

KENDALL COUNTY
ZONING AND PLATTING ADVISORY COMMITTEE
111 West Fox Street • Rooms 209 and 210 • Yorkville, IL • 60560
(630) 553-4141 Fax (630) 553-4179

AGENDA

January 8, 2019 - 9:00 a.m.

CALL TO ORDER

ROLL CALL: **County Board:** Matthew Prochaska, PBZ Committee Chair; **County Highway Department:** Fran Klaas, County Engineer; **Wills Burke Kelsey:** Greg Chismark, Stormwater Consultant; **County Health Department:** Aaron Rybski, Director Environmental Health; **Forest Preserve District:** David Guritz, Director; **SWCD:** Megan Andrews, Resource Conservationist; **Sheriff's Office:** Commander Jason Langston; **GIS:** Meagan Briganti; **PBZ:** Brian Holdiman, Code Official; Matt Asselmeier, Senior Planner

APPROVAL OF AGENDA

APPROVAL OF MINUTES: Approval of the December 4, 2018 ZPAC Meeting Minutes (Pages 2-4)

PETITIONS:

1. **18 – 32 – Joe Spencer on Behalf of Utility Dynamics Corporation (Pages 5-34)**
Request: Site Plan Approval for Storage Building
PINs: 03-07-227-002
Location: 5237 Light Road (North Side of Light Road Approximately 0.4 Miles West of Route 31),
 Oswego Township
Purpose: Petitioner Would Like to Construct a 4,800 Square Foot Storage Building on the Property;
 Property is Zoned M-1

2. **19 – 04 – Rodolfo and Georgina Nunez (Pages 35-56)**
Request: Special Use Permit for a Landscaping Business
PINs: 02-24-300-017 and 02-24-300-018
Location: 6725 Route 71, (Approximately 0.41 Miles West of Orchard/Minkler Roads on the
 Northwest Side of Route 47), Oswego Township
Purpose: Petitioners Would Like to Operate a Landscaping Business at the Property; Property is
 Zoned A-1

3. **19 – 05 – Specialty Oswego, LLC (Current Owners) and Stuart and Paula Weihler**
 (Prospective Buyers) (Pages 57-98)
Request: Special Use Permit for a Banquet Facility
PIN: 03-34-100-024 (South 10 Acres)
Location: 5100 Hundred Block of Schlapp Road (Approximately 0.48 Miles South of the
 Intersection of Plainfield Road and Schlapp Road on the East Side of Schlapp Road,
 Oswego Township
Purpose: Petitioners Would Like to Operate a Banquet Facility at the Property; Property is Zoned
 A-1

REVIEW OF PETITIONS THAT WENT TO COUNTY BOARD

1. None

OLD BUSINESS/ NEW BUSINESS

1. None

CORRESPONDENCE

1. None

PUBLIC COMMENT

ADJOURNMENT- Next meeting on February 5, 2019

If special accommodations or arrangements are needed to attend this County meeting, please contact the Administration Office at 630-553-4171, a minimum of 24 hours prior to the meeting time.

**ZONING, PLATTING & ADVISORY COMMITTEE (ZPAC)
December 4, 2018 – Unapproved Meeting Minutes**

Senior Planner Matt Asselmeier called the meeting to order at 9:00 a.m.

Present:

Aaron Rybski – Health Department
David Guritz – Forest Preserve
Fran Klaas – Highway Department
Meagan Briganti – GIS
Patrol Sergeant Bobby Richardson – Sheriff’s Department
Brian Holdiman – PBZ Department
Matt Asselmeier – PBZ Department

Absent:

Megan Andrews – Soil and Water Conservation District
Greg Chismark – WBK Engineering, LLC
TBD – PBZ Committee Chair

Audience:

Dan Caceres and Tom Muth

AGENDA

Mr. Guritz made a motion, seconded by Mr. Klaas, to approve the agenda as proposed. With a voice vote of all eyes the motion carried.

MINUTES

Mr. Guritz made a motion, seconded by Mr. Klaas, to approve the August 7, 2018, meeting minutes. With a voice vote of all eyes the motion carried.

PETITIONS

Petition 18-33 Fox Metro Water Reclamation District – Site Plan Approval for Operations and Maintenance Building at 682 Route 31 (PIN 03-05-176-002) in Oswego Township

Mr. Asselmeier summarized the request.

The Fox Metro Water Reclamation District is requesting permission to demolish their existing operations and maintenance (O&M) building and construct a new O&M building with associated landscaping and parking.

The existing O&M building was originally constructed in 1928 and has undergone several remodels and additions in the following decades. The proposed new building would be thirty-four thousand, six hundred eighty-nine (34,689) square feet in size.

The subject property was rezoned to M-1 in the summer of 2018.

EcoCAT Report was provided. The Greater Redhorse and River Redhorse are noted to be in the area.

The completed application for NRI was submitted on June 22, 2018. The average LESA Score was 44 indicating a low level of protection.

Petition information was sent to Oswego Township on November 28, 2018.

Petition information was to the Oswego Fire Protection District on November 28, 2018. They requested that Fox Metro follow applicable ordinances.

Petition information was sent to the Village of Montgomery on November 28, 2018.

Given the existing and proposed use of the property, the proposed building should not be detrimental to the property. The regulations of the Zoning Ordinance will be followed. There are no concerns regarding slopes. WBK reviewed the stormwater plan for the site.

The proposal calls for sixty (60) parking spaces; three (3) of which will be ADA parking spaces. Pending any comments by the Oswego Fire Protection District and Kendall County Sheriff's Department, the site should minimize dangerous traffic movements and congestion while achieving efficient traffic flow.

Conflicts between pedestrians and vehicular movement should be minimal. The parking lot will be paved as required by the Kendall County Zoning Ordinance.

The site will be laid out to avoid concerns regarding groundwater, unnecessary impervious surface, and concerns over shadow, noise, odor, traffic, drainage, and utilities on neighboring properties.

The proposed use and the design of the site are consistent with the Land Resource Management Plan.

The Petitioner plans to install signage, but the specifics have not been finalized.

The proposed site development is in harmony with the existing use of the property.

Given the location of the proposed building on the site as a whole and the neighboring uses of the site, concerns about buffering do not exist. The Petitioner is planting shrubs and perennials along the north and a portion of the west sides of the building.

Discussion occurred regarding access for emergency vehicles. No concerns were expressed regarding this issue.

HVAC equipment will be on the roof.

The Petitioner is proposing fourteen (14) lights. Light spilling over to adjoining properties is not a concern.

Mr. Muth explained that the existing building is outdated and it is more costly to repair the building instead of replacing the building. The new building would double the space available. More space is needed because of additional employees and technological advances.

Mr. Holdiman noted that buildings would have to meet County ordinances.

Mr. Rybski asked about the water system. Mr. Muth explained their well situation.

Mr. Klaas made a motion, seconded by Mr. Guritz, to approve the site plan subject to the conditions that the site be developed in compliance with all applicable federal, state, and local laws and the Petitioner may install signage on the property provided a sign permit is secured.

Ayes (7): Briganti, Guritz, Holdiman, Klaas, Richardson, Rybski, and Asselmeier
Nays (0): None
Abstain (0): None
Absent (2): Andrews and Chismark

The motion passed.

REVIEW OF PETITIONS THAT WENT TO COUNTY BOARD

Mr. Asselmeier reported that Petition 17-28 regarding outdoor gun range regulations was referred to the Planning, Building and Zoning Committee by the County Board.

Mr. Asselmeier reported that Petition 18-03 regarding the powers and duties of ZPAC and Regional Planning Commission was withdrawn by the Planning, Building and Zoning Committee.

Mr. Asselmeier reported that Petition 18-04 regarding updating the Land Resource Management Plan in Lisbon Township was referred to the Planning, Building and Zoning Committee by the County Board.

Mr. Asselmeier reported that Petition 18-07 regarding renewal and revocation of special use permits was withdrawn by the Planning, Building and Zoning Committee.

Mr. Asselmeier reported that Petition 18-13 regarding solar panel zoning regulations was approved by the County Board.

Mr. Asselmeier reported that Petition 18-15 regarding a special use permit for solar panels at the Harazin Property was approved by the County Board.

Mr. Asselmeier reported that Petition 18-20 regarding the rezoning of Fox Metro's property was approved by the County Board.

Mr. Asselmeier reported that Petition 18-25 regarding the Tri-Star map amendment for property at U.S. 52 and Jughandle Road was approved by the County Board.

Mr. Asselmeier reported that Petition 18-26 regarding the special use permit for a banquet facility on Hughes Road was approved by the County Board.

Mr. Klaas asked why Na-Au-Say Township filed a formal objection to the gun range proposal. Mr. Asselmeier responded that several of the residents that opposed the proposal lived in Na-Au-Say Township. The Township also expressed concerns about the County's ability to enforce restrictions on special use permits.

OLD BUSINESS/NEW BUSINESS

Mr. Asselmeier presented the FY2018-2019 calendar. The meetings would remain on the first Tuesday of the month at 9:00 a.m. with the exception of the January 2019 meeting which would be on the second Tuesday due to New Year's Day.

Mr. Rybski made a motion, seconded by Mr. Klaas, to approve the calendar as presented.

Ayes (7): Briganti, Guritz, Holdiman, Klaas, Richardson, Rybski, and Asselmeier
Nays (0): None
Abstain (0): None
Absent (2): Andrews and Chismark

The motion passed.

CORRESPONDENCE

Mr. Asselmeier reported that the United City of Yorkville and Village of Oswego are working on Unified Development Ordinances. The City of Joliet and Village of Minooka are working on Comprehensive Plan updates.

A Unified Development Ordinance combines all of the development related ordinances (i.e. Zoning Ordinance, Subdivision Ordinance, Appearance Ordinance, etc.) into one (1) document.

PUBLIC COMMENT

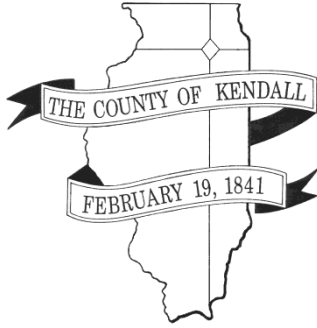
Discussion occurred regarding the Village of Lisbon's Comprehensive Plan and which version of their Future Land Use Map was correct planning in Lisbon Township.

The solar project near Newark was approved. Mr. Asselmeier did not have an update regarding the County's proposal inside Yorkville. Discussion occurred regarding solar panels in forest preserves.

ADJOURNMENT

Mr. Rybski made a motion, seconded by Mr. Guritz to adjourn. With a voice vote of all ayes, the motion carried. The ZPAC, at 9:29 a.m., adjourned.

Respectfully Submitted,
Matthew H. Asselmeier, AICP
Senior Planner



DEPARTMENT OF PLANNING, BUILDING & ZONING

111 West Fox Street • Room 203

Yorkville, IL • 60560

(630) 553-4141

Fax (630) 553-4179

Petition 18-32

**Joe Spencer on Behalf of Utility Dynamics Corporation
Site Plan Approval for Storage Building
Property is Zoned M-1**

INTRODUCTION

Utility Dynamics Corporation is requesting permission to construct a four thousand eight hundred (4,800) square foot storage building at their property at 5237 Light Road. The new building will be used for storing equipment; the company possesses several high-valued pieces of equipment that they would like stored indoors.

The application materials are included as Attachment 1. The plat of the property is included as Attachment 3. The lighting plan is included as Attachment 4. The elevations of the proposed building are included as Attachment 5.

Attachments

SITE INFORMATION

PETITIONER: Joe Spencer on Behalf of Utility Dynamics Corporation

ADDRESS: 5237 Light Road, Oswego

LOCATION: North Side of Light Road Approximately 0.4 Miles West of Route 31

TOWNSHIP: Oswego

PARCEL #s: 03-07-227-002

LOT SIZE: 5.96 Acres

EXISTING LAND USE: Vacant/Outdoor Storage

ZONING: M-1

LRMP:	Existing Land Use	Agricultural
	Future Land Use	Mixed Use Business
	Roads	Light Road is a Township maintained minor collector
	Trails	The Village of Oswego has a Trail Proposed Along Light Road
	Floodplain/Wetlands	None

REQUESTED ACTION: Site Plan Approval

APPLICABLE REGULATIONS: Section 13.10 – Site Plan Review

SURROUNDING LAND USE

Location	Adjacent Land Use	Adjacent Zoning	Land Resource Management Plan	Zoning within ½ Mile
North	Agricultural	M-1 and R-1	Suburban Residential	R-1, R-3, M-1, and M-2
South	Single-Family Residential	M-1 and R-6	Suburban Residential	R-6 and M-1 (County) R-1 (Oswego)
East	Single-Family Residential	R-6	Suburban Residential	R-1, R-5, R-6, R-7, R-7 SU, B-1, B-1 SU, B-2, B-2 SU, and B-3
West	Comed ROW and Industrial	M-1	Comed ROW and Mixed Use Business	M-1 (County) M-2 (Montgomery)

An aerial of the property is included as Attachment 2. A ground level picture of the site is included as Attachment 7.

PHYSICAL DATA

ENDANGERED SPECIES REPORT

EcoCAT Report is included as Attachment 1, Pages 8 and 9. The Greater Redhorse and Iowa Darter are noted to be in the area.

NATURAL RESOURCES INVENTORY

Not required because the property is zoned M-1.

ACTION SUMMARY

OSWEGO TOWNSHIP

Petition information was sent to Oswego Township on December 11, 2018.

OSWEGO FIRE PROTECTION DISTRICT

Petition information was to the Oswego Fire Protection District on December 11, 2018. The Petitioner requested a variance to the sprinkler requirement; this letter is included as Attachment 6.

VILLAGE OF MONTGOMERY

Petition information was sent to the Village of Montgomery on December 11, 2018.

VILLAGE OF OSWEGO

Petition information was sent to the Village of Oswego on December 11, 2018.

DESIGN STANDARDS

Pursuant to Section 13.10.D of the Kendall County Zoning Ordinance, the following shall be taken into account when reviewing Site Plans (Staff comments in bold):

Responsive to Site Conditions-Site plans should be based on an analysis of the site. Such site analysis shall examine characteristics such as site context; geology and soils; topography; climate and ecology; existing vegetation, structures and road network; visual features; and current use of the site. In addition to the standards listed below, petitioners must also follow the regulations outlined in this Zoning Ordinance. To the

fullest extent possible, improvements shall be located to preserve the natural features of the site, to avoid areas of environmental sensitivity, and to minimize negative effects and alteration of natural features. Fragile areas such as wetlands shall and flood plains should be preserved as open space. Slopes in excess of 20 percent as measured over a 10-foot interval also should remain as open space, unless appropriate engineering measures concerning slope stability, erosion and safety are taken. **The proposed structure shall utilize a minimal amount of the total acreage. There are no wetlands or flood plains on the property. There are no concerns regarding slopes or erosion, provided necessary steps are taken to prevent erosion during construction.**

*Traffic and Parking Layout-Site plans should minimize dangerous traffic movements and congestion, while achieving efficient traffic flow. An appropriate number of parking spaces shall be provided while maintaining County design standards. The number of curb cuts should be minimized and normally be located as far as possible from intersections. Connections shall be provided between parking areas to allow vehicles to travel among adjacent commercial or office uses. Cross-access easements or other recordable mechanisms must be employed. **Ample space exists on the property for parking and the building will be setback further from Light Road than is required by the Kendall County Zoning Ordinance. The access point off of Light Road is already in existence.***

*Conflicts between pedestrians and vehicular movements should be minimized. When truck traffic will be present upon the site, the road size and configuration shall be adequate to provide for off-street parking and loading facilities for large vehicles. Barrier curb should be employed for all perimeters of and islands in paved parking lots, as well as for all service drives, loading dock areas, and the equivalent. Parking lots in industrial or commercial areas shall be paved with hot-mix asphalt or concrete surfacing. **This is not an issue.***

*Site Layout-Improvements shall be laid out to avoid adversely affecting ground water and aquifer recharge; minimize cut and fill; avoid unnecessary impervious cover; prevent flooding and pollution; provide adequate access to lots and sites; and mitigate adverse effects of shadow, noise, odor, traffic, drainage and utilities on neighboring properties. **The site will be laid out in a manner that will not impact shadow, noise, odor, traffic, or drainage. The proposal will not adversely affect ground water or aquifer recharge.***

*Consistent with the Land Resource Management Plan-The proposed use and the design of the site should be consistent with the Land Resource Management Plan. **This is true.***

*Building Materials-The proposed site plan design shall provide a desirable environment for its occupants and visitors as well as its neighbors through aesthetic use of materials, textures and colors that will remain appealing and will retain a reasonably adequate level of maintenance. Buildings shall be in scale with the ultimate development planned for the area. Monotony of design shall be avoided. Variations in detail, form, and setting shall be used to provide visual interest. Variation shall be balanced by coherence of design elements. **Since this is the only building on the property, this item is not a concern.***

*Relationship to Surrounding Development-A site shall be developed in harmony with neighboring street pattern, setbacks and other design elements. **The proposed site development is in harmony with the existing use of neighboring properties provided fencing meets the Kendall County Zoning Ordinance. Petitioner plans to install a mesh over the existing chain-link fence.***

*Open Space and Pedestrian Circulation-Improvements shall be designed to facilitate convenient and safe pedestrian and bicycle movement within and to the property. **This is not applicable.***

*Buffering-Measures shall be taken to protect adjacent properties from any undue disturbance caused by excessive noise, smoke, vapors, fumes, dusts, odors, glare or stormwater runoff. Incompatible, unsightly activities are to be screened and buffered from public view. **The Petitioner plans to install a mesh over the existing chain-link fence. The proposed building will be used for storage of equipment and no noise, smoke, vapors, fumes, dusts odors, or glare is planned. Given the size of the building and topography, stormwater should not be an issue provided necessary steps are taken during construction.***

Emergency Vehicle Access-Every structure shall have sufficient access for emergency vehicles. Staff would like comments from the Kendall County Sheriff's Department and Oswego Fire Protection District on this issue.

Mechanical Equipment Screening-All heating, ventilation and air conditioning equipment shall be screened on sides where they abut residential districts. The proposed building will not be heated or cooled.

Lighting-The height and shielding of lighting fixtures shall provide proper lighting without hazard to motorists on adjacent roadways or nuisance to adjacent residents by extending onto adjacent property. Cut-off lighting should be used in most locations, with fixtures designed so that the bulb/light source is not visible from general side view. The Petitioner plans to install two (2) poles with two (2) floodlights on each pole. As long as the lights are pointed downward, light spilling onto neighboring property is not an issue.

Refuse Disposal and Recycling Storage Areas-All refuse disposal and recycling storage areas should be located in areas designed to provide adequate accessibility for service vehicles. Locations should be in areas where minimal exposure to public streets or residential districts will exist. Screening shall be required in areas which are adjacent to residential districts or are within public view. Such enclosures should not be located in landscape buffers. Refuse containers and compactor systems shall be placed on smooth surfaces of non-absorbent material such as concrete or machine-laid asphalt. A concrete pad shall be used for storing grease containers. Refuse disposal and recycling storage areas serving food establishments shall be located as far as possible from the building's doors and windows. The use of chain link fences with slats is prohibited. Refuse will not be collected onsite.

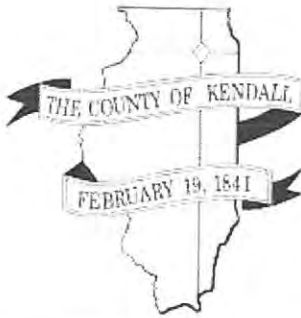
RECOMMENDATION

Pending concerns regarding safety and traffic circulation, Staff recommends approval of the proposed site plan as proposed with the following two (2) conditions:

1. The floodlights shall be aimed in such a manner that does not cause light spillage onto neighboring residential properties.
2. The site shall be developed in accordance with all applicable federal, state, and local laws related to site development and the type of business proposed for the site.

ATTACHMENTS

1. Application Materials
2. Aerial
3. Plat
4. Lighting Plan
5. Elevations
6. Sprinkler Variance Letter
7. Site Picture




DEPARTMENT OF PLANNING, BUILDING & ZONING

111 West Fox Street • Yorkville, IL • 60560
 (630) 553-4141 Fax (630) 553-4179

APPLICATION

PROJECT NAME 5327 Light Rd., Oswego

FILE #: 18-32

NAME OF APPLICANT		
Utility Dynamics Corporation		
CURRENT LANDOWNER/NAME(s)		
Utility Dynamics Corporation		
SITE INFORMATION		
ACRES	SITE ADDRESS OR LOCATION	ASSESSOR'S ID NUMBER (PIN)
5.9	5327 Light Rd., Oswego	03-07227-002
EXISTING LAND USE	CURRENT ZONING	LAND CLASSIFICATION ON LRMP
	M-7	Mixed Use Business
REQUESTED ACTION (Check All That Apply):		
<input type="checkbox"/> SPECIAL USE	<input type="checkbox"/> MAP AMENDMENT (Rezone to _____)	<input type="checkbox"/> VARIANCE
<input type="checkbox"/> ADMINISTRATIVE VARIANCE	<input type="checkbox"/> A-1 CONDITIONAL USE for: _____	<input checked="" type="checkbox"/> SITE PLAN REVIEW
<input type="checkbox"/> TEXT AMENDMENT	<input type="checkbox"/> RPD (<input type="checkbox"/> Concept; <input type="checkbox"/> Preliminary; <input type="checkbox"/> Final)	<input type="checkbox"/> ADMINISTRATIVE APPEAL
<input type="checkbox"/> PRELIMINARY PLAT	<input type="checkbox"/> FINAL PLAT	<input type="checkbox"/> OTHER PLAT (Vacation, Dedication, etc)
<input type="checkbox"/> AMENDMENT TO A SPECIAL USE (<input type="checkbox"/> Major; <input type="checkbox"/> Minor)		
¹PRIMARY CONTACT	PRIMARY CONTACT MAILING ADDRESS	PRIMARY CONTACT EMAIL
Joseph B. Spencer	23 Commerce Dr., Oswego, IL	contact@utilitydynamicscorp.com
PRIMARY CONTACT PHONE #	PRIMARY CONTACT FAX #	PRIMARY CONTACT OTHER #(Cell, etc.)
(630)554-1722	(630)554-1195	
²ENGINEER CONTACT	ENGINEER MAILING ADDRESS	ENGINEER EMAIL
ENGINEER PHONE #	ENGINEER FAX #	ENGINEER OTHER # (Cell, etc.)
I UNDERSTAND THAT BY SIGNING THIS FORM, THAT THE PROPERTY IN QUESTION MAY BE VISITED BY COUNTY STAFF & BOARD/ COMMISSION MEMBERS THROUGHOUT THE PETITION PROCESS AND THAT THE PRIMARY CONTACT LISTED ABOVE WILL BE SUBJECT TO ALL CORRESPONDANCE ISSUED BY THE COUNTY.		
I CERTIFY THAT THE INFORMATION AND EXHIBITS SUBMITTED ARE TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND THAT I AM TO FILE THIS APPLICATION AND ACT ON BEHALF OF THE ABOVE SIGNATURES.		
SIGNATURE OF APPLICANT		DATE 10/11/18
 Joseph B. Spencer		

FEE PAID: \$ 375.00
 CHECK #: 86262

RECEIVED

DEC 05 2018

KENDALL COUNTY
 PLANNING & ZONING

¹Primary Contact will receive all correspondence from County

²Engineering Contact will receive all correspondence from the County's Engineering Consultants

Kendall County
Department of Planning, Building & Zoning
111 West Fox Street
Yorkville, IL 60560

RE: Improvements @ 5327 Light Rd.
Oswego, IL 60543

To Whom it May Concern:

The 5.9 acres located at 5327 Light Rd., Oswego, IL are considered vacant land.



TRUSTEE'S DEED

This indenture made this 27th day of December, 2017, between CHICAGO TITLE LAND TRUST COMPANY, a corporation of Illinois, as Successor Trustee to North Star Trust Company, under the provisions of a deed or deeds in trust, duly recorded and delivered to said company in pursuance of a trust agreement dated the 9th day of December, 1986 and known as Trust Number 5295, party of the first part, and UTILITY DYNAMICS CORPORATION, AN ILLINOIS CORPORATION, party of the second part, whose address is: 23 Commerce Drive, Oswego, IL 60543

201800000258

DEBBIE GILLETTE
RECORDER - KENDALL COUNTY, IL

RECORDED: 1/8/2018 02:43 PM
TRSD: 40.00 RHSPS FEE: 10.00
STATE TAX: 165.00
COUNTY TAX: 82.50
PAGES: 5

COUNTY OF KENDALL
REAL ESTATE TRANSFER TAX
\$ 82.50 (R)

WITNESSETH, That said party of the first part, in consideration of the sum of **TEN and no/100 DOLLARS (\$10.00)**

AND OTHER GOOD AND VALUABLE considerations in hand paid, does hereby **CONVEY AND QUITCLAIM** unto said party of the second part, the following described real estate, situated in Kendall County, Illinois, to wit:

STATE OF ILLINOIS

STATE TAX

JAN. -8. 18

REAL ESTATE TRANSFER TAX
DEPARTMENT OF REVENUE

0000014055

REAL ESTATE TRANSFER TAX
00165.00
FP326656

(R)

LEGAL DESCRIPTION: SEE RIDER ATTACHED HERETO AND MADE PART HEREOF

Property Tax Number: 03-07-227-002

together with the tenements and appurtenances thereunto belonging.

TO HAVE AND TO HOLD the same unto said party of the second part, and to the proper use, benefit and behoof forever of said party of the second part.

This deed is executed pursuant to and in the exercise of the power and authority granted to and vested in said trustee by the terms of said deed or deeds in trust delivered to said trustee in pursuance of the trust agreement above mentioned. This deed is made subject to the lien of every trust deed or mortgage (if any there be) of record in said county to secure the payment of money, and remaining unreleased at the date of the delivery hereof.

IN WITNESS WHEREOF, said party of the first part has caused its corporate seal to be hereto affixed, and has caused its name to be signed to these presents by its Assistant Vice President, the day and year first above written.



CHICAGO TITLE LAND TRUST COMPANY,
as Trustee as Aforesaid

By *June Steub*
Assistant Vice President

Return to:
Wheatland Title Guaranty
105 W. Veterans Parkway, Yorkville, IL 60550
CRE-2c17KL-4221310f1
DS

State of Illinois
County of Cook

SS.

I, the undersigned, a Notary Public in and for the County and State aforesaid, do hereby certify that the above named Assistant Vice President of **CHICAGO TITLE LAND TRUST COMPANY**, personally known to me to be the same person whose name is subscribed to the foregoing instrument as such Assistant Vice President appeared before me this day in person and acknowledged that she signed and delivered the said instrument as her own free and voluntary act and as the free and voluntary act of the Company; and the said Assistant Vice President then and there caused the corporate seal of said Company to be affixed to said instrument as her own free and voluntary act and as the free and voluntary act of the Company.

Given under my hand and Notarial Seal this 27th day of December, 2017.



Margaret O'Donnell

NOTARY PUBLIC

PROPERTY ADDRESS:
5.90 Acres Light Road
Oswego, IL 60543

This instrument was prepared by:
June Stout, Trust Officer
CHICAGO TITLE LAND TRUST COMPANY
1100 Lake Street, Suite 165
Oak Park, IL 60301

AFTER RECORDING, PLEASE MAIL TO:
LAW OFFICE OF
NAME JOHN F. DIXON, LLC
ADDRESS 1415 West 55th Street
Suite 101
CITY, STATE Countryside, IL 60525

SEND TAX BILLS TO:
NAME UTILITY DYNAMICS CORPORATION
ADDRESS 23 Commerce Drive
CITY, STATE Oswego, IL 60543



Debbie Gillette
Kendall County Clerk & Recorder

PLAT ACT AFFIDAVIT OF METES AND BOUNDS

STATE OF ILLINOIS)
)SS
COUNTY OF KENDALL)

Thomas W. Grant, being duly sworn on oath, states that affiant resides at
39 Meyer Street, Plano, IL. And further states that: (please check the appropriate box)

- A. That the attached deed is not in violation of 765 ILCS 205/1(a), in that the sale or exchange is of an entire tract of land not being part of a larger tract of land; or
- B. That the attached deed is not in violation of 765 ILCS 205/1(b) for one of the following reasons: (please circle the appropriate number)

1. The division or subdivision of land into parcels or tracts of 5.0 acres or more in size which does not involve any new streets or easements of access;
2. The division of lots or blocks of less than one (1) acre in any recorded subdivision which does not involve any new streets or easements of access;
3. The sale or exchange of parcels of land between owners of adjoining and contiguous land;
4. The conveyance of parcels of land or interests therein for use as right of way for railroads or other public utility facilities and other pipe lines which does not involve any new streets or easements of access;
5. The conveyance of land owned by a railroad or other public utility which does not involve any new streets or easements of access;
6. The conveyance of land for highway or other public purposes or grants or conveyances relating to the dedication of land for public use or instruments relating to the vacation of land impressed with a public use;
7. Conveyances made to correct descriptions in prior conveyances;
8. The sale or exchange of parcels or tracts of land following the division into not more than two (2) parts of a particular parcel or tract of land existing on July 17, 1959, and not involving any new streets or easements of access;
9. The sale of a single lot of less than 5.0 acres from a larger tract when a survey is made by an Illinois Registered Land Surveyor; provided, that this exemption shall not apply to the sale of any subsequent lots from the same larger tract of land, as determined by the dimensions and configuration of the larger tract on October 1, 1973, and provided also that this exemption does not invalidate any local requirements applicable to the subdivision of land;
10. The conveyance is of land described in the same manner as title was taken by grantor(s).

AFFIANT further states that he makes this affidavit for the purpose of inducing the Recorder of Deeds of Kendall County, Illinois, to accept the attached deed for recording.

SUBSCRIBED AND SWORN TO BEFORE ME
This 29th day of December, 20 17
Debbie J. Schiltz
Signature of Notary Public



Signature of Affiant

111 West Fox Street, Yorkville IL 60560-1498
Tel: (630) 553-4104 • Fax: (630) 553-4119 • Email: Dgillette@co.kendall.il.us

LEGAL DESCRIPTION

PARCEL 1:

THAT PART OF THE NORTHEAST QUARTER OF SECTION 7, TOWNSHIP 37 NORTH, RANGE 8 EAST OF THE THIRD PRINCIPAL MERIDIAN DESCRIBED AS FOLLOWS: COMMENCING AT A POINT ON THE NORTH LINE OF OUTLOT "A" IN MARINA TERRACE SUBDIVISION IN PART OF SAID SECTION 7, RECORDED NOVEMBER 23, 1965, AS DOCUMENT NO. 150329, WHICH POINT IS 34.77 FEET EASTERLY OF THE NORTHWEST CORNER OF SAID OUTLOT "A"; THENCE SOUTH 42°50'55" WEST, A DISTANCE OF 20.78 FEET TO A POINT ON THE SOUTHWESTERLY LINE OF SAID OUTLOT "A", SAID POINT BEING THE POINT OF BEGINNING; THENCE SOUTH 47°09'05" EAST, ALONG SAID SOUTHWESTERLY LINE OF OUTLOT "A", A DISTANCE OF 155.00 FEET TO THE NORTHWEST CORNER OF LOT 8 IN SAID SUBDIVISION; THENCE SOUTH 42°50'55" WEST, ALONG THE WESTERLY LINE OF SAID SUBDIVISION, A DISTANCE OF 1296.32 FEET; THENCE SOUTHERLY, ALONG THE CURVED WESTERLY LINE OF SAID SUBDIVISION, SAID CURVED LINE BEING CONVEX WESTERLY, TANGENT TO THE LAST DESCRIBED LINE, AND HAVING A RADIUS OF 333.33 FEET, AN ARC DISTANCE OF 212.35 FEET TO THE END OF SAID CURVED LINE; THENCE SOUTH 06°20'55" WEST, ALONG THE WESTERLY LINE OF SAID SUBDIVISION, BEING TANGENT TO THE LAST DESCRIBED CURVED LINE, A DISTANCE OF 21.01 FEET TO THE NORTHERLY LINE OF LIGHT ROAD AS SHOWN ON PLAT OF UNIT ONE, COMMERCE INDUSTRIAL PARK, BEING A SUBDIVISION IN PART OF THE NORTHEAST QUARTER OF SAID SECTION 7, RECORDED NOVEMBER 24, 1969, IN BOOK 13 OF PLATS, PAGE 23 AS DOCUMENT NO. 165394; THENCE NORTH 83°39'05" WEST, ALONG THE NORTHERLY LINE OF SAID LIGHT ROAD, A DISTANCE OF 289.69 FEET TO THE POINT ON THE NORTH LINE OF SAID LIGHT ROAD, WHICH POINT IS 129.36 FEET EAST OF THE EASTERLY LINE OF COMMERCE ROAD AS SHOWN ON SAID PLAT OF UNIT ONE, COMMERCE INDUSTRIAL PARK; THENCE NORTH 42°50'55" EAST, ALONG A STRAIGHT LINE, 1683.80 FEET TO THE POINT OF BEGINNING (EXCEPTING THEREFROM A PARCEL OF LAND DESCRIBED AS FOLLOWS: BEGINNING AT A POINT IN THE SOUTHEASTERLY LINE OF THE ABOVE DESCRIBED PREMISES, 15.0 FEET SOUTHWESTERLY FROM THE MOST WESTERLY CORNER OF LOT 62 OF SAID MARINA TERRACE; THENCE NORTH 50°29'05" WEST, 50.0 FEET; THENCE NORTH 42°50'55" EAST, 50.0 FEET; THENCE SOUTH 50°29'05" EAST, 50.0 FEET TO THE SOUTHEASTERLY LINE OF THE ABOVE DESCRIBED PREMISES; THENCE SOUTH 42°50'55" WEST, ALONG SAID SOUTHEASTERLY LINE, 50.0 FEET TO THE POINT OF BEGINNING); ALL IN OSWEGO TOWNSHIP, KENDALL COUNTY, ILLINOIS.

PARCEL 2:

THAT PART OF THE NORTHEAST QUARTER OF SECTION 7, TOWNSHIP 37 NORTH, RANGE 8 EAST OF THE THIRD PRINCIPAL MERIDIAN DESCRIBED AS FOLLOWS: BEGINNING AT A POINT IN THE SOUTHEASTERLY LINE OF THE ABOVE DESCRIBED PREMISES, 15.0 FEET SOUTHWESTERLY FROM THE MOST WESTERLY CORNER OF LOT 62 OF SAID MARINA TERRACE; THENCE NORTH 50°29'05" WEST, 50.0 FEET; THENCE NORTH 42°50'55" EAST, 50.0 FEET; THENCE SOUTH 50°29'05" EAST, 50.0 FEET TO THE SOUTHEASTERLY LINE OF THE ABOVE DESCRIBED PREMISES; THENCE SOUTH 42°50'55" WEST, ALONG SAID SOUTHEASTERLY LINE, 50.0 FEET TO THE POINT OF BEGINNING; ALL IN OSWEGO TOWNSHIP, KENDALL COUNTY, ILLINOIS.



Applicant: Utility Dynamics Corporation
Contact: Joseph B. Spencer
Address: 23 Commerce Drive
Oswego, IL 60543

IDNR Project Number: 1905171
Date: 11/16/2018

Project: 5327 Light Rd.
Address: 5327 Light Rd., Oswego

Description: Erect a building & install light poles.

Natural Resource Review Results

This project was submitted for information only. It is not a consultation under Part 1075.

The Illinois Natural Heritage Database shows the following protected resources may be in the vicinity of the project location:

Greater Redhorse (*Moxostoma valenciennesi*)
Iowa Darter (*Etheostoma exile*)

Location

The applicant is responsible for the accuracy of the location submitted for the project.

County: Kendall

Township, Range, Section:
37N, 8E, 7



IL Department of Natural Resources

Contact

Impact Assessment Section
217-785-5500
Division of Ecosystems & Environment

Disclaimer

The Illinois Natural Heritage Database cannot provide a conclusive statement on the presence, absence, or condition of natural resources in Illinois. This review reflects the information existing in the Database at the time of this inquiry, and should not be regarded as a final statement on the site being considered, nor should it be a substitute for detailed site surveys or field surveys required for environmental assessments. If additional protected resources are encountered during the project's implementation, compliance with applicable statutes and regulations is required.

Terms of Use

By using this website, you acknowledge that you have read and agree to these terms. These terms may be revised by IDNR as necessary. If you continue to use the EcoCAT application after we post changes to these terms, it will mean that you accept such changes. If at any time you do not accept the Terms of Use, you may not continue to use the website.

IDNR Project Number: 1905171

1. The IDNR EcoCAT website was developed so that units of local government, state agencies and the public could request information or begin natural resource consultations on-line for the Illinois Endangered Species Protection Act, Illinois Natural Areas Preservation Act, and Illinois Interagency Wetland Policy Act. EcoCAT uses databases, Geographic Information System mapping, and a set of programmed decision rules to determine if proposed actions are in the vicinity of protected natural resources. By indicating your agreement to the Terms of Use for this application, you warrant that you will not use this web site for any other purpose.

2. Unauthorized attempts to upload, download, or change information on this website are strictly prohibited and may be punishable under the Computer Fraud and Abuse Act of 1986 and/or the National Information Infrastructure Protection Act.

3. IDNR reserves the right to enhance, modify, alter, or suspend the website at any time without notice, or to terminate or restrict access.

Security

EcoCAT operates on a state of Illinois computer system. We may use software to monitor traffic and to identify unauthorized attempts to upload, download, or change information, to cause harm or otherwise to damage this site. Unauthorized attempts to upload, download, or change information on this server is strictly prohibited by law.

Unauthorized use, tampering with or modification of this system, including supporting hardware or software, may subject the violator to criminal and civil penalties. In the event of unauthorized intrusion, all relevant information regarding possible violation of law may be provided to law enforcement officials.

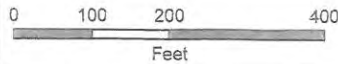
Privacy

EcoCAT generates a public record subject to disclosure under the Freedom of Information Act. Otherwise, IDNR uses the information submitted to EcoCAT solely for internal tracking purposes.



Adjacent Properties to 03-07-227-002

Kendall County GIS
111 West Fox Street - Room 308
Yorkville, Illinois 60560
630.553.4212



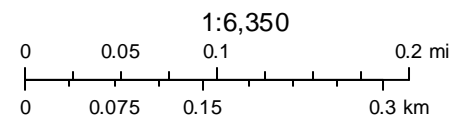
03-07-227-002	0040	0090
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0021	0062	4600
19	0090	

Attachment 2-Aerial



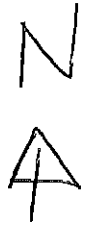
December 10, 2018

- Arrow 100 — FromTo 400 — Tip 100
- Arrow 400 — Hook 100 — Tip 400
- FromTo 100 — Hook 400 Road Names



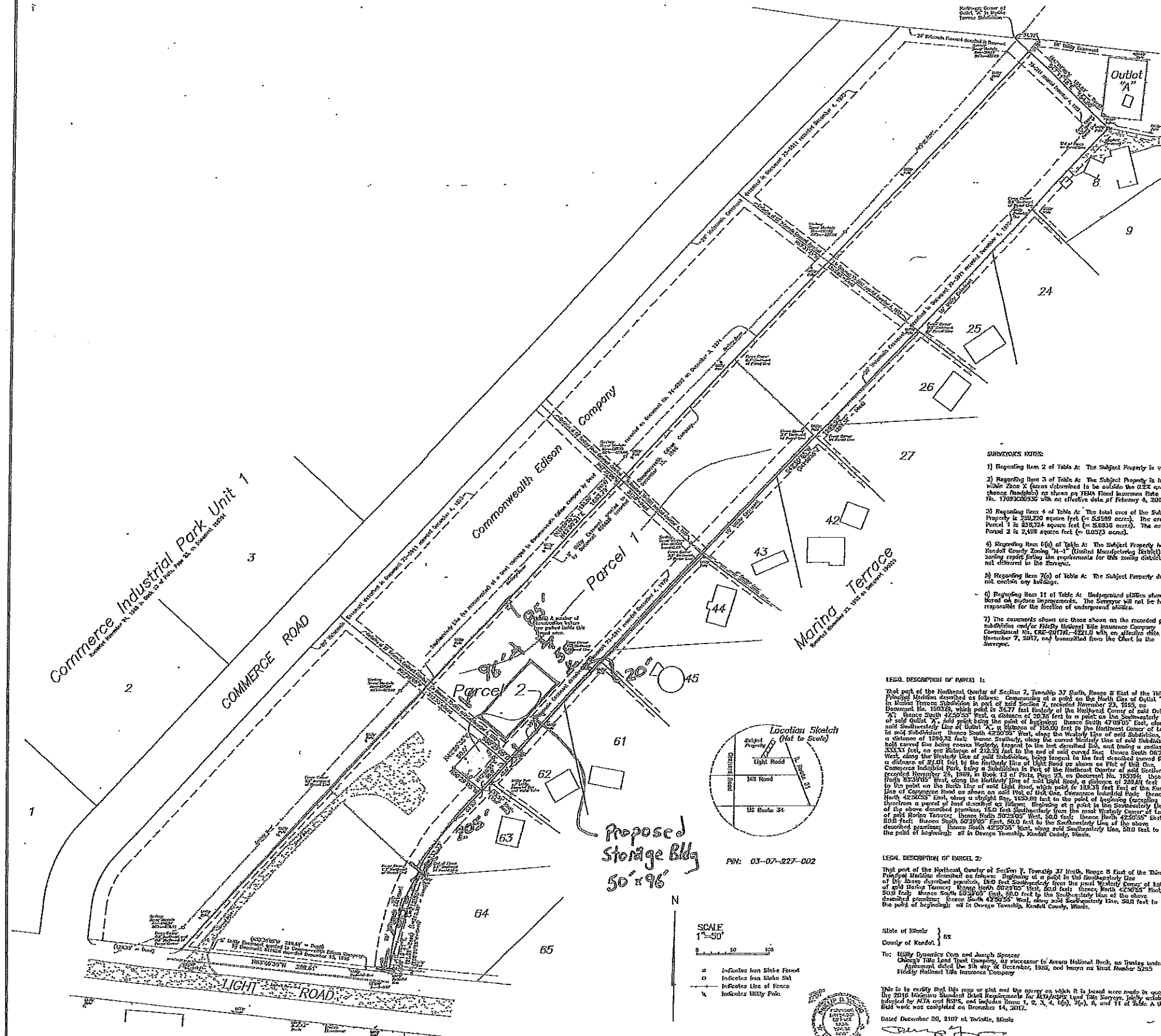
Kendal County Illinois GIS

ALTA/NSPS LAND TITLE SURVEY OF
PART OF THE NORTHEAST QUARTER OF SECTION 7, T37N-R8E, 3rd PM
OSWEGO TOWNSHIP KENDALL COUNTY ILLINOIS



UTILITY DYNAMICS CORP.
23 COMMERCE DRIVE
OSWEGO, IL 60543

03-07227-002



- SURVEYOR'S NOTES:**
- 1) Regarding Item 2 of Table A: The Subject Property is vacant.
 - 2) Regarding Item 3 of Table A: The Subject Property is located within Zone X (areas determined to be outside the 0.2% equal chance floodplain) as shown on FEMA Flood Insurance Rate Map No. 17092C0232C with an effective date of February 4, 2009.
 - 3) Regarding Item 4 of Table A: The total area of the Subject Property is 259,220 square feet (= 5.9259 acres). The area of Parcel 1 is 238,724 square feet (= 5.4838 acres). The area of Parcel 2 is 2,496 square feet (= 0.0573 acres).
 - 4) Regarding Item 5(a) of Table A: The Subject Property has Kendall County Zoning "M-1" (Limited Manufacturing District). A zoning report listing the requirements for this zoning district was not delivered to the Surveyor.
 - 5) Regarding Item 7(c) of Table A: The Subject Property does not contain any buildings.
 - 6) Regarding Item 11 of Table A: Underground utilities shown are based on surface improvements. The Surveyor will not be held responsible for the location of underground utilities.
 - 7) The easements shown are those shown on the recorded plat of subdivision and/or Fieldy National Title Insurance Company, Commission No. CR2-2017A-4221J with an effective date of November 7, 2017, and transmitted from the Chart to the Surveyor.

LEGAL DESCRIPTION OF PARCEL 1:

That part of the Northeast Quarter of Section 7, Township 37 North, Range 8 East of the Third Principal Meridian described as follows: Beginning at a point on the North Line of Outlot "A" in Marina Terrace Subdivision in part of said Section 7, recorded November 22, 1965, as Document No. 100326, which point is 2677 feet Easterly of the Northwest Corner of said Outlot "A"; thence South 42°50'55" West, a distance of 20.24 feet to a point on the Southwesterly Line of said Outlot "A"; said point being the point of beginning; thence South 47°09'05" East, along the said Southwesterly Line of said Outlot "A", a distance of 152.50 feet to the Northwest Corner of Lot B in Commerce Industrial Park 42°50'55" West, along the Westerly Line of said Subdivision, a distance of 129.82 feet; thence Southerly, along the curved Westerly Line of said Subdivision, kept curved from being a straight line to the first described point, and having a radius of 333.31 feet, an arc distance of 212.33 feet to the end of said curved line; thence South 08°20'55" West, along the Westerly Line of said Subdivision, being integral to the first described curved line, a distance of 21.01 feet to the Northern Line of Lot B and as shown on Plat of said Outlot, Commerce Industrial Park, being a Subdivision in Part of the Northeast Quarter of said Section 7, recorded November 22, 1965, as Document No. 100326; thence North 83°39'05" West, along the Northern Line of said Lot B, a distance of 289.84 feet to the point on the North Line of said Lot B, which point is 129.39 feet East of the Eastern Line of Commerce Road as shown on said Plat of said Outlot; thence North 42°50'55" East, 50.0 feet; thence South 42°50'55" West, 50.0 feet; thence North 42°50'55" East, 50.0 feet; thence South 42°50'55" West, 50.0 feet; thence North 42°50'55" East, 50.0 feet; thence South 42°50'55" West, 50.0 feet; thence North 42°50'55" East, 50.0 feet; thence South 42°50'55" West, 50.0 feet to the point of beginning; all in Oswego Township, Kendall County, Illinois.

LEGAL DESCRIPTION OF PARCEL 2:

That part of the Northeast Quarter of Section 7, Township 37 North, Range 8 East of the Third Principal Meridian described as follows: Beginning at a point in the Southeasterly Line of the above described premises, 140 feet Southeasterly from the front Westerly Corner of Lot 62 of said Marina Terrace; thence North 83°39'05" West, 50.0 feet; thence North 42°50'55" East, 50.0 feet; thence South 42°50'55" West, 50.0 feet to the Southeasterly Line of the above described premises; thence South 42°50'55" West, along said Southeasterly Line, 30.0 feet to the point of beginning; all in Oswego Township, Kendall County, Illinois.

Sole of Record }
County of Kendall }
For: Utility Dynamics Corp and Joseph Spencer
Witnessed by the undersigned, as attester to Aram National Bank, as Trustee under Trust Agreement dated the 5th day of December, 1965, and known as Trust Number 5233 Fieldy National Title Insurance Company

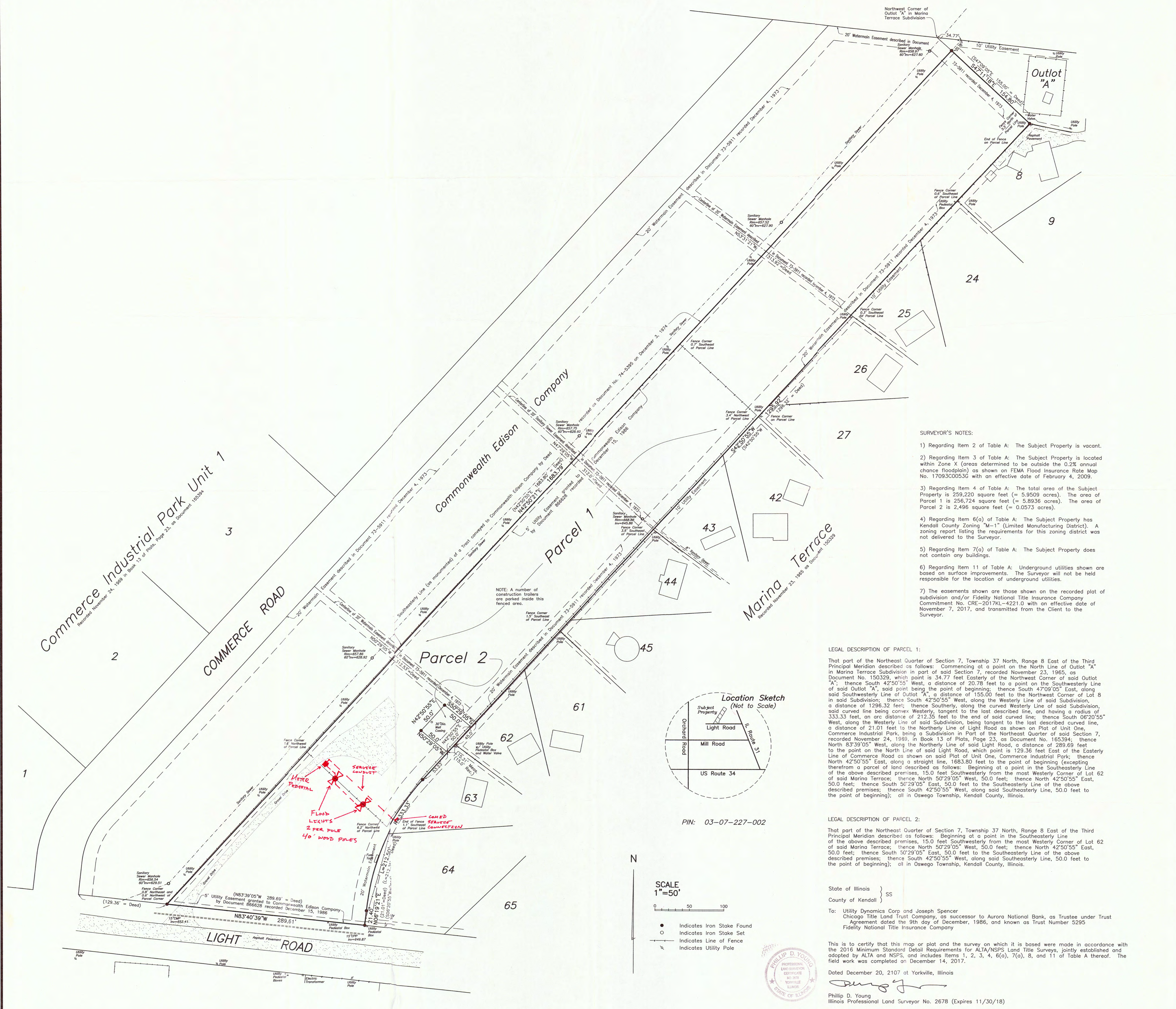
This is to certify that this map or plat and the survey on which it is based were made in accordance with the 2016 American Standard of Practice for ALTA/NSPS Land Title Survey, fully understood and approved by ALTA and NSPS, and that the Surveyor, Philip D. Young, fully understood and field work was completed on December 14, 2017.

Dated December 20, 2107 at Yorkville, Illinois

Philip D. Young
Professional Land Surveyor No. 2578 (Expires 11/30/18)

JOB NO.	17315
JOB NAME	ALT. GRANT
DWG FILE	17315
DATE	

ALTA/NSPS LAND TITLE SURVEY OF PART OF THE NORTHEAST QUARTER OF SECTION 7, T37N-R8E, 3rd PM OSWEGO TOWNSHIP KENDALL COUNTY ILLINOIS



SURVEYOR'S NOTES:

- Regarding Item 2 of Table A: The Subject Property is vacant.
- Regarding Item 3 of Table A: The Subject Property is located within Zone X (areas determined to be outside the 0.2% annual chance floodplain) as shown on FEMA Flood Insurance Rate Map No. 17093C0053G with an effective date of February 4, 2009.
- Regarding Item 4 of Table A: The total area of the Subject Property is 259,220 square feet (= 5.9509 acres). The area of Parcel 1 is 256,724 square feet (= 5.8936 acres). The area of Parcel 2 is 2,496 square feet (= 0.0573 acres).
- Regarding Item 6(a) of Table A: The Subject Property has Kendall County Zoning "M-1" (Limited Manufacturing District). A zoning report listing the requirements for this zoning district was not delivered to the Surveyor.
- Regarding Item 7(a) of Table A: The Subject Property does not contain any buildings.
- Regarding Item 11 of Table A: Underground utilities shown are based on surface improvements. The Surveyor will not be held responsible for the location of underground utilities.
- The easements shown are those shown on the recorded plot of subdivision and/or Fidelity National Title Insurance Company Commitment No. CRE-2017KL-4221.0 with an effective date of November 7, 2017, and transmitted from the Client to the Surveyor.

LEGAL DESCRIPTION OF PARCEL 1:

That part of the Northeast Quarter of Section 7, Township 37 North, Range 8 East of the Third Principal Meridian described as follows: Commencing at a point on the North Line of Outlot "A" in Marina Terrace Subdivision in part of said Section 7, recorded November 23, 1965, as Document No. 150329, which point is 34.77 feet Easterly of the Northwest Corner of said Outlot "A"; thence South 42°50'55" West, a distance of 20.78 feet to a point on the Southwesterly Line of said Outlot "A"; said point being the point of beginning; thence South 47°09'05" East, along said Southwesterly Line of Outlot "A", a distance of 155.00 feet to the Northwest Corner of Lot 8 in said Subdivision; thence South 42°50'55" West, along the Westerly Line of said Subdivision, a distance of 1296.32 feet; thence Southerly, along the curved Westerly Line of said Subdivision, said curved line being convex Westerly, tangent to the last described line, and having a radius of 333.33 feet, an arc distance of 212.35 feet to the end of said curved line; thence South 06°20'55" West, along the Westerly Line of said Subdivision, being tangent to the last described curved line, a distance of 21.01 feet to the Northerly Line of Light Road as shown on Plot of Unit One, Commerce Industrial Park, being a Subdivision in Part of the Northeast Quarter of said Section 7, recorded November 24, 1969, in Book 13 of Plats, Page 23, as Document No. 1165394; thence North 83°39'05" West, along the Northerly Line of said Light Road, a distance of 289.69 feet to the point on the North Line of said Light Road, which point is 129.36 feet East of the Easterly Line of Commerce Road as shown on said Plot of Unit One, Commerce Industrial Park; thence North 42°50'55" East, along a straight line, 1653.80 feet to the point of beginning (excepting therefrom a parcel of land described as follows: Beginning at a point in the Southeastery Line of the above described premises, 15.0 feet Southwesterly from the most Westerly Corner of Lot 62 of said Marina Terrace; thence North 50°29'05" West, 50.0 feet; thence North 42°50'55" East, 50.0 feet; thence South 50°29'05" East, 50.0 feet to the Southeastery Line of the above described premises; thence South 42°50'55" West, along said Southeastery Line, 50.0 feet to the point of beginning); all in Oswego Township, Kendall County, Illinois.

LEGAL DESCRIPTION OF PARCEL 2:

That part of the Northeast Quarter of Section 7, Township 37 North, Range 8 East of the Third Principal Meridian described as follows: Beginning at a point in the Southeastery Line of the above described premises, 15.0 feet Southwesterly from the most Westerly Corner of Lot 62 of said Marina Terrace; thence North 50°29'05" West, 50.0 feet; thence North 42°50'55" East, 50.0 feet; thence South 50°29'05" East, 50.0 feet to the Southeastery Line of the above described premises; thence South 42°50'55" West, along said Southeastery Line, 50.0 feet to the point of beginning); all in Oswego Township, Kendall County, Illinois.

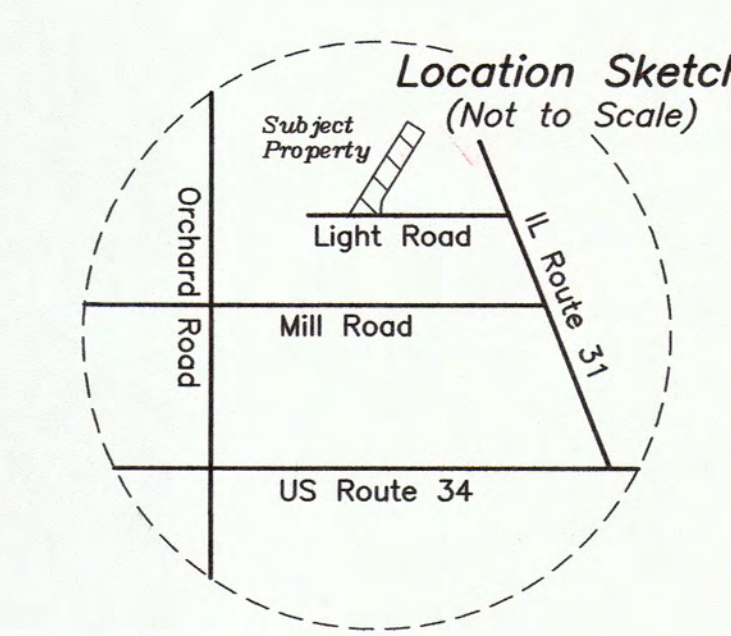
State of Illinois }
County of Kendall } SS

To: Utility Dynamics Corp and Joseph Spencer
Chicago Title Land Trust Company, as successor to Aurora National Bank, as Trustee under Trust Agreement dated the 9th day of December, 1986, and known as Trust Number 5295
Fidelity National Title Insurance Company

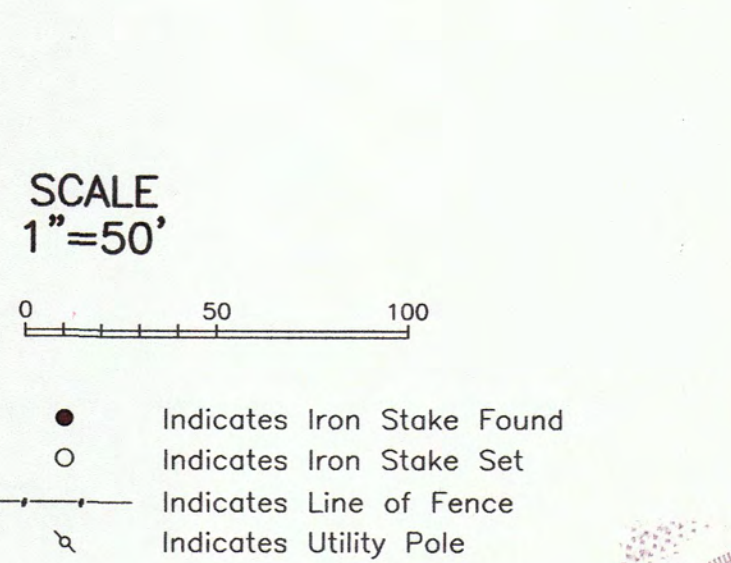
This is to certify that this map or plot and the survey on which it is based were made in accordance with the 2016 Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys, jointly established and adopted by ALTA and NSPS, and includes Items 1, 2, 3, 4, 6(a), 7(a), 8, and 11 of Table A thereof. The field work was completed on December 14, 2017.

Dated December 20, 2107 at Yorkville, Illinois

Phillip D. Young
Phillip D. Young
Illinois Professional Land Surveyor No. 2678 (Expires 11/30/18)



PIN: 03-07-227-002



JOB NO.	17315
JOB NAME	ATTY. GRANT
DWG FILE	17315
REVISION DATE	12/20/2017

Phillip D. Young and Associates, Inc.
LAND SURVEYING - TOPOGRAPHIC MAPPING - Lic.#184-002775

1107B South Bridge Street
Yorkville, Illinois 60560
Telephone (630)553-1580

GENERAL NOTES AND SPECIFICATIONS

TABLE OF CONTENTS

- The materials and labor shown on these plans that are provided by Cleary Building Corp. are limited to those materials and labor as defined by the Cleary Building Corp. contract. Additional materials or accessories that are not being provided by Cleary Building Corp. may be shown on plans for context or building code compliance.
- This building is designed in accordance with the following codes and specifications:
 2015 International Building Code (IBC)
 2015 Edition of "National Design Specifications for Wood Construction"

- 110. ELEVATIONS
- 120. FLOOR PLAN
- 130. TYPICAL SECTION
- 140. DIAGONAL BRACING DETAILS A
- 141. DIAGONAL BRACING DETAILS B
- 142. DIAGONAL BRACING DETAILS C
- 150. HEADER DETAILS A
- 151. HEADER DETAILS B
- 160. DIAPHRAGM ACTION and MISC. DETAILS
- 170. TRUSS DIAGRAMS

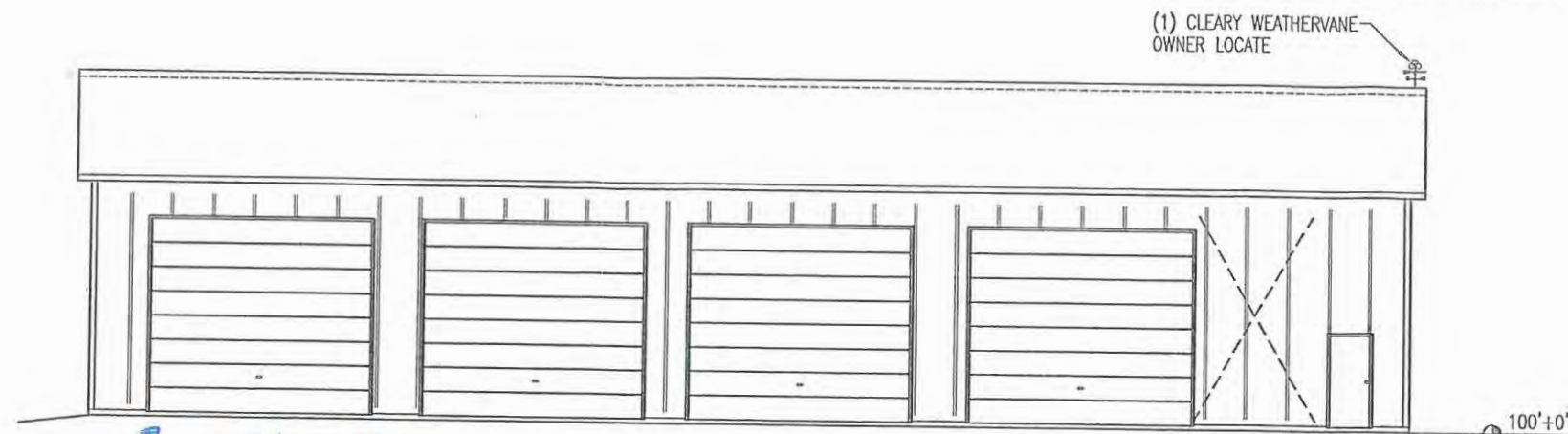
Use Group(s) Classification: S-1
 Building Use: Storage
 Type of Construction: Type V-B
 Building Gross Square Footage: 4800 Sq. Ft.

Building Design Loads:
 Design Truss Load: 29 PSF Total Load
 Design Snow Load: 30 PSF Ground Snow Load (Pg) (per IBC)
 20 PSF (for balanced roof snow load)
 Design Wind Speed: 105 MPH (EXP C per IBC)
 Seismic Use Group: I
 Seismic Design Category: B
 Maximum Considered Earthquake Ground Motion for 0.2 Second Spectral Response (Ss): 16.4%g
 Maximum Considered Earthquake Ground Motion for 1.0 Second Spectral Response (S 1.0): 6.9%g

- All lumber, unless otherwise noted, shall be S4S #2 SPF or better. All lumber embedded in the ground shall be treated with Chromated Copper Arsenate to a retention level of 0.60 pounds per cubic foot.
- Grading should be such that the surface water is drained away from the foundation. Minimum grade would be six inches of vertical drop per ten feet of horizontal away from the foundation (5%).
- Fill used for concrete floor slab sub grade, if present, shall be reasonably graded granular material. Fill used in column holes shall be the excavated soil unless otherwise noted. All fill shall be free from debris, stones over 4", and frozen material.
- Electrical work is not a part of this drawing and shall be installed as per applicable codes.
- Heating, ventilating, and air conditioning work is not a part of this drawing and shall be installed as per applicable codes.
- Plumbing work is not a part of this drawing and shall be installed as per applicable codes.
- All nails are to be threaded hardened steel unless otherwise noted.
- This design is based on a building site with sand, silty sand, clayey sand, silty gravel, clayey gravel soil. As per the IBC building code and Referenced Standard ASAE 486.1, an assumed soil bearing design value of 1500 psf with increases for depth and width has been used in this design. If information is discovered before or during construction contrary to this, the building designer should be contacted.

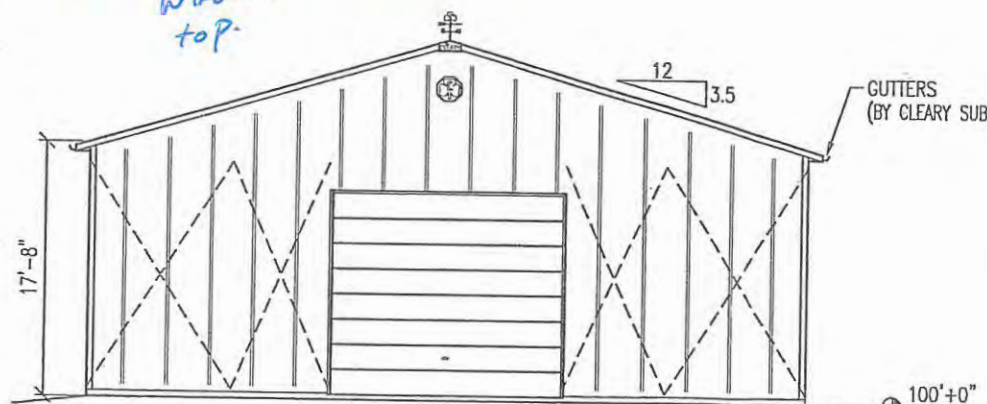
NOTE:
 This building, as depicted, must be constructed 10 feet or more from any and all lot lines and 20 feet or more from any other buildings on the same lot. See IBC code and/or the local building official for exceptions.

NOTE:
 This document, as presented and sealed, is not intended to be, nor should it be construed as such, a complete building design. It is intended to represent just the building itself. The design of the electrical, mechanical, plumbing, and site drainage are excluded from this plan. It should also be noted that the designer is unaware of any subsoil investigation reports. Footings have been sized on assumed values as per note 10.0 under General Specifications and Notes. The designer excludes determination that the assumed soil conditions are present at the site. If a concrete floor will be installed, the design of the concrete floor is not part of these plans, nor is it intended to be. If shown, the concrete floor is only depicted to show its location with respect to related components of the building. The client or general contractor is encouraged to contract with other professional engineers or architects for the design of the concrete floor and its subgrade.

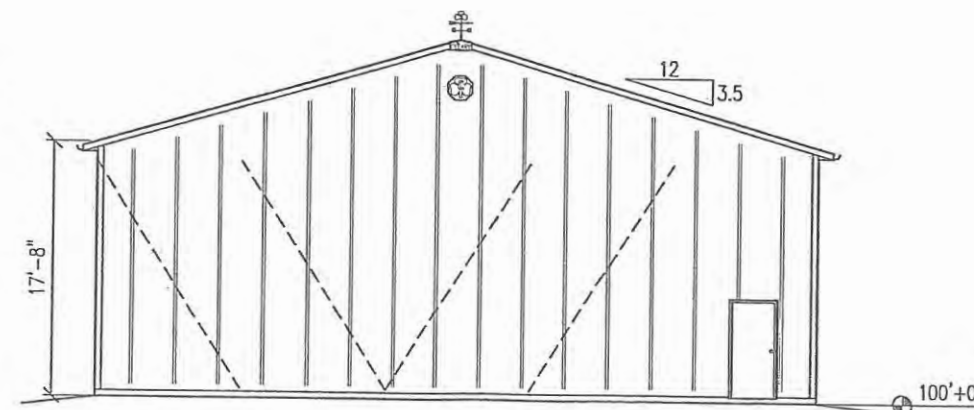


All Doors Included with Windows in second panel from top.

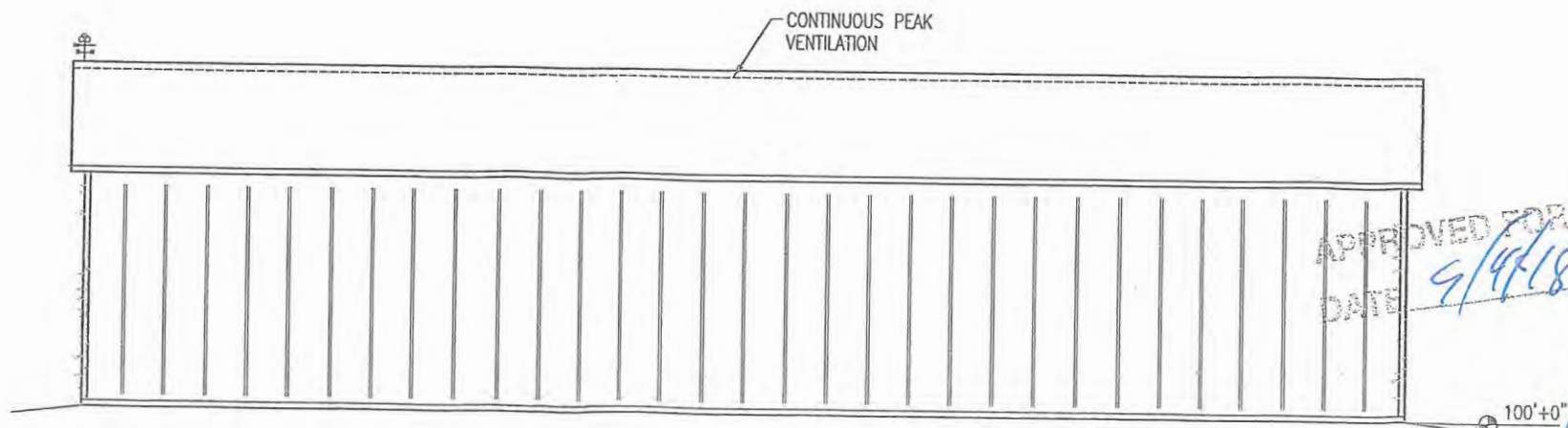
WEST ELEVATION



SOUTH ELEVATION



NORTH ELEVATION



EAST ELEVATION



190 PAOLI STREET / P.O. BOX 930220
 VERONA, WI 53593 / (800) 373-5550

DRAWN BY: RAVEN CUTRANO

DATE DRAWN: 8/7/2018

PLAN REVISIONS:

NUMBER	DATE	BY
1		
2		
3		
4		

PROJECT NAME: SPENCER UTILITY DYNAMICS CORP.; JOSEPH SPENCER

PROJECT SITE ADDRESS:
 5327 LIGHT ROAD
 OSWEGO, ILLINOIS

BUILDING SIZE:
 50'x96'x17'-8"

SHEET NAME:
 ELEVATIONS

PROJECT NUMBER:
 2018104178

SHEET NUMBER:
 110

SHEET SCALE: NONE

APPROVED FOR CONSTRUCTION
 DATE 8/22/18 BY [Signature]

File Name and Path: \\clearyshares\eng\Commercial\A-Personal\Raven_Cutrano\2018104178\2018104178-110-ELV.dwg
 Printed By: Raven Cutrano Date Printed: 8/21/2018 3:10 PM

COLUMNS:	COLUMN SIZE:	HOLE DEPTH:	HOLE DIAMETER:	FOOTING SIZE:	NUMBER OF COLUMNS REQUIRED:
(A) SIDEWALL	3-PLY 2x6x22'-0"	5'-2"	20"φ	10"x20"φ POURED CONCRETE (SEE NOTE)	12
(B) SIDEWALL	3-PLY 2x6x22'-0"	5'-4"	24"φ	12"x24"φ POURED CONCRETE (SEE NOTE)	4
(C) DOOR	3-PLY 2x6x22'-0"	5'-2"	20"φ	10"x20"φ POURED CONCRETE (SEE NOTE)	4
(D) CORNER	3-PLY 2x6x22'-0"	5'-1"	18"φ	9"x18"φ POURED CONCRETE (SEE NOTE)	4
(E) ENDWALL	3-PLY 2x6x24'-11"	5'-1"	18"φ	9"x18"φ POURED CONCRETE (SEE NOTE)	4
(F) ENDWALL	3-PLY 2x6x26'-11"	5'-1"	18"φ	9"x18"φ POURED CONCRETE (SEE NOTE)	2
(G) ENDWALL	3-PLY 2x6x27'-10"	5'-1"	18"φ	9"x18"φ POURED CONCRETE (SEE NOTE)	2

- NOTES:**
- FIELD VERIFY ALL DOOR AND WINDOW ROUGH OPENING SIZES PRIOR TO INSTALLING FRAME-OUTS
 - ATTACH ALL ROOF, SIDE, END AND GABLE STEEL WITH PAINTED SCREWS
 - ENDWALL COLUMNS ARE 3-PLY TO THE BUILDING EAVE HEIGHT AND SINGLE PLY FROM THERE TO THE ROOF PLANE
 - 2x4 STANDARD DIAGONAL CORNER BRACING AT ALL CORNERS (UNLESS OTHERWISE NOTED)
 - 2x6 JACKBRACING AT ENDWALL COLUMNS AND CENTERED ABOVE OVERHEAD DOOR ON ENDWALL (SEE DIAPHRAGM ACTION and MISC. DETAILS SHEET)
 - 2x4 PURLIN BLOCKING AT ENDWALL TRUSSES
 - (\times) = BAYS WITH 2x4 ROOFLINE X-BRACING (SEE DIAPHRAGM ACTION and MISC. DETAILS SHEET)

BUILDING COLORS:		BUILDING ACCESSORIES:	
ROOF:	CHARCOAL	ATTACH ROOF STEEL TO PURLINS WITH PAINTED SCREWS IN PAN AREA	
SIDES:	LIGHT GRAY	(1) CLEARY WEATHERVANE (OWNER LOCATE)	
GABLES:	LIGHT GRAY	INSIDE FILLER STRIP AT EAVE (ROOF AND SIDE)	
SLIDE DOORS:	---	PREP FOR GUTTERS AT BOTH SIDES WITH EAVE TRIM (GUTTERS BY CLEARY SUB)	
TRIM (TYP.):	CHARCOAL		
F&J TRIM:	LIGHT GRAY		
ACCENTS:	---		
WAINSCOTING:	---		



DRAWN BY: RAVEN CUTRANO
 DATE DRAWN: 8/7/2018
 PLAN REVISIONS:

NUMBER	DATE	BY
1		
2		
3		
4		

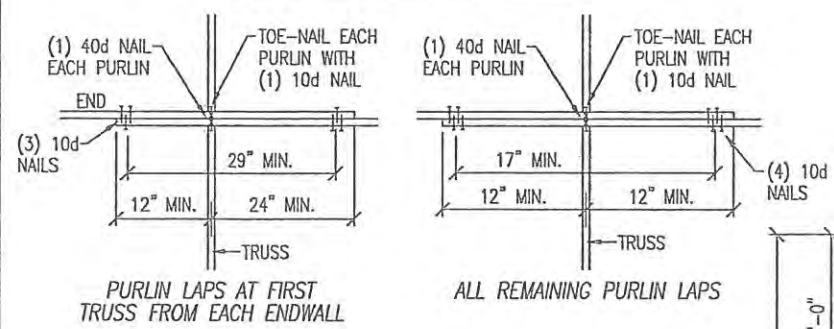
NOTE:
 2.5 Cu. Yds. of 2500 PSI MIN. CONCRETE NEEDED FOR POURED FOOTINGS

NOTE:
 18 TOTAL BAGS OF SACKCRETE REQUIRED FOR COLUMN ANCHORAGE

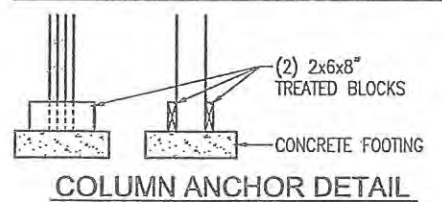


CONT. PURLIN DESIGN

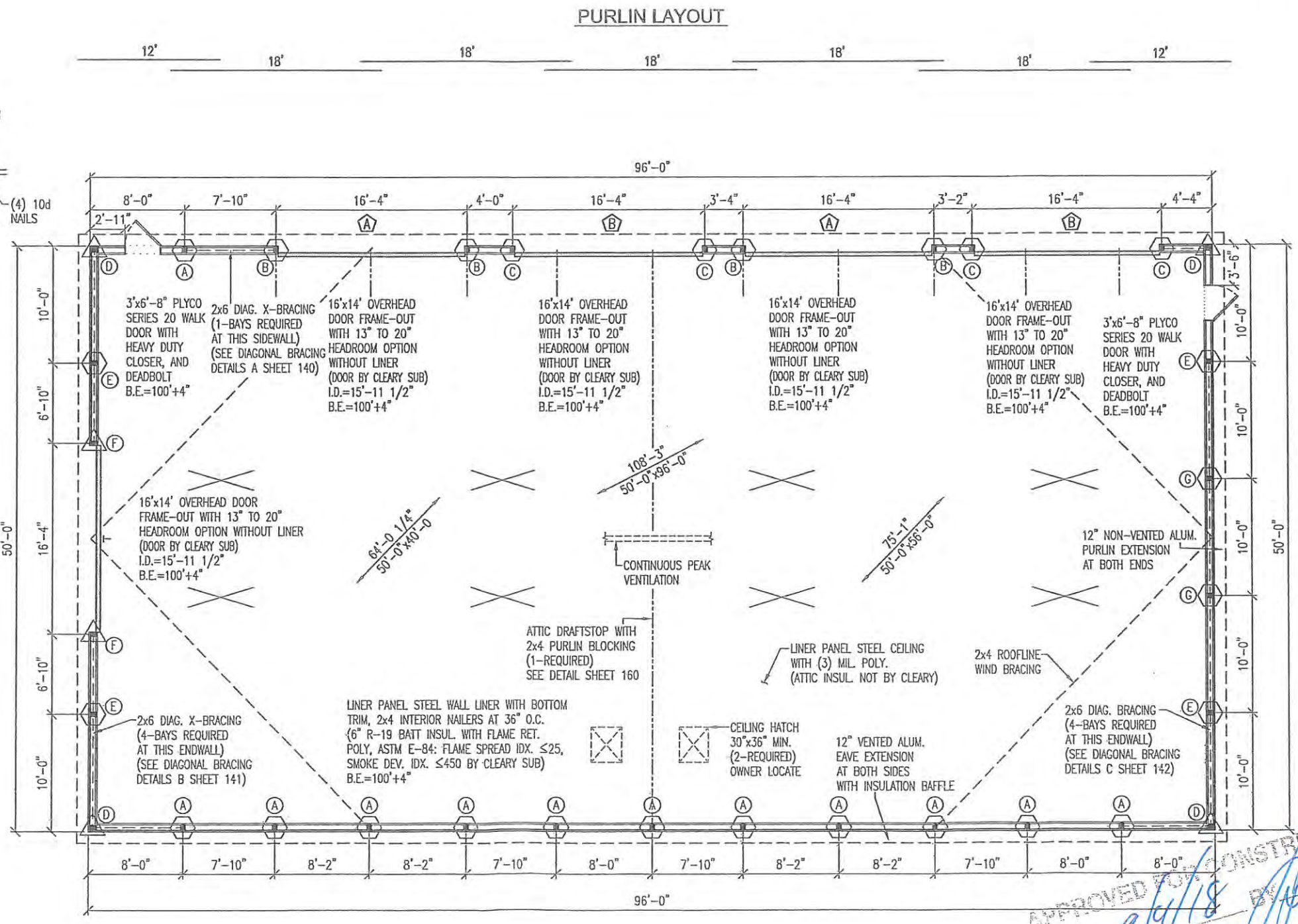
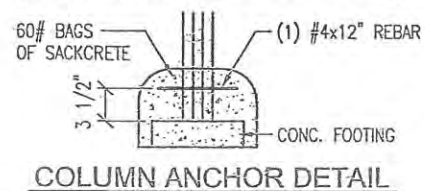
CONSTRUCTION FOREMAN NOTE:
 BE SURE TO MAINTAIN THE OVERALL LAP DISTANCE AND THE SPACING FROM PURLIN END TO CENTER OF TRUSS AS SHOWN



○ = ANCHOR COLUMNS WITH (2) 2x6x8" TREATED BLOCKS ATTACHED TO COLUMN WITH (3) 20d NAILS PER EACH BLOCK FOR UPLIFT
 NOTE: COLUMN SETS ON TOP OF CONC. FOOTING - CHECK COLUMN CHART FOR EXACT FOOTING SIZE REQUIREMENTS



△ = ANCHOR COLUMNS WITH (3) 60# BAGS OF SACKCRETE AND (1) #4x12" REBAR FOR UPLIFT
 NOTE: COLUMN SETS ON TOP OF CONC. FOOTING - CHECK COLUMN CHART FOR EXACT FOOTING SIZE REQUIREMENTS



PROJECT NAME:
 SPENCER UTILITY DYNAMICS CORP; JOSEPH SPENCER

PROJECT SITE ADDRESS:
 5327 LIGHT ROAD
 OSWEGO, ILLINOIS - KENDALL COUNTY

BUILDING SIZE:
 50'x96'x17'-8"

SHEET NAME:
 FLOOR PLAN

PROJECT NUMBER:
 2018104178

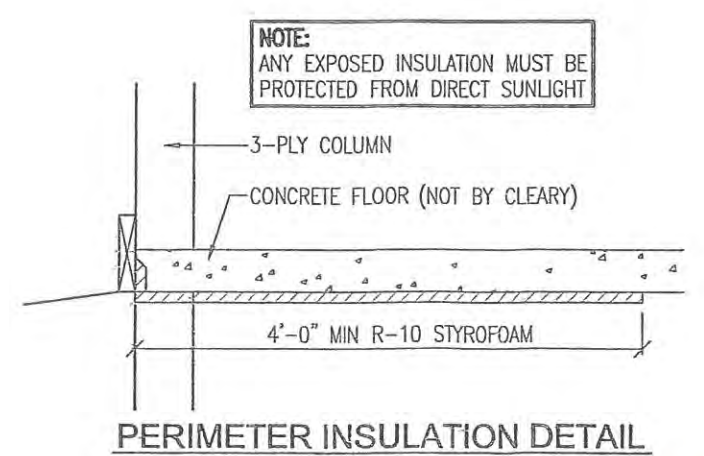
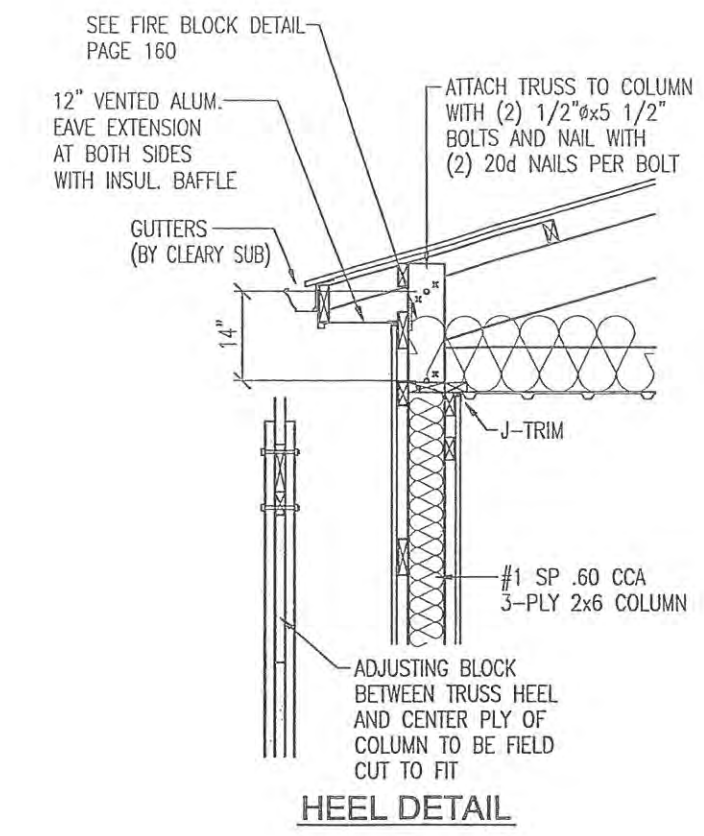
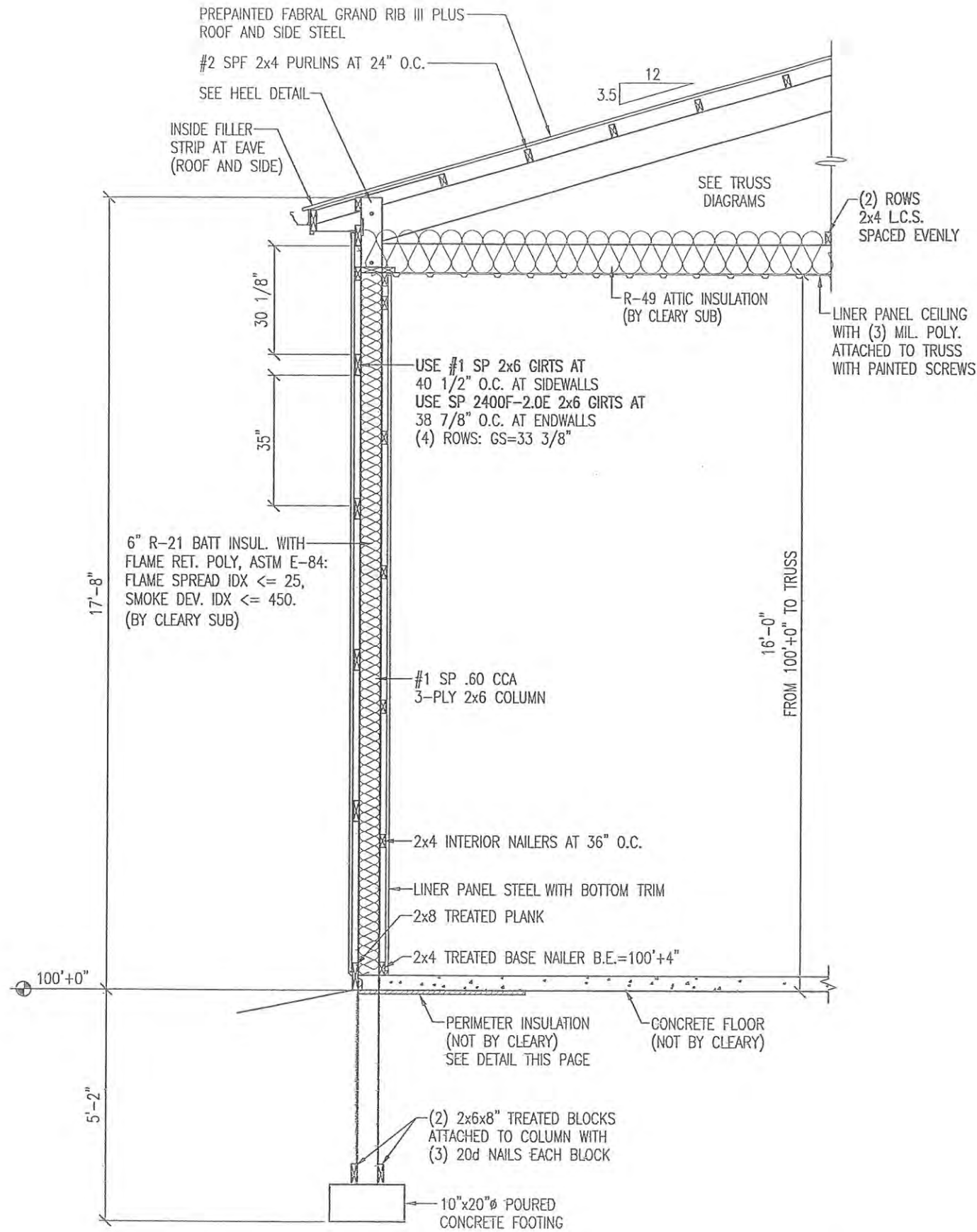
SHEET NUMBER:
 120

SHEET SCALE: NONE

APPROVED FOR CONSTRUCTION

DATE 9/9/18

Signature: [Signature]
 Date: 8/22/18
 License Expires 11-30-2018
 State Of Illinois



190 PAOLI STREET / P.O. BOX 930220
VERONA, WI 53593 / (800) 373-5550

DRAWN BY: RAVEN CUTRANO

DATE DRAWN: 8/7/2018

PLAN REVISIONS:

NUMBER	DATE	BY
1		
2		
3		
4		

PROJECT NAME: SPENCER UTILITY DYNAMICS CORP; JOSEPH SPENCER

PROJECT SITE ADDRESS:
5327 LIGHT ROAD
OSWEGO, ILLINOIS - KENDALL COUNTY

BUILDING SIZE:
50'x96'x17'-8"
SHEET NAME:
TYPICAL SECTION

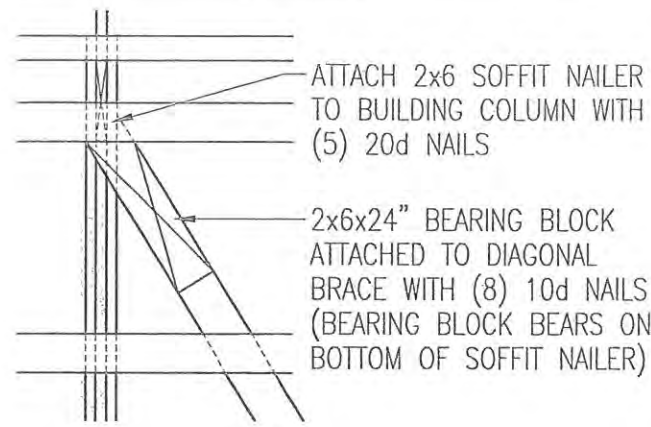
PROJECT NUMBER:
2018104178

SHEET NUMBER:
130

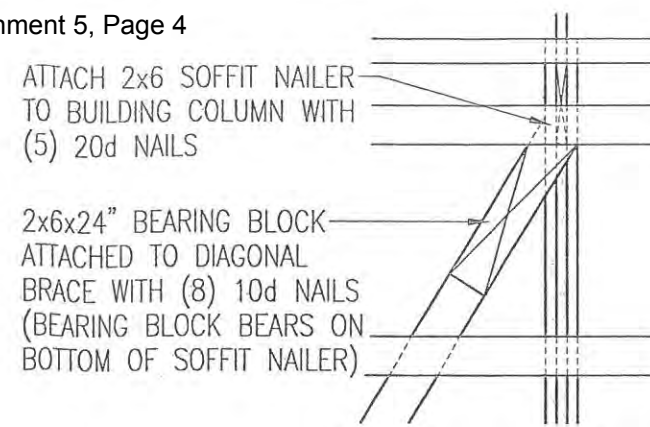
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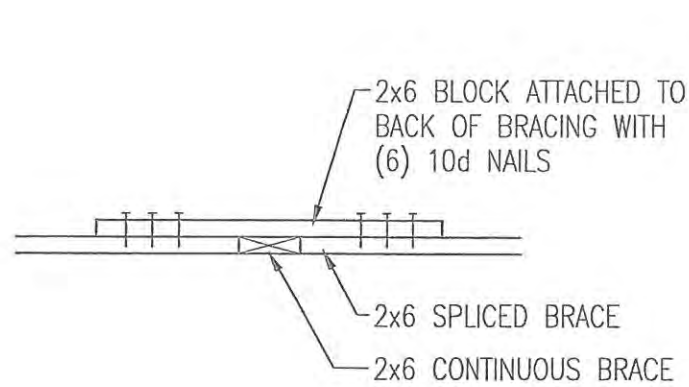
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Date Printed: 8/21/2018 3:23 PM



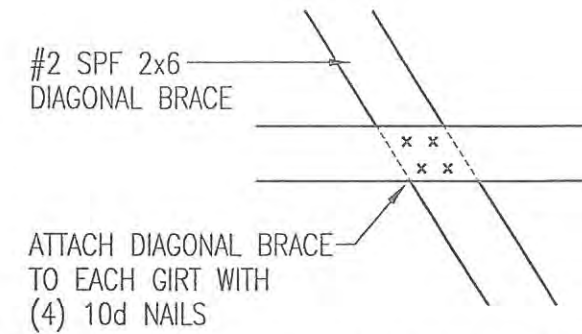
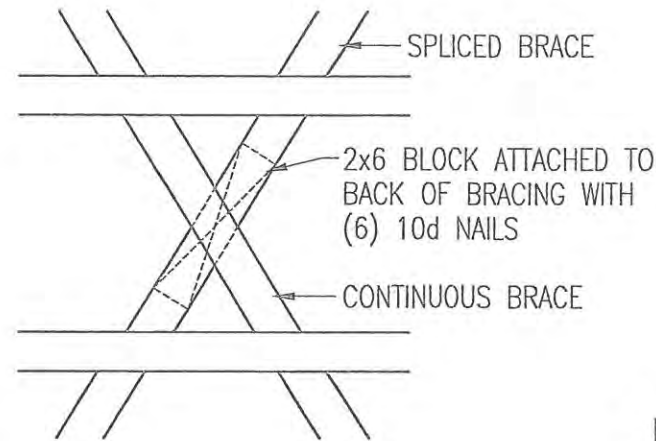
BRACE CONNECTION DETAIL
 AT TOP OF BRACE AT SIDEWALL COLUMN



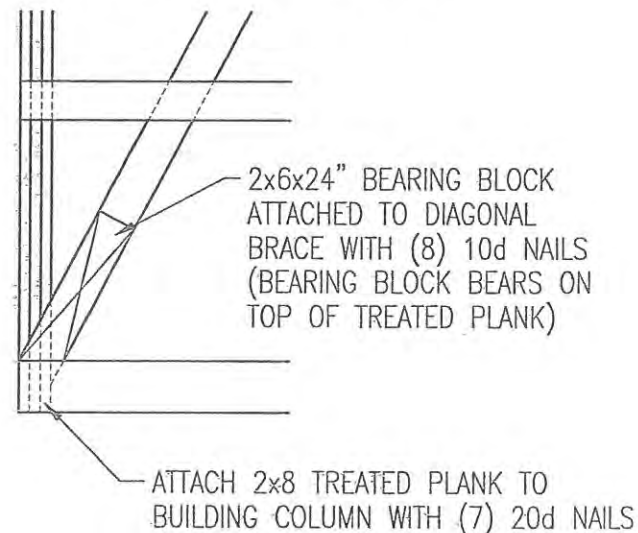
BRACE CONNECTION DETAIL
 AT TOP OF BRACE AT SIDEWALL COLUMN



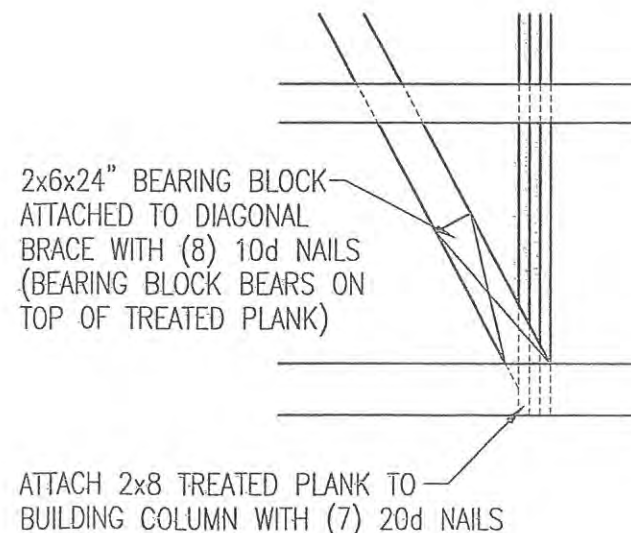
BRACE SPLICE DETAIL
 AT CENTER OF X-BRACING



BRACE TO GIRT CONNECTION DETAIL



BRACE CONNECTION DETAIL
 AT BOTTOM OF BRACE AT SIDEWALL COLUMN



BRACE CONNECTION DETAIL
 AT BOTTOM OF BRACE AT SIDEWALL COLUMN

SIDEWALL DIAGONAL X-BRACING DETAIL
 AT WEST SIDEWALL



190 PAOLI STREET / P.O. BOX 930220
 VERONA, WI 53593 / (800) 373-5550

DRAWN BY: RAVEN CUTRANO

DATE DRAWN: 8/7/2018

PLAN REVISIONS:

NUMBER	DATE	BY
1		
2		
3		
4		

PROJECT NAME:
 SPENCER UTILITY DYNAMICS CORP.; JOSEPH SPENCER

PROJECT SITE ADDRESS:
 5327 LIGHT ROAD
 OSWEGO, ILLINOIS - KENDALL COUNTY

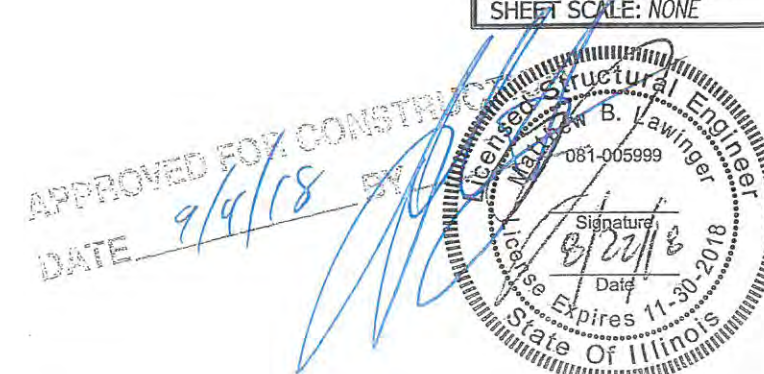
BUILDING SIZE:
 50'x96'x17'-8"

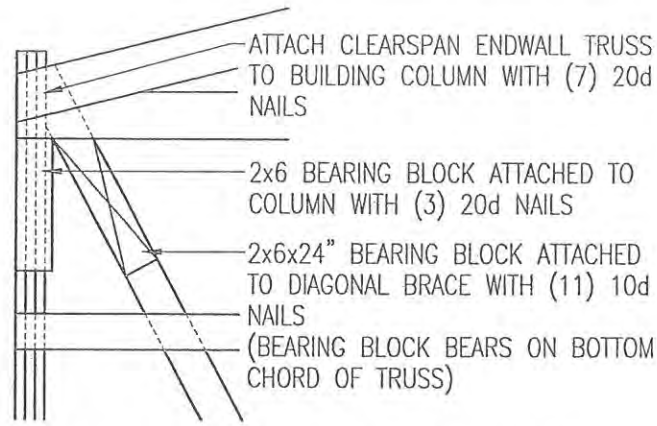
SHEET NAME:
 DIAGONAL BRACING DETAILS A

PROJECT NUMBER:
 2018104178

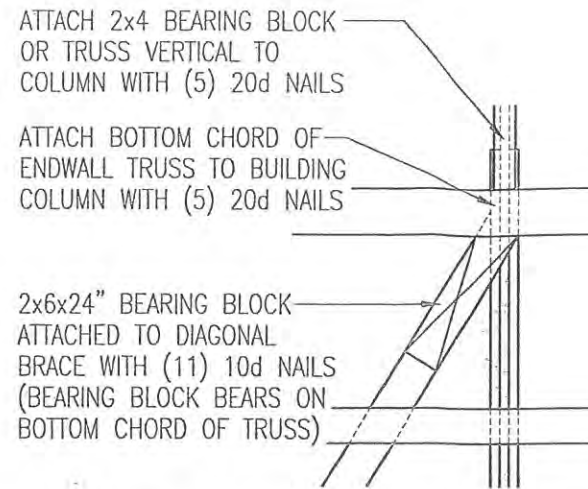
SHEET NUMBER:
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SHEET SCALE: NONE

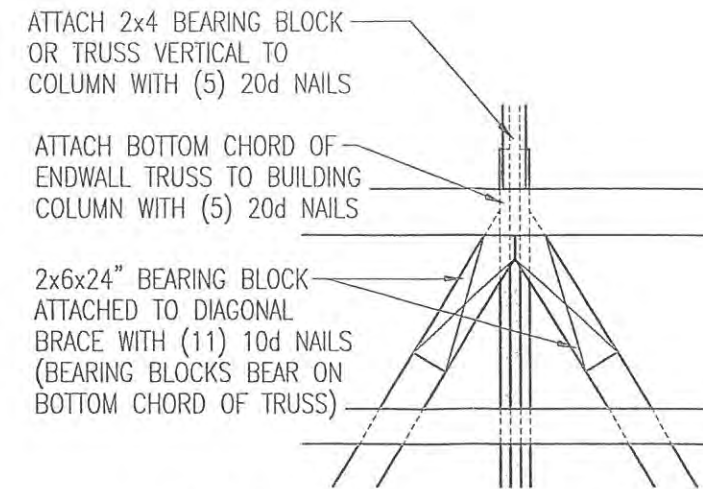




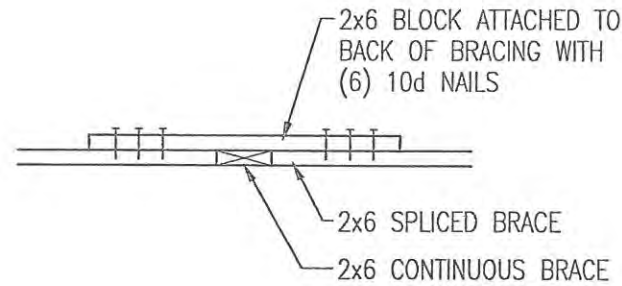
BRACE CONNECTION DETAIL
AT TOP OF BRACE AT CORNER COLUMN



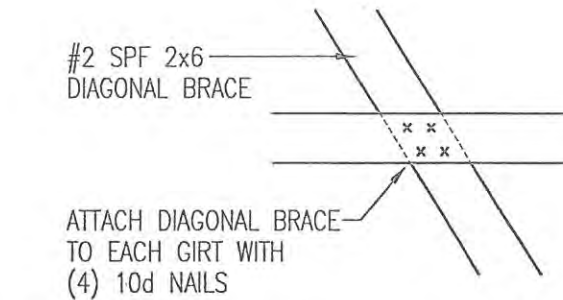
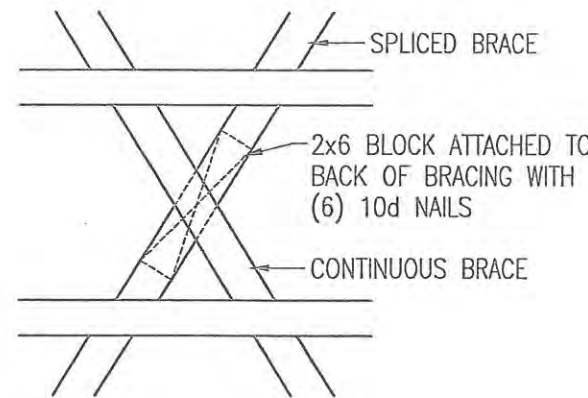
BRACE CONNECTION DETAIL
AT TOP OF BRACE AT ENDWALL COLUMN



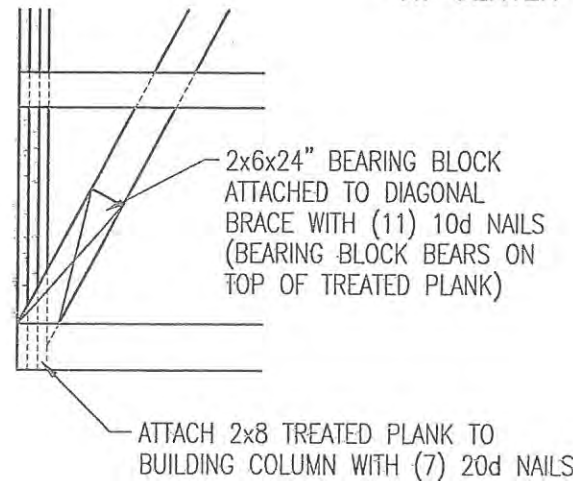
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AT TOP OF BRACE AT ENDWALL COLUMN



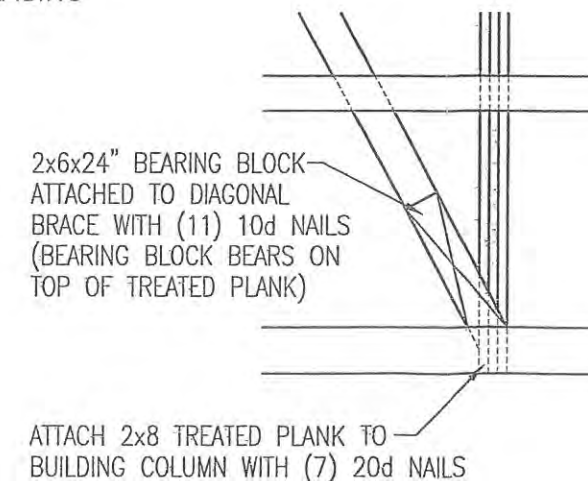
BRACE SPLICE DETAIL
AT CENTER OF X-BRACING



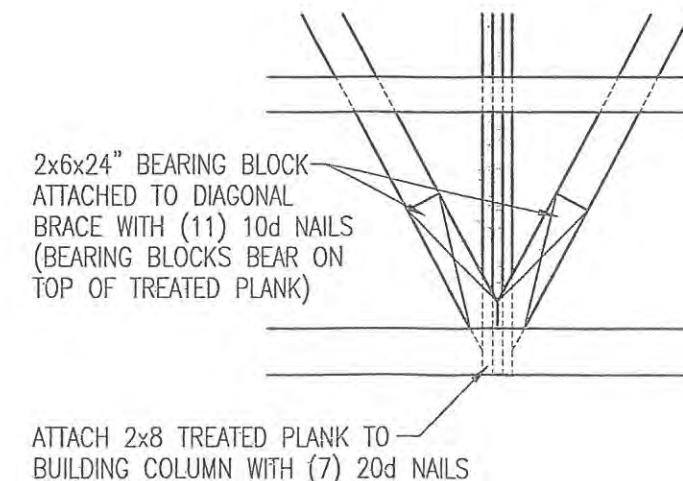
BRACE TO GIRT CONNECTION DETAIL



BRACE CONNECTION DETAIL
AT BOTTOM OF BRACE AT ENDWALL COLUMN



BRACE CONNECTION DETAIL
AT BOTTOM OF BRACE AT ENDWALL COLUMN



BRACE CONNECTION DETAIL
AT BOTTOM OF BRACE AT ENDWALL COLUMN

ENDWALL DIAGONAL X-BRACING DETAIL
AT SOUTH ENDWALL



190 PAOLI STREET / P.O. BOX 930220
VERONA, WI 53593 / (800) 373-5550

DRAWN BY: RAVEN CUTRANO

DATE DRAWN: 8/7/2018

PLAN REVISIONS:

NUMBER	DATE	BY
1		
2		
3		
4		

PROJECT NAME: SPENCER UTILITY DYNAMICS CORP.; JOSEPH SPENCER

PROJECT SITE ADDRESS:
5327 LIGHT ROAD
OSWEGO, ILLINOIS - KENDALL COUNTY

BUILDING SIZE:
50'x96'x17'-8"

SHEET NAME: DIAGONAL BRACING DETAILS B

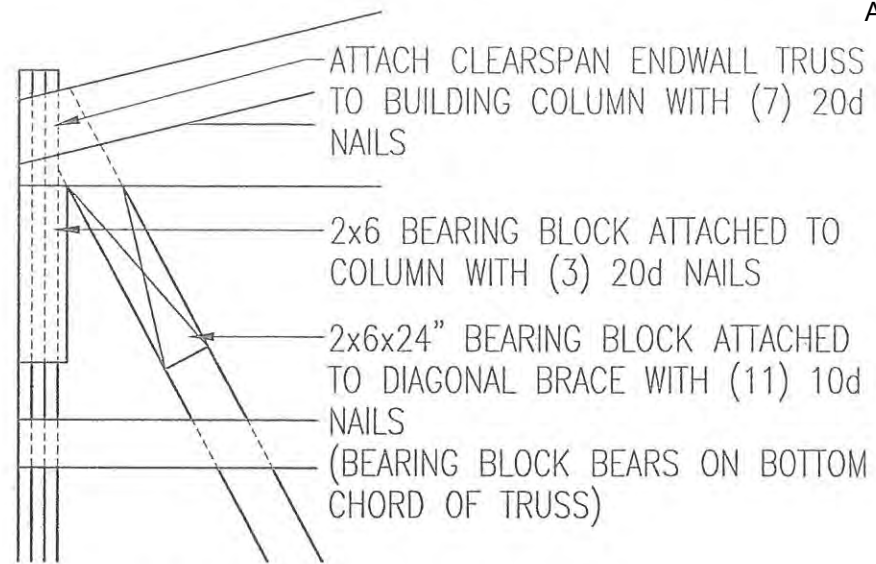
PROJECT NUMBER:
2018104178

SHEET NUMBER:
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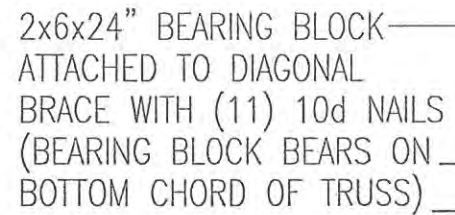
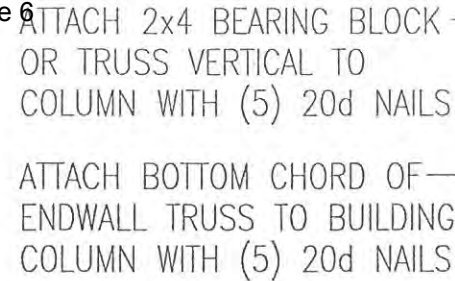
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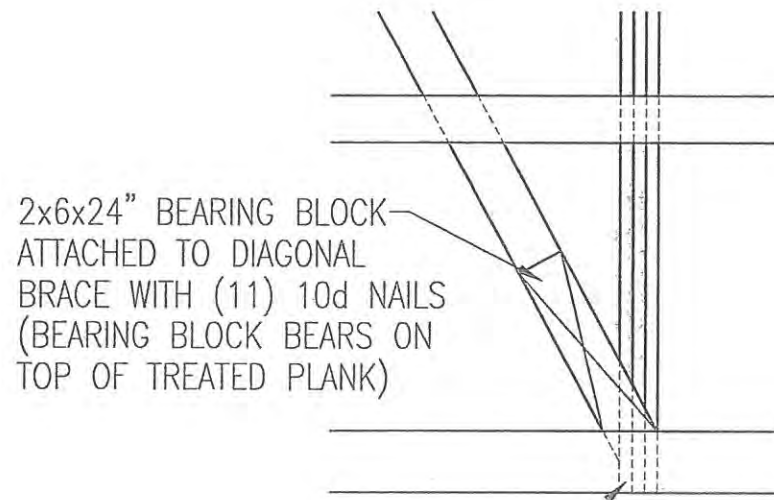
APPROVED FOR CONSTRUCTION
DATE 9/4/18



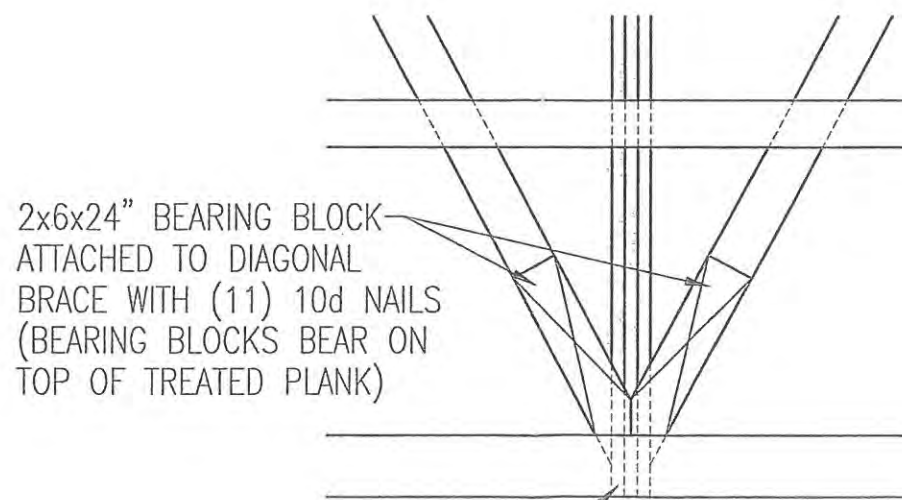
BRACE CONNECTION DETAIL
AT TOP OF BRACE AT CORNER COLUMN



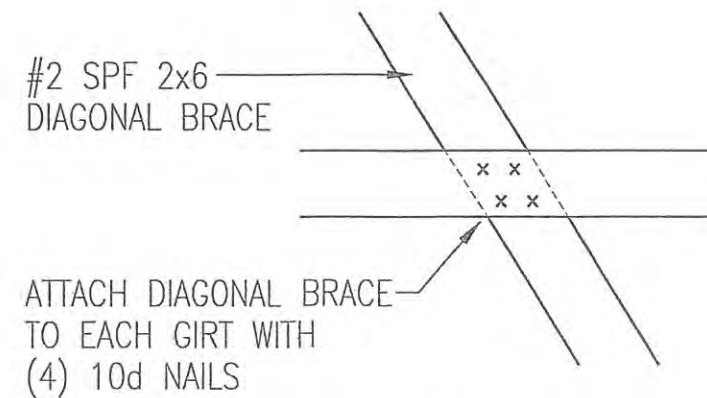
BRACE CONNECTION DETAIL
AT TOP OF BRACE AT ENDWALL COLUMN



ATTACH 2x8 TREATED PLANK TO BUILDING COLUMN WITH (7) 20d NAILS



ATTACH 2x8 TREATED PLANK TO BUILDING COLUMN WITH (7) 20d NAILS



BRACE TO GIRT CONNECTION DETAIL

BRACE CONNECTION DETAIL
AT BOTTOM OF BRACE AT ENDWALL COLUMN

BRACE CONNECTION DETAIL
AT BOTTOM OF BRACE AT ENDWALL COLUMN

ENDWALL DIAGONAL BRACING DETAIL
AT NORTH ENDWALL



190 PAOLI STREET / P.O. BOX 930220
VERONA, WI 53593 / (800) 373-5550

DRAWN BY: RAVEN CUTRANO

DATE DRAWN: 8/7/2018

PLAN REVISIONS:

NUMBER	DATE	BY
1		
2		
3		
4		

PROJECT NAME: SPENCER UTILITY DYNAMICS CORP; JOSEPH SPENCER

PROJECT SITE ADDRESS:
5327 LIGHT ROAD
OSWEGO, ILLINOIS - KENDALL COUNTY

BUILDING SIZE:
50'x96'x17'-8"

SHEET NAME:
DIAGONAL BRACING DETAILS C

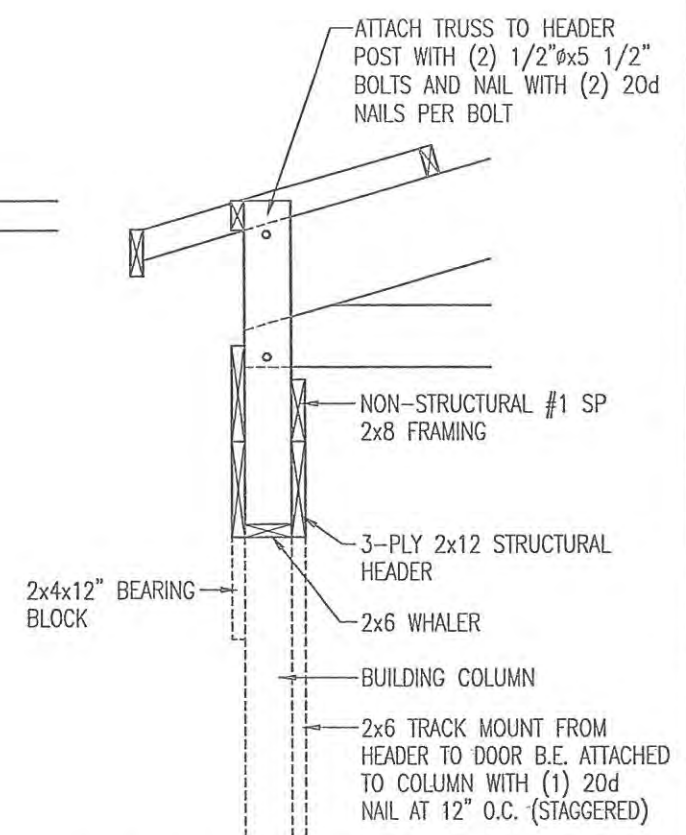
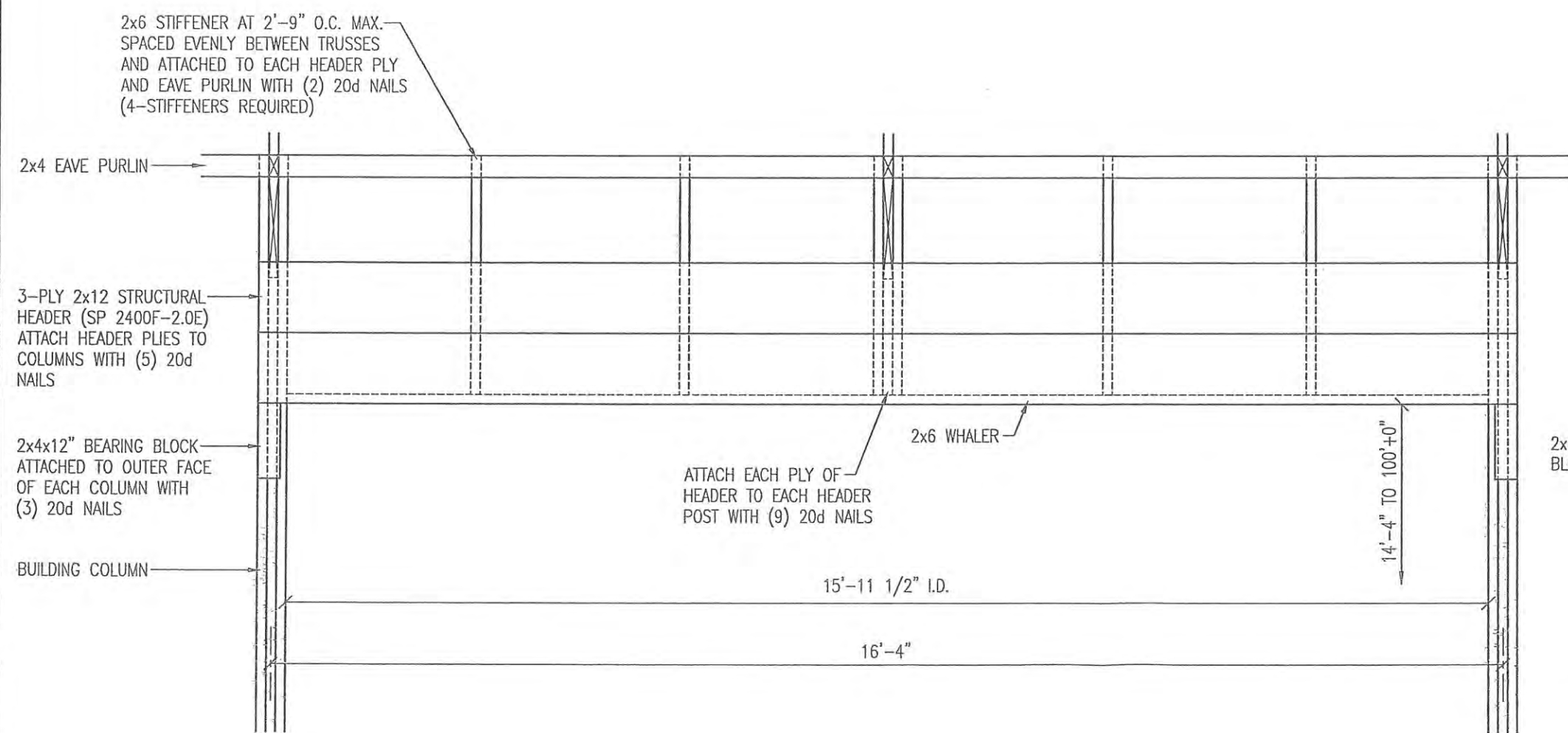
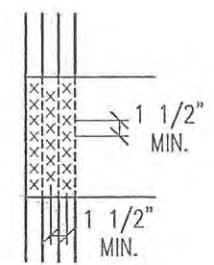
PROJECT NUMBER:
2018104178

SHEET NUMBER:
142

SHEET SCALE: NONE

APPROVED FOR CONSTRUCTION
DATE 9/9/18

NOTE--NAILING ALTERNATIVE:
 INSTALL (2) 3 1/2" x .131RS GUN
 NAILS FOR EACH 20d NAIL SPECIFIED
 (USE 20d NAILS IF NUMBER OF GUN
 NAILS REQUIRED REDUCES THE SPACING
 IN A VERTICAL OR HORIZONTAL ROW
 TO LESS THAN 1 1/2" AT A HEADER
 POST OR COLUMN AS SHOWN)



SECTION AT HEADER POST

16'x14' OVERHEAD DOOR HEADER DETAIL A
 VIEW FROM OUTSIDE OF BUILDING



180 PAOLI STREET / P.O. BOX 930220
 VERONA, WI 53593 / (800) 373-5550

DRAWN BY: RAVEN CUTRANO

DATE DRAWN: 8/7/2018

PLAN REVISIONS:

NUMBER	DATE	BY
1		
2		
3		
4		

PROJECT NAME: **SPENCER UTILITY DYNAMICS CORP; JOSEPH SPENCER**

PROJECT SITE ADDRESS:

5327 LIGHT ROAD
 OSWEGO, ILLINOIS - KENDALL COUNTY

BUILDING SIZE:
 50'x96'x17'-8"

SHEET NAME:
 HEADER DETAILS A

PROJECT NUMBER:
2018104178

SHEET NUMBER:
150

SHEET SCALE: NONE

APPROVED FOR CONSTRUCTION BY *[Signature]*

DATE 9/9/18

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190 PAOLI STREET / P.O. BOX 930220
VERONA, WI 53593 / (800) 373-5550

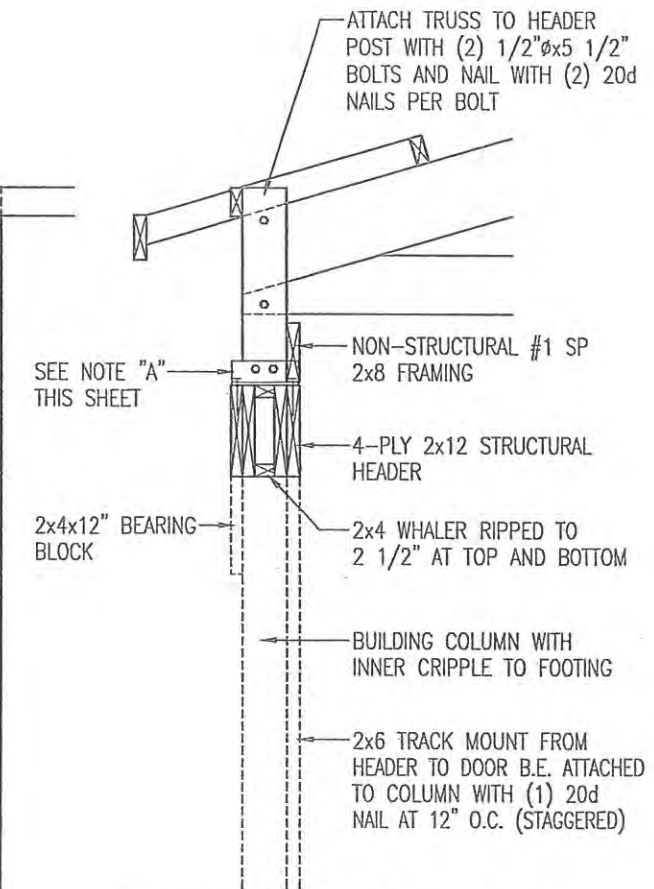
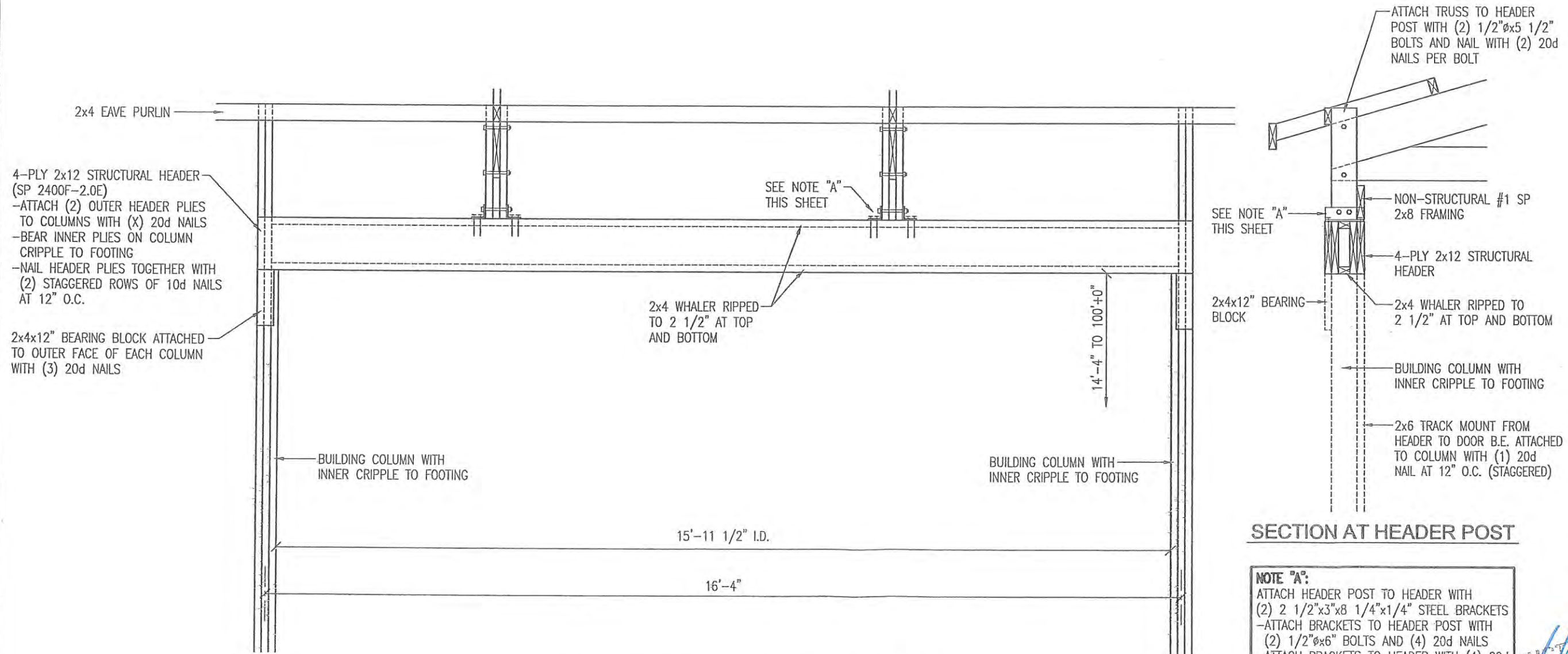
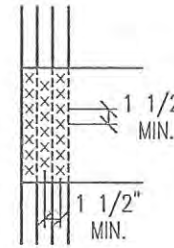
DRAWN BY: RAVEN CUTRANO

DATE DRAWN: 8/7/2018

PLAN REVISIONS:

NUMBER	DATE	BY
1		
2		
3		
4		

NOTE-NAILING ALTERNATIVE:
INSTALL (2) 3 1/2" x .131RS GUN NAILS FOR EACH 20d NAIL SPECIFIED (USE 20d NAILS IF NUMBER OF GUN NAILS REQUIRED REDUCES THE SPACING IN A VERTICAL OR HORIZONTAL ROW TO LESS THAN 1 1/2" AT A HEADER POST OR COLUMN AS SHOWN)



SECTION AT HEADER POST

NOTE "A":
ATTACH HEADER POST TO HEADER WITH (2) 2 1/2"x3"x8 1/4"x1/4" STEEL BRACKETS
-ATTACH BRACKETS TO HEADER POST WITH (2) 1/2"Øx6" BOLTS AND (4) 20d NAILS
-ATTACH BRACKETS TO HEADER WITH (4) 20d NAILS

16'x14' OVERHEAD DOOR HEADER DETAIL B
VIEW FROM OUTSIDE OF BUILDING

PROJECT NAME: **SPENCER UTILITY DYNAMICS CORP.; JOSEPH SPENCER**

PROJECT SITE ADDRESS:
5327 LIGHT ROAD
OSWEGO, ILLINOIS - KENDALL COUNTY
BUILDING SIZE:
50'x96'x17'-8"
SHEET NAME:
HEADER DETAILS B

PROJECT NUMBER:
2018104178

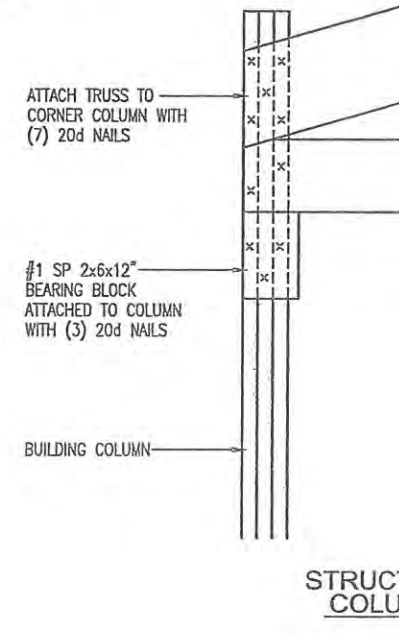
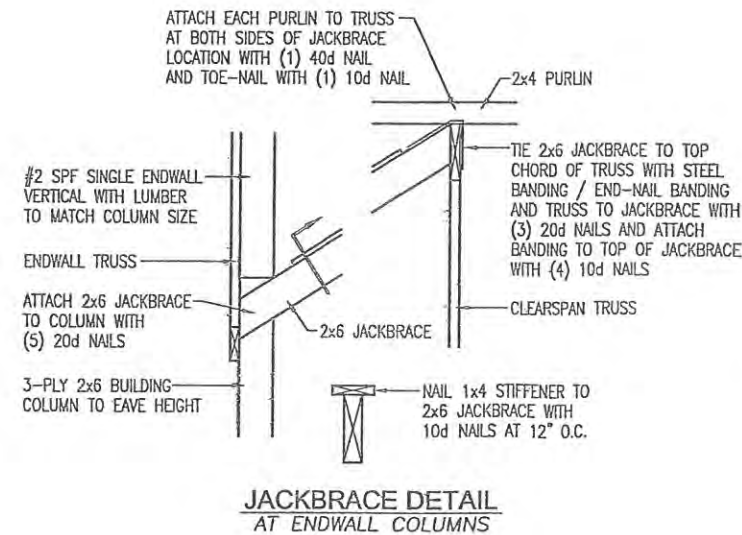
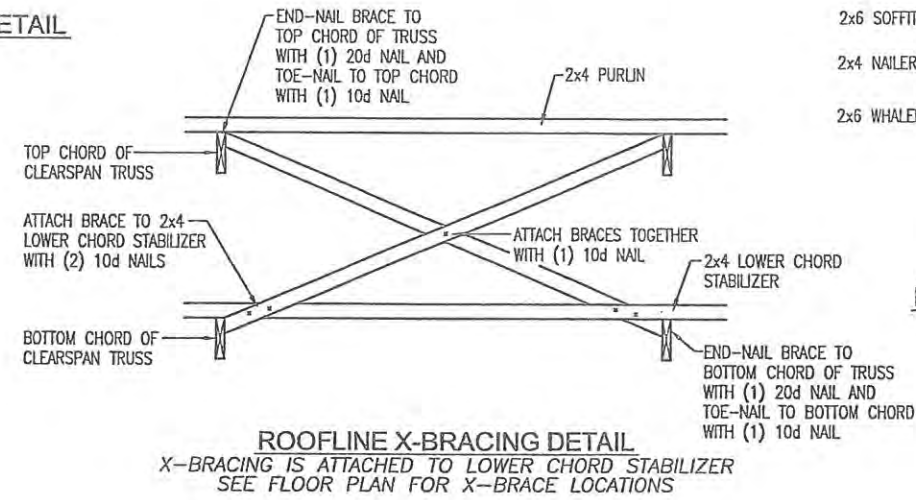
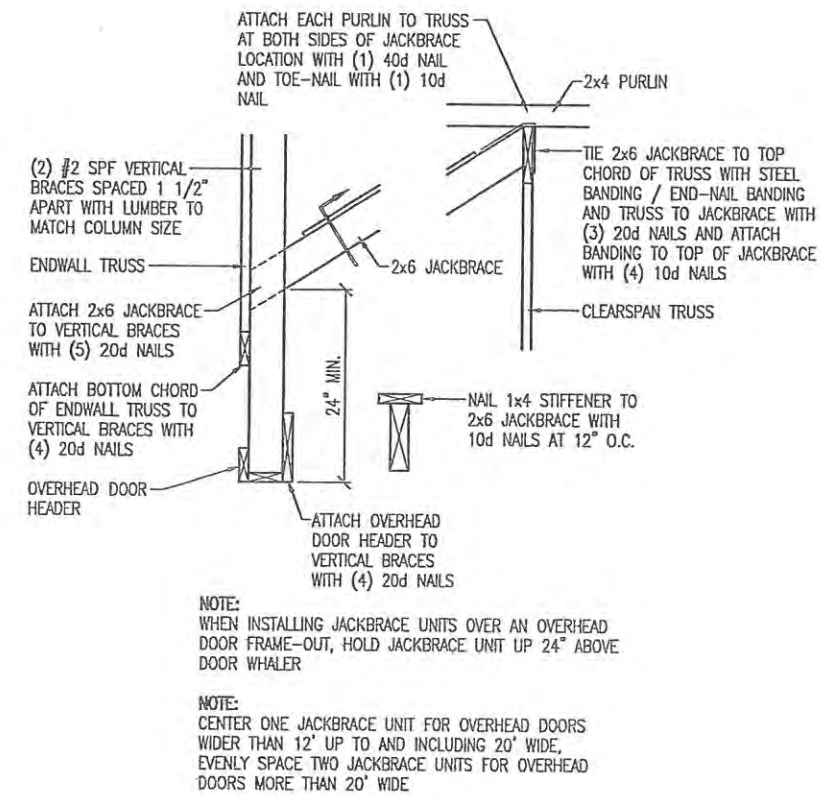
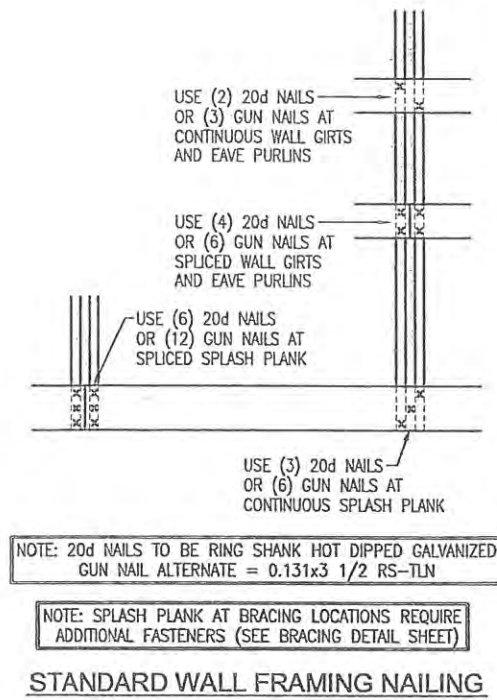
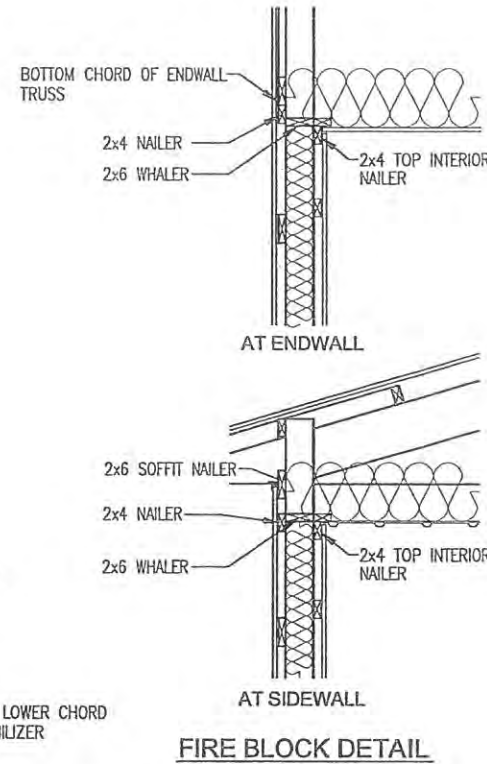
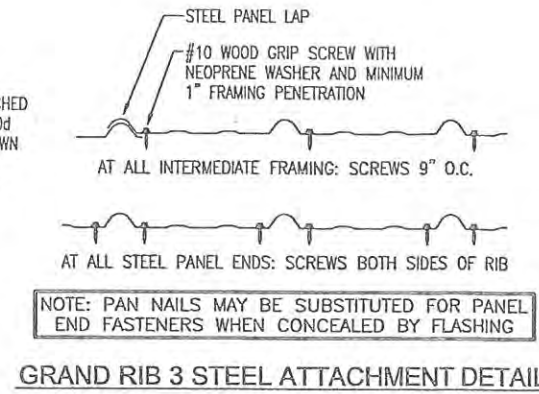
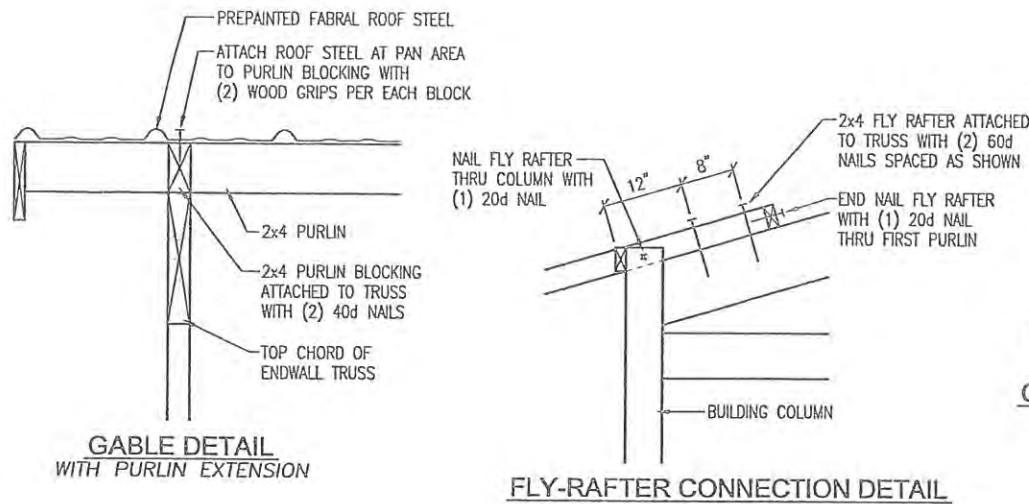
SHEET NUMBER:
151

SHEET SCALE: NONE

APPROVED FOR CONSTRUCTION
DATE 9/4/18 BY [Signature]

State of Illinois
Professional Engineer
Matthew B. Lawinger
881-005999
Expires 11-30-2018

File Name and Path: \\clearyshares\eng\Commercial\A-Personal\Raven_Cutrano\2018104178\2018104178-151-HDB.dwg
Printed By: Raven Cutrano
Date Printed: 8/7/2018 4:28 PM



190 PAOLI STREET / P.O. BOX 930220
VERONA, WI 53593 / (800) 373-5550

DRAWN BY: RAVEN CUTRANO

DATE DRAWN: 8/7/2018

PLAN REVISIONS:

NUMBER	DATE	BY
1		
2		
3		
4		

PROJECT NAME: SPENCER UTILITY DYNAMICS CORP; JOSEPH SPENCER

PROJECT SITE ADDRESS:
5327 LIGHT ROAD
OSWEGO, ILLINOIS - KENDALL COUNTY
BUILDING SIZE:
50'x96'x17'-8"
SHEET NAME:
DIAPHRAGM ACTION and MISC. DETAILS

PROJECT NUMBER:
2018104178

SHEET NUMBER:
160

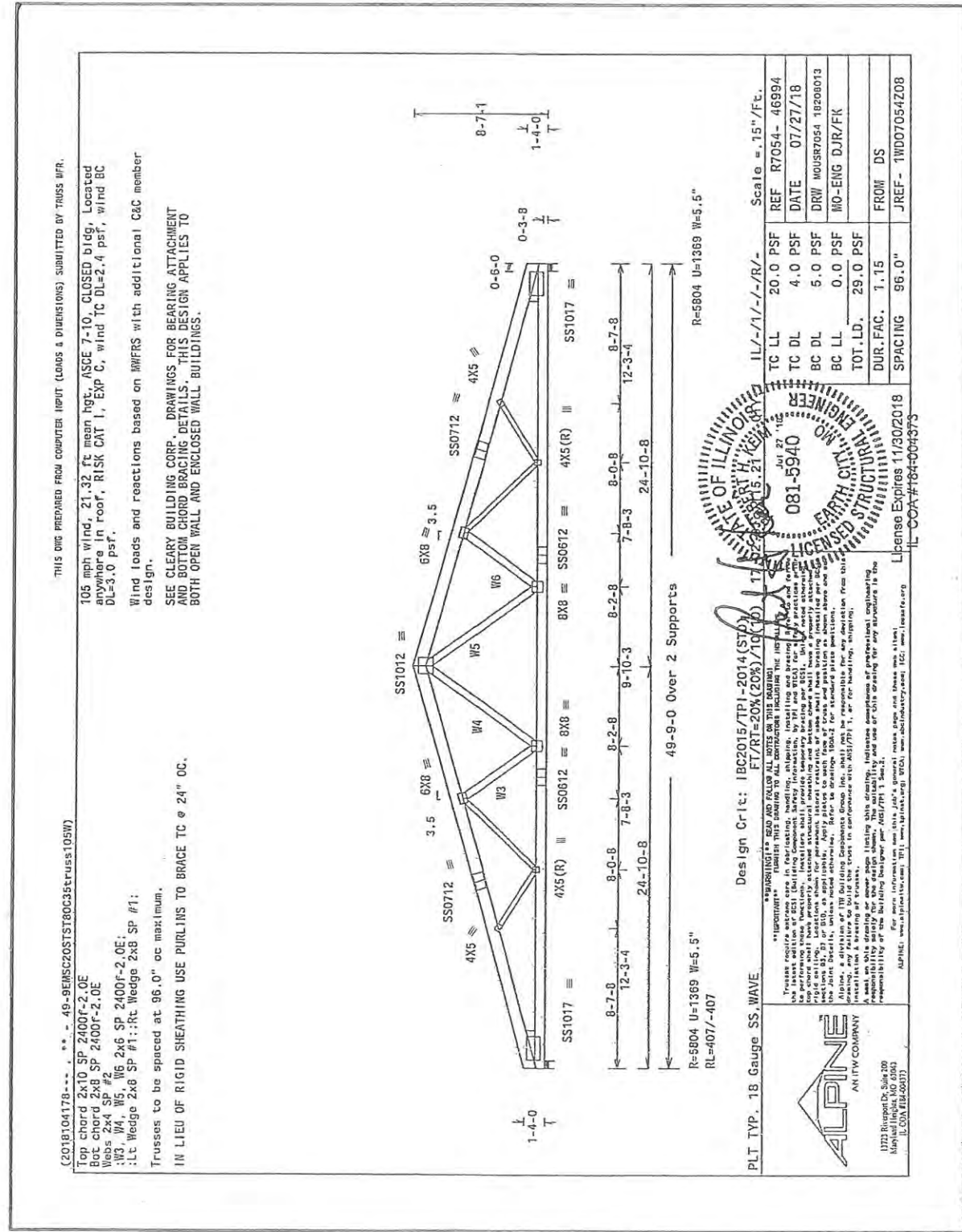
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APPROVED FOR CONSTRUCTION

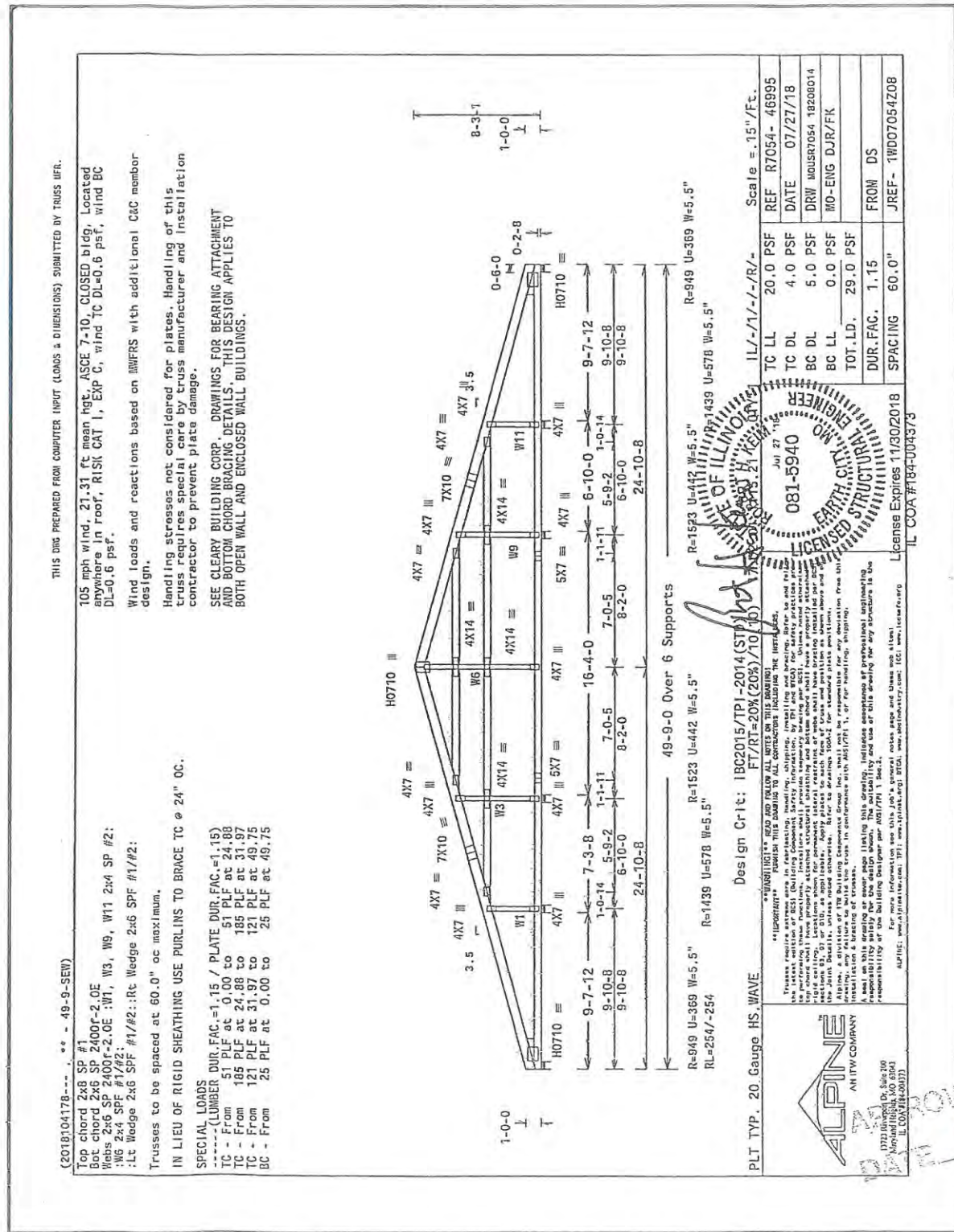
DATE: 8/14/18

Signature: Matthew B. Lawinger
Date: 8/20/18
License Expires 11-30-2018
State of Illinois

CLEARSPAN TRUSS



STRUCTURAL ENDWALL TRUSS



TRUSS CHECK
(CHECK BOX AND INITIAL)

<input checked="" type="checkbox"/> TRUSS SIZE	RRC
<input checked="" type="checkbox"/> ROOF PITCH	RRC
<input checked="" type="checkbox"/> BAY SPACING	RRC
<input checked="" type="checkbox"/> SLC / RLC	RRC
<input checked="" type="checkbox"/> DESIGN LOADS	RRC
<input checked="" type="checkbox"/> OVERHANGS	RRC



190 PAOLI STREET / P.O. BOX 930220
 VERONA, WI 53593 / (800) 373-5550

DRAWN BY: RAVEN CUTRANO
 DATE DRAWN: 8/7/2018

PLAN REVISIONS:

NUMBER	DATE	BY
1		
2		
3		
4		

PROJECT NAME:
SPENCER UTILITY DYNAMICS CORP; JOSEPH SPENCER

PROJECT SITE ADDRESS:
 5327 LIGHT ROAD
 OSWEGO, ILLINOIS - KENDALL COUNTY

BUILDING SIZE:
 50'x96'x17'-8"

SHEET NAME:
 TRUSS DIAGRAMS

PROJECT NUMBER:
2018104178

SHEET NUMBER:
170

SHEET SCALE: NONE

APR 17 2018 APPROVED FOR CONSTRUCTION

Signature: *[Signature]*
 Date: 8/20/18
 License Expires 11-30-2018
 State Of Illinois

UTILITY DYNAMICS CORPORATION

23 COMMERCE DRIVE
OSWEGO, ILLINOIS 60543
e-mail: contact@utilitydynamicscorp.com

PHONE:
(630) 554-1722
FAX (630) 554-1195

ELECTRICAL CONTRACTORS ◦ OVERHEAD LINE CONSTRUCTION ◦ UNDERGROUND DISTRIBUTION SYSTEMS

October 19, 2018

Capt. Alec J. Keenam
Oswego Fire Protection District
3511 Woolley Rd.
Oswego, IL 60543

Subject: Waiver of Sprinkler Requirement
5327 Light Rd.
Oswego, IL 60543

Dear Sir:


Utility Dynamics Corporation respectfully requests a waiver for the sprinkler requirement for a new building. We want to build a cold storage building located at 5327 Light Road., Oswego, basically across the street from our main location of 23 Commerce Drive, Oswego. This building will be used to store construction equipment and materials waiting to be installed on construction projects that we have under contract.

This building will not have any plumbing or heat. This building will be strictly for storing items that we want out of the weather. A smoke and fire alarm will be installed in the new building. The two services doors will have emergency exit signs with emergency flood lighting. We will also have fire extinguishers located at each door. A knox box will be installed on the gate with keys for the gate and building.

The building will be constructed by Cleary Building of Sandwich, Illinois.

Thank you for your consideration.

Sincerely,
Utility Dynamics Corporation

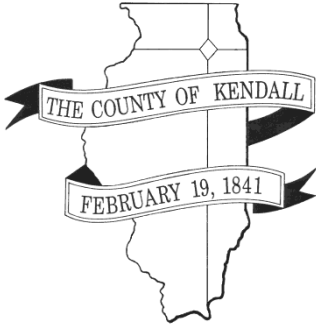


Joseph B. Spencer
President

Attachment 7



Building Site



DEPARTMENT OF PLANNING, BUILDING & ZONING

111 West Fox Street • Room 203

Yorkville, IL • 60560

(630) 553-4141

Fax (630) 553-4179

Petition 19-04
Rodolfo and Georgina Nunez
A-1 Special Use – Landscape Operation

INTRODUCTION

Rodolfo and Georgina Nunez are requesting an A-1 Special Use to operate a landscaping business, Outdoorscapes, Inc., at the subject property.

SITE INFORMATION

PETITIONER Rodolfo and Georgina Nunez

ADDRESS 6725 Route 71

LOCATION Approximately 0.41 Miles West of Orchard/Minkler Roads on the Northwest Side of Route 47



TOWNSHIP Oswego

PARCEL # 02-24-300-018 and 02-24-300-017

LOT SIZE 3.00 +/- acres

EXISTING LAND USE Residential/Agricultural

ZONING A-1 Agricultural District

LRMP	Existing Land Use	Farmstead
	Future Land Use	Rural Residential
	Roads	Route 47 is a State Highway classified as a Major Arterial Road.
	Trails	Oswego has a Trail planned along Route 47.
	Floodplain/Wetlands	There is a pond on the property to the northwest.

REQUESTED ACTION A-1 Special Use to operate a landscaping business

APPLICABLE REGULATIONS Section 7.01 D.28 – A-1 Special Uses – Permits Landscape Businesses with the following stipulations:

1. All vehicles, equipment and materials associated with a landscaping business shall be stored entirely within an enclosed structure, unless otherwise permitted under the terms of this Special Use Permit.
2. The business shall be located on, and have direct access to, a State, County or Collector Highway as identified in the County’s LRMP, having an all-weather surface, designed to accommodate loads of at least 73,280 lbs, unless otherwise approved in writing by the agency having jurisdiction over said Highway. Such approvals shall establish limitations as to the number of employees and types of vehicles coming to and from the site that are engaged in the operation of the use (including delivery vehicles). These restrictions shall be included as controlling conditions of the Special Use. (Amended 7/17/2007)

3. No landscape waste generated off the property can be burned on this site

Section 13.08 – Special Use Procedures

SURROUNDING LAND USE

Location	Adjacent Land Use	Adjacent Zoning	Land Resource Management Plan	Zoning within ½ Mile
North	Agricultural/Residential/ Horse Related	A-1	Rural Residential (0.60 DU/Acre)	A-1 and R-3
South	Agricultural	A-1	Rural Residential	A-1
East	Agricultural	A-1	Rural Residential.	A-1 and Court Ordered Mining (County) B-3 Commercial Business (Oswego)
West	Agricultural/Residential/ Horse Related	A-1	Rural Residential	A-1

Thirty-nine (39) homes are located within one half (1/2) mile of the property.

PHYSICAL DATA

ENDANGERED SPECIES REPORT

The Petitioner's attorney indicated that EcoCAT Report was submitted. No information included with the application.

NATURAL RESOURCES INVENTORY

Application submitted on December 20, 2018.

ACTION SUMMARY

OSWEGO TOWNSHIP

Petition information was sent to Oswego Township on December 21, 2018.

VILLAGE OF OSWEGO

Petition information was sent to the Village of Oswego on December 21, 2018.

OSWEGO FIRE PROTECTION DISTRICT

Petition information was sent to Oswego Fire Protection District on December 21, 2018.

BUSINESS OPERATION

The Petitioner plans to have at most three (3) employees report to the site for work. Additional discussion on business operations will occur at the ZPAC meeting.

BUILDING CODES

The Petitioner plans to remove the containers on the property and construction a small building on the property. Discussion related to building codes will occur at the ZPAC meeting.

ACCESS

The property fronts Route 47. Greater discussion could be required on this topic at the ZPAC meeting.

TRAILS

The Village of Oswego's plans call for a trail along Route 47.

PARKING

The site plan shows parking around the existing house. Greater discussion will be required on this topic at the ZPAC meeting.

LIGHTING

No additional lighting was proposed.

SIGNAGE

No signage was proposed.

SCREENING

The Zoning Ordinance requires all vehicles, equipment and materials associated with a landscaping business shall be stored entirely within an enclosed structure, unless otherwise permitted under the terms of this Special Use Permit. An existing berm with evergreens and other trees is located on the property.

STORMWATER

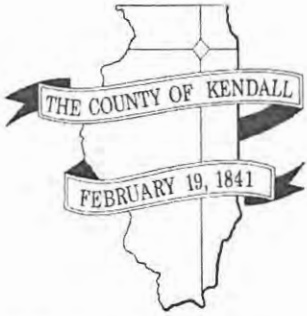
The property drains to the northwest and southwest of the site. Greater discussion on stormwater could be required at ZPAC.

RECOMMENDATION

Before issuing a recommendation, Staff would like additional information regarding the proposed business operations at the subject property.

ATTACHMENTS

1. Application (Including Site Plan and Petitioner's Findings of Fact)
2. Aerial
3. Facing Southwest
4. Facing Straight
5. Facing Northeast



DEPARTMENT OF PLANNING, BUILDING & ZONING

111 West Fox Street • Yorkville, IL • 60560
 (630) 553-4141 Fax (630) 553-4179

APPLICATION

PROJECT NAME Nunez FILE # 19-07

NAME OF APPLICANT		
Rodolfo and Georgina Nunez		
CURRENT LANDOWNER/NAME(s)		
Rodolfo and Georgina Nunez		
SITE INFORMATION		
ACRES	SITE ADDRESS OR LOCATION	ASSESSOR'S ID NUMBER (PIN)
3 acres	6725 Route 71, Yorkville, IL 60560	02-24-300-003
EXISTING LAND USE		
CURRENT ZONING		LAND CLASSIFICATION ON LRMP
A-1		Agricultural
REQUESTED ACTION (Check All That Apply):		
<input checked="" type="checkbox"/> SPECIAL USE	<input type="checkbox"/> MAP AMENDMENT (Rezone to ____)	<input type="checkbox"/> VARIANCE
<input type="checkbox"/> ADMINISTRATIVE VARIANCE	<input type="checkbox"/> A-1 CONDITIONAL USE for: _____	<input type="checkbox"/> SITE PLAN REVIEW
<input type="checkbox"/> TEXT AMENDMENT	<input type="checkbox"/> RPD (<input type="checkbox"/> Concept; <input type="checkbox"/> Preliminary; <input type="checkbox"/> Final)	<input type="checkbox"/> ADMINISTRATIVE APPEAL
<input type="checkbox"/> PRELIMINARY PLAT	<input type="checkbox"/> FINAL PLAT	<input type="checkbox"/> OTHER PLAT (Vacation, Dedication, etc.)
AMENDMENT TO A SPECIAL USE (<input type="checkbox"/> Major; <input type="checkbox"/> Minor)		
¹PRIMARY CONTACT	PRIMARY CONTACT MAILING ADDRESS	PRIMARY CONTACT EMAIL
Daniel J. Kramer	1107A S. Bridge St., Yorkville, IL 60560	dkramer@dankramerlaw.com
PRIMARY CONTACT PHONE #	PRIMARY CONTACT FAX #	PRIMARY CONTACT OTHER # (Cell, etc.)
630-553-9500	630-553-5764	
²ENGINEER CONTACT	ENGINEER MAILING ADDRESS	ENGINEER EMAIL
ENGINEER PHONE #	ENGINEER FAX #	ENGINEER OTHER # (Cell, etc.)
I UNDERSTAND THAT BY SIGNING THIS FORM, THAT THE PROPERTY IN QUESTION MAY BE VISITED BY COUNTY STAFF & BOARD/ COMMISSION MEMBERS THROUGHOUT THE PETITION PROCESS AND THAT THE PRIMARY CONTACT LISTED ABOVE WILL BE SUBJECT TO ALL CORRESPONDANCE ISSUED BY THE COUNTY.		
I CERTIFY THAT THE INFORMATION AND EXHIBITS SUBMITTED ARE TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND THAT I AM TO FILE THIS APPLICATION AND ACT ON BEHALF OF THE ABOVE SIGNATURES.		
SIGNATURE OF APPLICANT		DATE
		8-30-18

FEE PAID: \$ 1155.00
 CHECK #:

RECEIVED

DEC 21 2018

**KENDALL COUNTY
 PLANNING, BUILDING
 & ZONING**

¹Primary Contact will receive all correspondence from County
²Engineering Contact will receive all correspondence from the County's Engineering Consultants

LEGAL DESCRIPTION OF TRACT TO BE REZONED:

That Part of the Southwest Quarter of Section 24, Township 37 North, Range 7 East of the Third Principal Meridian described as follows: Commencing at the Northwestern Corner of Herren's Third Subdivision; thence South $68^{\circ}16'35''$ West, along the Southerly Right-of-Way Line of Illinois Railnet (formerly known as Chicago, Burlington and Quincy Railroad Company), 493.67 feet; thence South $23^{\circ}13'27''$ East, 405.50 feet; thence South $51^{\circ}25'35''$ West, 523.58 feet; thence South $41^{\circ}56'10''$ West, 1071.73 feet; thence South $66^{\circ}46'00''$ East, 742.45 feet to a point on the Northerly Right-of-Way Line of Illinois Route 71 hereinafter referred to as "Point A"; thence North $66^{\circ}46'00''$ West, 337.64 feet; thence North $41^{\circ}47'24''$ East, 141.40 feet for the point of beginning; thence South $66^{\circ}46'00''$ East, 316.51 feet to said Northerly Right-of-Way; thence Northeasterly, along said Northerly Right-of-Way being a curve to the right with a radius of 3233.23 feet and a chord bearing North $38^{\circ}34'44''$ East, an arc distance of 455.93 feet to a point on said Northerly Right-of-Way which is an arc distance of 592.09 feet from "Point A" aforesaid; thence North $66^{\circ}46'00''$ West, 289.60 feet; thence South $41^{\circ}47'24''$ West, 463.40 feet to the point of beginning in Oswego Township, Kendall County, Illinois.



WARRANTY DEED

(Deed #1)

AFTER RECORDING MAIL TO:

Morrone Brady Malone & Cwik



NAME & ADDRESS OF GRANTEE AND TAXPAYER:

Georgina M. Nunez



201800003604
DEBBIE GILLETTE
RECORDER - KENDALL COUNTY, IL

RECORDED: 3/20/2018 08:29 AM
WD: 39.00 RHSPS FEE: 10.00
STATE TAX: 360.00
COUNTY TAX: 100.00
PAGES: 4

The Grantor, **Ezekiel LLC**, an Illinois limited liability company, with its principal place of business in the United City of Yorkville, County of Kendall, State of Illinois, for and in consideration of TEN AND 00/100THS (\$10.00) DOLLARS and other good and valuable consideration in hand paid, CONVEYS AND WARRANTS to the Grantee, **Georgina M. Nunez**, to have and to hold the following described real estate situated in the County of Kendall, in the State of Illinois, to wit:

SEE LEGAL DESCRIPTION ATTACHED AS EXHIBIT A

SUBJECT TO: (a) General real estate taxes not due and payable at time of closing; (b) Special taxes and assessments confirmed after contract date; (c) Building, building line and use or occupancy restrictions, easements, conditions and covenants of record; (d) Zoning laws and ordinances which conform to the present usage of the premises; (e) Public roads and highways, if any; and (f) Drainage ditches, feeders lateral and drain tile, pipe or other conduit.

hereby releasing and waiving all rights under and by virtue of the Homestead Exemption Laws of the State of Illinois.

Permanent Index Numbers: 02-24-300-003

Common Address: 6725 State Highway 71, Yorkville, Illinois 60560

17 NW 7131689 A4
1st CS

DATED this 13 day of March, 2018.

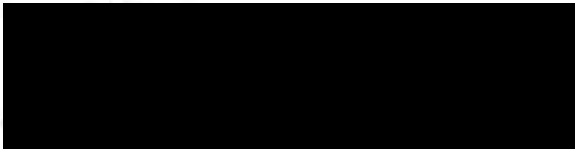
Ezekiel LLC, an Illinois Limited Liability Company

By: 
Sandra Goeken Miles, manager

STATE OF ILLINOIS)
) ss
COUNTY OF KENDALL)

I, the undersigned, a Notary Public, in and for the County and State aforesaid, DO HEREBY CERTIFY, that **Sandra Goeken Miles**, manager of **Ezekiel LLC**, known to me to be the same person whose name is subscribed to the foregoing Warranty Deed, appeared before me this day in person and acknowledged that she signed and delivered the said Warranty Deed, pursuant to the authority granted her in the operating agreement of the company and in her capacity as manager, as her free and voluntary act and deed of said company for the uses and purposes therein set forth.

Given under my hand and official seal this 13 day of March, 2018.



Notary Public

NAME AND ADDRESS OF PREPARER:
Dean J. Kleronomos, Esq.
LORENZINI & ASSOCIATES, LTD.
2679 US Route 34
Oswego, Illinois 60543

COUNTY OF KENDALL
REAL ESTATE TRANSFER TAX
\$180.00 w


STATE TAX	STATE OF ILLINOIS	# 000014550	REAL ESTATE TRANSFER TAX
	 MAR. 20. 18		00360.00 <i>w</i>
	REAL ESTATE TRANSFER TAX DEPARTMENT OF REVENUE		FP 326656

Exhibit A

THAT PART OF THE SOUTHWEST 1/4 OF SECTION 24, TOWNSHIP 37 NORTH, RANGE 7 EAST OF THE THIRD PRINCIPAL MERIDIAN, DESCRIBED AS FOLLOWS: COMMENCING AT THE NORTHWESTERLY CORNER OF HERREN'S THIRD SUBDIVISION; THENCE SOUTH 68 DEGREES 16 MINUTES 35 SECONDS WEST ALONG THE SOUTHERLY RIGHT OF WAY LINE OF THE CHICAGO BURLINGTON AND QUINCY RAILROAD COMPANY LANDS, 493.67 FEET; THENCE SOUTH 23 DEGREES 13 MINUTES 27 SECONDS EAST 405.50 FEET; THENCE SOUTH 51 DEGREES 25 MINUTES 35 SECONDS WEST 523.58 FEET; THENCE SOUTH 41 DEGREES 56 MINUTES 10 SECONDS WEST 1071.73 FEET; THENCE SOUTH 66 DEGREES 46 MINUTES EAST 741.70 FEET TO THE NORTHWESTERLY RIGHT OF WAY LINE OF ILLINOIS STATE HIGHWAY ROUTE NO. 71 FOR THE POINT OF BEGINNING; THENCE NORTH 66 DEGREES 46 MINUTES WEST 337.64 FEET; THENCE NORTH 41 DEGREES 46 MINUTES 03 SECONDS EAST 445.18 FEET; THENCE SOUTH 66 DEGREES 46 MINUTES EAST 291.26 FEET TO THE AFORESAID NORTHWESTERLY RIGHT OF WAY LINE; THENCE SOUTHWESTERLY ALONG SAID RIGHT OF WAY LINE 432.99 FEET TO THE POINT OF BEGINNING, IN THE TOWNSHIP OF OSWEGO, KENDALL COUNTY, ILLINOIS.

Unofficial

Attachment 1, Page 6
RECORDER OF KENDALL COUNTY
AFFIDAVIT - PLAT ACT

STATE OF ILLINOIS

) SS


COUNTY OF
KENDALL

SANDRA GOEKEN MILES, being duly sworn on oath, states that she resides at 6621 Route 71, Yorkville, Illinois 60560. That the attached deed is not in violation of 765 ILCS 205/1 for one of the following reasons:

1. The sale or exchange is of an entire tract of land not being a part of a larger tract of land.
2. The division or subdivision of the land is into parcels or tracts of five acres or more of size which does not involve any new streets or easements of access.
3. The division is of lots or blocks of less than one acre in any recorded subdivision which does not involve any new streets or easements of access.
4. The sale or exchange of parcels of land is between owners of adjoining and contiguous land.
5. The conveyance is of parcels of land or interests therein for use as right of way for railroads or other public utility facilities, which does not involve any new streets or easement of access.
6. The conveyance is of land owned by a railroad or other public utility which does not involve any new streets or easements of access.
7. The conveyance is of land for highway or other public purposes or grants or conveyances relating to the dedication of land for public use or instruments relating to the vacation of land impressed with a public use.
8. The conveyance is made to correct descriptions in prior conveyances.
9. The sale or exchange is of parcels or tracts of land following the division into no more than two parts of a particular parcel or tract of land existing on July 17, 1959, and not involving any new streets or easements of access.
10. The sale is of a single lot of less than five acres from a larger tract, the dimensions and configurations of said larger tract having been determined by the dimensions and configurations of said larger tract on October 1, 1973, and no sale prior to this sale, or any lot or lots from said larger tract having taken place since October 1, 1973, and a survey of said single lot having been made by a registered land surveyor.


THE APPLICABLE STATEMENT OR STATEMENTS ABOVE ARE CIRCLED.

Affiant further states that she makes this affidavit for the purpose of inducing the Recorder of Deeds of Kendall County, Illinois, to accept the attached deed for recording, and that all local requirements applicable to the subdivision of land are met by the attached deed and the tract described therein.


Sandra Goeken Miles

SUBSCRIBED AND SWORN to before me

this 13 day of March, 2018.


Notary public

KAPLATAF





WARRANTY DEED

(Deed #2)

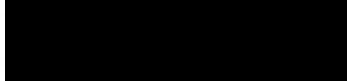
AFTER RECORDING MAIL TO:

Morreale Brady Malone & Co



NAME & ADDRESS OF GRANTEE AND TAXPAYER:

Georgina M. Nunez



201800003605
DEBBIE GILLETTE
RECORDER - KENDALL COUNTY, IL

RECORDED: 3/20/2018 08:29 AM
WD: 39.00 RHSPS FEE: 10.00
PAGES: 4

The Grantor, **Ezekiel LLC**, an Illinois limited liability company, with its principal place of business in the County of Kendall, State of Illinois, for and in consideration of TEN AND 00/100THS (\$10.00) DOLLARS and other good and valuable consideration in hand paid, CONVEYS AND WARRANTS to the Grantee, **Georgina M. Nunez**, to have and to hold the following described real estate situated in the County of Kendall, in the State of Illinois, to wit:

SEE LEGAL DESCRIPTION ATTACHED AS EXHIBIT A

SUBJECT TO: (a) General real estate taxes not due and payable at time of closing; (b) Special taxes and assessments confirmed after contract date; (c) Building, building line and use or occupancy restrictions, easements, conditions and covenants of record; (d) Zoning laws and ordinances which conform to the present usage of the premises; (e) Public roads and highways, if any; and (f) Drainage ditches, feeders lateral and drain tile, pipe or other conduit.

hereby releasing and waiving all rights under and by virtue of the Homestead Exemption Laws of the State of Illinois.

Permanent Index Numbers: Part of 02-24-300-002

Common Address: Part of 6621 Route 71, Yorkville, Illinois 60560

*17 MW 7131699 A4
2d5 cr*



**EAST PROPERTY LEGAL DESCRIPTION
FROM EZEKIEL TO NUNEZ**

THAT PART OF THE SOUTHWEST QUARTER OF SECTION 24, TOWNSHIP 37 NORTH, RANGE 7, EAST OF THE THIRD PRINCIPAL MERIDIAN DESCRIBED AS FOLLOWS: COMMENCING AT THE NORTHWESTERLY CORNER OF HERREN'S THIRD SUBDIVISION; THENCE SOUTH 68 DEGREES, 16 MINUTES, 35 SECONDS WEST ALONG THE SOUTHERLY RIGHT-OF-WAY LINE OF IL RAILNET (FORMERLY CHICAGO, BURLINGTON AND QUINCY RAILROAD COMPANY), 493.67 FEET; THENCE SOUTH 23 DEGREES, 13 MINUTES, 27 SECONDS EAST, 405.50 FEET; THENCE SOUTH 51 DEGREES, 25 MINUTES, 35 SECONDS WEST, 523.58 FEET; THENCE SOUTH 41 DEGREES, 56 MINUTES, 10 SECONDS WEST, 1071.73 FEET; THENCE SOUTH 66 DEGREES, 46 MINUTES, 00 SECONDS EAST, 742.45 FEET TO THE NORTHERLY RIGHT-OF-WAY LINE OF ILLINOIS ROUTE 71; THENCE NORTHEASTERLY ALONG SAID RIGHT-OF-WAY, BEING A CURVE TO THE RIGHT HAVING A RADIUS OF 3233.23 FEET, AN ARC DISTANCE OF 592.09 FEET FOR THE POINT OF BEGINNING, THENCE NORTH 66 DEGREES, 46 MINUTES, 00 SECONDS WEST, 289.60 FEET; THENCE SOUTH 41 DEGREES, 47 MINUTES, 24 SECONDS WEST, 159.67 FEET; THENCE SOUTH 66 DEGREES, 46 MINUTES, 00 SECONDS EAST, 291.30 FEET TO THE NORTHERLY RIGHT-OF-WAY LINE OF ILLINOIS ROUTE 71; THENCE NORTHEASTERLY ALONG SAID RIGHT-OF-WAY, BEING A CURVE TO THE RIGHT WITH A RADIUS OF 3233.23 FEET, AN ARC DISTANCE OF 159.15 FEET TO THE POINT OF BEGINNING, ALL IN OSWEGO TOWNSHIP, KENDALL COUNTY, ILLINOIS.

Unofficial

Attachment 1, Page 10
RECORDER OF KENDALL COUNTY
AFFIDAVIT - PLAT ACT

STATE OF ILLINOIS

} SS


COUNTY OF
KENDALL

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1. The sale or exchange is of an entire tract of land not being a part of a larger tract of land.
2. The division or subdivision of the land is into parcels or tracts of five acres or more of size which does not involve any new streets or easements of access.
3. The division is of lots or blocks of less than one acre in any recorded subdivision which does not involve any new streets or easements of access.
- ④ 4. The sale or exchange of parcels of land is between owners of adjoining and contiguous land.
5. The conveyance is of parcels of land or interests therein for use as right of way for railroads or other public utility facilities, which does not involve any new streets or easement of access.
6. The conveyance is of land owned by a railroad or other public utility which does not involve any new streets or easements of access.
7. The conveyance is of land for highway or other public purposes or grants or conveyances relating to the dedication of land for public use or instruments relating to the vacation of land impressed with a public use.
8. The conveyance is made to correct descriptions in prior conveyances.
9. The sale or exchange is of parcels or tracts of land following the division into no more than two parts of a particular parcel or tract of land existing on July 17, 1959, and not involving any new streets or easements of access.
10. The sale is of a single lot of less than five acres from a larger tract, the dimensions and configurations of said larger tract having been determined by the dimensions and configurations of said larger tract on October 1, 1973, and no sale prior to this sale, or any lot or lots from said larger tract having taken place since October 1, 1973, and a survey of said single lot having been made by a registered land surveyor.

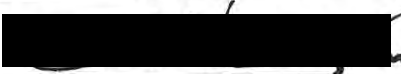
THE APPLICABLE STATEMENT OR STATEMENTS ABOVE ARE CIRCLED.

Affiant further states that she makes this affidavit for the purpose of inducing the Recorder of Deeds of Kendall County, Illinois, to accept the attached deed for recording, and that all local requirements applicable to the subdivision of land are met by the attached deed and the tract described therein.


Sandra Goeken Miles

SUBSCRIBED AND SWORN to before me

this 13 day of March, 2018.


Notary public

KAPLATAF





Kendall County Soil & Water Conservation District

7775A Route 47, Yorkville, Illinois 60560 • (630)553-5821 extension 3



www.kendallswcd.org

NATURAL RESOURCE INFORMATION (NRI) REPORT APPLICATION

Petitioner: Rodolfo and Georgina Nunuez
Contact Person: Attorney Daniel J. Kramer
 Address: [Redacted] 1107A S. Bridge Street
 City, State, Zip: [Redacted] Yorkville, IL 60560
 Phone Number: [Redacted] (63) 553-9500
 Email: outdoorscapesinc@gmail.com dkramer@dankramerlaw.com

Please select: How would you like to receive a copy of the NRI Report? Email Mail

Site Location & Proposed Use

Township Name Oswego Township 37 N, Range 7 E, Section(s) 24
 Parcel Index Number(s) 02-24-300-003
 Project or Subdivision Name _____ Number of Acres 3
 Current Use of Site _____ Proposed Use _____
 Proposed Number of Lots 1 Proposed Number of Structures 1
 Proposed Water Supply well Proposed type of Wastewater Treatment _____
 Proposed type of Storm Water Management septic

Type of Request

- Change in Zoning from _____ to _____
 - Variance (Please describe fully on separate page)
 - Special Use Permit (Please describe fully on separate page)
- Name of County or Municipality the request is being filed with: _____

In addition to this completed application form, please including the following to ensure proper processing:

- Plat of Survey/Site Plan** – showing location, legal description and property measurements
- Concept Plan** - showing the locations of proposed lots, buildings, roads, stormwater detention, open areas, etc.
- If available: topography map, field tile map, copy of soil boring and/or wetland studies
- NRI fee** (Please make checks payable to Kendall County SWCD)

The NRI fees, as of July 1, 2010, are as follows:

Full Report: \$375.00 for five acres and under, plus \$18.00 per acre for each additional acre or any fraction thereof over five.
Executive Summary Report: \$300.00 (KCSWCD staff will determine when a summary or full report will be necessary.)

Fee for first five acres and under	\$ <u>375.00</u>
_____ Additional Acres at \$18.00 each	\$ _____
Total NRI Fee	\$ _____

NOTE: Applications are due by the 1st of each month to be on that month's SWCD Board Meeting Agenda. Once a completed application is submitted, please allow 30 days for inspection, evaluation and processing of this report.

I (We) understand the filing of this application allows the authorized representative of the Kendall County Soil and Water Conservation District (SWCD) to visit and conduct an evaluation of the site described above. The completed NRI report expiration date will be 3 years after the date reported.

X [Redacted Signature] _____
Petitioner or Authorized Agent

8-30-18
Date

This report will be issued on a nondiscriminatory basis without regard to race, color, religion, national origin, age, sex, handicap or marital status.

FOR OFFICE USE ONLY

NRI# _____ Date initially rec'd _____ Date all rec'd _____ Board Meeting _____
 Fee Due \$ _____ Fee Paid \$ _____ Check # _____ Over/Under Payment _____ Refund Due _____

Attachment 1 Page 12
ZONING PLAT OF
PART OF THE SOUTHWEST QUARTER OF SECTION 24, T37N-R7E, 3rd PM
OSWEGO TOWNSHIP KENDALL COUNTY ILLINOIS

DEVELOPER:

OutdoorScapes, Inc.
 Rodolfo Nunez
 P.O. Box 851
 Montgomery, Illinois 60538

PROPERTY LOCATION:

PINs: 02-24-300-017 and -018
 6725 State Highway 71
 Yorkville, Illinois 60560

AREA TO BE REZONED:

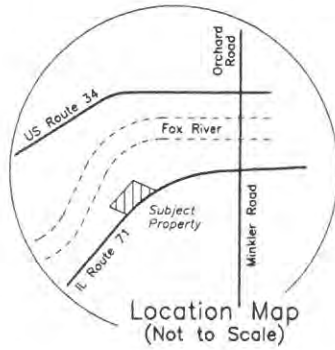
3.0004 Acres

PRESENT ZONING:

A-1

PROPOSED ZONING:

A-1, SU

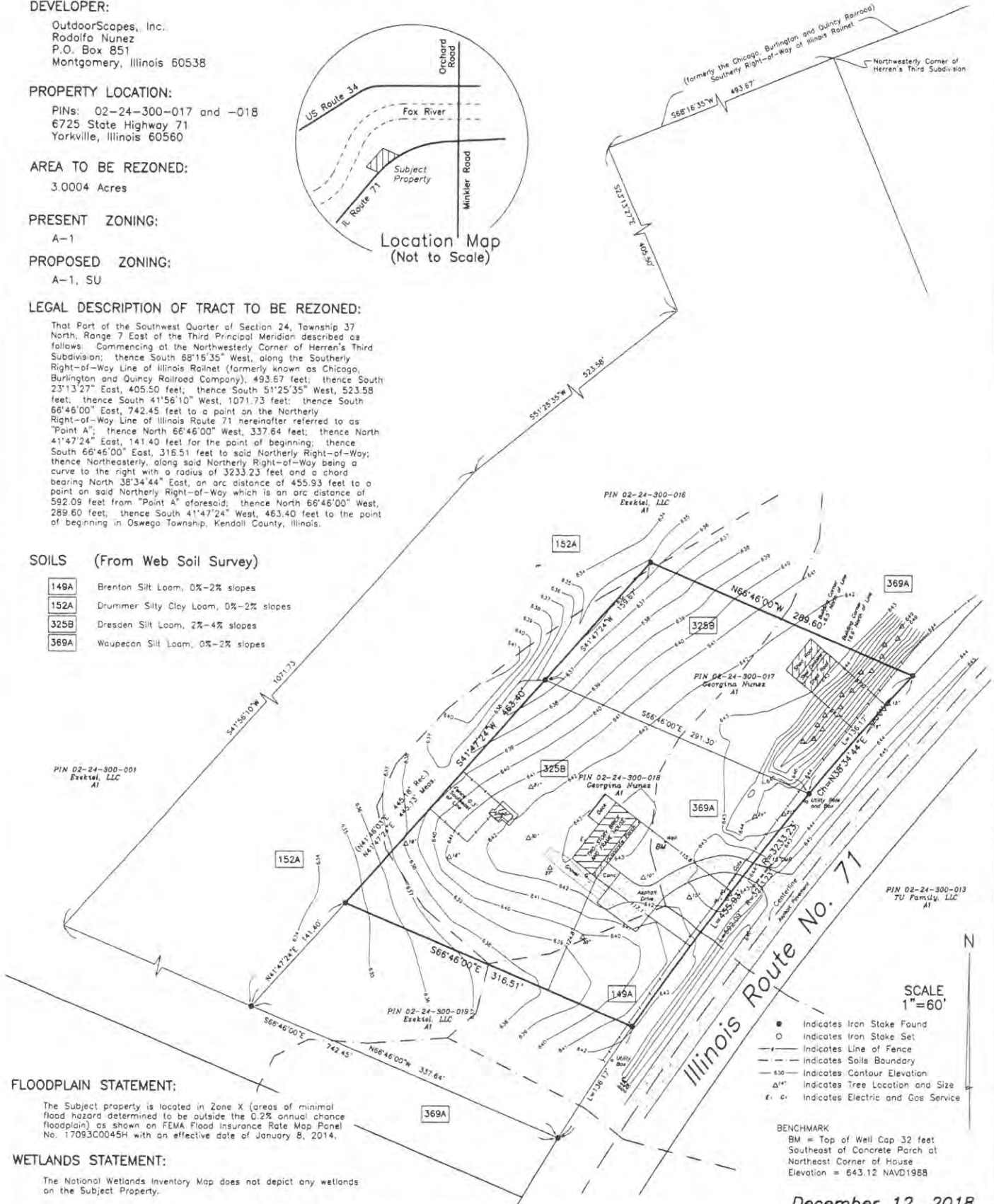


LEGAL DESCRIPTION OF TRACT TO BE REZONED:

That Part of the Southwest Quarter of Section 24, Township 37 North, Range 7 East of the Third Principal Meridian described as follows: Commencing at the Northwesterly Corner of Herren's Third Subdivision; thence South 85°15'35" West, along the Southerly Right-of-Way Line of Illinois Railroad (formerly known as Chicago, Burlington and Quincy Railroad Right-of-Way of Illinois Railroad); 493.67 feet; thence South 23°13'27" East, 405.50 feet; thence South 51°25'35" West, 523.58 feet; thence South 41°56'10" West, 1071.73 feet; thence South 66°46'00" East, 742.45 feet to a point on the Northerly Right-of-Way Line of Illinois Route 71 hereinafter referred to as "Point A"; thence North 66°46'00" West, 337.64 feet; thence North 41°47'24" East, 141.40 feet for the point of beginning; thence South 66°46'00" East, 316.51 feet to said Northerly Right-of-Way; thence Northeasterly, along said Northerly Right-of-Way being a curve to the right with a radius of 3233.23 feet and a chord bearing North 38°34'44" East, an arc distance of 455.93 feet to a point on said Northerly Right-of-Way which is an arc distance of 592.09 feet from "Point A" aforesaid; thence North 66°46'00" West, 289.60 feet; thence South 41°47'24" West, 463.40 feet to the point of beginning in Oswego Township, Kendall County, Illinois.

SOILS (From Web Soil Survey)

- 149A Brenton Silt Loam, 0%-2% slopes
- 152A Drummer Silty Clay Loam, 0%-2% slopes
- 325B Dresden Silt Loam, 2%-4% slopes
- 369A Waupecon Silt Loam, 0%-2% slopes



FLOODPLAIN STATEMENT:

The Subject property is located in Zone X (areas of minimal flood hazards determined to be outside the 0.2% annual chance floodplain) as shown on FEMA Flood Insurance Rate Map Panel No. 17093C0045H with an effective date of January 8, 2014.

WETLANDS STATEMENT:

The National Wetlands Inventory Map does not depict any wetlands on the Subject Property.

- Indicates Iron Stake Found
- Indicates Iron Stake Set
- Indicates Line of Fence
- - - Indicates Soils Boundary
- 630 Indicates Contour Elevation
- Δ 1" Indicates Tree Location and Size
- E, G, C Indicates Electric and Gas Service

BENCHMARK
 BM = Top of Well Cap 32 feet Southeast of Concrete Porch at Northeast Corner of House
 Elevation = 643.12 NAVD1988

December 12, 2018

JOB NO.	18305
JOB NAME	NUNEZ
DWG FILE	18305

Phillip D. Young and Associates, Inc.
 LAND SURVEYING - TOPOGRAPHIC MAPPING - Lic.#184-002775

1107B South Bridge Street
 Yorkville, Illinois 60560
 Telephone (630)553-1580

Please fill out the following findings of fact to the best of your capabilities. §13.08.J of the Zoning Ordinance outlines findings that the Zoning Board of Appeals shall consider in rendering a decision, but is not required to make an affirmative finding on all items in order to grant a **special use**. They are as follows:

That the establishment, maintenance, and operation of the special use will not be detrimental to, or endanger, the public health, safety, morals, comfort, or general welfare. See attached answers

That the special use will not be substantially injurious to the use and enjoyment of other properties in the immediate vicinity for the purposes already permitted, nor substantially diminish and impair property values within the neighborhood. The Zoning classification of property within the general area of the property in question shall be considered in determining consistency with this standard. The proposed use shall make adequate provisions for appropriate buffers, landscaping, fencing, lighting, building materials, open space and other improvements necessary to insure that the proposed use does not adversely impact adjacent uses and is compatible with the surrounding area and/or the County as a whole.

That adequate utilities, access roads and points of ingress and egress, drainage, and/or other necessary facilities have been or are being provided.

That the special use shall in all other respects conform to the applicable regulations of the district in which it is located, except as such regulations may in each instance be modified by the County Board pursuant to the recommendation of the Zoning Board of Appeals



That the special use is consistent with the purpose and objectives of the Land Resource Management Plan and other adopted County or municipal plans and policies.

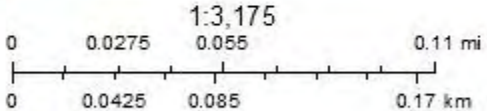
1. No impact what so ever will affect public health, safety, morals, comfort, or general welfare. Prior to the Applicants purchasing the subject property, a berm was constructed along the front of the property which shields the where their proposed Special Use Building would be located. Immediately adjacent north is a commercial horse stable with multiple out buildings that currently has multiple outside storage. The proposed use here would have all indoor storage in a building to be constructed by Applicants. Applicants do all of their work off-site and are primarily engaged in professional tree planting and landscaping. They currently do not have a large number of employees only using part time help in addition to applicants. It would be estimated that at its peak they would have no more than 3 employees parking their vehicles at the site in the morning and returning in the evening and removing those vehicles at night.
2. The current landscape buffer along Route 71 shelters the existing building on-site and the replacement building.
3. Adequate road access exists in that the property is located on Route 71, an area that is adjacent to a commercial stable and across the street form a gravel pit.
4. No variations form current Ordinance requirements of Kendall County.
5. Landscape and tree specialists are Special Uses that are allowed in A-1 Agricultural Districts throughout the County. In the preface to the Kendall County Land Resource Management Plan there is a stated purpose in Kendall County to preserve agricultural in endeavors which would of course include Special Uses that are allowed under the Agricultural Ordinances of Kendall County.

Attachment 2



December 17, 2018

-  Agricultural
-  Agricultural-Building Permit
-  Agricultural-Special Use
-  Agricultural-Special Use-Planned Unit Development



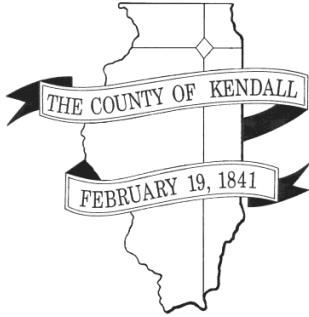
Kendall County Illinois GIS



Attachment 4-Facing Straight







DEPARTMENT OF PLANNING, BUILDING & ZONING

111 West Fox Street • Room 203

Yorkville, IL • 60560

(630) 553-4141

Fax (630) 553-4179

Petition 19-05

**Specialty Oswego, LLC (Current Owners) and Stuart and Paula
Weihler (Prospective Owners)**

A-1 Special Use – Banquet Facility

INTRODUCTION

Stuart and Paula Weihler would like to establish a banquet facility, Heritage Homestead at the subject property. The property is currently owned by Specialty Oswego, LLC and the Weihler's have a contract to purchase the property subject to obtaining the required zoning permits to operate a banquet facility.

SITE INFORMATION

PETITIONER Specialty Oswego, LLC (Owners) and Gay Hoddy (Operator)

ADDRESS 5100 Hundred Block of Schlapp Road

LOCATION Approximately 0.48 Miles South of the Intersection of Plainfield Road and Schlapp Road on the East Side of Schlapp Road



TOWNSHIP Oswego

PARCEL # 03-34-100-024 (Southern 10 Acres)

LOT SIZE 10.00 +/- Acres

EXISTING LAND USE Agricultural

ZONING A-1 Agricultural District

LRMP	Current Land Use	Agricultural and Farmstead
	Future Land Use	Rural Residential (Max 0.60 Du/Acre)
	Roads	Schlapp Road is a Township Road Classified as a Local Road.
	Trails	None
	Floodplain/Wetlands	None

REQUESTED ACTION A-1 Special Use to Operate a Banquet Facility

APPLICABLE REGULATIONS Section 7.01 D.10 – A-1 Special Uses – Permits Banquet Facilities to be Located in the A-1 District with Approval of a Special Use Provided that the Facility Meets Certain Criteria

Section 13.08 – Special Use Procedures

SURROUNDING LAND USE

Location	Adjacent Land Use	Adjacent Zoning	Land Resource Management Plan	Zoning within ½ Mile
North	Agricultural/Farmstead	A-1	Rural Residential (Max 0.60 DU/Acre) and Rural Estate Residential (Max 0.45 DU/Acre)	A-1
South	Agricultural	A-1	Rural Residential	A-1
East	Agricultural/Farmstead	A-1 and A-1 SU	Rural Residential	A-1, A-1 SU, and R-1 and R-3
West	Agricultural	A-1	Rural Residential	A-1

The A-1 SU immediately to the east of the subject property is a church. One (1) additional A-1 SU is located within one half (1/2) mile of the property to the northeast; this special use permit is for the selling of agricultural products not grown on the premises.

Seven (7) house, not including the homes in the Douglas Hill Subdivision and Leisure Lea Subdivision, are located within one half (1/2) mile of the existing property lines.

PHYSICAL DATA

ENDANGERED SPECIES REPORT

EcoCat submitted on December 18, 2018, consultation was terminated (see Attachment 1, Pages 17-19)

NATURAL RESOURCES INVENTORY

NRI application submitted on December 21, 2018 (see Attachment 1, Page 16)

ACTION SUMMARY

OSWEGO TOWNSHIP

Oswego Township was emailed information on December 21, 2018.

OSWEGO FIRE PROTECTION DISTRICT

Oswego Fire Protection District was emailed information on December 21, 2018.

VILLAGE OF OSWEGO

The Village of Oswego was emailed information on December 21, 2018.

GENERAL

The Weihlers intend to establish the Hertiage Homestead banquet facility and wedding venue as a limited liability company. A special use permit is required to operate a banquet facility at the subject property. Pictures of the property are included as Attachments 6-12. There are currently no structures on the property.

This type of use is permitted as a special use on an A-1 property with certain conditions. Those conditions include:

- a. **The facility shall have direct access to a road designated as an arterial roadway or major collector road as identified in the Land Resource Management Plan. (Variance is required for this requirement.)** A variance is required because Schlapp Road is not an arterial roadway or major collector as defined in the Land Resource Management Plan.
- b. The subject parcel must be a minimum of 5 acres.
- c. The use of this property shall be in compliance with all applicable ordinances. The banquet facility shall conform to the regulations of the Kendall County Health Department and the Kendall County Liquor Control Ordinance. (Ord. 99-34)
- d. Off-street parking, lighting and landscaping shall be provided in accordance with the provisions of Section 11 of the zoning ordinance.
- e. All signage shall comply with the provisions of Section 12 of the Kendall County Zoning Ordinance.
- f. Retail sales are permitted as long as the retail sales will be ancillary to the main operation.
- g. The noise regulations are as follows:

Day Hours: No person shall cause or allow the emission of sound during daytime hours (7:00 A.M. to 10:00 P.M.) from any noise source to any receiving residential land which exceeds sixty five (65) dBA when measured at any point within such receiving residential land, provided; however, that point of measurement shall be on the property line of the complainant.

Night Hours: No person shall cause or allow the emission of sound during nighttime hours (10:00 P.M. to 7:00 A.M.) from any noise source to any receiving residential land which exceeds fifty five (55) dBA when measured at any point within such receiving residential land provided; however, that point of measurement shall be on the property line of the complainant.

EXEMPTION: Powered Equipment: Powered equipment, such as lawn mowers, small lawn and garden tools, riding tractors, and snow removal equipment which is necessary for the maintenance of property is exempted from the noise regulations between the hours of seven o'clock (7:00) A.M. and ten o'clock (10:00) P.M.

BUSINESS OPERATION

The Weihler's business plan is included as Attachment 1, Pages 2-10. The plat of survey is included as Attachment 2. The site plan is included as Attachment 3.

As noted in the business plan, plat of survey and site plan, the Weihler's would use the southern ten (10) acres of the current property configuration for their event business. They plan to construct a four thousand, nine hundred fifty (4,950) square foot barn with two (2) two thousand five hundred (2,500) square foot outdoor areas on the southwest and northeast sides of the barn. One two thousand (2,000) square foot tent with concrete pad would be located northwest of the barn. Two (2) grain bins, one (1) for the bride and one (1) for the groom, would be constructed to the northwest of each outdoor area. An additional bar grain bin would be constructed west of the tent. Each grain bin would be one hundred seventy-one (171) square feet in size. One (1) outdoor grassy ceremony area, measuring three thousand five hundred (3,500) square feet would be located east of the barn area. One (1) one hundred eighty-one (181) square foot gazebo would be located southeast of the barn. One (1) additional one thousand five hundred (1,500) square foot storage building

would be located to the east of the parking area. One (1) one hundred (100) square foot trash enclosure is planned east of the parking area. Gravel pathways would connect the parking lot to the various structures and areas of interest on the property.

The Weihlers propose an approximately thirty-seven thousand seven hundred sixty-two (37,762) square foot wet detention pond around the southern portion of the gazebo. Based on the information provided regarding the amount of disturbed ground (land disturbed for parking, facilities, and detention), a stormwater management permit will be required.

The Weihlers plan to have events year-round. For weekdays, events would start no sooner than 9:00 a.m. and end no later than 10:00 p.m. For weekends and holidays, events would start no sooner than 9:00 a.m. and end no later than midnight. The terms weekdays and weekends were not defined. Also, Staff questions whether maintenance (including set up and take down) will be included in the hours of operation.

The Weihlers plan to use select caterers and will have adequate insurance.

If approved, the Weihlers plan to start construction by April 2019 and start having events in October 2019 with a full season of bookings for 2020.

BUILDING CODES

A Building and Occupancy Permit will be required for each existing structure that will be used in conjunction with the proposed banquet facility.

ENVIRONMENTAL HEALTH

A raised septic area with three sanitary holding tanks is proposed southwest of the proposed barn. The proposed water well will be located northeast of the tent area. No detailed information about the well or septic system was provided.

ROAD ACCESS

The property fronts Schlapp Road. A variance will be required to have a banquet facility at this property.

PARKING AND INTERNAL TRAFFIC CIRCULATION

Based on the information provided, the maximum number of attendees would be two hundred eight-five (285) guests. Four (4) additional full-time employees plus the two (2) owners would be onsite during events. Pending any concerns from first responders, the proposed facility would have more than adequate parking facilities. The Weihlers are proposing one hundred fifty-one (151) parking spaces including seven (7) handicapped accessible spaces.

LIGHTING

The Weihlers propose five (5) twenty foot (20') fixture light poles and two (2) twenty foot (20') single fixture light poles.

SIGNAGE

One (1) monument sign is proposed along Schlapp Road. No information was provided regarding the size of the sign or whether or not the sign will be illuminated. No information was provided regarding one-way vehicular movement signs.

LANDSCAPING

The landscaping plan call for thirty-two (32) canopy trees, sixteen (16) evergreens, ten (10) understory trees, ten (10) ornamental trees, and one hundred twenty-six (126) deciduous bushes.

NOISE CONTROL

The Weihlers plan to have music originate indoors with speakers facing indoors except for processions at weddings.

The Weihlers plan to install some berming and, with the combination of distance and new plantings, they believe noise will not be an issue.

RELATION TO OTHER SPECIAL USES

The subject property was awarded a special use permit for Kendall County previously granted a special use permit a residential unit for a stable employee in 1999. Staff would like to see if the property owners desire to keep this special.

This proposed banquet facility is less than one half (1/2) mile from the nearest road meeting the functional classification requirements in the Zoning Ordinance. By comparison, the banquet facility at 13889 Hughes Road is approximately one point five (1.5) miles from the nearest major collector road (Newark Road via Hollenback Road).

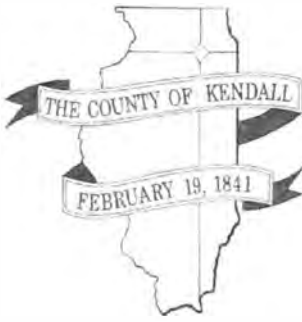
RECOMMENDATION

Before issuing a recommendation, Staff would like the following issues addressed/clarified:

1. Input from the Kendall County Sheriff's Department and the Oswego Fire Protection District regarding any concerns regarding having a facility at this location.
2. Input from the Kendall County Health Department regarding the proposed septic and well facilities.
3. Input from WBK regarding the detention pond and the need for a stormwater management permit.
4. Input from Oswego Township and the Kendall County Highway Department regarding any concerns of having this use on Schlapp Road, including any conditions that might be placed on a variance.
5. Clarification from the Weihlers regarding hours of operation and definitions of weekends and weekdays.
6. Acknowledgement from the Weihlers that they are aware and will follow Kendall County's Right to Farm Clause.
7. Acknowledgement from the Weihlers that they agree to follow all applicable Federal, State, and Local laws governing this type business and the implications for not following such laws.
8. Input from all ZPAC members regarding having banquet facilities with year-round events.

ATTACHMENTS

1. Application Materials (Including Business Plan)
2. Plat of Survey
3. Site Plan
4. Landscaping Plan
5. Photometric Plan and Information
6. Aerial
7. Looking Northeast
8. Looking East
9. Looking South
10. Looking Northwest
11. Looking West
12. Looking Southwest



DEPARTMENT OF PLANNING, BUILDING & ZONING

111 West Fox Street • Yorkville, IL • 60560

(630) 553-4141

Fax (630) 553-4179

APPLICATION

PROJECT NAME Weihler Special Use

FILE #: 19-05

NAME OF APPLICANT		
Stuart Weihler and Paula Weihler		
CURRENT LANDOWNER/NAME(s)		
Specialty Oswego, LLC		
SITE INFORMATION		
ACRES	SITE ADDRESS OR LOCATION	ASSESSOR'S ID NUMBER (PIN)
10 acres	vacant farm land on Schalpp Road, Oswego, IL	part of 03-34-100-024
EXISTING LAND USE		
Farmland	A-1 Agricultural	Rural Residential
REQUESTED ACTION (Check All That Apply):		
<input checked="" type="checkbox"/> SPECIAL USE	<input type="checkbox"/> MAP AMENDMENT (Rezone to _____)	<input type="checkbox"/> VARIANCE
<input type="checkbox"/> ADMINISTRATIVE VARIANCE	<input type="checkbox"/> A-1 CONDITIONAL USE for: _____	<input type="checkbox"/> SITE PLAN REVIEW
<input type="checkbox"/> TEXT AMENDMENT	<input type="checkbox"/> RPD (<input type="checkbox"/> Concept; <input type="checkbox"/> Preliminary; <input type="checkbox"/> Final)	<input type="checkbox"/> ADMINISTRATIVE APPEAL
<input type="checkbox"/> PRELIMINARY PLAT	<input type="checkbox"/> FINAL PLAT	<input type="checkbox"/> OTHER PLAT (Vacation, Dedication, etc.)
AMENDMENT TO A SPECIAL USE (<input type="checkbox"/> Major; <input type="checkbox"/> Minor)		
¹PRIMARY CONTACT	PRIMARY CONTACT MAILING ADDRESS	PRIMARY CONTACT EMAIL
Daniel J. Kramer	1107A S. Bridge St., Yorkville, IL 60560	dkramer@dankramerlaw.com
PRIMARY CONTACT PHONE #	PRIMARY CONTACT FAX #	PRIMARY CONTACT OTHER #(Cell, etc.)
630-553-9500	630-553-5764	
²ENGINEER CONTACT	ENGINEER MAILING ADDRESS	ENGINEER EMAIL
John Tebrugge	john@tebruggeengineering.com	
ENGINEER PHONE #	ENGINEER FAX #	ENGINEER OTHER # (Cell, etc.)
815-786-0195		
I UNDERSTAND THAT BY SIGNING THIS FORM, THAT THE PROPERTY IN QUESTION MAY BE VISITED BY COUNTY STAFF & BOARD/ COMMISSION MEMBERS THROUGHOUT THE PETITION PROCESS AND THAT THE PRIMARY CONTACT LISTED ABOVE WILL BE SUBJECT TO ALL CORRESPONDANCE ISSUED BY THE COUNTY.		
I CERTIFY THAT THE INFORMATION AND EXHIBITS SUBMITTED ARE TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND THAT I AM TO FILE THIS APPLICATION AND ACT ON BEHALF OF THE ABOVE SIGNATURES.		
SIGNATURE OF APPLICANT		DATE
		December 21, 2018

FEE PAID: \$ 1155.00
CHECK #:

¹Primary Contact will receive all correspondence from County

²Engineering Contact will receive all correspondence from the County's Engineering Consultants

RECEIVED

DEC 21 2018

Heritage Homestead Wedding and Event Venue Business Plan

By

Dr. Paula Weihler

Executive Summary

Heritage Homestead is a wedding and event venue business which will be based in Oswego, Illinois at the address to be given at a later date, but is approx. 10 acres and is now known as the East side of Schlapp Rd at the Plainfield Rd and Schlapp Rd intersection in Oswego.

With this venue fully registered and licensed, Heritage Homestead will provide amazing yet unforgettable memories to a diverse range of customers with the specific needs of each client taken into consideration and services patterned to ensure maximum satisfaction. However, our services are not only restricted to hosting of weddings, but we plan on having several family centered events, hosting of Annual General Meetings, parties, wedding planning services, as well as hosting a variety of other corporate events. Client expectations are very important to us. This is why we seek to exceed these expectations by offering top-notch services.

Our choice of location is very strategic to achieving our goals. Hence rural Oswego presents boundless opportunities with a young and growing population within the 18 to 35 age bracket and is located 47 miles south of Chicago. This rural, yet doable location will also draw from surrounding communities like Naperville, Plainfield and all of Fox Valley. **See attachment for land location.**

Heritage Homestead is a wedding and event venue concept brought about by Dr. Paula Weihler and her husband Stuart, who have been very active in the community for over 10 years. This business will be run as a Limited Liability Company, and her several years of experience owning her own small business in Yorkville, will be an essential part in running an efficient wedding and event venue business.

Mission Statement

Heritage Homestead will be a wedding venue business that will provide excellent services to clients. At Heritage Homestead, we also will have year round family friendly activities that are sure to bring the "Normal Rockwell" paintings to life. **See attached calendar for some event ideas.** These services will be budget friendly and will seek to fully satisfy every client. We are poised to build an unforgettable brand name in the wedding venue sector with our clients at the center of all our activities.

Vision Statement

We envision Heritage Homestead to bring smiles to faces when they hear this name. Not only do recognize the importance of our esteemed clients to the growth of our business, we are determined to be among the top 5 wedding and event venue businesses located in Illinois, achievable within 5 years from the date of commencement of business operations. We also have several family center events that are going to take place at Heritage Homestead. See attached Calendar. We hope to have the land zoned for various use by March 2019, with construction starting no later than April of 2019 and the first event hosted no later than Oct 2019 while booking future events for 2020 starting on open day, again, no later than Oct 2019. **See attachment for vision of main building.**

Event Assumptions:

This event venue will be available for about 250 persons; we would like to ask for a 14% variance for the occasional event if a need should arise where it would be over that amount.

The hours of operation would be as follows for Weekdays: start no sooner than 9 am and end no later than 10pm. For Weekends and Holidays, start no sooner than 9 am and end no later than midnight. There would also be a maximum of 65 events at this venue per year. Months of operation with this climate controlled venue would be 12 months a year.

We have estimated that we would have no more than four full-time employees, in addition to ourselves being part of this vision.

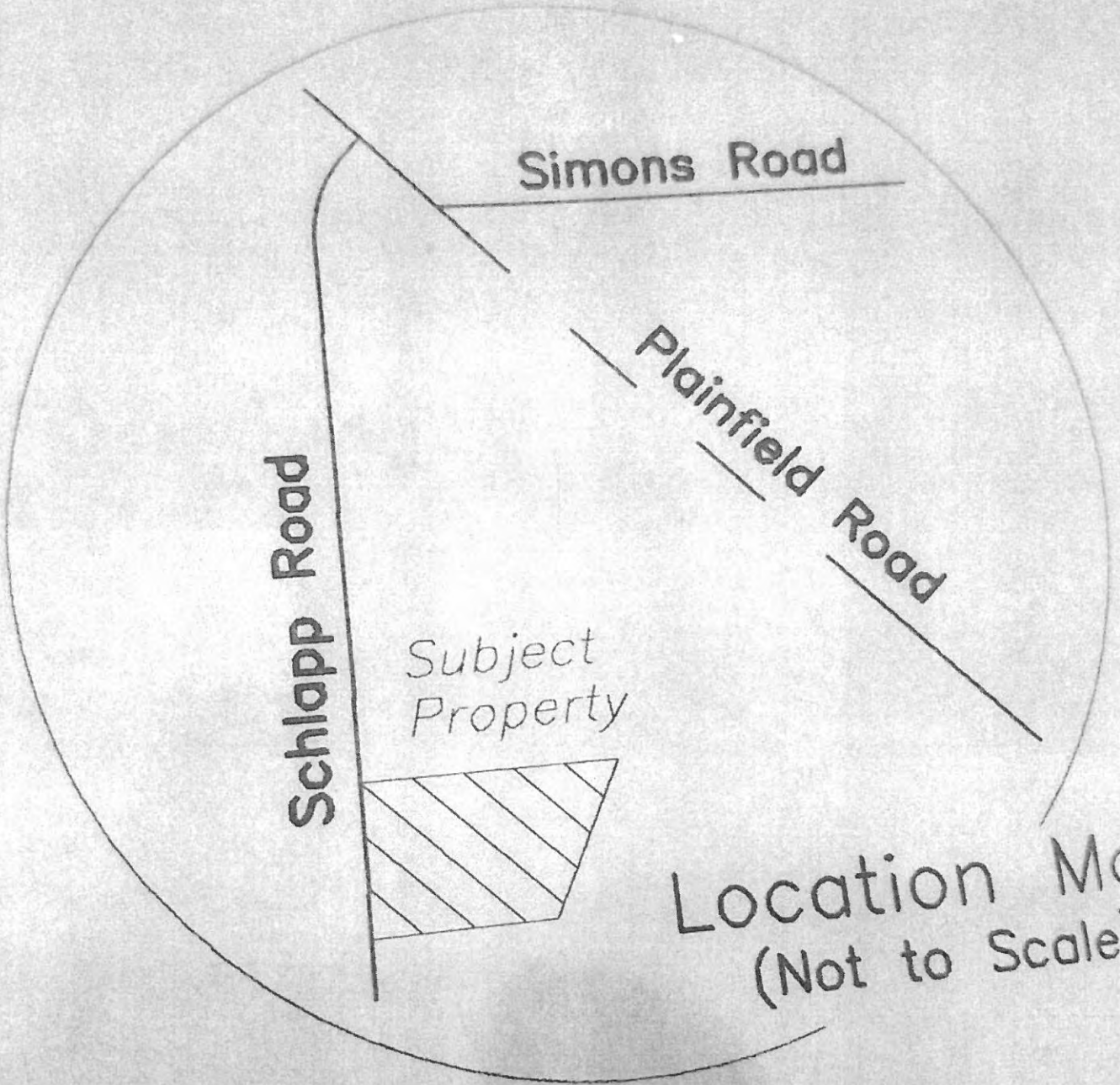
As for insuring compliance with decibel reading levels, as of right now, our nearest neighbor is more than 750 feet away. To insure that they are not disturbed, all music would be played indoors with speakers turned inwards. Outdoor music for processional and wedding/ event would be well below the County Standards at the property line as is measured by County Ordinance. Our layout also has some berms on the plan, if approved; these too would help to dampen any noise.

As for other relevant information, please know that they will only be using a few select caterers who are known for excellence, each with their own traveling liquor license for events. The owners will also have adequate liability insurance for any unforeseen circumstances.

They will have permitted signage at the front of the property per code standards.

Attachments to follow:

28



Location Map
(Not to Scale)

Site location

DEVELOPER:

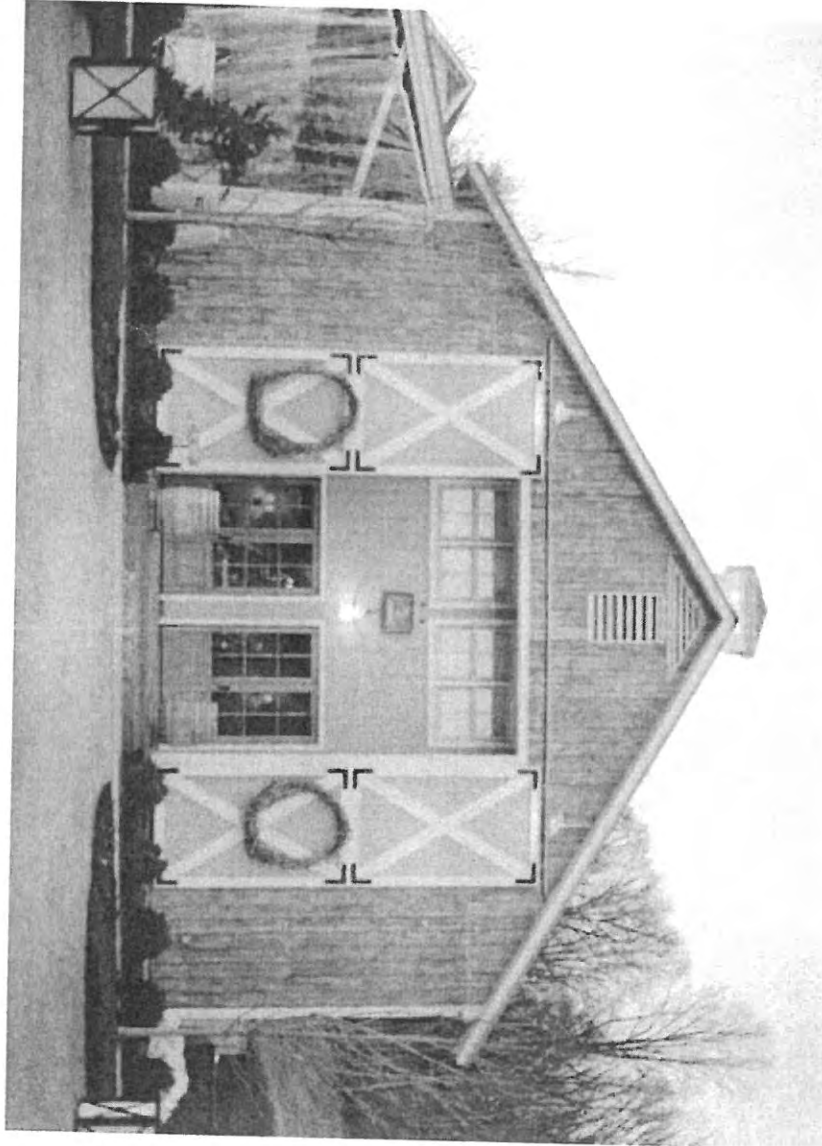
Whibler

... Road

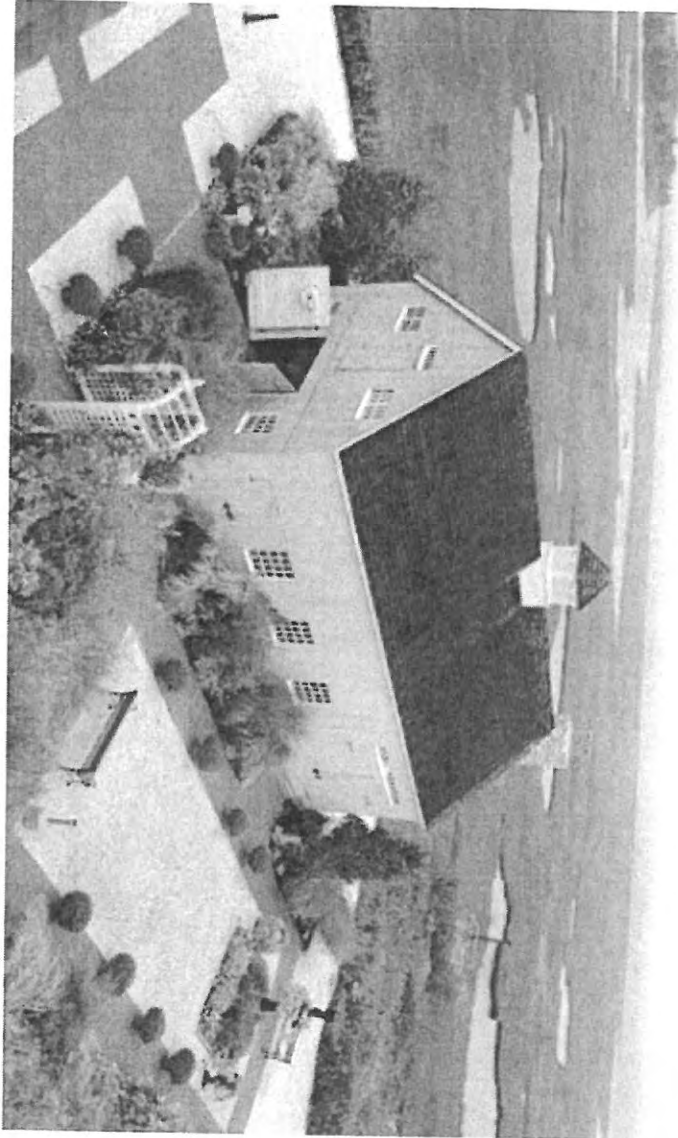
Family Centered Events at Heritage Homestead

Attachment 1, Page 6

January	New Year's Eve Celebration, ball drop at 10pm for kids
February	Valentine's Dinner/Super bowl event
March	St. Patrick's Day Corn Beef Dinner Easter event if in March
April	Easter Brunch, Breakfast with the Bunny, Weddings
May	Weddings
June	Weddings
July	Weddings
August	Weddings
Sept	Weddings
October	Weddings, Fall Festival, pumpkin patch, apple event
November	Christmas Market vendor events
December	Christmas at the Farm Event, Breakfast with Santa



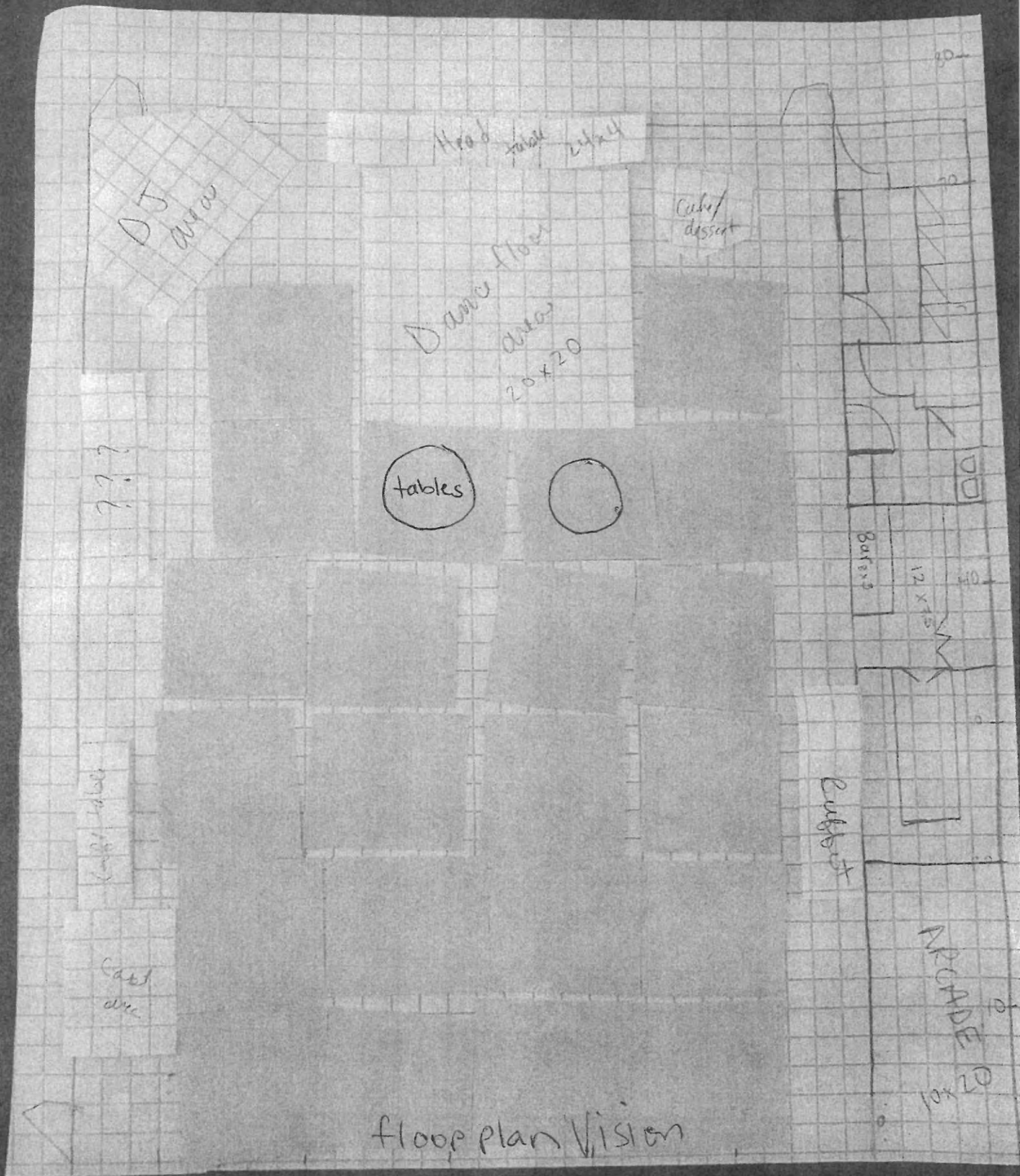
Front of Main Building
Vision



Outdoor Area
Vision



Inside
Vision



Legal Description

That Part of the Northwest Quarter of Section 34, Township 37 North, Range 8 East of the Third Principal Meridian described as follows: Beginning at the Southwest Corner of said Northwest Quarter; thence Easterly, along the South Line of said Northwest Quarter, 660.0 feet; thence Northeasterly along a line which forms an angle of 116°06'03' with the last described course, measured clockwise therefrom, (said Northeasterly Line which if extended would intersect the the North Line of said Northwest Quarter at a point which is 660.0 feet Westerly of the Northeast Corner of said Northwest Quarter), 609.24 feet; thence Westerly, parallel with the South Line of said Northwest Quarter, 932.37 feet to the West Line of said Northwest Quarter; thence Southerly, along said West Line, 547.13 feet to the point of beginning in Oswego Township, Kendall County, Illinois.



QUIT CLAIM DEED
Statutory (ILLINOIS)
(Corporation to Corporation)

201500020158

**DEBBIE
GILLETTE**
KENDALL COUNTY, IL

RECORDED: 12/22/2015 10:40 AM
GCD: 49.00 RHSPS FEE: 10.00
PAGES: 4

THE GRANTOR, SPECIALTY LENDING, INC., of Anaheim, California, a corporation created and existing under and by virtue of the laws of the State of California, for the consideration of Ten and No/100 (\$10.00) Dollars, and other good and valuable consideration in hand paid, and pursuant to authority given by the Board of Directors of said corporation, CONVEYS and QUIT CLAIMS to:

SPECIALTY OSWEGO, LLC
8191 East Kaiser Boulevard
Anaheim, CA 92808

a limited liability company organized and existing under and by virtue of the laws of the State of Illinois, having its principal office at the following address: 8191 East Kaiser Boulevard, Anaheim, California 92808, all interest in the following described Real Estate situated in the County of Kendall and State of Illinois, to wit:

THAT PART OF THE NORTHWEST QUARTER OF SECTION 34, TOWNSHIP 37 NORTH, RANGE 8, EAST OF THE THIRD PRINCIPAL MERIDIAN DESCRIBED AS FOLLOWS: COMMENCING AT THE NORTHEAST CORNER OF SAID NORTHWEST QUARTER; THENCE WESTERLY ALONG THE NORTH LINE OF SAID NORTHWEST QUARTER, 660.0 FEET FOR A POINT OF BEGINNING; THENCE WESTERLY ALONG SAID NORTH LINE 1318.95 FEET TO A POINT ON SAID NORTH LINE WHICH IS 486.13 FEET EASTERLY OF THE INTERSECTION OF SAID NORTH LINE WITH THE CENTER LINE OF PLAINFIELD ROAD; THENCE SOUTHERLY ALONG A LINE WHICH FORMS AN ANGLE OF 97 DEGREES 01 MINUTES 33 SECONDS WITH THE LAST DESCRIBED COURSE MEASURED CLOCKWISE THEREFROM, 266.50 FEET; THENCE SOUTHEASTERLY ALONG A LINE WHICH FORMS AN ANGLE OF 154 DEGREES 02 MINUTES 28 SECONDS WITH THE LAST DESCRIBED COURSE, MEASURED CLOCKWISE THEREFROM, 123.27 FEET; THENCE SOUTHERLY ALONG A LINE WHICH FORMS AN ANGLE OF 220 DEGREES 50 MINUTES 05 SECONDS WITH THE LAST DESCRIBED COURSE, MEASURED CLOCKWISE THEREFROM, 156.84 FEET TO THE CENTER LINE OF PLAINFIELD ROAD; THENCE NORTHWESTERLY ALONG SAID CENTER LINE, WHICH FORMS AN ANGLE OF 61 DEGREES 27 MINUTES 40 SECONDS WITH THE LAST DESCRIBED COURSE MEASURED COUNTERCLOCKWISE THEREFROM, 683.06 FEET TO SAID NORTH LINE; THENCE WESTERLY ALONG SAID NORTH LINE 171.87 FEET TO THE NORTHWEST CORNER OF SAID NORTHWEST QUARTER; THENCE SOUTHERLY ALONG THE WEST LINE

OF SAID NORTHWEST QUARTER, 2644.33 FEET TO THE SOUTHWEST CORNER OF SAID NORTHWEST QUARTER; THENCE EASTERLY ALONG THE SOUTH LINE OF SAID NORTHWEST QUARTER, 660.0 FEET; THENCE NORTHEASTERLY ALONG A LINE WHICH FORMS AN ANGLE OF 116 DEGREES 06 MINUTES 03 SECONDS WITH THE LAST DESCRIBED COURSE, MEASURED CLOCKWISE THEREFROM, 2946.03 FEET TO THE POINT OF BEGINNING (EXCEPTING THEREFROM THAT PART THEREOF DESCRIBED AS FOLLOWS: COMMENCING AT A POINT ON THE NORTH LINE OF SAID NORTHWEST QUARTER THAT IS 660.0 FEET WEST OF THE NORTHEAST CORNER OF SAID NORTHWEST QUARTER; THENCE SOUTHWESTERLY TO A POINT ON THE SOUTH LINE OF SAID NORTHWEST QUARTER THAT IS 660.0 FEET EAST OF THE SOUTHWEST CORNER OF SAID NORTHWEST QUARTER; THENCE NORTHEASTERLY ALONG THE LAST DESCRIBED LINE, 1056.0 FEET FOR A POINT OF BEGINNING; THENCE CONTINUING NORTHEASTERLY ALONG THE LAST DESCRIBED LINE, 417.81 FEET TO THE CENTER LINE OF PLAINFIELD ROAD; THENCE NORTHWESTERLY ALONG SAID CENTER LINE ON A CURVE TO THE RIGHT, HAVING A RADIUS OF 2232.49 FEET, A DISTANCE OF 472.81 FEET TO A POINT OF TANGENCY; THENCE NORTHWESTERLY ALONG SAID CENTER LINE, A DISTANCE OF 18.45 FEET; THENCE SOUTHWESTERLY AT AN ANGLE OF 75 DEGREES 46 MINUTES 00 SECONDS MEASURED FROM SOUTHEAST TO SOUTHWEST, A DISTANCE OF 548.15 FEET; THENCE SOUTHEASTERLY AT ANGLE OF 83 DEGREES 20 MINUTES 12 SECONDS MEASURED FROM NORTHEAST TO SOUTHWEST, A DISTANCE OF 561.85 FEET TO THE POINT OF BEGINNING, AND ALSO EXCEPTING THEREFROM THAT PART OF THE NORTHWEST QUARTER OF SECTION 34, TOWNSHIP 34, RANGE 7 EAST OF THE THIRD PRINCIPAL MERIDIAN, DESCRIBED AS FOLLOWS: COMMENCING AT THE INTERSECTION OF THE CENTER LINE OF PLAINFIELD ROAD WITH THE NORTH LINE OF SAID NORTHWEST QUARTER; THENCE EASTERLY, ALONG SAID NORTH LINE, 589.13 FEET FOR THE POINT OF BEGINNING; THENCE WESTERLY, ALONG SAID NORTH LINE, 103.0 FEET; THENCE SOUTHERLY, ALONG A LINE WHICH FORMS AN ANGLE OF 97 DEGREES 01 MINUTES 33 SECONDS WITH THE LAST DESCRIBED COURSE, MEASURED CLOCKWISE THEREFROM, 266.50 FEET; THENCE SOUTHEASTERLY, ALONG A LINE WHICH FORMS AN ANGLE OF 154 DEGREES 02 MINUTES 28 SECONDS WITH THE LAST DESCRIBED COURSE MEASURED CLOCKWISE THEREFROM, 41.15 FEET; THENCE NORTHEASTERLY, ALONG A LINE WHICH FORMS AN ANGLE OF 40 DEGREES 52 MINUTES 37 SECONDS WITH THE LAST DESCRIBED COURSE, MEASURED CLOCKWISE THEREFROM, 327.12 FEET TO THE POINT OF BEGINNING), IN OSWEGO TOWNSHIP, KENDALL COUNTY, ILLINOIS.

Permanent Real Estate Index Numbers: 03-34-100-14 (affects part), 03-34-100-016 (affects part), 03-34-100-018 (affects part), and 03-34-100-021 (affects part)

Address of Real Estate: approximately 71.37 acres located on Plainfield Road in Oswego Township, Kendall County, Illinois

In Witness Whereof, said Grantor has caused its corporate seal to be hereto affixed, and has caused its name to be signed to these presents by its President, and attested by its Secretary, this 18 day of September, 2015.

SPECIALTY LENDING, INC.

(CORPORATE SEAL)

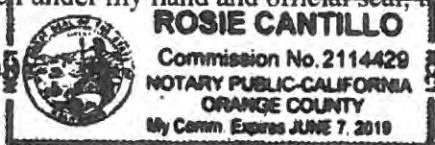
By: [Redacted]
Its President

ATTEST: [Redacted]
Its Secretary

STATE OF CALIFORNIA, COUNTY OF ORANGE SS. I, the undersigned, a Notary Public in and for said County and State aforesaid, DO HEREBY CERTIFY that John D. Tallichet, personally known to me to be the President of the corporation, and Charles Ochoa, personally known to me to be the secretary of said corporation, and personally known to me to be the same persons whose names are subscribed to the foregoing instrument, appeared before me this day in person, and severally acknowledged that as such President and Secretary, they signed and delivered the said instrument pursuant to authority given by the Board of Directors of said corporation, as their free and voluntary act, and as the free and voluntary act and deed of said corporation, for the uses and purposes therein set forth

Given under my hand and official seal, this 18th day of September, 2015.

(Seal)



[Redacted]
Notary Public

This instrument was prepared by: Attorney James C. James, III, Alschuler, Simantz & Hem, LLC, 1961 West Downer Place, Aurora, IL 60506-4384; (630) 892-7021

MAIL TO:

Attorney James C. James, III
Alschuler, Simantz & Hem, LLC
1961 West Downer Place
Aurora, IL 60506

SEND SUBSEQUENT TAX BILLS TO:

Specialty Oswego, LLC
8191 East Kaiser Boulevard
Anaheim, CA 92808

This transaction is exempt under 35 ILCS 200/31-45(e)

12-21-15
Date

[Redacted]
Buyer, Seller or Representative



Kendall County Soil & Water Conservation District

7775A Route 47, Yorkville, Illinois 60560 • (630)553-5821 extension 3

www.kendallswcd.org

NATURAL RESOURCE INFORMATION (NRI) REPORT APPLICATION

Petitioner: Stuart Weihler **Contact Person:** Same as Petitioner
Address: _____
City, State, Zip: _____
Phone Number: _____ () _____
Email: _____

Please select: How would you like to receive a copy of the NRI Report? Email Mail

Site Location & Proposed Use

Township Name Oswego Township 37 N, Range 8 E, Section(s) 34
Parcel Index Number(s) 03-34-100-024
Project or Subdivision Name Heritage Homestead - Banquet Center Number of Acres 10.0
Current Use of Site Ag Proposed Use A-1 SU
Proposed Number of Lots 1 Proposed Number of Structures 5
Proposed Water Supply Well Proposed type of Wastewater Treatment Septic
Proposed type of Storm Water Management Retention Pond

Type of Request

- Change in Zoning from A-1 SU to A-1 SU
 - Variance (Please describe fully on separate page)
 - Special Use Permit (Please describe fully on separate page)
- Name of County or Municipality the request is being filed with: _____

In addition to this completed application form, please including the following to ensure proper processing:

- Plat of Survey/Site Plan** – showing location, legal description and property measurements
- Concept Plan** - showing the locations of proposed lots, buildings, roads, stormwater detention, open areas, etc.
- If available: topography map, field tile map, copy of soil boring and/or wetland studies
- NRI fee** (Please make checks payable to Kendall County SWCD)

The NRI fees, as of July 1, 2010, are as follows:

Full Report: \$375.00 for five acres and under, plus \$18.00 per acre for each additional acre or any fraction thereof over five.
Executive Summary Report: \$300.00 (KCSWCD staff will determine when a summary or full report will be necessary.)

Fee for first five acres and under	\$ <u>375.00</u>
<u>5</u> Additional Acres at \$18.00 each	\$ <u>90.00</u>
Total NRI Fee	\$ <u>465.00</u>

NOTE: Applications are due by the 1st of each month to be on that month's SWCD Board Meeting Agenda. Once a completed application is submitted, please allow 30 days for inspection, evaluation and processing of this report.

I (We) understand the filing of this application allows the authorized representative of the Kendall County Soil and Water Conservation District (SWCD) to visit and conduct an evaluation of the site described above. The completed NRI report expiration date will be 3 years after the date reported.

Date 12/21/10

This report will be issued on a nondiscriminatory basis without regard to race, color, religion, national origin, age, sex, handicap or marital status.

FOR OFFICE USE ONLY

NRI# _____ Date initially rec'd _____ Date all rec'd _____ Board Meeting _____
Fee Due \$ _____ Fee Paid \$ _____ Check # _____ Over/Under Payment _____ Refund Due _____



Applicant: Stuart Weihler
Contact: John Tebrugge
Address: [REDACTED]

IDNR Project Number: 1906011
Date: 12/18/2018

Project: Heritage Homestead - Banquet Center
Address: 5139-5199 S Schlapp Road, Oswego

Description: This is a 10 ac site. The owners want to construct a banquet facility to hold weddings and special events. The site will have well and septic. It will also have a barn structure and retention pond.

Natural Resource Review Results

Consultation for Endangered Species Protection and Natural Areas Preservation (Part 1075)

The Illinois Natural Heritage Database contains no record of State-listed threatened or endangered species, Illinois Natural Area Inventory sites, dedicated Illinois Nature Preserves, or registered Land and Water Reserves in the vicinity of the project location.

Consultation is terminated. This consultation is valid for two years unless new information becomes available that was not previously considered; the proposed action is modified; or additional species, essential habitat, or Natural Areas are identified in the vicinity. If the project has not been implemented within two years of the date of this letter, or any of the above listed conditions develop, a new consultation is necessary. Termination does not imply IDNR's authorization or endorsement.

Location

The applicant is responsible for the accuracy of the location submitted for the project.

County: Kendall

Township, Range, Section:
37N, 8E, 34



IL Department of Natural Resources
Contact
 Nathan Grider
 217-785-5500
 Division of Ecosystems & Environment

Government Jurisdiction
 Kendall County
 Matt Asselmeier
 111 West Fox Street
 Yorkville, Illinois 60560

Disclaimer

The Illinois Natural Heritage Database cannot provide a conclusive statement on the presence, absence, or condition of natural resources in Illinois. This review reflects the information existing in the Database at the time of this inquiry, and should not be regarded as a final statement on the site being considered, nor should it be a substitute for detailed site surveys or field surveys required for environmental assessments. If additional protected resources are encountered during the project's implementation, compliance with applicable statutes and regulations is required.

IDNR Project Number: 1906011

Terms of Use

By using this website, you acknowledge that you have read and agree to these terms. These terms may be revised by IDNR as necessary. If you continue to use the EcoCAT application after we post changes to these terms, it will mean that you accept such changes. If at any time you do not accept the Terms of Use, you may not continue to use the website.

1. The IDNR EcoCAT website was developed so that units of local government, state agencies and the public could request information or begin natural resource consultations on-line for the Illinois Endangered Species Protection Act, Illinois Natural Areas Preservation Act, and Illinois Interagency Wetland Policy Act. EcoCAT uses databases, Geographic Information System mapping, and a set of programmed decision rules to determine if proposed actions are in the vicinity of protected natural resources. By indicating your agreement to the Terms of Use for this application, you warrant that you will not use this web site for any other purpose.

2. Unauthorized attempts to upload, download, or change information on this website are strictly prohibited and may be punishable under the Computer Fraud and Abuse Act of 1986 and/or the National Information Infrastructure Protection Act.

3. IDNR reserves the right to enhance, modify, alter, or suspend the website at any time without notice, or to terminate or restrict access.

Security

EcoCAT operates on a state of Illinois computer system. We may use software to monitor traffic and to identify unauthorized attempts to upload, download, or change information, to cause harm or otherwise to damage this site. Unauthorized attempts to upload, download, or change information on this server is strictly prohibited by law.

Unauthorized use, tampering with or modification of this system, including supporting hardware or software, may subject the violator to criminal and civil penalties. In the event of unauthorized intrusion, all relevant information regarding possible violation of law may be provided to law enforcement officials.

Privacy

EcoCAT generates a public record subject to disclosure under the Freedom of Information Act. Otherwise, IDNR uses the information submitted to EcoCAT solely for internal tracking purposes.

IDNR Project Number: 1906011



EcoCAT Receipt	Project Code 1906011
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APPLICANT	DATE
------------------	-------------

Stuart Weihler
John Tebrugge
[REDACTED]

12/18/2018

DESCRIPTION	FEE	CONVENIENCE FEE	TOTAL PAID
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EcoCAT Consultation	\$ 125.00	\$ 2.94	\$ 127.94
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	TOTAL PAID	\$ 127.94
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Illinois Department of Natural Resources
One Natural Resources Way
Springfield, IL 62702
217-785-5500
dnr.ecocat@illinois.gov

Please fill out the following Attachment, Page 20 the best of your capabilities. §13.08.J of the Zoning Ordinance outlines findings that the Hearing Officer shall consider in rendering a decision, but is not required to make an affirmative finding on all items in order to grant a **special use**. They are as follows:

That the establishment, maintenance, and operation of the special use will not be detrimental to, or endanger, the public health, safety, morals, comfort, or general welfare.

The establishment of wedding ceremony facility will be using all existing building and will create service for the people of Kendall County. It is in a rural 10 acre setting so there is a large buffer to all surrounding neighbors.

That the special use will not be substantially injurious to the use and enjoyment of other properties in the immediate vicinity for the purposes already permitted, nor substantially diminish and impair property values within the neighborhood. The Zoning classification of property within the general area of the property in question shall be considered in determining consistency with this standard. The proposed use shall make adequate provisions for appropriate buffers, landscaping, fencing, lighting, building materials, open space and other improvements necessary to insure that the proposed use does not adversely impact adjacent uses and is compatible with the surrounding area and/or the County as a whole.

This facility is using all new buildings to fulfill the need for citizens who would like a rural barn type wedding. It has plenty of acreage as to buffer the surrounding neighbors.

That adequate utilities, access roads and points of ingress and egress, drainage, and/or other necessary facilities have been or are being provided.

Schlapp Road is a hard surface Road on the west boundary of the property providing adequate access

That the special use shall in all other respects conform to the applicable regulations of the district in which it is located, except as such regulations may in each instance be modified by the County Board pursuant to the recommendation of the Hearing Officer.

The Special Use is in conformance with all other A-1 Specifications.

That the special use is consistent with the purpose and objectives of the Land Resource Management Plan and other adopted County or municipal plans and policies.

This is consistent with other A-1 Special Uses for wedding facilities in the area.



Illinois Environmental Protection Agency

1021 North Grand Avenue East • P.O. Box 19276 • Springfield • Illinois • 62794-9276 • (217) 782-3397

Division of Water Pollution Control Notice of Intent (NOI) for General Permit to Discharge Storm Water Associated with Construction Site Activities

This fillable form may be completed online, a copy saved locally, printed and signed before it is submitted to the Permit Section at the above address.

For Office Use Only

OWNER INFORMATION

Permit No. ILR10 _____

Company/Owner Name: Stuart Weihler
Mailing Address: _____ Phone: _____
City: _____ State: _____ Zip: _____ Fax: _____
Contact Person: Stuart Weihler E-mail: _____
Owner Type (select one) Private

CONTRACTOR INFORMATION

MS4 Community: Yes No

Contractor Name: TBD
Mailing Address: _____ Phone: _____
City: _____ State: _____ Zip: _____ Fax: _____

CONSTRUCTION SITE INFORMATION

Select One: New Change of information for: ILR10 _____
Project Name: Heritage Homestead - Banquet Center County: Kendall
Street Address: TBD - Approx 5139-5199 S Schlapp City: Oswego IL Zip: 60543
Latitude: 41 38 41.866 Longitude: 88 18 57.414 34 37N 8E
(Deg) (Min) (Sec) (Deg) (Min) (Sec) Section Township Range
Approximate Construction Start Date Mar 4, 2019 Approximate Construction End Date Mar 2, 2020

Total size of construction site in acres: 10.0
If less than 1 acre, is the site part of a larger common plan of development?
 Yes No

Fee Schedule for Construction Sites:
Less than 5 acres - \$250
5 or more acres - \$750

STORM WATER POLLUTION PREVENTION PLAN (SWPPP)

Has the SWPPP been submitted to the Agency? Yes No
(Submit SWPPP electronically to: epa.constilr10swppp@illinois.gov)

Location of SWPPP for viewing: Address: TBD - Approx 5139-5199 S Schlapp City: Oswego
SWPPP contact information: Inspector qualifications:
Contact Name: Stuart Weihler
Phone: _____ Fax: _____ E-mail: _____
Project inspector, if different from above Inspector qualifications:
Inspector's Name: _____
Phone: _____ Fax: _____ E-mail: _____

This Agency is authorized to require this information under Section 4 and Title X of the Environmental Protection Act (415 ILCS 5/4, 5/39). Failure to disclose this information may result in: a civil penalty of not to exceed \$50,000 for the violation and an additional civil penalty of not to exceed \$10,000 for each day during which the violation continues (415 ILCS 5/42) and may also prevent this form from being processed and could result in your application being denied. This form has been approved by the Forms Management Center.

TYPE OF CONSTRUCTION (select one)

Construction Type Commercial

SIC Code: _____

Type a detailed description of the project:

This is a 10 ac site. The owners want to construct a banquet facility to hold weddings and special events. The site will have well and septic. It will also have a barn structure and retention pond. The current site is farmland.

HISTORIC PRESERVATION AND ENDANGERED SPECIES COMPLIANCE

Has the project been submitted to the following state agencies to satisfy applicable requirements for compliance with Illinois law on:

- Historic Preservation Agency Yes No
- Endangered Species Yes No

RECEIVING WATER INFORMATION

Does your storm water discharge directly to: Waters of the State or Storm Sewer

Owner of storm sewer system: N/A

Name of closest receiving water body to which you discharge: Morgan Creek

Mail completed form to: Illinois Environmental Protection Agency
Division of Water Pollution Control
Attn: Permit Section
Post Office Box 19276
Springfield, Illinois 62794-9276
or call (217) 782-0610
FAX: (217) 782-9891

Or submit electronically to: epa.constilr10swppp@illinois.gov

I certify under penalty of law that this document and all attachments were prepared under my direction and supervision in accordance with a system designed to assure that qualified personnel properly gather and evaluate the information submitted. Based on my inquiry of the person or persons who manage this system, or those persons directly responsible for gathering the information, the information submitted is, to the best of my knowledge and belief, true, accurate, and complete. I am aware that there are significant penalties for submitting false information, including the possibility of fine and imprisonment. In addition, I certify that the provisions of the permit, including the development and implementation of a storm water pollution prevention plan and a monitoring program plan, will be complied with.

Any person who knowingly makes a false, fictitious, or fraudulent material statement, orally or in writing, to the Illinois EPA commits a Class 4 felony. A second or subsequent offense after conviction is a Class 3 felony. (415 ILCS 5/44(h))

[Redacted Signature]
Owner Signature:

12/21/18
Date:

Printed Name:

[Redacted Title]
Title:

INSTRUCTIONS FOR COMPLETION OF CONSTRUCTION ACTIVITY NOTICE OF INTENT (NOI) FORM

Submit original, electronic or facsimile copies. Facsimile and/or electronic copies should be followed-up with submission of an original signature copy as soon as possible. Please write "copy" under the "For Office Use Only" box in the upper right hand corner of the first page.

This fillable form may be completed online, a copy saved locally, printed and signed before it is submitted to the Permit Section at:

Illinois Environmental Protection Agency
 Division of Water Pollution Control
 Permit Section
 Post Office Box 19276
 Springfield, Illinois 62794-9276
 or call (217) 782-0610

FAX: (217) 782-9891

Or submit electronically to: epa.constilr10swppp@illinois.gov

Reports must be typed or printed legibly and signed.

Any facility that is not presently covered by the General NPDES Permit for Storm Water Discharges From Construction Site Activities is considered a new facility.

If this is a change in your facility information, renewal, etc., please fill in your permit number on the appropriate line, changes of information or permit renewal notifications do not require a fee.

NOTE: FACILITY LOCATION IS NOT NECESSARILY THE FACILITY MAILING ADDRESS, BUT SHOULD DESCRIBE WHERE THE FACILITY IS LOCATED.

Use the formats given in the following examples for correct form completion.

	Example	Format
Section	12	1 or 2 numerical digits
Township	12N	1 or 2 numerical digits followed by "N" or "S"
Range	12W	1 or 2 numerical digits followed by "E" or "W"

For the Name of Closest Receiving Waters, do not use terms such as ditch or channel. For unnamed tributaries, use terms which include at least a named main tributary such as "Unnamed Tributary to Sugar Creek to Sangamon River."

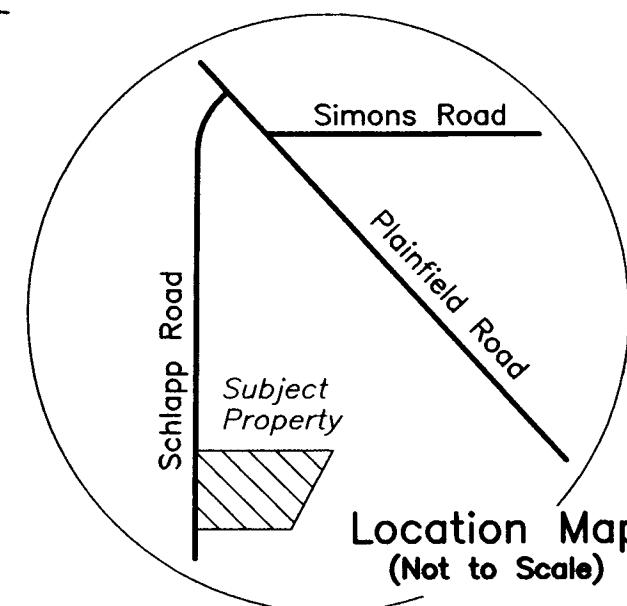
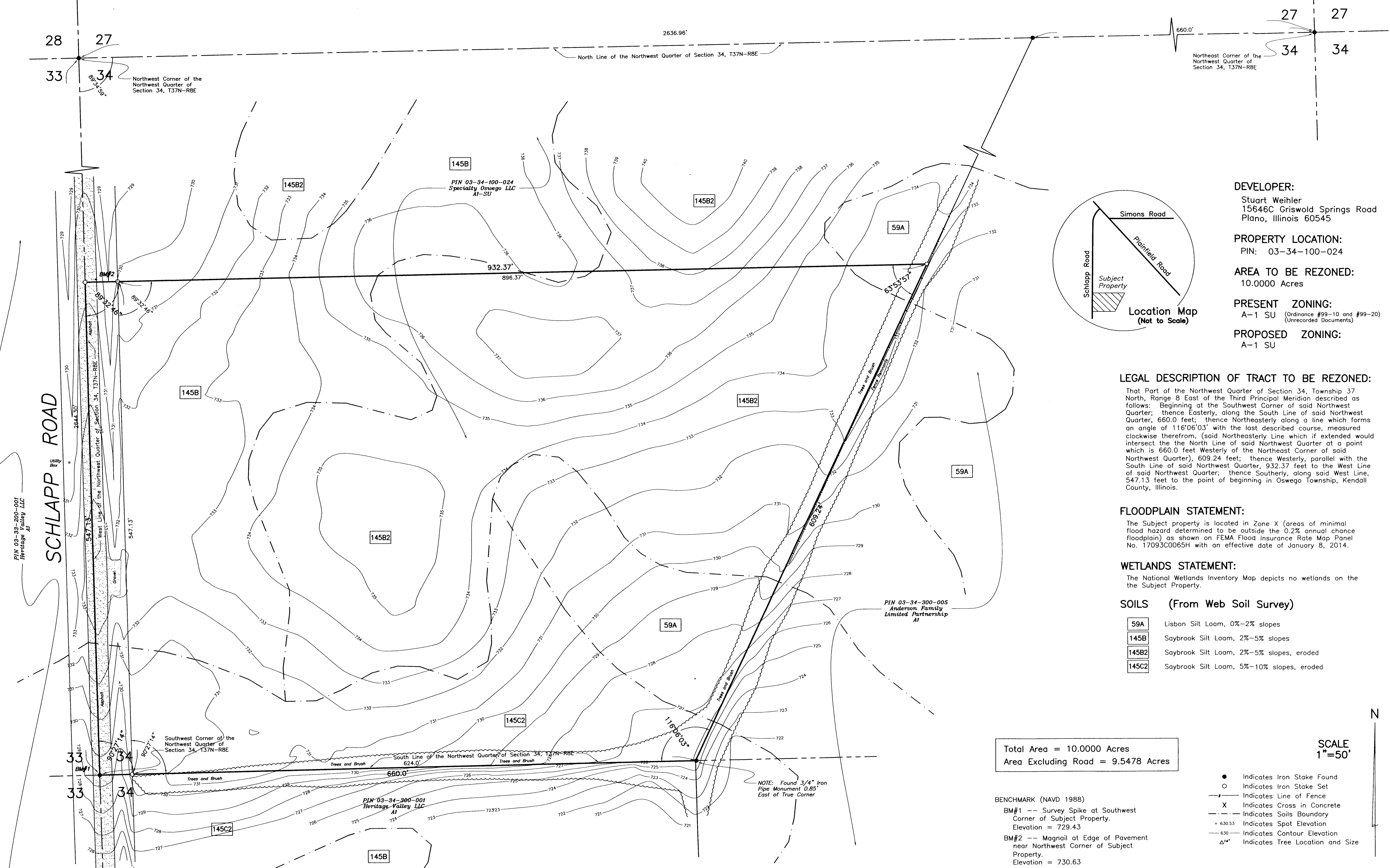
Submission of initial fee and an electronic submission of Storm Water Pollution Prevention Plan (SWPPP) for Initial Permit prior to the Notice of Intent being considered complete for coverage by the ILR10 General Permits. Please make checks payable to: Illinois EPA at the above address.

Construction sites with less than 5 acres of land disturbance - fee is \$250.

Construction sites with 5 or more acres of land disturbance - fee is \$750.

SWPPP should be submitted electronically to: epa.constilr10swppp@illinois.gov. When submitting electronically, use Project Name and City as indicated on NOI form.

ZONING PLAT OF PART OF THE NORTHWEST QUARTER OF SECTION 34, T37N-R8E, 3rd PM OSWEGO TOWNSHIP KENDALL COUNTY ILLINOIS



DEVELOPER:
Stuart Wehler
15646C Griswold Springs Road
Plano, Illinois 60545

PROPERTY LOCATION:
PIN: 03-34-100-024

AREA TO BE REZONED:
10.0000 Acres

PRESENT ZONING:
A-1 SU (Ordinance #99-10 and #99-20)
(Unrecorded Documents)

PROPOSED ZONING:
A-1 SU

LEGAL DESCRIPTION OF TRACT TO BE REZONED:

That Part of the Northwest Quarter of Section 34, Township 37 North, Range 8 East of the Third Principal Meridian described as follows: Beginning at the Southwest Corner of said Northwest Quarter; thence Easterly, along the South Line of said Northwest Quarter, 660.0 feet; thence Northeasterly along a line which forms an angle of 116°06'03" with the last described course, measured clockwise therefrom, (said Northeasterly Line which if extended would intersect the North Line of said Northwest Quarter at a point which is 660.0 feet West of the Northeast Corner of said Northwest Quarter), 609.24 feet; thence Westerly, parallel with the South Line of said Northwest Quarter, 932.37 feet to the West Line of said Northwest Quarter; thence Southerly, along said West Line, 547.13 feet to the point of beginning in Oswego Township, Kendall County, Illinois.

FLOODPLAIN STATEMENT:

The Subject property is located in Zone X (areas of minimal flood hazard determined to be outside the 0.2% annual chance floodplain) as shown on FEMA Flood Insurance Rate Map Panel No. 17093C00065H with an effective date of January 8, 2014.

WETLANDS STATEMENT:

The National Wetlands Inventory Map depicts no wetlands on the the Subject Property.

SOILS (From Web Soil Survey)

59A	Lisbon Silt Loam, 0%-2% slopes
145B	Saybrook Silt Loam, 2%-5% slopes
145B2	Saybrook Silt Loam, 2%-5% slopes, eroded
145C2	Saybrook Silt Loam, 5%-10% slopes, eroded

Total Area = 10.0000 Acres
Area Excluding Road = 9.5478 Acres

SCALE
1"=50'

BENCHMARK (NAVD 1988)

BM#1 -- Survey Spike at Southwest Corner of Subject Property.
Elevation = 729.43

BM#2 -- Magnolia at Edge of Pavement near Northwest Corner of Subject Property.
Elevation = 730.63

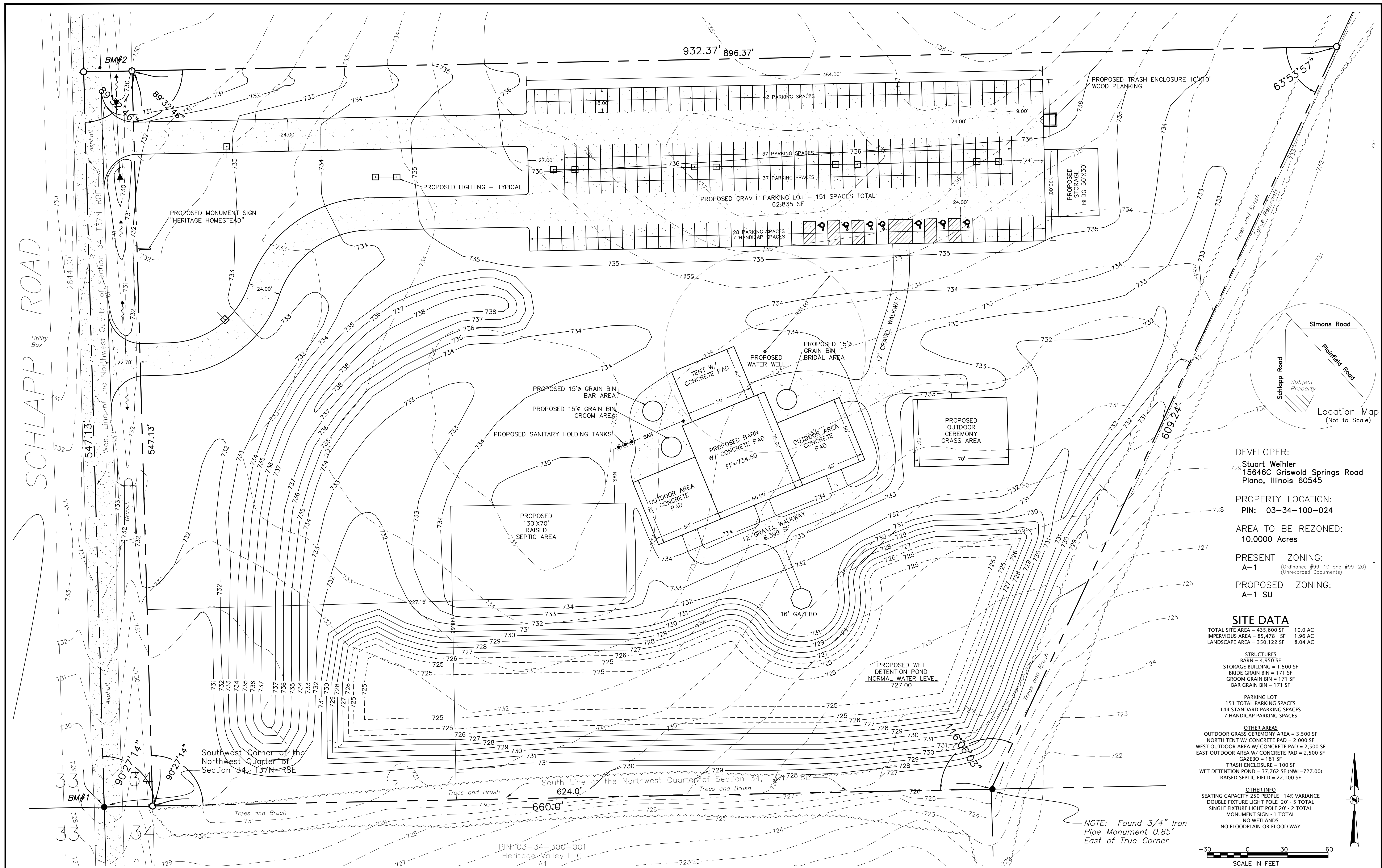
- Indicates Iron Stake Found
- Indicates Iron Stake Set
- - - Indicates Line of Fence
- X Indicates Cross in Concrete
- - - Indicates Soils Boundary
- + 630.53 Indicates Spot Elevation
- 630 - Indicates Contour Elevation
- Δ1" Indicates Tree Location and Size

November 29, 2018

1107B South Bridge Street
Yorkville, Illinois 60560
Telephone (630)553-1580

Phillip D. Young and Associates, Inc.
LAND SURVEYING - TOPOGRAPHIC MAPPING - Lic.#184-002775

JOB NO.	18292
JOB NAME	WEHLER
DWG FILE	18292
REVISION DATE	



DEVELOPER:
Stuart Weihler
 15646C Griswold Springs Road
 Plano, Illinois 60545

PROPERTY LOCATION:
 PIN: 03-34-100-024

AREA TO BE REZONED:
 10.0000 Acres

PRESENT ZONING:
 A-1 (Ordinance #99-10 and #99-20)
 (Unrecorded Documents)

PROPOSED ZONING:
 A-1 SU

SITE DATA
 TOTAL SITE AREA = 435,600 SF 10.0 AC
 IMPERVIOUS AREA = 85,478 SF 1.96 AC
 LANDSCAPE AREA = 350,122 SF 8.04 AC

STRUCTURES
 BARN = 4,950 SF
 STORAGE BUILDING = 1,500 SF
 BRIDE GRAIN BIN = 171 SF
 GROOM GRAIN BIN = 171 SF
 BAR GRAIN BIN = 171 SF

PARKING LOT
 151 TOTAL PARKING SPACES
 144 STANDARD PARKING SPACES
 7 HANDICAP PARKING SPACES

OTHER AREAS
 OUTDOOR GRASS CEREMONY AREA = 3,500 SF
 NORTH TENT W/ CONCRETE PAD = 2,000 SF
 WEST OUTDOOR AREA W/ CONCRETE PAD = 2,500 SF
 EAST OUTDOOR AREA W/ CONCRETE PAD = 2,500 SF
 GAZEBO = 181 SF
 TRASH ENCLOSURE = 100 SF
 WET DETENTION POND = 37,762 SF (NWL=727.00)
 RAISED SEPTIC FIELD = 22,100 SF

OTHER INFO
 SEATING CAPACITY 250 PEOPLE - 14% VARIANCE
 DOUBLE FIXTURE LIGHT POLE 20' - 5 TOTAL
 SINGLE FIXTURE LIGHT POLE 20' - 2 TOTAL
 MONUMENT SIGN - 1 TOTAL
 NO WETLANDS
 NO FLOODPLAIN OR FLOOD WAY

NOTE: Found 3/4" Iron Pipe Monument 0.85' East of True Corner



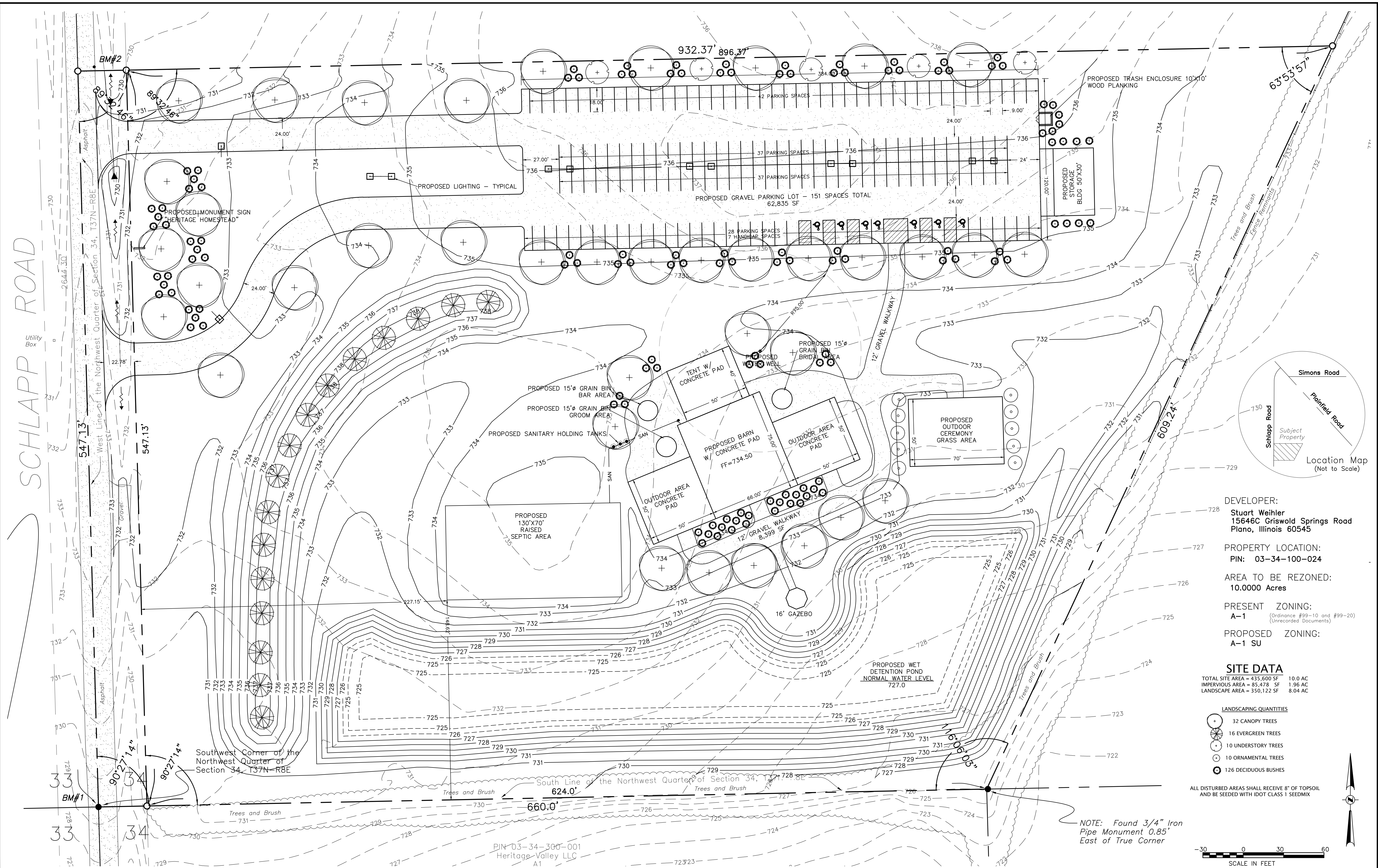
TEBRUGGE ENGINEERING
 410 E. CHURCH STREET - SUITE A SANDWICH, IL 60548
 PHONE: (815) 786-0195 TEBRUGGEENGINEERING.COM

NO.	DATE	NOTES

PREPARED FOR:
STUART WEIHLER
 15646C GRISWOLD SPRINGS RD PLANO, IL

HERITAGE HOMESTEAD - BANQUET CENTER
CIVIL SITE PLAN

PROJECT NO. 18 419 01
 SCALE: 1" = 30'
 DATE: 12/20/18
 SHEET NO. **1**
 OF 1 SHEETS



DEVELOPER:
 Stuart Wehler
 15646C Griswold Springs Road
 Plano, Illinois 60545

PROPERTY LOCATION:
 PIN: 03-34-100-024

AREA TO BE REZONED:
 10.0000 Acres

PRESENT ZONING:
 A-1 (Ordinance #99-10 and #99-20)
 (Unrecorded Documents)

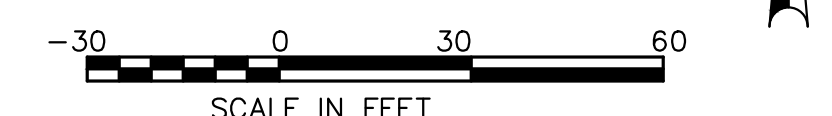
PROPOSED ZONING:
 A-1 SU

SITE DATA
 TOTAL SITE AREA = 435,600 SF 10.0 AC
 IMPERVIOUS AREA = 85,478 SF 1.96 AC
 LANDSCAPE AREA = 350,122 SF 8.04 AC

- LANDSCAPING QUANTITIES**
- 32 CANOPY TREES
 - 16 EVERGREEN TREES
 - 10 UNDERSTORY TREES
 - 10 ORNAMENTAL TREES
 - 126 DECIDUOUS BUSHES

ALL DISTURBED AREAS SHALL RECEIVE 8" OF TOPSOIL AND BE SEEDED WITH IDOT CLASS 1 SEEDMIX

NOTE: Found 3/4" Iron Pipe Monument 0.85' East of True Corner



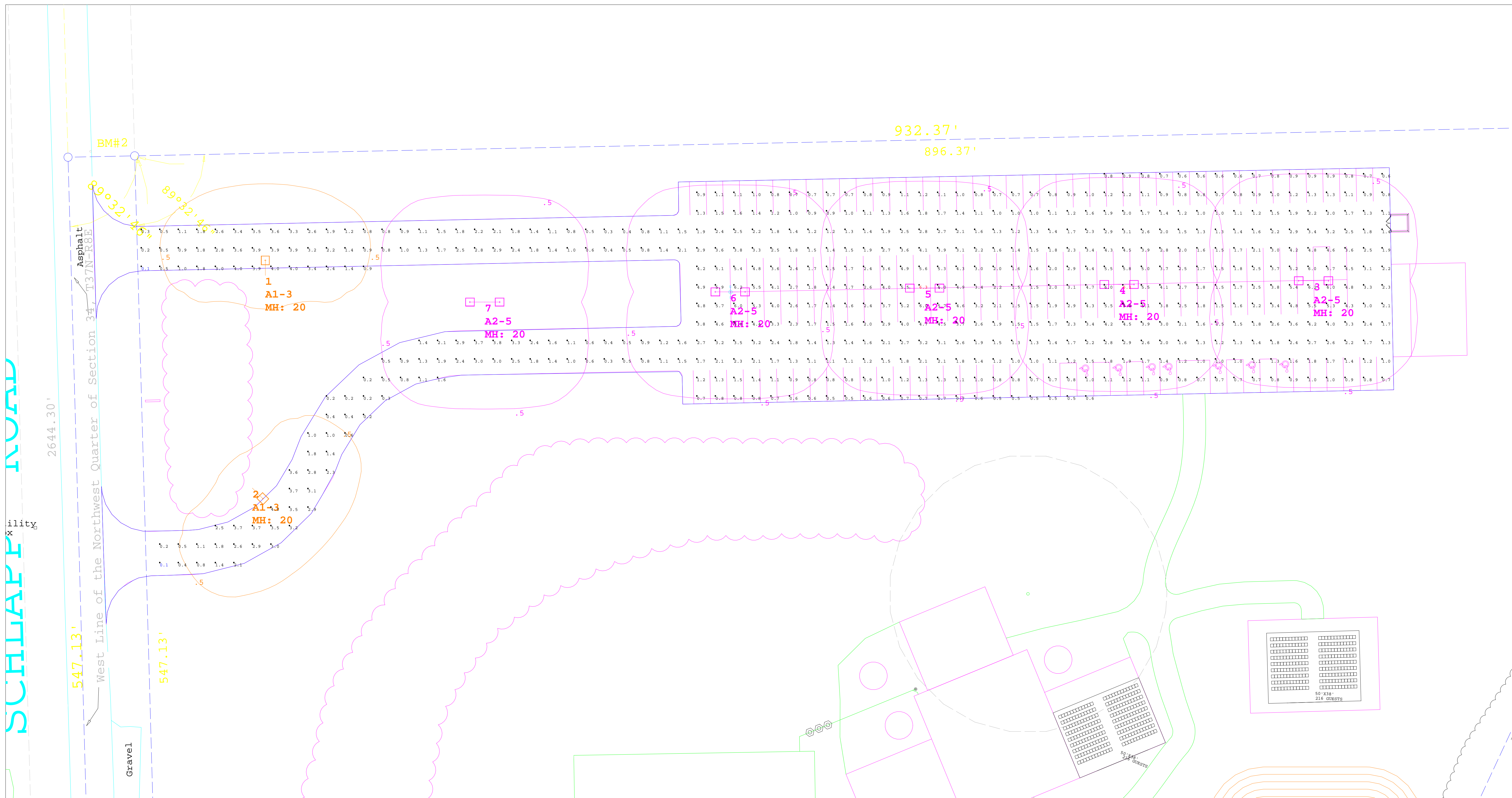
TEBRUGGE ENGINEERING
 410 E. CHURCH STREET - SUITE A SANDWICH, IL 60548
 PHONE: (815) 786-0195 TEBRUGGEENGINEERING.COM

NO.	DATE	NOTES

PREPARED FOR:
STUART WEHLER
 15646C GRISWOLD SPRINGS RD PLANO, IL

HERITAGE HOMESTEAD - BANQUET CENTER
LANDSCAPE PLAN

PROJECT NO. 18 419 01
 SCALE: 1" = 30'
 DATE: 12/20/18
 SHEET NO. 1
 OF 1 SHEETS



Scale: 1 inch = 25 Ft.

Luminaire Schedule

Symbol	Qty	Label	Arrangement	Lum. Watts	Arr. Watts	Lum. Lumens	Arr. Lum. Lumens	LLF	Description	Manufacturer
[Orange Square]	2	A1-3	SINGLE	132	132	15269	15269	0.900	AR18-20M2-MV-NW-3-XX-530 S	Leotek Electronics USA LLC., 1955 Lundy Ave.,
[Pink Square]	5	A2-5	BACK-BACK	132	264	15209	30418	0.900	AR18-20M2-MV-NW-5-XX-530 S	Leotek Electronics USA LLC., 1955 Lundy Ave.,

Calculation Summary

Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min	Readings Taken @
PARKING LOT_Planar	Illuminance	Fc	2.07	6.3	0.1	20.70	63.00	GRADE LEVEL

Luminaire Location Summary

LumNo	Label	X	Y	Z	Orient	Tilt
1	A1-3	8145.5	5616	20	90	0
2	A1-3	8138.5	5501	20	315	0
3	A2-5	8711.5	5613	20	0	0
4	A2-5	8606.5	5611	20	0	0
5	A2-5	8501.5	5609	20	0	0
6	A2-5	8396.5	5607	20	0	0
7	A2-5	8264	5601.5	20	0	0

Parking Lot Design Guide

	Basic (for typical conditions) lux/ftc	Basic Enhanced Security (in consideration of personal security or vandalism) lux/ftc	Security for public spaces lux/ftc	High Security for public spaces lux/ftc
Minimum Horizontal Illuminance (Measured on parking surface without any shadowing from any object)	2.0/0.2	5.0/0.5	10.0/1.0	30.0-60.0/3.0-6.0
Uniformity Ratio Maximum - to - Minimum	20:1	15:1	15:1	*4:1 *Avg-Min
Minimum Vertical Illuminance (for facial recognition measured at 5' above the parking surface at the point of lowest horizontal illuminance)	1.0/0.1	2.5/0.25	5.0-8.0/0.5-0.8	12-60/1.2-6.0

Recommendations based on RP-33-99, RP-20-98, 9th Edition IESNA Lighting Handbook

#	Date	Comments

Revisions

Drawn By: Jose Saucedo
 Drawn By: jose.saucedo@pg-enlighten.com
 Date: 12/19/2018
 Scale: 1" = 25'

Project Name:
Heritage Homestead Banquet Ctr
 Client Name:
 Zach Stevens - TEBRUGGE ENGINEERING

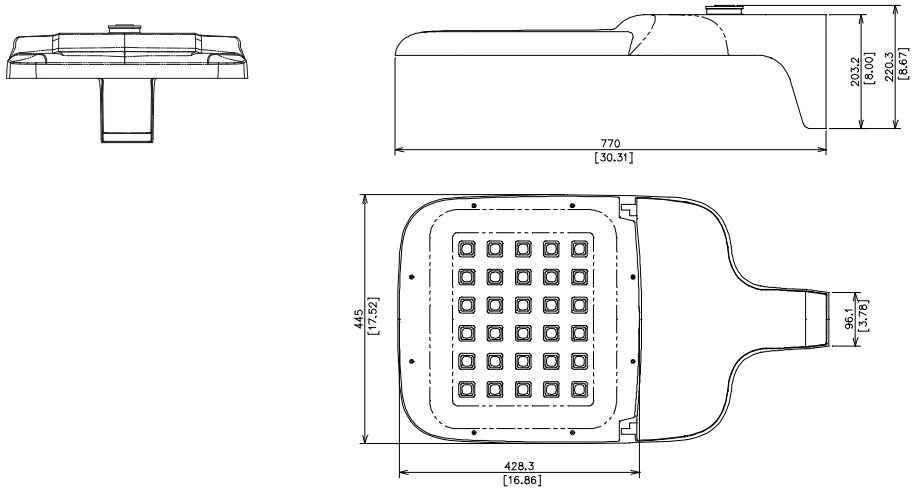
Page 1 of 1

ARIETA™ 18 Architectural LED Area Luminaire

AR18 M2 Series Specification Data Sheet

Luminaire Data

Weight 24 lbs [10.9 kg]
EPA 0.55 ft²



Ordering Information

Sample Catalog No. AR18 20M2 MV NW 3 DB 700 HSS

Product	LED Code	Voltage	Nominal Color Temperature	Distribution	Finish ¹	Drive Current Code ²	Options
AR18	6M2	MV 120-277V	WW 3000K	2 Type 2	BK Black	350	HSS ³ House Side Shield (Factory Installed)
	10M2	HV 347-480V	NW 4000K	3 Type 3	DB Dark Bronze	530	FDC ⁴ Fixed Drive Current
	15M2		CW 5000K	4 Type 4	WH White	700	FFA ⁵ Full Field Adjustability
	18M2			5 Type 5	GY Gray		PCR ⁶ NEMA Photocontrol Receptacle
	20M2				NA Natural Aluminum		PCR7 ⁶ ANSI 7-wire Photocontrol Receptacle
	24M2						PCR7-CR ⁷ Control Ready 7-wire Photocontrol Receptacle
	30M2						MSL7 ⁸ Motion Sensor with L7 Lens MSL3 ⁸ Motion Sensor with L3 Lens PND1 ⁹ Part-Night Dimming PND2 ⁹ Part-Night Dimming PND3 ⁹ Part-Night Dimming ORR Optics Rotated Right ORL Optics Rotated Left WL Utility Wattage Label

Notes:

- Black, Dark Bronze, White, Gray, or Natural Aluminum standard. Consult factory for other finishes.
- Specified drive current code is the factory set maximum drive current. Field adjustable current selector enables standard dimming to lower wattage drive currents only. Consult factory if wattage limits require a special drive current.
- Flush mounted shield factory installed, also available for field installation. House Side Shield cuts light off at 1/2 mounting height behind luminaire.
- Non-field adjustable drive current. Specify 350mA, 530mA or 700mA setting.
- The FFA option enables full field adjustability from the specified drive current code to all drive currents available. This option is not DLC qualified.
- Field adjustable current selector included to enable standard dimming to lower wattage drive currents only. Field changeable connectors included to enable connection to PCR7 (wireless node dimming is disabled by default).
- Control-ready wired at factory for wireless node dimming. Supplied at maximum drive current. If lower drive current is required, consult factory.
- Motion Sensor available with MV or HV. See L7 or L3 Lens coverage details on page 5. Consult factory for MS specified with ANSI 7-wire Photocontrol Receptacle. PCR option is required for On/Off control using light detection.
- For PND profile options see page 6. Only available with MV (120-277V).
- Specify Color (GY, DB, BK, WH, NA)
- Specify MV (120-277V) or HV (347V or 480V)

Accessories*	
HSSAR18 ^{3,10}	House Side Shield
RPA ¹⁰	Round Pole Adapter
PTF1 ¹⁰	Square Pole Top Fitter Single
PTF2 ¹⁰	Square Pole Top Fitter Twin at 180°
PTF4 ¹⁰	Square Pole Top Fitter Quad
WM ¹⁰	Wall Mount
BSK	Bird Deterrent Spider Kit
LLPC ¹¹	Long-Life Twist Lock Photocontrol
SC	Twist Lock Shorting Cap
FSIR100	Motion Sensor Configuration Tool

*Accessories are ordered separately and not to be included in the catalog number

Luminaire Specifications

Housing

Die cast aluminum housing with universal mounting design allows for attachment to existing pole without redrilling for retrofit applications. Aluminum housing provides passive heat-sinking of the LEDs and has upper surfaces that shed precipitation. Mounting provisions meet 3G vibration per ANSI C136.31-2010 Normal Application, Bridge & Overpass. Electrical components are accessed without tools and are mounted on removable power door.

Light Emitting Diodes

Hi-flux/Hi-power white LEDs produce a minimum of 90% of initial intensity at 100,000 hours of life based on IES TM-21. LEDs are tested in accordance with IES LM-80 testing procedures. LEDs have correlated color temperature of 3000K (WW), 4000K (NW), or 5000K (CW) and 70 CRI minimum. LEDs are 100% mercury and lead free.

Field Adjustability

LED drive current can be changed in the field to adjust light output for local conditions (not available with PCR7-CR option). The specified drive current code will be the factory set maximum drive current and field adjustments can only be made to available lower wattage drive currents. Select the FFA option if full field adjustability to all available drive currents (700mA max) is desired. The FFA option is not DLC qualified.

Quality Control

Every luminaire is performance tested before and after a 2-hour burn-in period. Assembled in the USA.

Optical Systems

Micro-lens optical systems produce IESNA Type 2, Type 3, Type 4 or Type 5 distributions and are fully sealed to maintain an IP66 rating. Luminaire produces 0% total lumens above 90° (BUG Rating, U=0). Optional house side shield (HSS) cuts light off at 1/2 mounting height behind luminaire. Optics may be rotated right or left with options ORR/ORL, respectively.

Electrical

Rated life of electrical components is 100,000 hours. Uses isolated power supply that is 1-10V dimmable. Power supply is wired with quick-disconnect terminals. Power supply features a minimum power factor of .90 and <20% Total Harmonic Distortion (THD). EMC meets or exceeds FCC CFR Part 15. Terminal block accommodates 6 to 14 gauge wire. Surge protection complies with IEEE/ANSI C62.41 Category C High, 20kV/10kA and ANSI C136.2-2015, 20kV/10kA.

Controls

3-Wire photocontrol receptacle (PCR) is available. ANSI C136.41 or 7-wire (PCR7) photocontrol receptacles are available. All photocontrol receptacles have tool-less rotatable bases. Wireless control module is provided by others.

Finish

Housing receives a fade and abrasion resistant polyester powder coat finish with 3.0 mil nominal thickness. Finish tested to withstand 5000 hours in salt spray exposure per ASTM B117. Finish meets scribe creepage rating 8 per ASTM D1654. Finish tested 500 hours in UV exposure per ASTM G154 and meets ASTM D523 gloss retention.

Listings/Ratings/Labels

Luminaires are UL listed for use in wet locations in the United States and Canada. DesignLights Consortium™ qualified product. Consult DLC QPL for Standard and Premium Classification Listings. International Dark Sky Association listed. Luminaire is qualified to operate at ambient temperatures of -40°C to 40°C.

Photometry

Luminaire photometrics are tested by certified independent testing laboratories in accordance with IES LM-79 testing procedures.

Warranty

10-year limited warranty is standard on luminaire and components. 5-year limited warranty on luminaires and components with a motion sensor.

Standards

Luminaire complies with:

ANSI: C136.2, C136.3, C136.10, C136.13, C136.15, C136.22, C136.31, C136.35, C136.37, C136.41, C62.41, C78.377, C82.77

Other: FCC 47 CFR, IEC 60598, ROHS II, UL 1449, UL 1598

Performance Data 3000K (WW)

All data nominal. IES files are available at leotek.com.

LED Code	Current Code	System Wattage (W)	Type 2, 3, 4		Type 5	
			Delivered Lumens (Lm) ¹	Efficacy (Lm/W)	Delivered Lumens (Lm) ¹	Efficacy (Lm/W)
6M2	350	29	2930	101	2750	95
	530	41	4110	99	3860	93
	700	54	5040	94	4950	92
10M2	350	41	4600	112	4500	109
	530	63	6700	106	6600	104
	700	87	8500	97	8400	96
15M2	350	63	7400	117	7300	116
	530	90	9600	107	9500	106
	700	124	12900	104	12700	102
18M2	350	81	9000	111	9100	112
	530	122	12800	105	13000	107
	700	160	16400	103	16700	104
20M2	350	84	10700	127	10800	129
	530	132	15300	116	15500	117
	700	172	18200	106	18500	108
24M2	350	98	10700	109	10800	110
	530	152	15300	100	15500	102
	700	209	19500	93	19900	95
30M2	350	133	14300	107	14500	109
	530	202	20400	101	20600	102
	700	262	24500	93	24800	95

Notes:

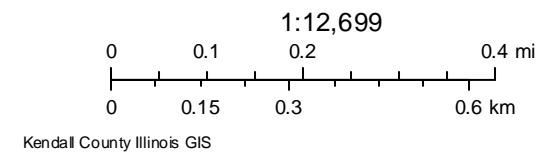
1 Normal tolerance ± 10% due to factors including distribution type, LED bin variance, driver variance, and ambient temperatures.

Attachment 6



December 21, 2018

- | | | |
|--------------|--------------|--------------|
| — Arrow 100 | — FromTo 400 | — Tip 100 |
| — Arrow 400 | — Hook 100 | — Tip 400 |
| — FromTo 100 | — Hook 400 | — Road Names |



Attachment 7 Looking Northeast



Attachment 8 Looking East



Attachment 9 Looking South



Attachment 10 Looking Northwest



Attachment 11 Looking West



Attachment 12 Looking Southwest

