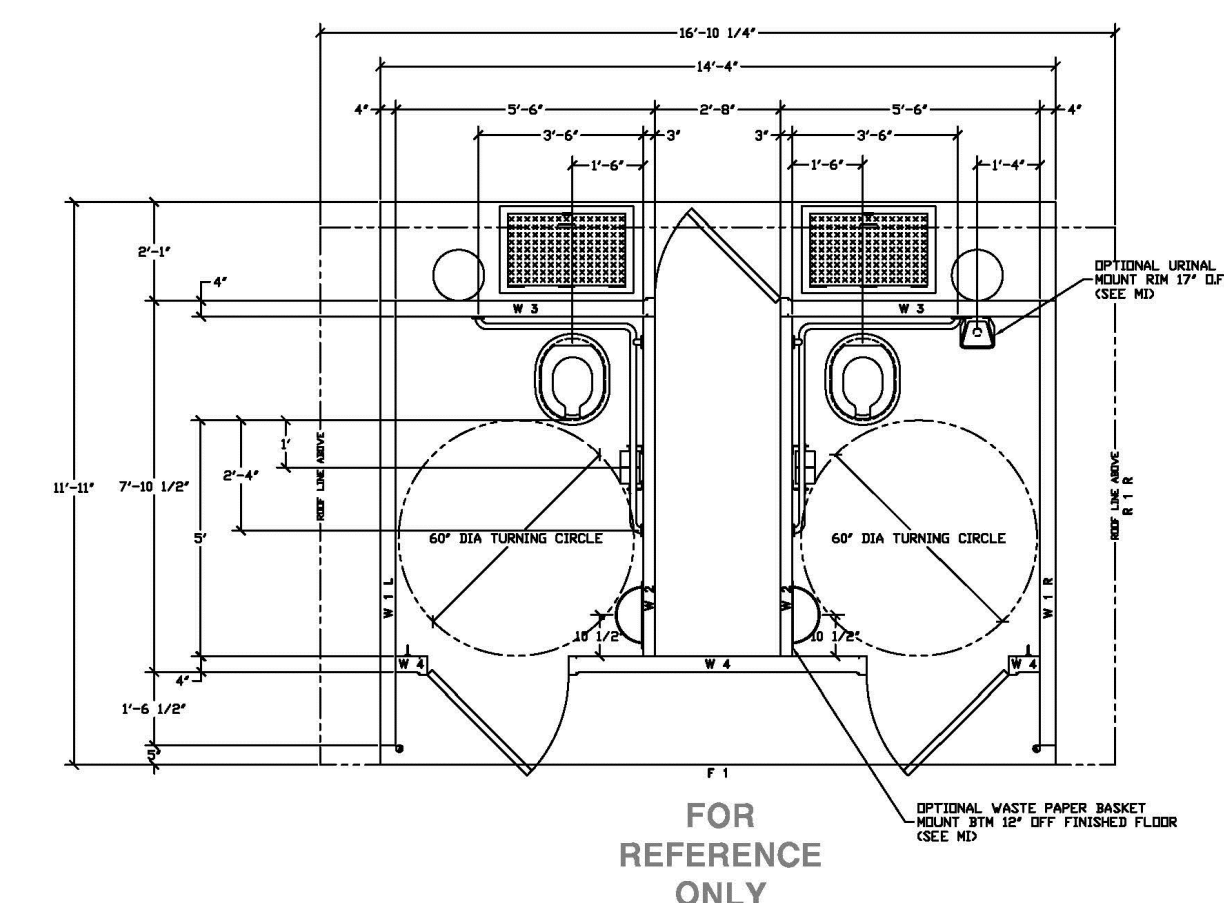


**8 ADA Van Sign**  
SCALE: N.T.S.  
d-sign\_ada van metal\_12.dwg

Latrine Building:  
1. Price to include sealed drawings - from factory- for Kendall County building permit submittal.  
2. No Water Line to building  
3. Set building on concrete tank per manufacturer instructions. Install compacted gravel under tank per details and in cases of overdig and unsuitable soil - see specifications.  
4. Include solar light and solar fan from manufacturer.  
5. Building Orientation - per plans (Confirm door swing prior to placing order), the black stack pipe to face south.

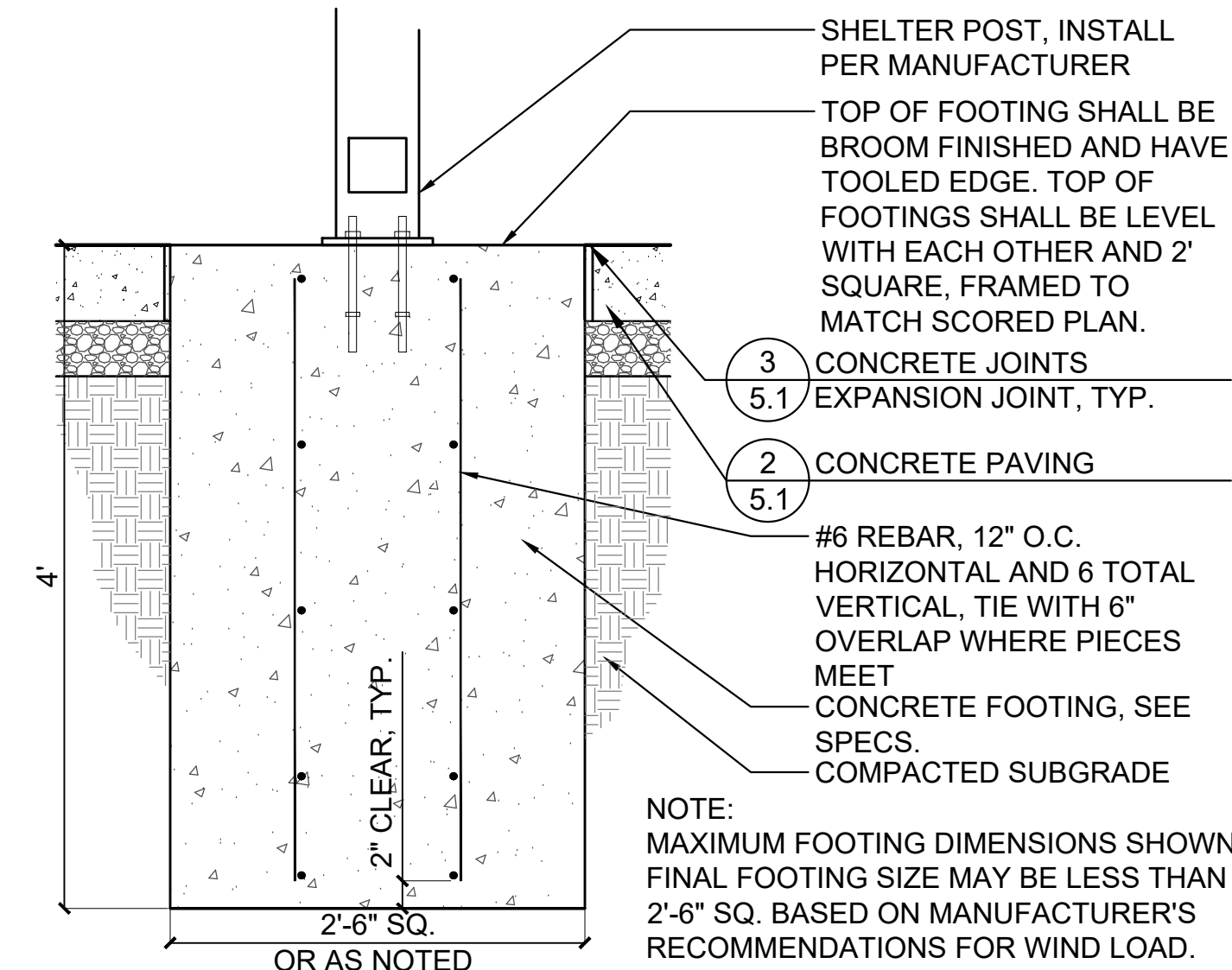


**9 Restroom Building**  
SCALE: Not to Scale  
d-CXT\_12

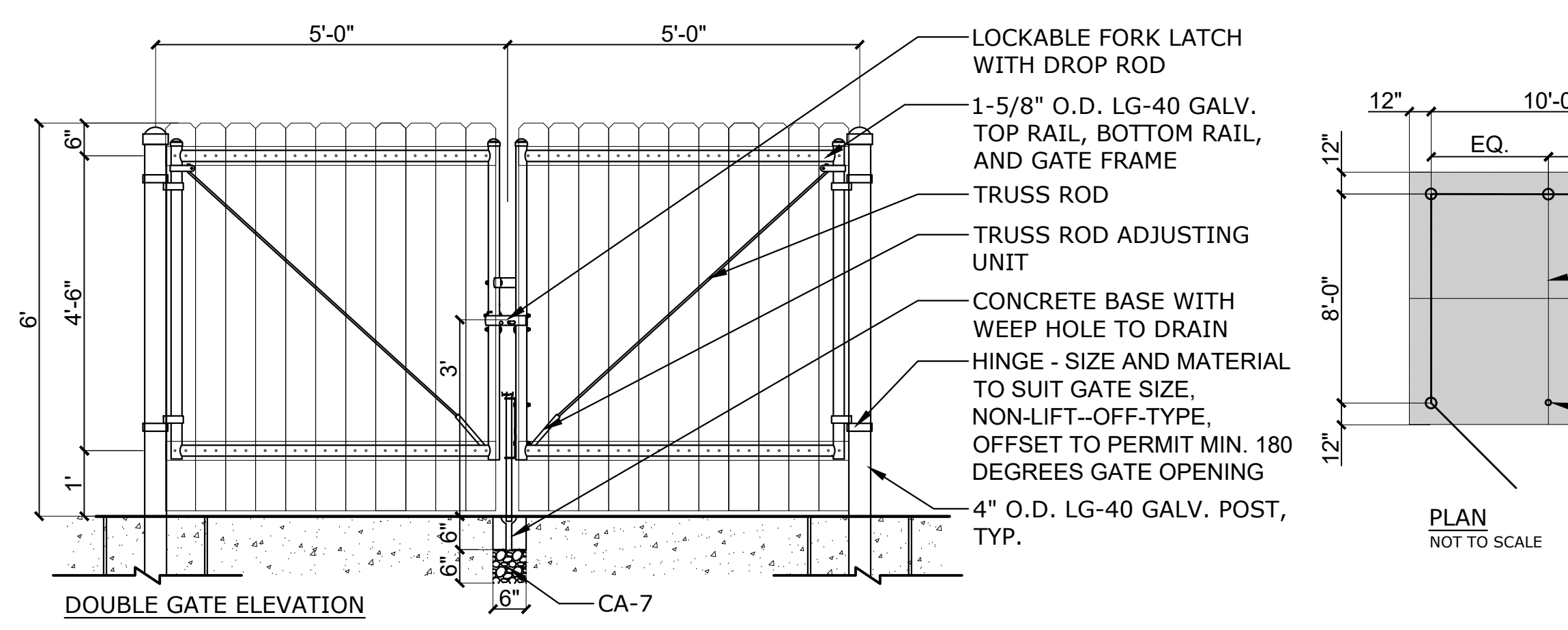
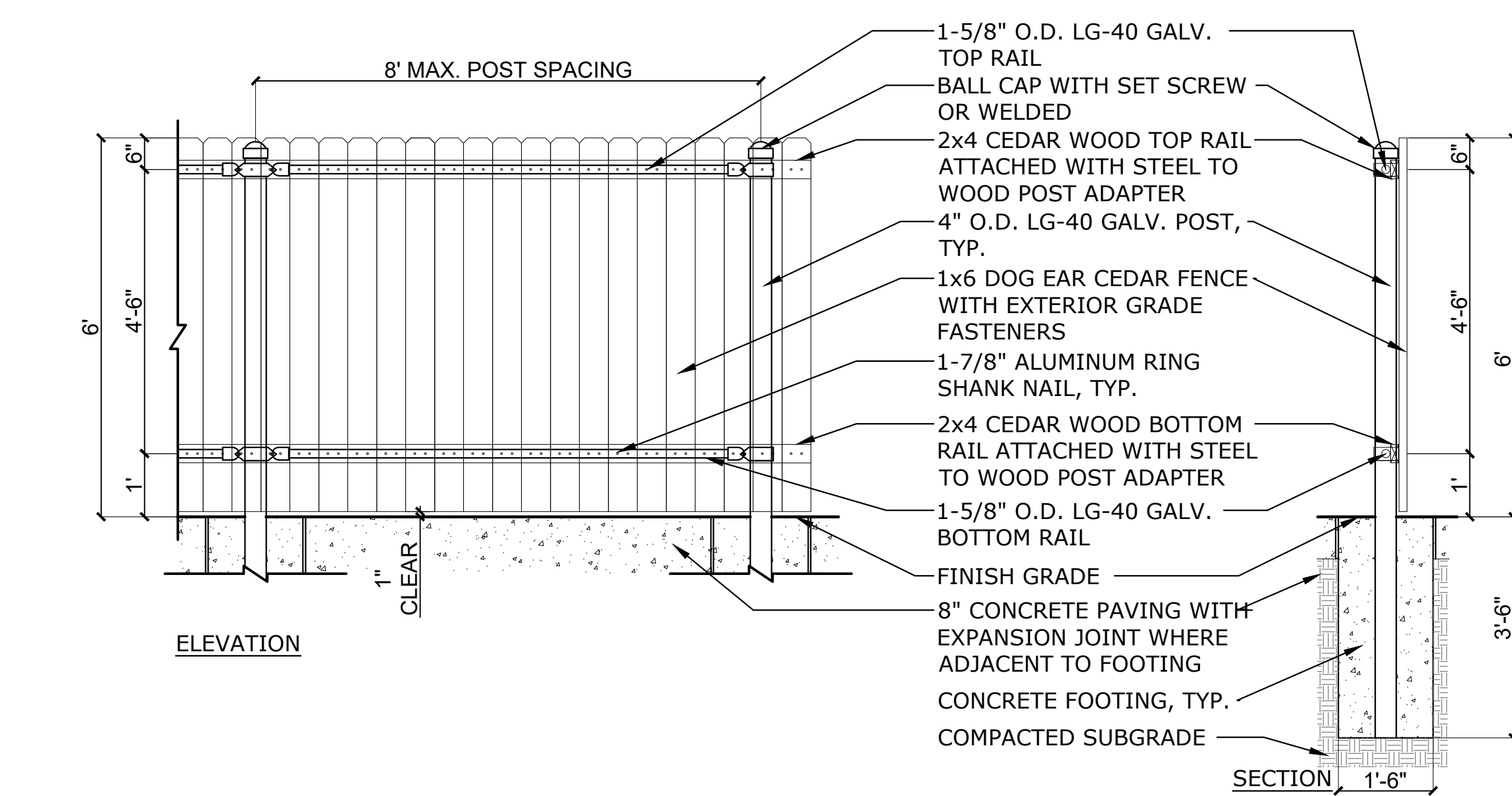


**NOTES:**

1. MANUFACTURER: CEDAR FOREST PRODUCTS, SUPPLIER: NUTOYS LEISURE PRODUCTS 708-579-9055
2. CONTRACTOR TO PROVIDE ALL NECESSARY MATERIALS AND EQUIPMENT FOR A COMPLETE INSTALLATION.
3. CONTRACTOR TO TAKE DELIVERY OF SHELTER AND INSTALL COMPLETE. UNCRATE, CHECK, DELIVER TO SITE AND FULLY ASSEMBLE AND INSTALL.
4. POSTS TO SET ON FOOTING AND ATTACHED TO GALVANIZED STEEL ANCHOR BOLTS SUPPLIED BY MANUFACTURER.
5. BID ITEMS TO INCLUDE COMPLETE SHELTER INCLUDING FOOTINGS, FILL & COMPACTION
6. FOLLOW MANUFACTURER'S SPECIFICATIONS FOR INSTALLATION INSTRUCTIONS. COLOR: PER SITE AMENITIES SCHEDULE. ALL STEEL COMPONENTS TO BE POWDERCOATED.
7. TONGUE AND GROOVE STAIN SHALL BE SHERWIN WILLIAMS EXTERIOR STAIN COLOR: **TRANSPARENT \*\*\*\*\***
8. SUBMIT STAMPED ENGINEERED SHOP DRAWINGS.

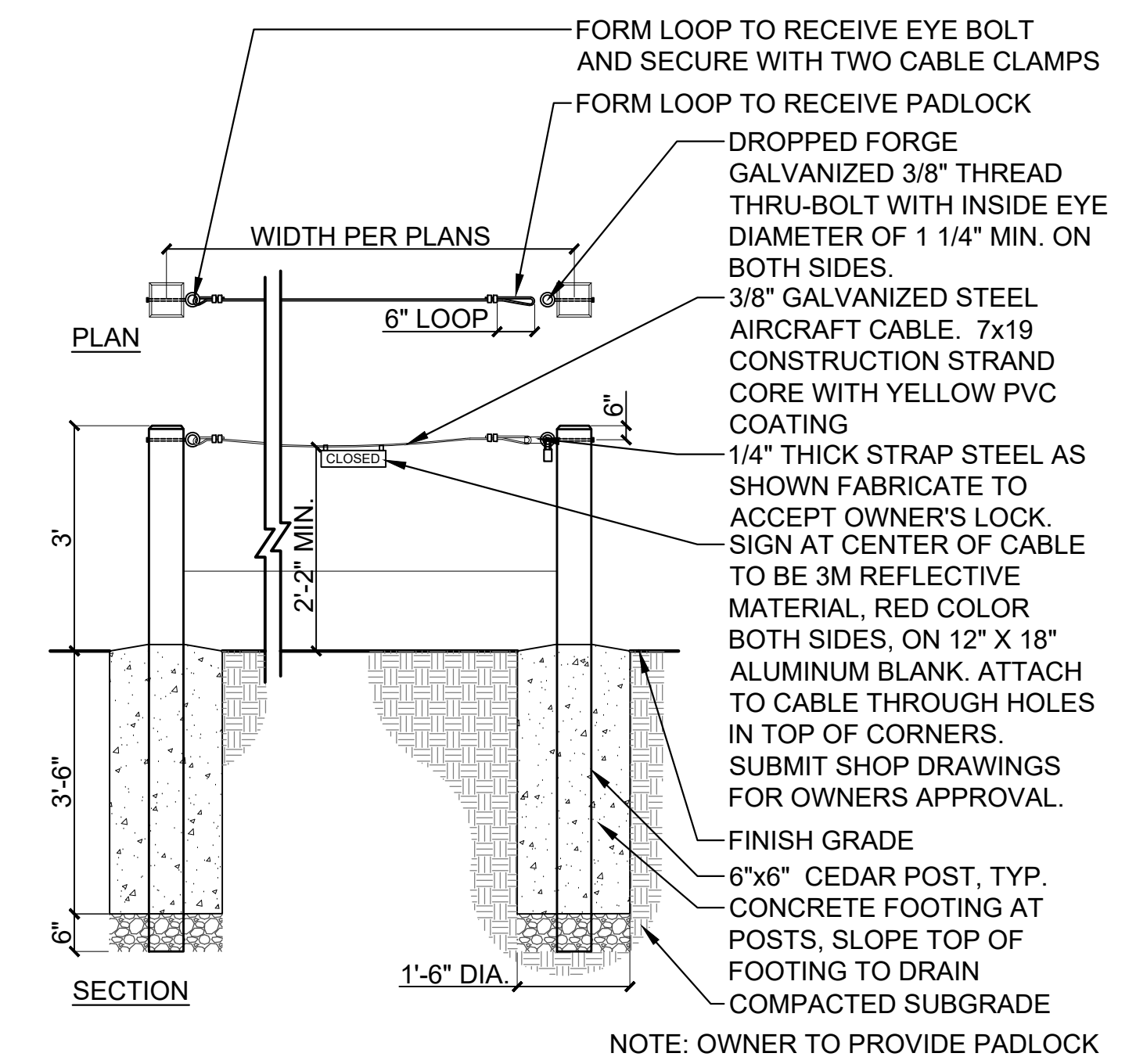


**1 Shelter Footing**  
SCALE: 1/2"=1'-0"  
det-shelter-footing\_12

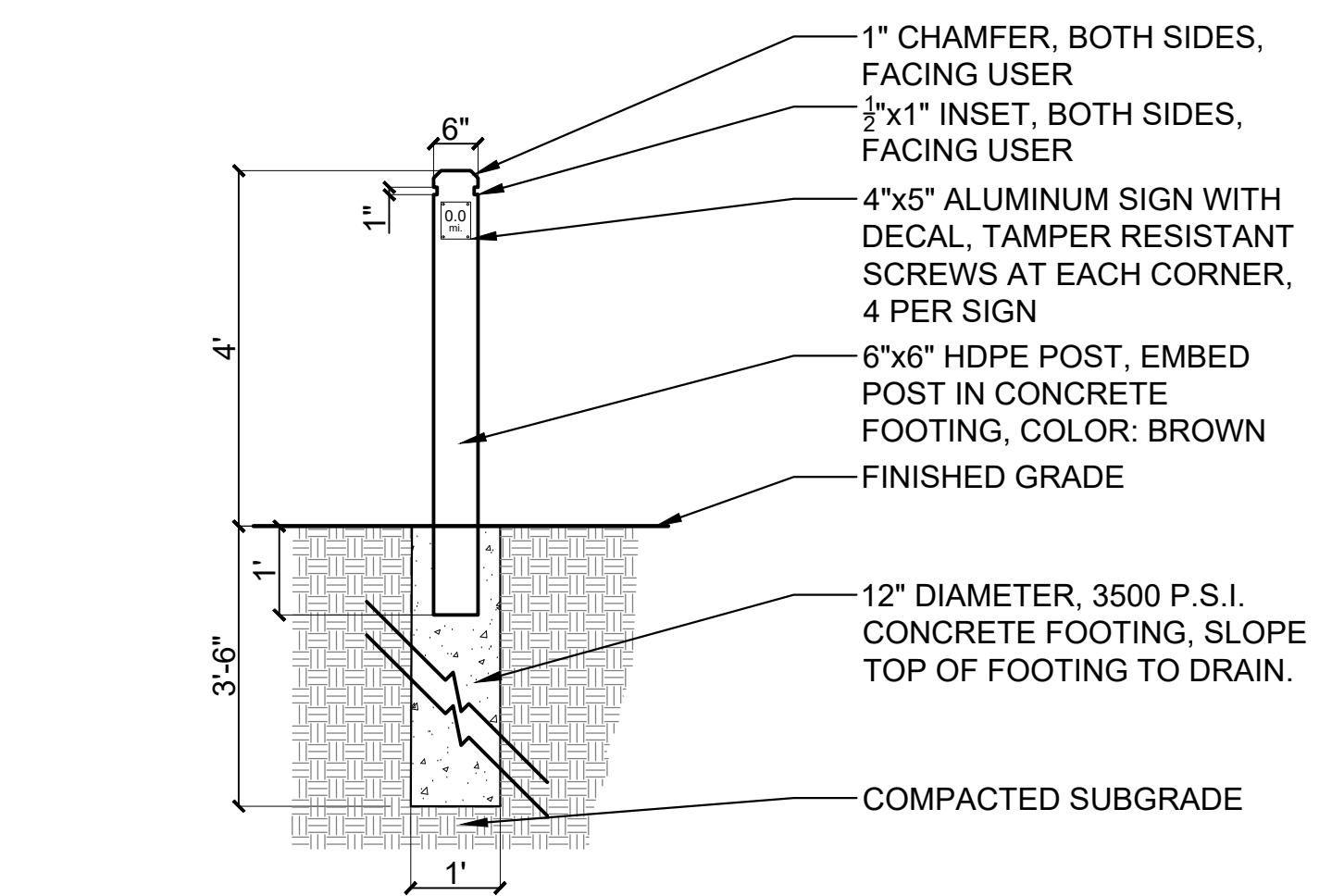


**2 Dumpster Enclosure**  
SCALE: 1/2"=1'-0"  
d-dumpster enclosure\_24

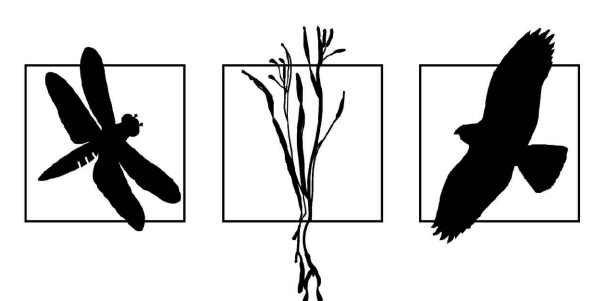
- NOTES:**
1. SUBMIT SHOP DRAWINGS INCLUDING HARDWARE.
  2. WOOD TO BE ON EXTERIOR OF ENCLOSURE.
  3. FENCE AND GATE INSTALLATION SHALL CONSIST OF FURNISHING ALL LABOR MATERIALS, TOOLS AND EQUIPMENT NECESSARY TO INSTALL FENCES AND GATES.
  4. CONTRACTOR SHALL ORDER AND TAKE DELIVERY OF ALL PRODUCTS AND MATERIALS. UPON RECEIPT, ALL MATERIALS SHALL BE CHECKED TO ENSURE THAT NO DAMAGES OCCURRED DURING SHIPPING OR HANDLING. MATERIALS SHALL BE STORED IN SUCH A MANNER TO ENSURE PROPER VENTILATION AND DRAINAGE, AND TO PROTECT AGAINST DAMAGE, WEATHER, VANDALISM, AND THEFT.
  5. INSTALL GATES PLUMB, LEVEL AND SECURE FOR FULL OPENING WITHOUT INTERFERENCE. INSTALL GROUND SET ITEMS IN CONCRETE FOR ANCHORAGE. ADJUST HARDWARE FOR SMOOTH OPERATION AND LUBRICATE WHERE NECESSARY. GATES SHALL SWING OUTWARD. GATE LEAF HOLDBACKS SHALL BE INSTALLED ON ALL DOUBLE GATES.



**3 Cable Gate**  
SCALE: 1/2"=1'-0"  
d-cable gate\_24



**4 Trail Marker**  
SCALE: 1/2"=1'-0"  
d-trail-marker\_24



110 W. Madison Street  
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PROJECT  
**Pickerill Piggot Forest Preserve: Public Access Phase 1 OSLAD Development**

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PROJECT TEAM

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SHEET TITLE

**Construction Details**

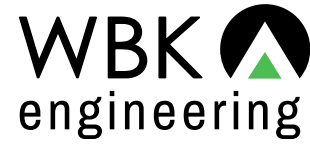
SHEET NUMBER

**5.2**

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November 4, 2019

Mr. Matt Asselmeier  
Kendall County Planning, Building, & Zoning  
111 West Fox Street  
Yorkville, IL 60560-1498

Subject: Stormwater Variance Request  
Pickerill Piggot Forest Preserve: Public Access  
Phase 1 OSLAD Development  
6350 Minkler Road, Yorkville, Illinois 60560  
Kendall County (WBK no 19-102.G)

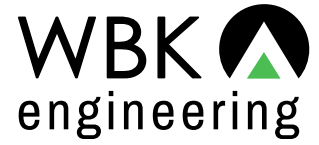
Dear Mr. Asselmeier:

WBK Engineering has completed a review of the documents submitted for the subject variance request. These documents include:

- Kendall County Stormwater Variance Application, preparer and date not identified, received October 21, 2019
- Construction Plans for Pickerill Piggot Forest Preserve: Public Access Phase 1 OSLAD Development prepared by Upland Design Ltd. Not dated and received October 21, 2019
- Plats of Survey prepared by Phillip D. Young & Associates, Inc. with various dates received October 21, 2019
- Detention Volume Versus Impervious Chart, preparer and date not identified, received October 21, 2019

The following comments are offered for the petitioner's consideration. The following comments require resolution prior to our recommendation for approval of the variance.

1. Item G of the Variance Application identifies valuable environmental resources including trees. Provide a tree survey if available. Also provide a planting plan to support the native plantings identified in Item G.
2. Within the variance application provide a quantitative comparison of peak flows from the existing to the proposed conditions. Provide a statement signed and sealed by a professional engineer stating no adverse impacts to downstream property owners.



3. Please incorporate stormwater BMP's into the project such as grassed swales and pond forebay where possible to treat runoff from the proposed parking lot.

The applicant's design professionals are responsible for performing and checking all design computations, dimensions, details, and specifications in accordance with all applicable codes and regulations, and obtaining all permits necessary to complete this work. In no way does this review relieve applicant's design professionals of their duties to comply with the law and any applicable codes and regulations, nor does it relieve the Contractors in any way from their sole responsibility for the quality and workmanship of the work and for strict compliance with the permitted plans and specifications.

Sincerely,

A handwritten signature in black ink, appearing to read "Greg Chismark". The signature is stylized with a large, sweeping initial "G" and a long, horizontal flourish extending to the right.

Greg Chismark, P.E.  
Municipal Practice Principal

# KENDALL COUNTY FOREST PRESERVE DISTRICT

HISTORIC KENDALL COUNTY COURTHOUSE

110 WEST MADISON STREET

YORKVILLE, IL 60560

David Guritz, Director – Kendall County Forest Preserve District  
Michelle Kelly, Principal – Upland Design  
David Kraft, Senior Civil Engineer – Hey and Associates

Matt Asselmeier, Senior Planner  
111 W. Fox Street  
Yorkville, IL 60560

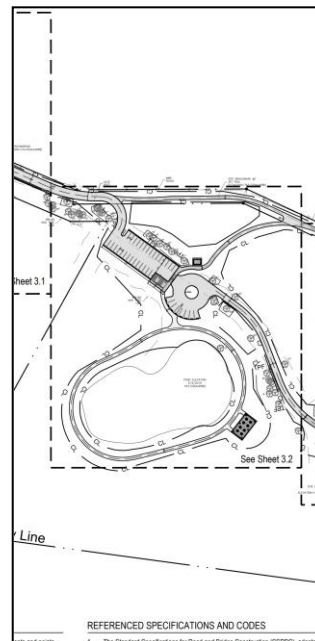
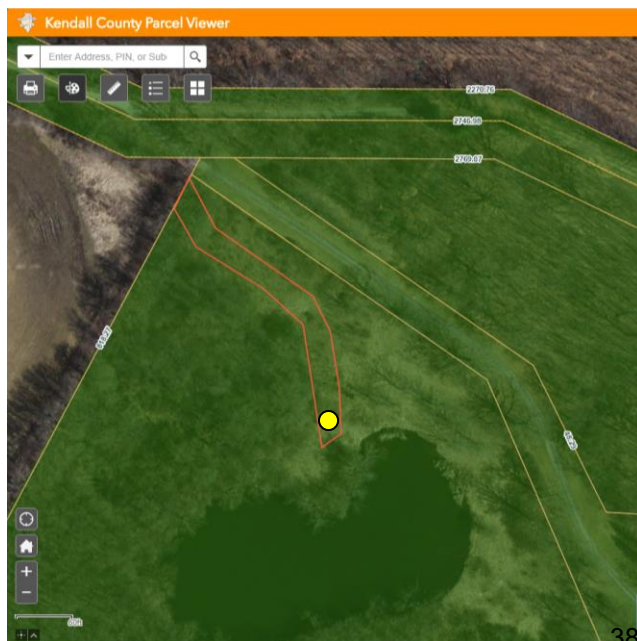
RE: Letter of Response – WBK Engineering Letter Dated November 4, 2019

Dear Mr. Asselmeier:

This letter is submitted to address the comments offered in the WBK Engineering letter dated November 4, 2019 following review of the District's stormwater variance application for the Pickerill-Pigott Phase I OSLAD Site Development Project.

With respect to Item 1, the District has not completed a formal tree survey. However, cursory review of the area proximal to the proposed parking lot includes both mature and younger trees and shrubs including oak sp., cherry, maple, dogwood, and sumac. A formal tree survey can be completed by the District, if necessary. Restoration plans for the area include removal of invasive honeysuckle, control of Canada goldenrod, and supplementary planting of wet-mesic prairie perennial forbs within the existing lower-lying drainage swale (Figure 1 and Figure 2):

**Figure 1:** Existing Drainage Swale Adjacent to Proposed Parking Area



**Figure 2:** Existing Drainage Swale Photo Point  
Figure 1 - Yellow Tag Vantage Point Looking N-NW



Location of the parking lot and turnaround was designed to take advantage of the existing drainage way, and reduce impact to the surrounding forested areas. The open areas around the pond are supporting oak regeneration, so other than control of invasive species present, reintroduction of prescribed fire, and enhancement of swale forb diversity, no other plantings are planned.

With respect to Item 2, Hey and Associates will provide the appropriate calculations and documentation that adverse impacts to downstream property owners will not occur with the formal permit submittal following acceptance of the requested variance. The existing drainage swale does currently exhibit active flow and drainage during peak storm events that has historically exited the property through existing culverts in two locations along the entry drive into the adjacent property's lower-lying forested and agricultural areas.

With respect to Item 3, installation of a pond forebay would have adverse impacts to the existing drainage way plant community, and impound water within the proposed trail corridor which would require a more significant bridging structure than planned. The District plans to construct a small boardwalk across the existing swale to allow year-

round pedestrian access to the pond trail loop. Creating a pond forebay would conceivably impound more water within the swale that would require construction of a more significant bridging infrastructure to maintain year-round pedestrian access. The change in hydrology could also impact established species within the existing swale. The current vegetation present within the swale area functions to reduce pond outflow velocity across a wide channel, and will capture/contain sediment from the proposed gravel parking area.

Thank you for your review and comments. It is the District's hope that WBK Engineering will issue a recommendation for approval based on our responses.

Sincerely appreciated,

A handwritten signature in black ink that reads "David Guritz". The signature is written in a cursive, slightly slanted style.

Dave Guritz, Director

Cc: Kendall County Board  
Greg Chismark, WBK President – Municipal Practice Principal



State of Illinois  
County of Kendall

Petition 19-40

**DRAFT ORDINANCE NUMBER 2019 - \_\_\_\_\_**

**GRANTING A VARIANCE TO THE KEDALL COUNTY  
STORMWATER MANAGEMENT ORDINANCE FOR THE PROPERTY IDENTIFIED BY  
PARCEL IDENTIFICATION NUMBERS 05-01-300-004, 05-02-400-029, 05-02-400-030, 05-02-200-  
007, 05-02-200-003 AND 05-02-200-006 LOCATED AT 6350 MINKLER ROAD IN KENDALL  
TOWNSHIP AND OWNED BY THE KENDALL COUNTY FOREST PRESERVE DISTRICT  
AND ALSO KNOWN AS THE PICKERILL PIGOT FOREST PRESERVE**

WHEREAS, Section 900 of the Kendall County Stormwater Management Ordinance allows the County to grant variances from strict compliance with specific provisions of said Ordinance when such compliance is impossible or impracticable; and

WHEREAS, Section 906 of the Kendall County Stormwater Management Ordinance allows the County to impose conditions or limitations on the granting of a variance; and

WHEREAS, the Kendall County Forest Preserve District has submitted an application for a variance to Section 203.1 of the Kendall County Stormwater Management Ordinance regarding applicability of site runoff storage requirements; and

WHEREAS, the property impacted by the variance is identified by parcel identification numbers 05-01-300-004, 05-02-400-029, 05-02-400-030, 05-02-200-007, 05-02-200-003 and 05-02-200-006 and is located at 6350 Minkler Road in Kendall Township, the legal description of the property is attached hereto as Exhibit A; and

WHEREAS, the property is owned by the Kendall County Forest Preserve District and is also known as the Pickerill Pigot Forest Preserve; and

WHEREAS, the petitioner desires to create a pond trail, shelter, and parking area that will create new impervious surface totaling 484,115 square feet and a total development area of 312,348 square feet at the site; and

WHEREAS, the proposed development is for public use and the development of the forest preserve is planned, funded and facilitated as a public forest preserve by the Kendall County Forest Preserve District; and

WHEREAS, the Kendall County Forest Preserve District desires to protect local environmental resources including native trees; and

WHEREAS, all following due and proper notice by publication in the Kendall County Record on November 14, 2019, the Kendall County Stormwater Management Oversight Committee conducted a public hearing on December 12, 2019, at 4:00 p.m., in the County Office Building at 111 W. Fox Street in Yorkville, at which the Kendall County Forest Preserve's representatives presented evidence, testimony, and exhibits in support of the requested variance and **zero** members of the public testified in favor or in opposition; and

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WHEREAS, based on the evidence, testimony, and exhibits, the Kendall County Stormwater Management Oversight Committee has made their Findings of Fact and recommended **approval/denial/neutral** of the variance with conditions as set forth in the Findings of Fact and Recommendation of the Kendall County Stormwater Management Oversight Committee, dated December 12, 2019, a true and correct copy of which is attached hereto as Exhibit B; and

WHEREAS, this variance shall be treated as a covenant running with the land and is binding on the successors, heirs, and assigns as to the same special use conducted on the property; and

WHEREAS, the Kendall County Board has considered the standards and finds that said petition is in conformance with the provisions and intent of the Kendall County Stormwater Management Ordinance.

NOW, THEREFORE, BE IT ORDAINED, BY THE COUNTY BOARD OF KENDALL COUNTY, ILLINOIS, as follows:

1. The Findings of Fact and Recommendation of the Kendall County Stormwater Management Oversight Committee attached hereto as Exhibit B is hereby accepted and the Findings of Fact set forth therein are hereby adopted as the Findings of Fact and Conclusions of this Kendall County Board.
2. The Kendall County Board hereby grants approval of the Kendall County Forest Preserve's petition for a variance to Section 203.1 of the Kendall County Stormwater Management Ordinance regarding applicability of site runoff storage requirements subject to the following conditions:
  - A. The site shall be developed substantially in accordance with the attached site plan, attached hereto as Exhibit C.
  - B. The property owner shall follow all applicable Federal, State, and Local laws related to the development of this property as a forest preserve.
  - C. Failure to comply with one or more of the above conditions or restrictions could result in the amendment or revocation of this variance
  - D. If one or more of the above conditions is declared invalid by a court of competent jurisdiction, the remaining conditions shall remain valid.

NOW, THEREFORE, BE IT ORDAINED, that the Kendall County Board hereby grants approval, subject to the conditions noted below, of a variance to Section 203.1 of the Kendall County Stormwater Management Ordinance regarding applicability of site runoff storage requirements to the proposed new construction in the site plan included as Exhibit C attached hereto and incorporated herein.

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*IN WITNESS OF*, this Ordinance has been enacted by majority vote of the Kendall County Board this 17<sup>th</sup> day of December, 2019.

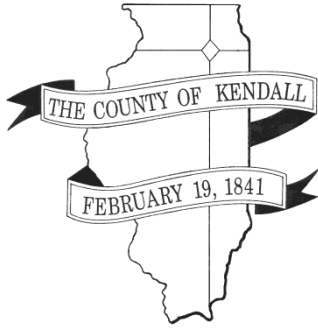
Attest:

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Debbie Gillette  
Kendall County Clerk

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Scott R. Gryder  
Kendall County Board Chairman



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**DEPARTMENT OF PLANNING, BUILDING & ZONING**

111 West Fox Street • Room 203

Yorkville, IL • 60560

(630) 553-4141

Fax (630) 553-4179

**MEMORANDUM**

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To: Kendall County Stormwater Management Oversight Committee

From: Matthew H. Asselmeier, AICP, Senior Planner

Date: November 14, 2019

Re: Annual Stormwater Management Oversight Committee Public Hearing

Per its NPDES Permit, Kendall County is required to meet at least one (1) time annually on a stormwater related topic and to give the public an opportunity to comment on Kendall County's Stormwater Management Ordinance.

Notice of this meeting was mailed or emailed to each Mayor/Village President, each Township Supervisor, the Kendall County Regional Planning Commission, the Kendall County Soil and Water Conservation District, and the Kendall County Farm Bureau. Notice of this meeting was printed in the Kendall County Record on November 14<sup>th</sup>. WBK Engineering was also notified of this meeting.

As part of the NPDES Permit, Kendall County is required to do outreach with the townships. In 2018 and 2019, each township was mailed a stormwater pollution related survey. In 2018, Na-Au-Say Township was the only township that responded. In 2019, Oswego, Little Rock, Seward, Lisbon, and Fox Townships responded. Four (4) members of the Oswego Township Board submitted responses. In general, the responding townships did not utilize the County's website for stormwater information or volunteer opportunities and they would like to see more volunteer opportunities related to electronics recycling. The results were mixed regarding the townships' opinions regarding the County's job of inspecting soil erosion and sediment control procedures at construction sites. The townships also felt generally that the County is not taking necessary measures to reduce flooding throughout the County. The composite results of the surveys are attached.

Updating the definition of Bulletin 70 was the only change to the Stormwater Management Ordinance in 2019. Bulletin 70 is a report used to track rainfall in the State. The current definition of Bulletin 70 contained in the Stormwater Management Ordinance references the 1989 document; the proposed amendment changes the reference to the 2019 document. The County Board approved the amendment at their second meeting in October.

If anyone has any questions prior to the meeting, please let me know.

MHA

Encs.: 2018 Township Survey Results and 2019 Township Survey Results

2018 NPDES Annual Evaluation Survey Responses  
Kendall County

**Public Education and Outreach**

1. What topics are you interested in learning more about that the County could provide information on? Please rank the following list from 1 to 3 with 1 being most interested and 3 being least interested.
  - A. How to properly store and dispose of common household products such as fuel, oil, paint, etc.  
Most Interested  
Middle Interested  
Least Interested (1)-Na-Au-Say
  - B. How to incorporate green infrastructure such as rain gardens, rain barrels, or permeable pavement onto my property to improve rainwater runoff.  
Most Interested  
Middle Interested  
Least Interested (1)-Na-Au-Say
  - C. How to compost to reduce the amount of waste my household generates.  
Most Interested  
Middle Interested  
Least Interested (1)-Na-Au-Say
2. Do you utilize the stormwater information listed on the County's website at <https://www.co.kendall.il.us/planning-building-zoning/npdes/>?
  - A. Yes (1)-Na-Au-Say
  - B. No
3. Do you find the stormwater information listed on the County's website helpful?
  - A. Yes (1)-Na-Au-Say
  - B. No

**Public Participation/Involvement**

1. Do you think the County offers enough volunteer opportunities for members of the community?
  - A. Yes
  - B. No
  - No Response (1)-Na-Au-Say
2. Do you utilize the volunteer opportunities information listed on the County's website at <https://www.co.kendall.il.us/administration/volunteer-opportunities/>?
  - A. Yes
  - B. No (1)-Na-Au-Say

3. Do you find the volunteer opportunities information listed on the County's website helpful?
  - A. Yes
  - B. No
  - No Response (1)-Na-Au-Say
  
4. What volunteer opportunities would you be interested in participating in the future? Please rank the following list from 1 to 3 with 1 being most interested and 3 being least interested.
  - A. River clean-up
  - B. Electronic recycling
  - C. Household waste (fuel, oil, paint, etc.) recycling

Little Rock-  
 Bristol-  
 Oswego-  
 Fox-  
 Kendall-  
 Na-Au-Say-No Response  
 Big Grove-  
 Lisbon-  
 Seward-

**Illicit Discharge Detection & Elimination**

1. If an illicit discharge is identified by a Township staff member or reported to the Township office, do you work with the County to get it removed?
  - A. Yes (1)-Na-Au-Say
  - B. No
  - C. Have not identified illicit discharge.
  
2. Do you feel the County is doing a sufficient job in identifying, tracking, and removing illicit discharges and non-stormwater discharges that are significant pollutants within the County?
  - A. Yes
  - B. No (1)-Na-Au-Say
  - C. There have not been illicit discharges identified within my Township.
  
3. What can the County do to better identify and track illicit discharges?
  - A. Perform more visual inspections at outfalls throughout the County.
  - B. Once an illicit discharge is identified perform more grab samples downstream of the location.
  - C. Both of the above. (1) Na-Au-Say
  - D. None of the above.

E. Other:

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**Construction and Post-Construction Runoff Control**

1. Do you feel that the County does an adequate job inspecting soil erosion and sediment control on construction sites within your township?
  - A. Yes
  - B. No (1)-Na-Au-Say
  - C. There have not been construction projects within my Township during the past year.
  
2. What can the County do to better monitor soil erosion and sediment control issues on construction sites?

Little Rock-  
Bristol-  
Oswego-  
Fox-  
Kendall-  
Na-Au-Say-Identify Problems-Advise BCP and Enforce  
Big Grove-  
Lisbon-  
Seward-

**Pollution Prevention/Good Housekeeping**

1. Do you feel the County provides adequate training to staff members to keep them informed on stormwater pollution prevention practices?
  - A. Yes
  - B. No (1)-Na-Au-Say
  
2. Do you feel the County is taking necessary measures to reduce flooding throughout the County?
  - A. Yes
  - B. No (1)-Na-Au-Say

Responding Townships:  
Na-Au-Say

Name of Person Completing Survey:  
Brad Blocker (Na-Au-Say Township Supervisor)

2019 NPDES Annual Evaluation Survey Responses  
Kendall County

**Public Education and Outreach**

1. What topics are you interested in learning more about that the County could provide information on? Please rank the following list from 1 to 3 with 1 being most interested and 3 being least interested.
  - A. How to properly store and dispose of common household products such as fuel, oil, paint, etc.  
Most Interested (4) Oswego (1) Little Rock (1) Seward (1) Lisbon (1) Fox  
Middle Interested  
Least Interested
  - B. How to incorporate green infrastructure such as rain gardens, rain barrels, or permeable pavement onto my property to improve rainwater runoff.  
Most Interested  
Middle Interested (2) Oswego (1) Seward (1) Lisbon (1) Fox  
Least Interested (1) Little Rock
  - C. How to compost to reduce the amount of waste my household generates.  
Most Interested  
Middle Interested  
Least Interested (2) Oswego (1) Little Rock (1) Seward (1) Lisbon (1) Fox
2. Do you utilize the stormwater information listed on the County's website at <https://www.co.kendall.il.us/planning-building-zoning/npdes/>?
  - A. Yes (1) Oswego
  - B. No (3) Oswego (1) Little Rock (1) Seward (1) Lisbon (1) Fox
3. Do you find the stormwater information listed on the County's website helpful?
  - A. Yes (1) Oswego (1) Seward
  - B. No (2) Oswego (1) Lisbon (1) Fox  
No Response (1) Oswego (1) Little Rock (1) Seward

**Public Participation/Involvement**

1. Do you think the County offers enough volunteer opportunities for members of the community?
  - A. Yes (1) Oswego (1) Seward
  - B. No (2) Oswego (1) Little Rock (1) Lisbon (1) Fox  
No Response (1) Oswego
2. Do you utilize the volunteer opportunities information listed on the County's website at <https://www.co.kendall.il.us/administration/volunteer-opportunities/>?
  - A. Yes (1) Seward



- B. No (4) Oswego (1) Little Rock (1) Lisbon (1) Fox
3. Do you find the volunteer opportunities information listed on the County's website helpful?
- A. Yes (1) Oswego (1) Seward  
 B. No (1) Oswego (1) Lisbon (1) Fox  
 No Response (2) Oswego (1) Little Rock
4. What volunteer opportunities would you be interested in participating in the future? Please rank the following list from 1 to 3 with 1 being most interested and 3 being least interested.
- A. River clean-up  
 B. Electronic recycling  
 C. Household waste (fuel, oil, paint, etc.) recycling

Little Rock- Electronic Recycling

Bristol-

Oswego-1. River Clean-Up (2 Responses); 1. Electronic Recycling (1 Response)

2. River Clean-Up (1) Response 3. Household Waste (1) Response None (1)

Fox-Electronic Recycling, Household Waste Recycling, River Clean-Up

Kendall-

Na-Au-Say-

Big Grove-

Lisbon- Electronic Recycling, Household Waste Recycling, River Clean-Up

Seward- Electronic Recycling, Household Waste Recycling, River Clean-Up

**Illicit Discharge Detection & Elimination**

1. If an illicit discharge is identified by a Township staff member or reported to the Township office, do you work with the County to get it removed?
- A. Yes (2) Oswego  
 B. No  
 C. Have not identified illicit discharge. (2) Oswego (1) Little Rock (1) Seward (1) Lisbon (1) Fox
2. Do you feel the County is doing a sufficient job in identifying, tracking, and removing illicit discharges and non-stormwater discharges that are significant polluters within the County?
- A. Yes (1) Oswego  
 B. No  
 C. There have not been illicit discharges identified within my Township. (3) Oswego (1) Little Rock (1) Seward (1) Lisbon (1) Fox
3. What can the County do to better identify and track illicit discharges?
- A. Perform more visual inspections at outfalls throughout the County.

- B. Once an illicit discharge is identified perform more grab samples downstream of the location. (1) Seward
  - C. Both of the above. (3) Oswego (1) Little Rock (1) Lisbon
  - D. None of the above.
  - E. Other: Both C and D (1) Oswego  
(1) Fox-Educate the public and public officials
- 

**Construction and Post-Construction Runoff Control**

1. Do you feel that the County does an adequate job inspecting soil erosion and sediment control on construction sites within your township?
  - A. Yes (3) Oswego
  - B. No (1) Lisbon (1) Fox
  - C. There have not been construction projects within my Township during the past year. (1) Little Rock (1) Seward  
Both A and B (1) Oswego

2. What can the County do to better monitor soil erosion and sediment control issues on construction sites?

Little Rock- (1) No Response  
 Bristol-  
 Oswego- (1) Work Closer with Township  
 Fox- (1) Enforce Maintenance of Silt Fences  
 Kendall-  
 Na-Au-Say-  
 Big Grove-  
 Lisbon- (1) Keep Sediment out of Road Ditches  
 Seward- (1) No Response

**Pollution Prevention/Good Housekeeping**

1. Do you feel the County provides adequate training to staff members to keep them informed on stormwater pollution prevention practices?
  - A. Yes (2) Oswego (1) Seward
  - B. No (1) Oswego (1) Little Rock (1) Fox  
No Response (1) Oswego  
We don't know what training is provided (1) Lisbon  
Don't know about County Staff but we have not received any training at the Township level (1) Fox
2. Do you feel the County is taking necessary measures to reduce flooding throughout the County?
  - A. Yes (1) Seward
  - B. No (3) Oswego (1) Little Rock (1) Lisbon (1) Fox  
No Response (1) Oswego

Responding Townships:

Oswego

Little Rock

Seward

Lisbon

Fox

Name of Person Completing Survey:

Oswego Township Board (4 Members)