

ORDINANCE NUMBER 2019 - 38

**GRANTING A VARIANCE TO THE KEDALL COUNTY
STORMWATER MANAGEMENT ORDINANCE FOR THE PROPERTY IDENTIFIED BY
PARCEL IDENTIFICATION NUMBERS 05-01-300-004, 05-02-400-029, 05-02-400-030, 05-02-200-
007, 05-02-200-003 AND 05-02-200-006 LOCATED AT 6350 MINKLER ROAD IN KENDALL
TOWNSHIP AND OWNED BY THE KENDALL COUNTY FOREST PRESERVE DISTRICT
AND ALSO KNOWN AS THE PICKERILL PIGOT FOREST PRESERVE**

WHEREAS, Section 900 of the Kendall County Stormwater Management Ordinance allows the County to grant variances from strict compliance with specific provisions of said Ordinance when such compliance is impossible or impracticable; and

WHEREAS, Section 906 of the Kendall County Stormwater Management Ordinance allows the County to impose conditions or limitations on the granting of a variance; and

WHEREAS, the Kendall County Forest Preserve District has submitted an application for a variance to Section 203.1 of the Kendall County Stormwater Management Ordinance regarding applicability of site runoff storage requirements; and

WHEREAS, the property impacted by the variance is identified by parcel identification numbers 05-01-300-004, 05-02-400-029, 05-02-400-030, 05-02-200-007, 05-02-200-003 and 05-02-200-006 and is located at 6350 Minkler Road in Kendall Township, the legal description of the property is attached hereto as Exhibit A; and

WHEREAS, the property is owned by the Kendall County Forest Preserve District and is also known as the Pickerill Pigot Forest Preserve; and

WHEREAS, the petitioner desires to create a pond trail, shelter, and parking area that will create new impervious surface totaling 484,115 square feet and a total development area of 312,348 square feet at the site; and

WHEREAS, the proposed development is for public use and the development of the forest preserve is planned, funded and facilitated as a public forest preserve by the Kendall County Forest Preserve District; and

WHEREAS, the Kendall County Forest Preserve District desires to protect local environmental resources including native trees; and

WHEREAS, all following due and proper notice by publication in the Kendall County Record on November 14, 2019, the Kendall County Stormwater Management Oversight Committee conducted a public hearing on December 12, 2019, at 4:00 p.m., in the County Office Building at 111 W. Fox Street in Yorkville, at which the Kendall County Forest Preserve's representatives presented evidence, testimony, and exhibits in support of the requested variance and one member of the public testified in favor of the request and zero members of the public testified in opposition to the request; and

WHEREAS, based on the evidence, testimony, and exhibits, the Kendall County Stormwater Management Oversight Committee has made their Findings of Fact and recommended approval of the variance with conditions as set forth in the Findings of Fact and Recommendation of the Kendall County Stormwater Management Oversight Committee, dated December 12, 2019, a true and correct copy of which is attached hereto as Exhibit B; and

WHEREAS, this variance shall be treated as a covenant running with the land and is binding on the successors, heirs, and assigns as to the same special use conducted on the property; and

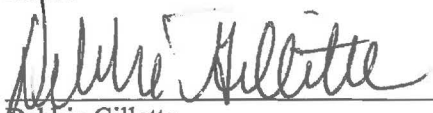
WHEREAS, the Kendall County Board has considered the standards and finds that said petition is in conformance with the provisions and intent of the Kendall County Stormwater Management Ordinance.

NOW, THEREFORE, BE IT ORDAINED, BY THE COUNTY BOARD OF KENDALL COUNTY, ILLINOIS, as follows:

1. The Findings of Fact and Recommendation of the Kendall County Stormwater Management Oversight Committee attached hereto as Exhibit B is hereby accepted and the Findings of Fact set forth therein are hereby adopted as the Findings of Fact and Conclusions of this Kendall County Board.
2. The Kendall County Board hereby grants approval of the Kendall County Forest Preserve's petition for a variance to Section 203.1 of the Kendall County Stormwater Management Ordinance regarding applicability of site runoff storage requirements subject to the following conditions:
 - A. The site shall be developed substantially in accordance with the attached site plan, attached hereto as Exhibit C.
 - B. The property owner shall follow all applicable Federal, State, and Local laws related to the development of this property as a forest preserve.
 - C. Failure to comply with one or more of the above conditions or restrictions could result in the amendment or revocation of this variance
 - D. If one or more of the above conditions is declared invalid by a court of competent jurisdiction, the remaining conditions shall remain valid.

IN WITNESS OF, this Ordinance has been enacted by majority vote of the Kendall County Board this 17th day of December, 2019.

Attest:


Debbie Gillette
Kendall County Clerk



Scott R. Gryder
Kendall County Board Chairman

Exhibit A Legal Description

LEGAL DESCRIPTION OF 26.9511 ACRE TRACT: That part of the East Half of Section 2, Township 36 North, Range 7 East of the Third Principal Meridian described as follows: Commencing at the Southeast Corner of the Southeast Quarter of said Section 2; thence North 00°30'37" West, along the East Line of said Southeast Quarter, 2159.16 feet for a point of beginning; thence North 00°30'37" West, along said East Line, 148.77 feet to the Southerly Line of a Tract conveyed to Penelope P. Dann by Warranty Deed recorded as Document 200600023830 on August 4, 2006; thence North 62°08'01" West, along said Southerly Line, 490.95 feet; thence North 60°57'37" West, along said Southerly Line, 893.98 feet; thence North 63°57'06" West, along said Southerly Line, 460.90 feet; thence North 89°25'50" West, along said Southerly Line, 303.18 feet to the Northeasterly Corner of a Tract conveyed to Five H, L.L.C. and described as Parcel One in a Warranty Deed recorded as Document 200100001972 on February 7, 2001; thence South 29°25'53" West, along the Easterly Line of said Five H, L.L.C. Tract, being also a Westerly Line of a Tract conveyed to Kenneth and Jacqueline Pickerill by Warranty Deed recorded as Document 71-3447 on September 14, 1971, a distance of 816.77 feet to a line drawn North 82°31'47" West from the point of beginning, being also the Southerly Line of said Pickerill Tract; thence South 82°31'47" East, along said Southerly Line of said Pickerill Tract, 2355.52 feet to the point of beginning in Kendall Township, Kendall County, Illinois, and containing 26.9511 acres.

LEGAL DESCRIPTION OF TRACT "A": That part of the East Half of Section 2, Township 36 North, Range 7 East of the Third Principal Meridian described as follows: Commencing at the Southeast Corner of the Southeast Quarter of said Section 2; thence North 00°30'37" West, along the East Line of said Southeast Quarter, 2159.16 feet; thence North 00°30'37" West, along said East Line, 148.77 feet to the Southerly Line of a Tract conveyed to Penelope P. Dann by Warranty Deed recorded as Document 200600023830 on August 4, 2006; thence North 62°08'01" West, along said Southerly Line, 490.95 feet; thence North 60°57'37" West, along said Southerly Line, 893.98 feet; thence North 63°57'06" West, along said Southerly Line, 460.90 feet; thence North 89°25'50" West, along said Southerly Line, 303.18 feet to the Northeasterly Corner of a Tract conveyed to Five H, L.L.C. and described as Parcel One in a Warranty Deed recorded as Document 200100001972 on February 7, 2001, for a point of beginning; thence South 89°25'50" East, along the Southerly Line of said Dann Tract, 35.85 feet; thence South 55°21'45" East, 382.62 feet; thence South 26°32'02" East, 172.35 feet; thence South 86°43'02" East, 262.44 feet; thence South 03°16'58" West, 157.48 feet; thence South 40°21'04" East, 142.24 feet; thence South 49°38'56" West, 103.0 feet; thence North 60°10'23" West, 278.28 feet; thence North 23°26'07" West, 379.50 feet; thence North 55°21'45" West, 378.87 feet to the Easterly Line of said Five H, L.L.C. Tract; thence North 29°25'53" East, along said Easterly Line, 20.0 feet to the point of beginning in Kendall Township, Kendall County, Illinois, and containing 2.3808 acres.

LEGAL DESCRIPTION: That part of the East Half of Section 2, Township 36 North, Range 7 East of the Third Principal Meridian described as follows: Commencing at the Southwest Corner of the Southeast Quarter of said Section 1; thence North 00°30'57" West, along the East Line of the West Half of said Section, 713.80 feet; thence South 65°34'48" West, 298.72 feet; thence South 88°31'15" West, 1516.20 feet to an iron pipe monument; thence North 88°45'06" West, 30.47 feet to an iron pipe monument on the line of a fence extended from the North, being the Westerly Line of a Tract conveyed to Boughton Trucking and Materials, Inc. and described in Warranty Deed recorded as Document No. 9806174 on May 13, 1998; thence North 88°45'06" West, along a Southerly Line of a Tract described as Parcel One conveyed to John C. Pigott by Warranty Deed recorded as Document No. 70-3330 on November 24, 1970, a

distance of 234.73 feet to an iron pipe monument; thence North 81°37'02" West, along said Southerly Line, 567.36 feet to an iron pipe monument on the East Line of said Section 2; thence North 00°30'37" West, along said East Line of said Section, 1612.69 feet for the point of beginning; thence North 62°08'01" West, 468.94 feet to an iron pipe monument on the Westerly Line of said Pigott Parcel One; thence North 60°57'37" West, along the Southerly Line of a Tract described as Parcel Three conveyed to John C. Pigott by Warranty Deed recorded as Document No. 70-3330 on November 24, 1970, a distance of 894.61 feet to an iron pipe monument; thence North 63°57'06" West, along said Southerly Line, 470.98 feet to an iron pipe monument; thence North 89°25'50" West, along said Southerly Line, 389.56 feet to an iron pipe monument; thence North 65°56'44" West, along said Southerly Line, 593.30 feet to the centerline of Minkler Road; thence South 28°28'49" West, along said centerline, 40.12 feet to a point on a line which is 40.0 feet southerly of and parallel with the last described course; thence South 65°56'44" East, along a line which is 40.0 feet southerly of and parallel with said Southerly Line, 604.71 feet to an iron pipe monument; thence South 89°25'50" East, along a line which is 40.0 feet southerly of and parallel with said Southerly Line, 388.83 feet; thence South 63°57'06" East, along a line which is 40.0 feet southerly of and parallel with said Southerly Line, 460.90 feet; thence South 60°57'37" East, along a line which is 40.0 feet southerly of and parallel with said Southerly Line, 893.98; thence South 62°08'01" East, along a line which is 40.0 feet southerly of and parallel with a Southerly Line of said Pigott Parcel One, 490.95 feet to said East Line of Section 2; thence North 00°30'37" West, along said East Line, 45.46 feet to the point of beginning the Kendall Township, Kendall County, Illinois and containing 2.5972 acres.

LEGAL DESCRIPTION OF PARCEL ONE: That part of the West Half of Section 1 and that part of the East Half of Section 2, Township 36 North, Range 7 East of the Third Principal Meridian described as follows: Commencing at the Southwest Corner of the Southeast Quarter of said Section 1; thence North 00°30'57" West, along the East Line of the West Half of said Section, 713.80 feet; thence South 65°34'48" West, 298.72 feet; thence South 88°31'15" West, 1516.20 feet to an iron pipe monument; thence North 88°45'06" West, 30.47 feet to an iron pipe monument on the line of a fence extended from the North, being the Westerly Line of a Tract conveyed to Boughton Trucking and Materials, Inc. and described in Warranty Deed recorded as Document No. 9806174 on May 13, 1998, for the point of beginning; thence North 88°45'06" West, along a Southerly Line of a Tract described as Parcel One conveyed to John C. Pigott by Warranty Deed recorded as Document No. 70-3330 on November 24, 1970, a distance of 234.73 feet to an iron pipe monument; thence North 81°37'02" West, along said Southerly Line, 567.36 feet to an iron pipe monument on the West Line of said Section 1; thence North 00°30'37" West, along said West Line of said Section, 1612.69 feet; thence North 62°08'01" West, 468.94 feet to an iron pipe monument on the Westerly Line of said Pigott Parcel One; thence North 13°41'35" East, along said Westerly Line of Pigott Parcel One, 928.57 feet to an iron pipe monument; thence South 60°32'16" East, along a Northerly Line of said Pigott Parcel One, 543.30 feet to an iron pipe monument; thence South 16°09'32" West, along an Easterly Line of said Pigott Parcel One, 120.38 feet to an iron pipe monument; thence South 65°59'24" East, along a Northerly Line of said Pigott Parcel One, 554.81 feet to an iron pipe monument; thence North 12°57'59" East, along a Westerly Line of said Pigott Parcel One, 213.97 feet to an iron pipe monument; thence South 72°00'40" East, along a Northerly Line of said Pigott Parcel One, 795.71 feet to an iron pipe monument on said Westerly Line of the Boughton Trucking Tract; thence South 25°44'00" West, along said Westerly Line of the Boughton Trucking Tract, 1027.44 feet to an iron pipe monument; thence North 86°44'00" West, along a Northerly Line of said Boughton Trucking Tract, 314.07 feet to an iron pipe monument; thence South 00°36'46" East, along said Westerly Line of the Boughton Trucking Tract, 1268.42 feet to the point of beginning in Kendall Township, Kendall County, Illinois and containing 64.247 acres. LEGAL

DESCRIPTION OF PARCEL TWO: That part of the East Half of Section 2, Township 36 North, Range 7 East of the Third Principal Meridian described as follows: Commencing at the Southwest Corner of the Southeast Quarter of said Section 1; thence North 00°30'57" West, along the East Line of the West Half of said Section, 713.80 feet; thence South 65°34'48" West, 298.72 feet; thence South 88°31'15" West, 1516.20 feet to an iron pipe monument; thence North 88°45'06" West, 30.47 feet to an iron pipe monument on the line of a fence extended from the North, being the Westerly Line of a Tract conveyed to Boughton Trucking and Materials, Inc. and described in Warranty Deed recorded as Document No. 9806174 on May 13, 1998; thence North 88°45'06" West, along a Southerly Line of a Tract described as Parcel One conveyed to John C. Pigott by Warranty Deed recorded as Document No. 70-3330 on November 24, 1970, a distance of 234.73 feet to an iron pipe monument; thence North 81°37'02" West, along said Southerly Line, 567.36 feet to an iron pipe monument on the West Line of said Section 1; thence North 00°30'37" West, along said West Line of said Section, 1612.69 feet; thence North 62°08'01" West, 468.94 feet to an iron pipe monument on the Westerly Line of said Pigott Parcel One for the point of beginning; thence North 60°57'37" West, along the Southerly Line of a Tract described as Parcel Three conveyed to John C. Pigott by Warranty Deed recorded as Document No. 70-3330 on November 24, 1970, a distance of 894.61 feet to an iron pipe monument; thence North 63°57'06" West, along said Southerly Line, 470.98 feet to an iron pipe monument; thence North 89°25'50" West, along said Southerly Line, 389.56 feet to an iron pipe monument; thence North 65°56'44" West, along said Southerly Line, 593.30 feet to the centerline of Minkler Road; thence North 29°46'26" East, along said centerline, 33.17 feet to a point on a line which is 33.0 feet north of and parallel with the last described course, being the Northerly Line of said Pigott Parcel Three; thence South 65°56'44" East, along said Northerly Line, 583.13 feet to an iron pipe monument; thence South 89°25'50" East, along said Northerly Line, 390.16 feet to an iron pipe monument; thence South 63°57'06" East, along said Northerly Line, 479.31 feet to an iron pipe monument; thence South 60°57'37" East, along said Northerly Line, 886.42 feet to the Easterly Line of said Pigott Parcel Three; thence South 13°41'35" West, 34.22 feet to the point of beginning in Kendall Township, Kendall County, Illinois and containing 1.776 acres.

Exhibit B

The Kendall Stormwater Management Oversight Committee approved the following Findings of Fact and Recommendation at their meeting on December 12, 2019, by a vote of nine (9) in favor and zero (0) in opposition. Member Flowers was absent.

FINDINGS OF FACT

The variance will not increase the probability of flood damage or create an additional threat to the public health, safety or welfare.

The variance requested is the minimum relief necessary to accomplish the objectives of the development without compromising the objectives of Section 102 of the Kendall Stormwater Management Ordinance.

The variance will not result in a reduction of water quality benefits as compared to compliance with ordinance requirements.

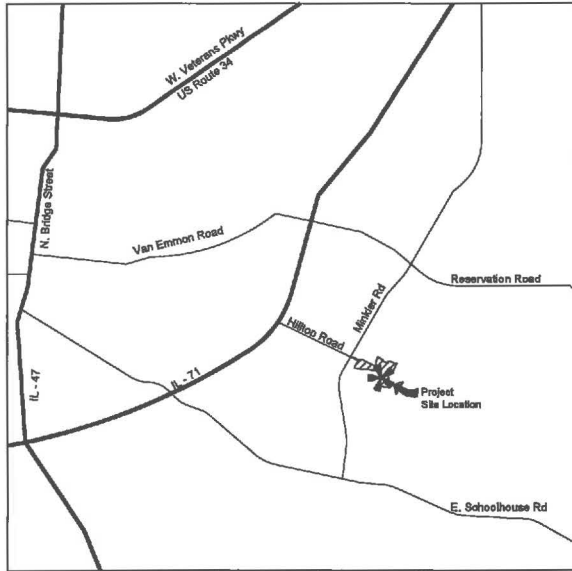
The variance is not requested solely for the purpose of reducing site runoff storage requirements.

The variance shall not cause conveyance of stormwater from the project to increase peak discharges beyond design capacity of existing offsite conveyance facilities for any storm event from the 2-year to the 100-year recurrence frequency.

RECOMMENDATION

Approval with the following conditions and restrictions:

1. The site shall be developed substantially in accordance with the submitted site plan.
2. The property owner shall follow all applicable Federal, State, and Local laws related to the development of this property as a forest preserve.
3. Failure to comply with one or more of the above conditions or restrictions could result in the amendment or revocation of this variance.
4. If one or more of the above conditions is declared invalid by a court of competent jurisdiction, the remaining conditions shall remain valid.



LOCATION MAP

SCALE: not to scale



Pickerill Piggot Forest Preserve: Public Access Phase 1 OSLAD Development

6350 Minkler Road, Yorkville, Illinois 60560



Kendall County Forest Preserve District
110 W. Madison Street
Yorkville, IL 60560

Partially Funded by Illinois Department of Natural Resources
OSLAD Grant No. OS 19 - 2018

SHEET INDEX

- 1.0 Title Sheet
- 2.0 Existing Conditions & Removals Plan - Overall
- 2.1 Existing Conditions & Removals Plan - Entrance
- 2.2 Existing Conditions & Removals Plan - Shelter & Parking
- 2.3 Existing Conditions & Removals Plan - House
- 2.4 Existing Conditions & Removals Plan - Overlook
- 3.0 Layout Plan - Overall
- 3.1 Layout Plan - Entrance
- 3.2 Layout Plan - Shelter & Parking Lot
- 3.3 Layout Plan - House
- 3.4 Layout Plan - Overlook
- 4.0 Grading Plan - Overall
- 4.1 Grading Plan - Entrance
- 4.2 Grading Plan - Shelter & Parking Lot
- 4.3 Grading Plan - House
- 4.4 Grading Plan - Overlook
- 4.5 Erosion Control Plan
- 5.0 Construction Details
- 5.1 Construction Details
- 5.2 Construction Details

LANDSCAPE ARCHITECT:

uplandDesign Ltd
Landscape Architecture & Park Planning
1230 W. 18th St, Chicago, Illinois 60608
24042 Lockport St, Plainfield, Illinois 60544
815-254-0091 www.uplandDesign.com
IL License 060-007797

CIVIL ENGINEER:

Hey and Associates, Inc.
Engineering, Surveying and Landscape Architecture
26375 WEST COMMERCIAL DRIVE, SUITE 101
VOLO, ILLINOIS 60073
OFFICE (847) 740-4888
FAX (847) 740-3888
VOLO@HEYASOC.COM
IL License 184-002429

SURVEYOR:

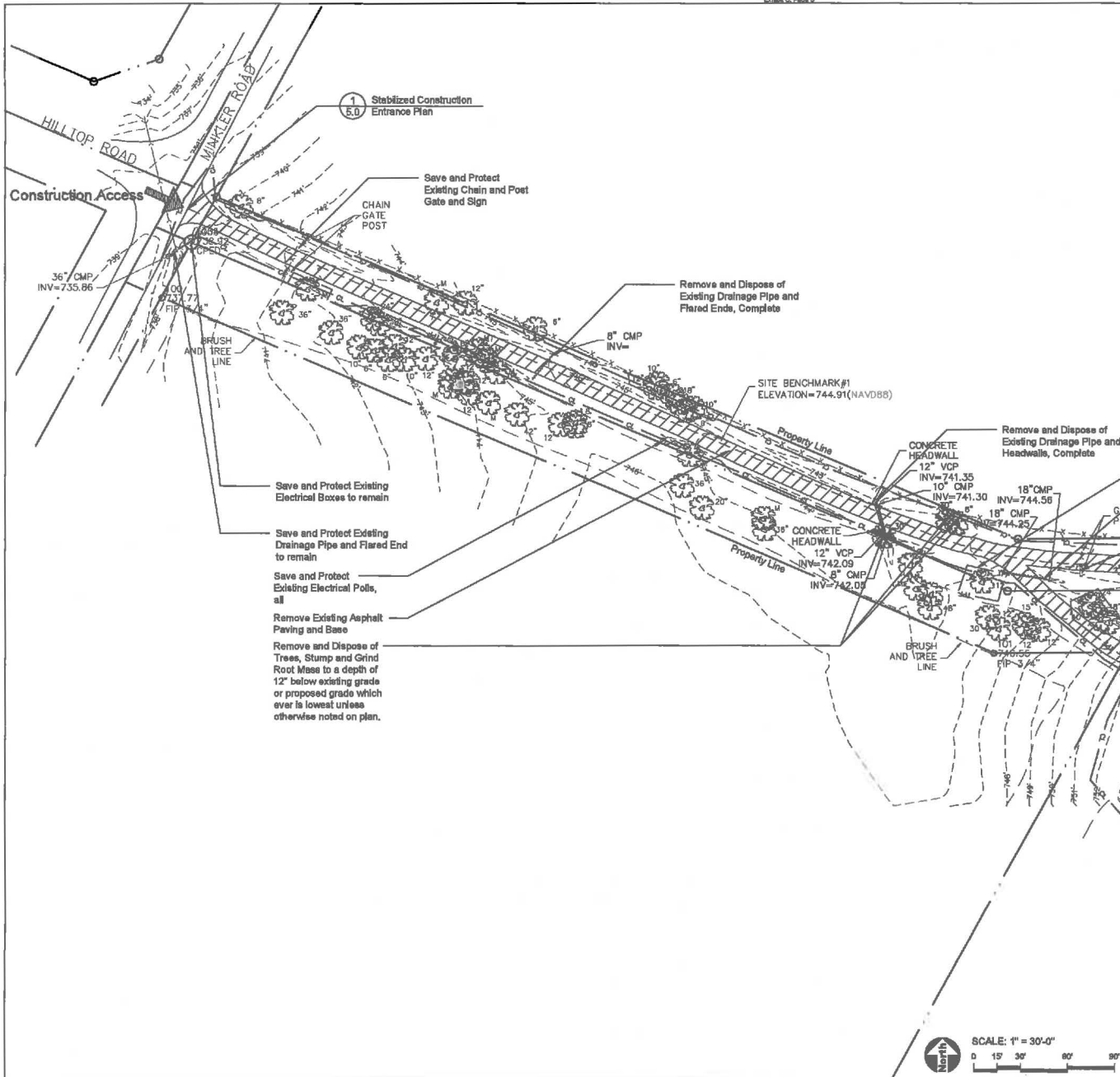
Prairie Land Survey Company
2342 Woodhill Court
Plainfield, Illinois
Phone: 815-341-0859











This project has been prepared by and reviewed by Licensed Landscape Architects:
Michelle A. Kelly # 157.001002
Heidi A. Wright # 157.002894
Marta Blood # 157.001911

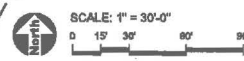
SHEET NUMBER **1.0**

NOT FOR CONSTRUCTION
Pickerill-Piggot Forest Preserve: Public Access
Phase 1 OSLAD Development
Project Number 737
October 10, 2013
874 Construction Documents
Copyright 2013 Upland Design Ltd.



REMOVALS LEGEND

-  Remove Existing Asphalt Paving and Base
-  Existing Gravel Drive to Remain
-  Remove and Dispose of Existing Corrugated Metal Pipes
-  Remove and properly dispose of trees, stump, and grind root mass to a depth of 12" below existing grade or proposed grade which ever is lowest unless otherwise noted on plan.
-  Remove and Dispose of Item as Marked
-  Tree Protection Fence
-  Construction Fence
-  SR Fence



110 W. Madison Street
 Yorkville, IL 60560
 Phone: 630-553-4025

PROJECT
Pickerill Piggot Forest Preserve: Public Access Phase 1 OSLAD Development
 8360 Minkler Road
 Yorkville, Illinois 60560

PROJECT TEAM

uplandDesign ltd
 Park Planning and Landscape Architecture
 24042 Lodgert St, Plainfield, Illinois 60544
 815-254-0091 www.uplanddesign.com

SURVEYOR
 Profile Land Survey Company
 2342 Woodhill Court
 Plainfield, Illinois
 Phone: 815-341-0859

CIVIL ENGINEER
 Hey and Associates, Inc.
 8755 W. Higgins Road, Suite 835
 Chicago, IL 60631
 Phone: 773-693-8200

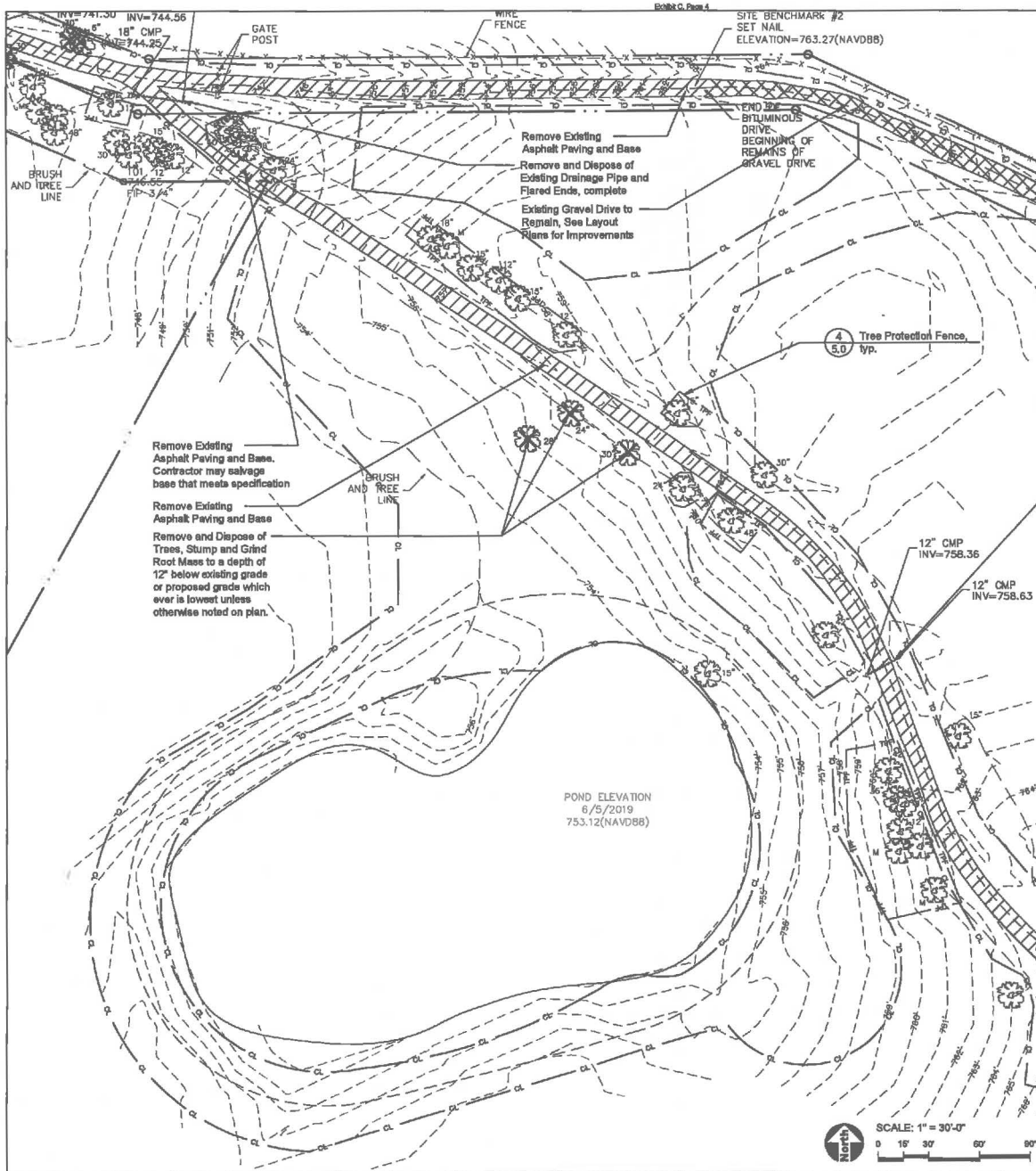
SHEET TITLE
Existing Conditions & Removals Plan - Entrance









SHEET NUMBER 2.1

DRAW / REVISION

NO.	DATE	BY	REVISION
1			NOT FOR CONSTRUCTION

Project Number 797
 Copyright 2018 Upland Design Ltd.
 W002-Active/Post Development - VCP P00B-CD-04
 11/12/2018 11:14



- REMOVALS LEGEND**
-  Remove Existing Asphalt Paving and Base
 -  Existing Gravel Drive to Remain
 -  Remove and Dispose of Existing Corrugated Metal Pipe
 -  Remove and properly dispose of trees, stump, and grind root mass to a depth of 12' below existing grade or proposed grade which ever is lowest unless otherwise noted on plan.
 -  Remove and Dispose of Item as Marked
 -  Tree Protection Fence
 -  Construction Fence
 -  5ft Fence



110 W. Madison Street
Yorkville, IL 60560
Phone: 839-653-4025

PROJECT
Pickerill Piggot Forest Reserve: Public Access Phase 1 OSLAD Development
 6350 Minkler Road
 Yorkville, Illinois 60560

PROJECT TEAM

uplandDesign ltd
 Park Planning and Landscape Architecture
 24043 Lakeside St., Plainfield, Illinois 60544
 815-254-0091 www.uplanddesign.com

SURVEYOR
 Prairie Land Survey Company
 2342 Woodchill Court
 Plainfield, Illinois
 Phone: 815-341-0859

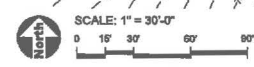
CIVIL ENGINEER
 Hay and Associates, Inc.
 8755 W. Higgins Road, Suite 835
 Chicago, IL 60631
 Phone: 773-683-8200

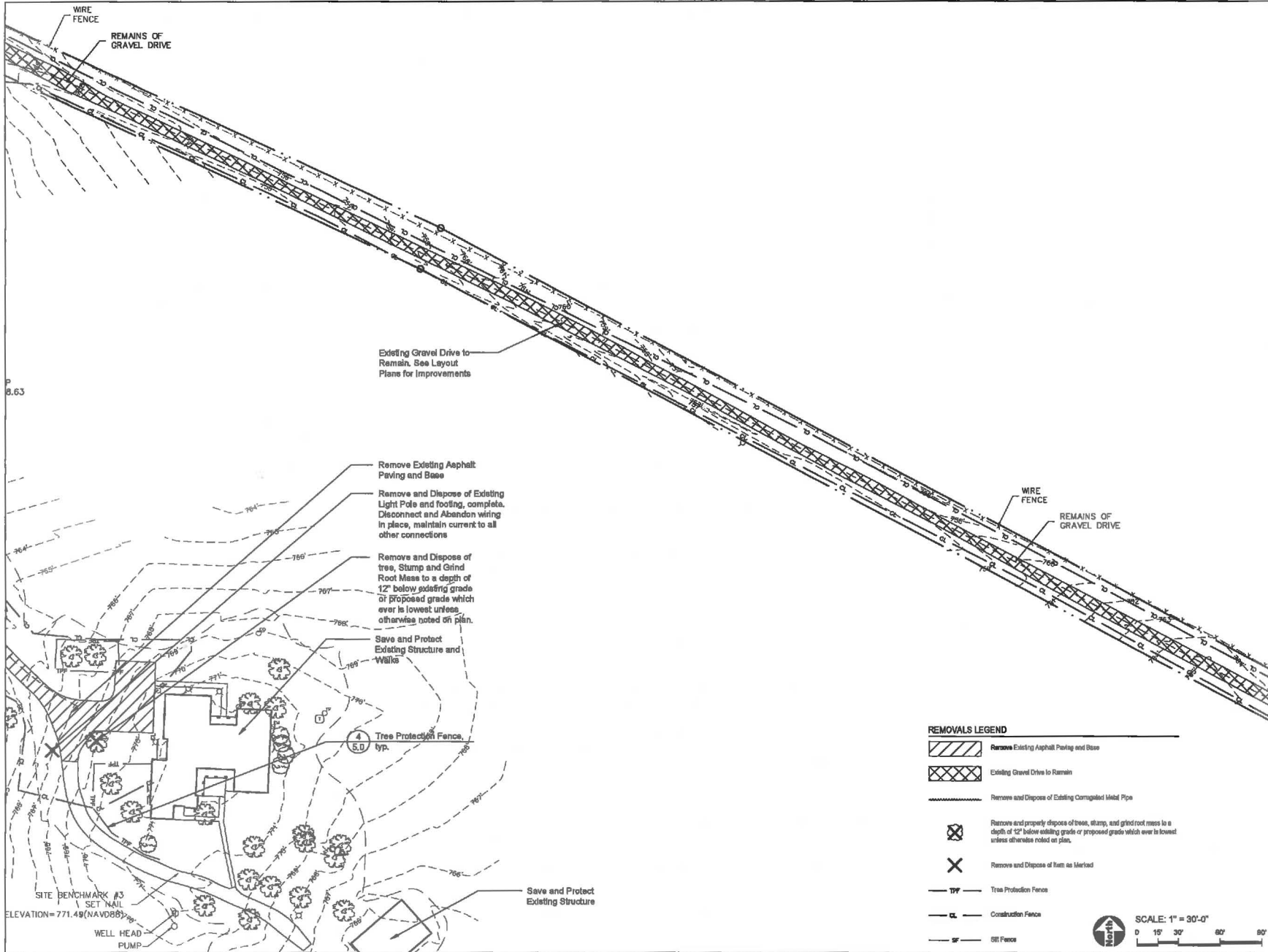
SHEET TITLE
Existing Conditions & Removals Plan - Shelter & Parking Lot
SHEET NUMBER 2.2

DRAW / REVISION

MS/D	95% Construction Documents 18OCT2018
	NOT FOR CONSTRUCTION

Project Number 737
 Copyright 2018 Upland Design Ltd.
 10230 Pickerill Piggot Forest Reserve - OSLAD Phase 1 - CD-Rev 1/1/2018





110 W. Madison Street
Yorkville, IL 60550
Phone: 830-593-4025

PROJECT
Pickerill Piggot
Forest Preserve:
Public Access
Phase 1 OSLAD
Development
 6350 Minkler Road
 Yorkville, Illinois 60550

PROJECT TEAM

uplandDesign Ltd
 Park Planning and Landscape Architecture
 26542 Lockport St, Plainfield, Illinois 60544
 815-298-0091 www.uplanddesign.com

SURVEYOR
 Prairie Land Survey Company
 2342 Woodhill Court
 Plainfield, Illinois
 Phone: 815-341-0859

CIVIL ENGINEER
 Hey and Associates, Inc.
 8735 W. Higgins Road, Suite 835
 Chicago, IL 60631
 Phone: 773-693-8200

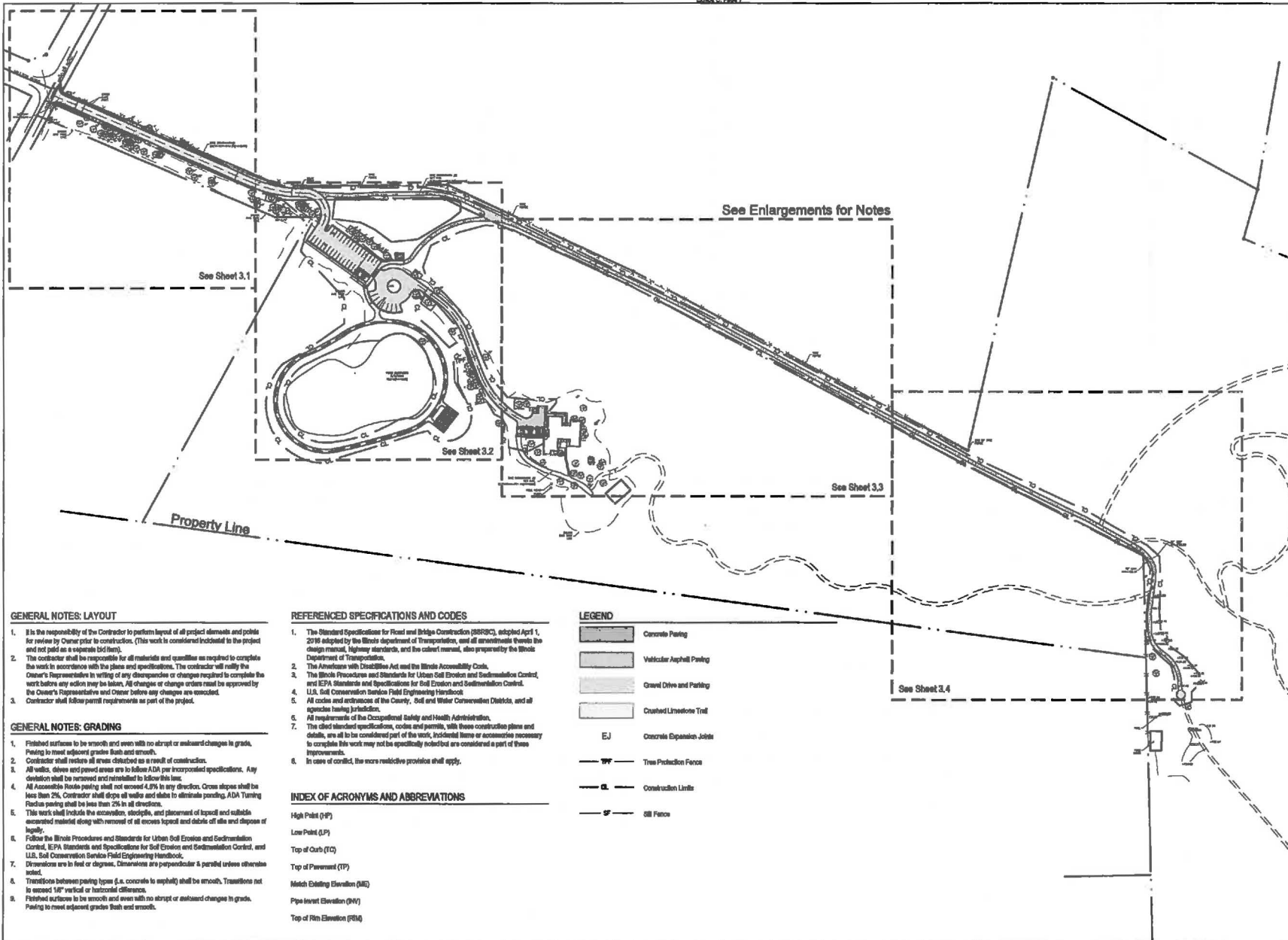
SHEET TITLE
Existing
Conditions &
Removals Plan
- House

SHEET NUMBER **2.3**

DRAW / REVISION

NO.	DATE	BY	REVISION

Project Number 237
 Copyright 2009 Upland Design Ltd.
 W:\2009\2009 Piggot Development\20090903-CD-001



GENERAL NOTES: LAYOUT

- It is the responsibility of the Contractor to perform layout of all project elements and points for review by Owner prior to construction. (This work is considered included in the project and not paid as a separate bid item).
- The contractor shall be responsible for all materials and quantities as required to complete the work in accordance with the plans and specifications. The contractor will notify the Owner's Representative in writing of any discrepancies or changes required to complete the work before any action may be taken. All changes or change orders must be approved by the Owner's Representative and Owner before any changes are executed. Contractor shall follow permit requirements as part of the project.

GENERAL NOTES: GRADING

- Finished surfaces to be smooth and even with no abrupt or unsmooth changes in grade. Paving to meet adjacent grades both and smooth.
- Contractor shall restore all areas disturbed as a result of construction.
- All walks, drives and paved areas are to follow ADA per incorporated specifications. Any deviation shall be reviewed and reinstalled to follow this law.
- All accessible (wheel-chair) shall not exceed 4.9% in any direction. Cross slopes shall be less than 2%. Contractor shall slope all walks and drives to eliminate ponding. ADA Turning Radius paving shall be less than 26' in all directions.
- This work shall include the excavation, striping, and placement of topsoil and subsoil excavated material along with removal of all excess topsoil and debris off site and disposal of legally.
- Follow the Illinois Procedures and Standards for Urban Soil Erosion and Sedimentation Control, EPA Standards and Specifications for Soil Erosion and Sedimentation Control, and U.S. Soil Conservation Service Field Engineering Handbook.
- Dimensions are in feet or degrees. Dimensions are perpendicular & parallel unless otherwise noted.
- Transitions between paving types (i.e. concrete to asphalt) shall be smooth. Transitions not to exceed 1/8" vertical or horizontal difference.
- Finished surfaces to be smooth and even with no abrupt or unsmooth changes in grade. Paving to meet adjacent grades both and smooth.

REFERENCED SPECIFICATIONS AND CODES

- The Standard Specifications for Road and Bridge Construction (SSRBC), updated April 1, 2016 adopted by the Illinois Department of Transportation, and all amendments thereto the design manual, highway standards, and the contractor manual, also prepared by the Illinois Department of Transportation.
- The Americans with Disabilities Act and the Illinois Accessibility Code.
- The Illinois Procedures and Standards for Urban Soil Erosion and Sedimentation Control, and EPA Standards and Specifications for Soil Erosion and Sedimentation Control.
- U.S. Soil Conservation Service Field Engineering Handbook
- All codes and ordinances of the County, Soil and Water Conservation Districts, and all agencies having jurisdiction.
- All requirements of the Occupational Safety and Health Administration.
- The cited referenced specifications, codes and manuals, with their construction plans and details, are all to be considered part of the work, incidental items or accessories necessary to complete this work may not be specifically noted but are considered a part of these improvements.
- In case of conflict, the more restrictive provision shall apply.

INDEX OF ACRONYMS AND ABBREVIATIONS

- High Point (HP)
- Low Point (LP)
- Top of Curb (TC)
- Top of Pavement (TP)
- Match Existing Elevation (ME)
- Pipe Invert Elevation (PIV)
- Top of Rim Elevation (RIM)

LEGEND

- Concrete Paving
- Vehicle Asphalt Paving
- Gravel Drive and Parking
- Coated Limestone Trail
- EJ Concrete Expansion Joints
- TP Tree Protection Fence
- CL Construction Limits
- SF Oil Fence

See Enlargements for Notes

See Sheet 3.1

See Sheet 3.2

See Sheet 3.3

See Sheet 3.4

Property Line

SCALE: 1" = 100'-0"
0 50' 100' 200' 300'



110 W. Madison Street
Yorkville, IL 60560
Phone: 630-553-4025

PROJECT
Pickerill Piggot Forest Preserve Public Access Phase 1 OSLAD Development

6350 Minkler Road
Yorkville, Illinois 60560

PROJECT TEAM

uplandDesign Ltd
Perk Planning and Landscapes Architecture
24042 Lockport St, Plainfield, Illinois 60544
615-254-0091 www.uplanddesign.com

SURVEYOR
Prairie Land Survey Company
2342 Woodhill Court
Plainfield, Illinois
Phone: 615-341-0659

CIVIL ENGINEER
Hay and Associates, Inc.
8755 W. Higgins Road, Suite 635
Chicago, IL 60631
Phone: 773-693-6200

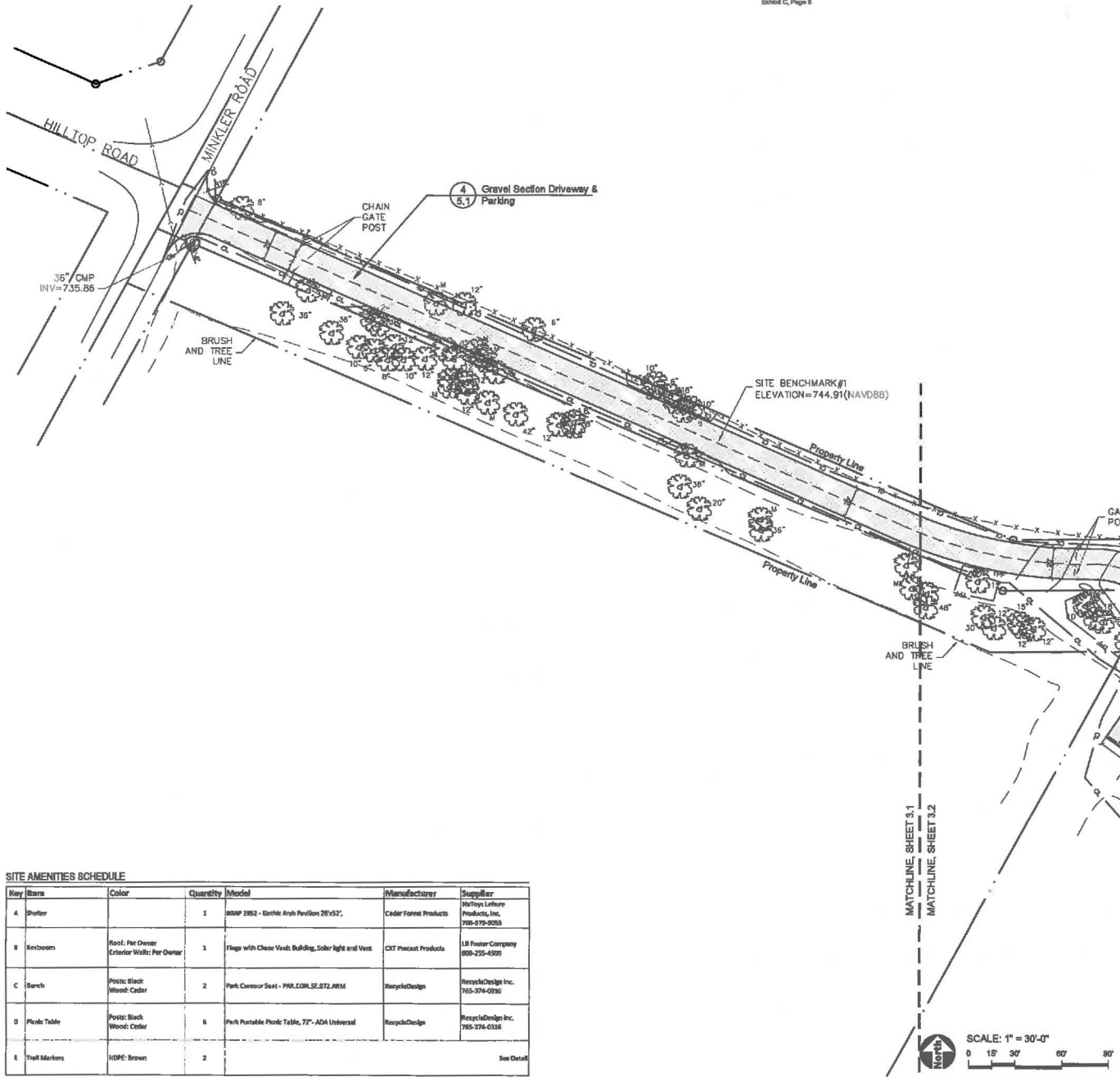
SHEET TITLE
Layout Plan - Overall

SHEET NUMBER 3.0

DRAW / REVISION

NO.	DATE	BY	REVISION

Project Number 237
Copyright 2019 Upland Design Ltd.
110 W. Madison Street, Yorkville, IL 60560



SITE AMENITIES SCHEDULE

Key	Item	Color	Quantity	Model	Manufacturer	Supplier
A	Shelter		1	804P 2852 - 2800K Ark Pavilion 28'x32'	Cedar Forest Products	Harvey Leisure Products, Inc. 718-379-9239
B	Restroom	Roof: Per Owner Exterior Walls: Per Owner	1	Flags with Cheese Veals Building, Solar light and Vent	OXI Precast Products	LB Foster Company 800-255-4599
C	Bench	Posts: Black Wood: Cedar	2	Park Contour Seat - P48LCON_SE_872_88M	RecycleDesign	RecycleDesign Inc. 765-374-0393
D	Picnic Table	Posts: Black Wood: Cedar	8	Park Portable Picnic Table, 72" ADA Universal	RecycleDesign	RecycleDesign Inc. 765-374-0316
E	Trail Markers	HDPE - Brown	2			See Detail

LEGEND

- Concrete Paving
- Vehicular Asphalt Paving
- Gravel Drive and Parking
- Crushed Limestone Trail
- Concrete Expansion Joints
- Tree Protection Fences
- Curb/Landmark Limits
- SF Fence



110 W. Madison Street
Yorkville, IL 60560
Phone: 830-553-4025

PROJECT
Pickerill Piggot Forest Preserve: Public Access Phase 1 OSLAD Development
6350 Minkler Road
Yorkville, Illinois 60560

PROJECT TEAM

uplandDesign Ltd
Park Planning and Landscape Architecture
24042 Lockport St, Plainfield, Illinois 60544
815-254-0091 www.uplanddesign.com

SURVEYOR
Prairie Land Survey Company
2342 Woodhill Court
Plainfield, Illinois
Phone: 815-341-0858

CIVIL ENGINEER
Hay and Associates, Inc.
8755 W. Higgins Road, Suite 835
Chicago, IL 60631
Phone: 773-683-4200

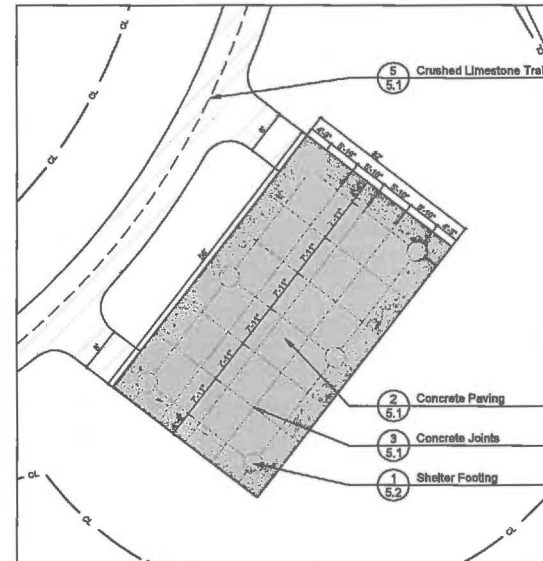
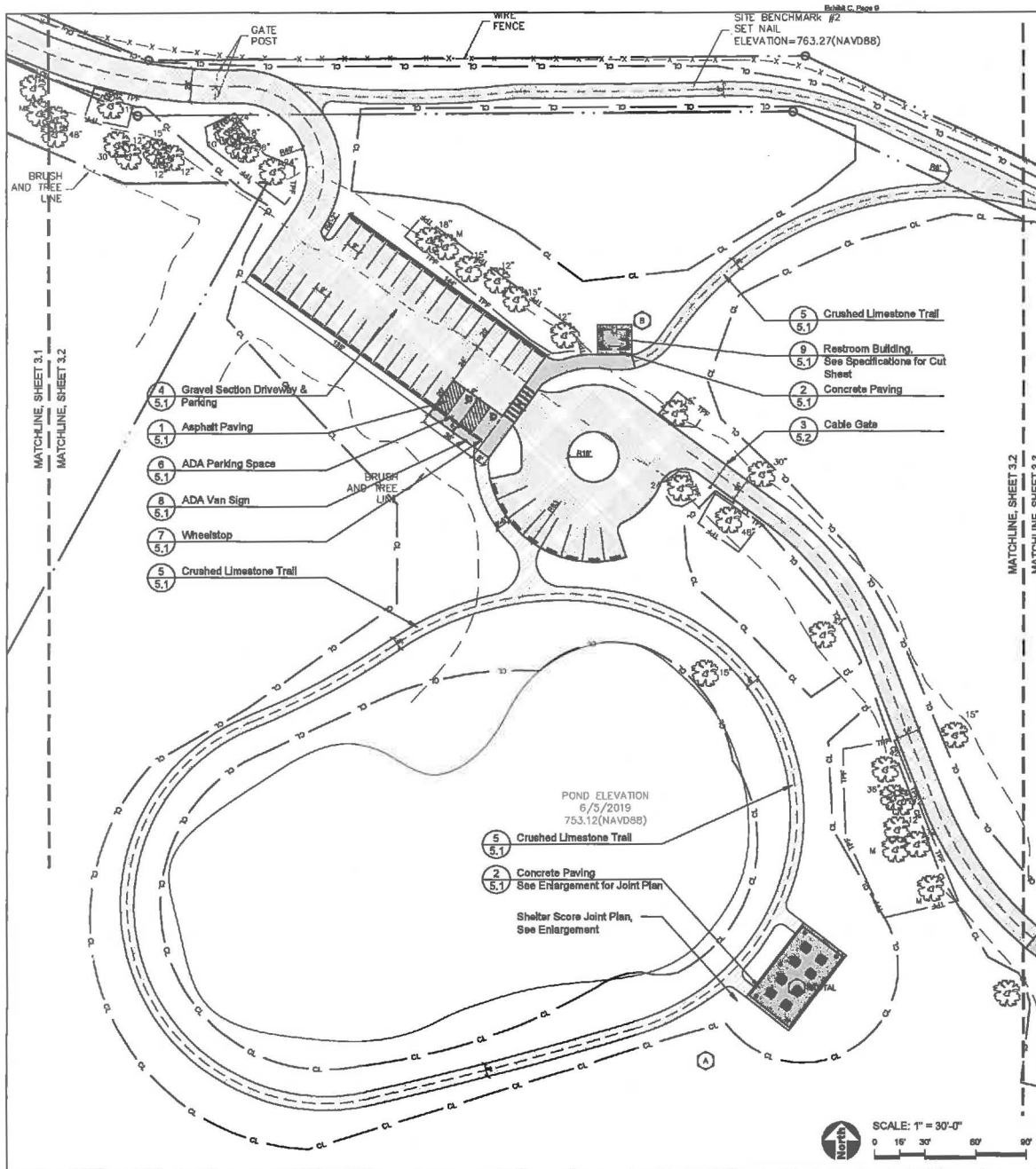
SHEET TITLE
Layout Plan - Entrance

SHEET NUMBER **3.1**

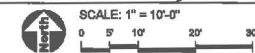
DRAW / REVISION

MBTD	95% Construction Documents	18OCT2018

Project Number 327
Copyright 2018 Upland Design Ltd.
WY23-Pickerill Pigt Development-WPFD008-CD-001



Shelter Enlargement
Score Joint Plan



110 W. Madison Street
 Yorkville, IL 60560
 Phone: 830-553-4025

PROJECT
Pickerill Piggot Forest Preserve:
Public Access
Phase 1 OSLAD Development
 6350 Minkler Road
 Yorkville, Illinois 60560

PROJECT TEAM



uplandDesign ltd
 Park Planning and Landscape Architecture
 24043 Ludport St., Plainfield, Illinois 60544
 815-254-0091, www.uplanddesign.com

SURVEYOR
 Prairie Land Survey Company
 2342 Woodhill Court
 Plainfield, Illinois
 Phone: 815-341-0659

CIVIL ENGINEER
 Hay and Associates, Inc.
 8736 W. Higgins Road, Suite 835
 Chicago, IL 60631
 Phone: 773-893-8200

SHEET TITLE
Layout Plan - Shelter & Parking Lot

SHEET NUMBER **3.2**

DRAW / REVISION

MB/DT	5% Construction Documents	18OCT2019
	NOT FOR CONSTRUCTION	

Project Number 137
 Copyright 2019 Upland Design Ltd.
 10232 Pickerill Piggot Development-10279330-00-000
 01.11.2019



110 W. Madison Street
Yorkville, IL 60560
Phone: 830-553-4025

PROJECT
Pickerill Piggot Forest Preserve: Public Access Phase 1 OSLAD Development
6350 Minkler Road
Yorkville, Illinois 60560

PROJECT TEAM

uplandDesign Ltd
Park Planning and Landscape Architecture
24943 Ludlowe St, Plainfield, Illinois 62544
815-254-0091 www.uplanddesign.com

SURVEYOR
Prairie Land Survey Company
2342 Woodhill Court
Plainfield, Illinois
Phone: 815-341-0859

CIVIL ENGINEER
Hey and Associates, Inc.
8756 W. Higgins Road, Suite 635
Chicago, IL 60631
Phone: 773-893-8200

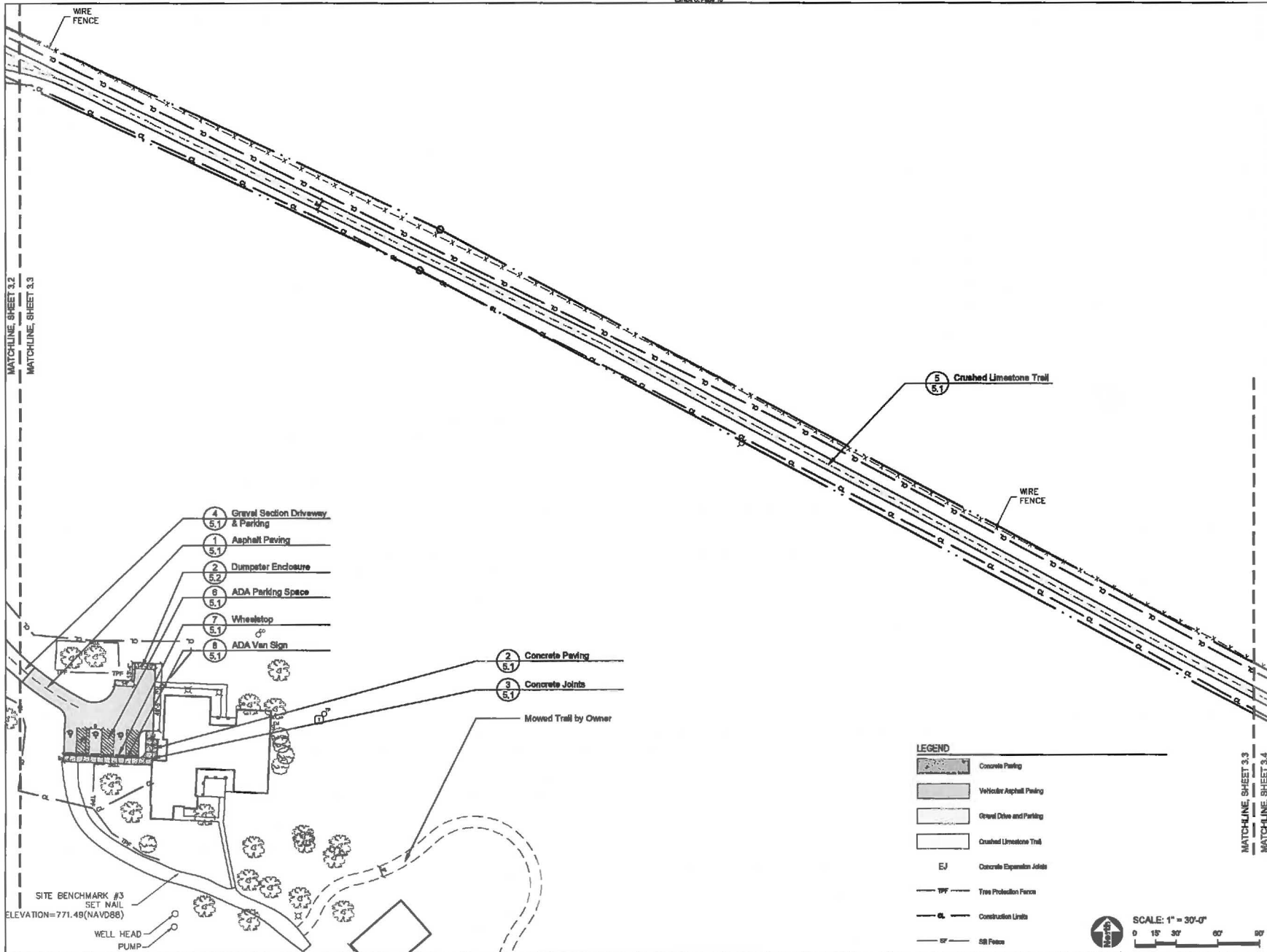
SHEET TITLE
Layout Plan - House

SHEET NUMBER 3.3

DRAW / REVISION

NO.	DATE	DESCRIPTION
1		FOR CONSTRUCTION

Project Number 137
Copyright 2019 Upland Design Ltd.
All Rights Reserved. NOT FOR CONSTRUCTION



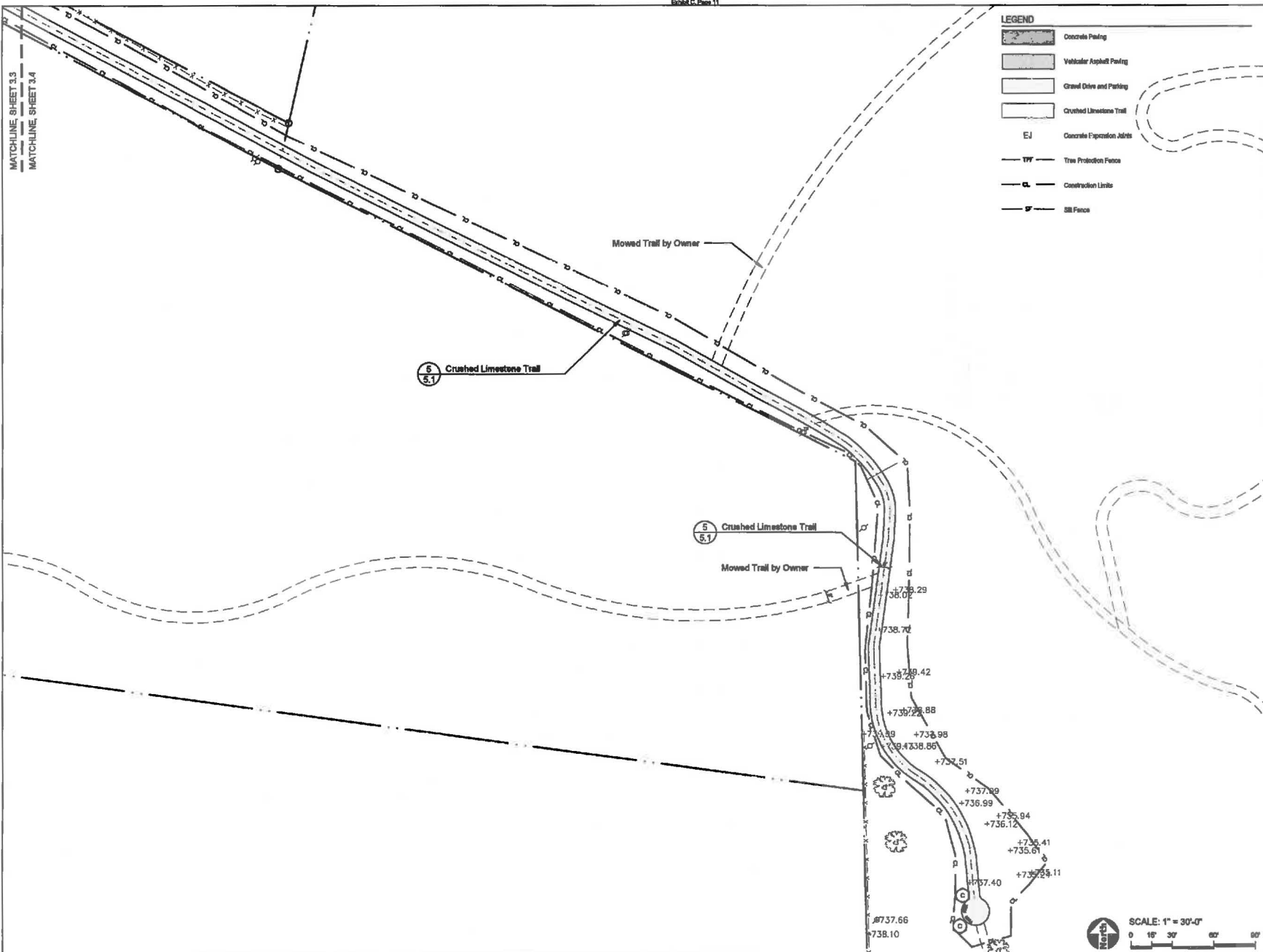
MATCHLINE SHEET 3.2
MATCHLINE SHEET 3.3

MATCHLINE SHEET 3.3
MATCHLINE SHEET 3.4

- 4 Gravel Section Driveway & Parking (5.1)
- 1 Asphalt Paving (5.1)
- 2 Dumpster Enclosure (5.2)
- 6 ADA Parking Space (5.1)
- 7 Wheelstop (5.1)
- 8 ADA Van Sign (5.1)
- 2 Concrete Paving (5.1)
- 3 Concrete Joints (5.1)

SITE BENCHMARK #3
SET NAIL
ELEVATION=771.48(NAVD88)
WELL HEAD
PUMP

MATCHLINE SHEET 3.3
MATCHLINE SHEET 3.4



LEGEND

- Concrete Parking
- Vegetative Asphalt Parking
- Gravel Drive and Parking
- Crushed Limestone Trail
- EJ Concrete Elevation Admitt
- TFF Tree Protection Fences
- CL Construction Limits
- SF SB Fence



110 W. Madison Street
Yorkville, IL 60590
Phone: 830-553-4025

PROJECT
Pickerill Piggot Forest Preserve: Public Access Phase 1 OSLAD Development
 6350 Mindar Road
 Yorkville, Illinois 60590

PROJECT TEAM

uplandDesign Ltd
 Park Planning and Landscape Architecture
 24043 Ludlow St, Plainfield, Illinois 60544
 815-254-0091 www.uplanddesign.com

SURVEYOR
 Prairie Land Survey Company
 2342 Woodhill Court
 Plainfield, Illinois
 Phone: 815-341-0659

CIVIL ENGINEER
 Hey and Associates, Inc.
 8755 W. Higgins Road, Suite 835
 Chicago, IL 60651
 Phone: 773-893-9200

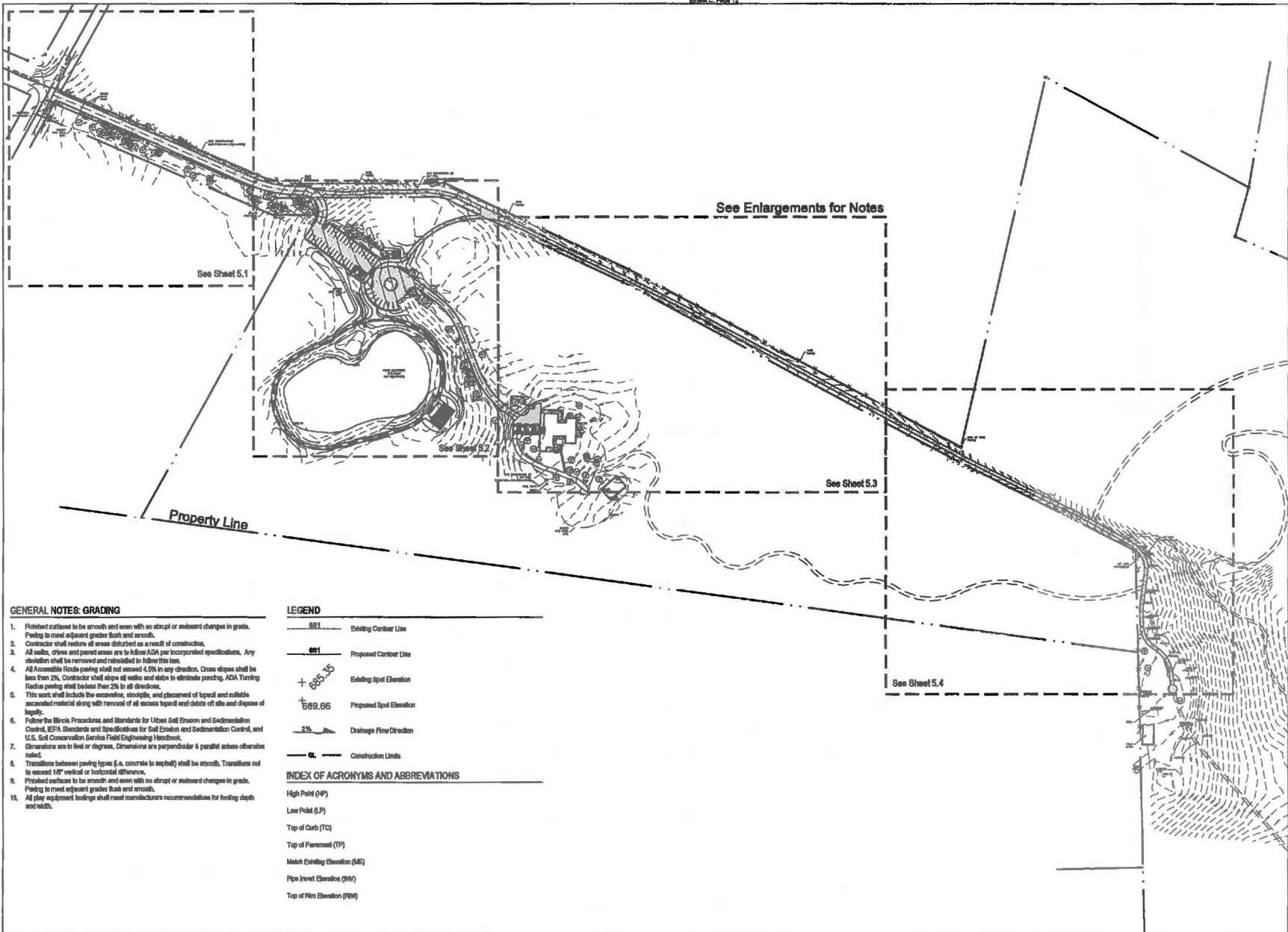
SHEET TITLE
Layout Plan - Overlook

SHEET NUMBER 3.4

DRAW / REVISION

DATE	BY	REVISION
		NOT FOR CONSTRUCTION

Project Number 117
 Copyright 2019 Upland Design Ltd.
 11/19/2019 10:00 AM



GENERAL NOTES: GRADING

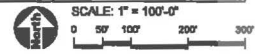
1. Finished surfaces to be smooth and even with no abrupt or misused changes in grade. Paving to meet adjacent grades flush and smooth.
2. Contractor shall restore all areas disturbed as a result of construction.
3. All walls, ditches and paved areas are to follow ADA per incorporated specifications. Any elevation shall be removed and reinstated to follow this list.
4. All Accessible Route paving shall not exceed 4.5% in any direction. Cross slopes shall be less than 2%. Contractor shall slope all walls and steps to eliminate ponding. ADA Turning Radius paving shall be less than 2% in all directions.
5. This work shall include the excavation, storage, and placement of liquid and suitable excavated material along with removal of all excess topsoil and debris off site and disposal of legally.
6. Follow the Illinois Procedures and Standards for Urban Soil Erosion and Sedimentation Control, EPA Standards and Specifications for Soil Erosion and Sedimentation Control, and U.S. Soil Conservation Service Field Engineering Handbook.
7. Dimensions are in feet or degrees. Dimensions are perpendicular & parallel unless otherwise noted.
8. Transitions between paving types (i.e. concrete to asphalt) shall be smooth. Transitions not to exceed 1/8" vertical or horizontal difference.
9. Finished surfaces to be smooth and even with no abrupt or misused changes in grade. Paving to meet adjacent grades flush and smooth.
10. All play equipment loadings shall meet manufacturers recommendations for footing depth and width.

LEGEND

- Existing Center Line
- - - Proposed Center Line
- + Existing Spot Elevation
- + Proposed Spot Elevation
- 2% Drainage Flow Direction
- - - Construction Limits

INDEX OF ACRONYMS AND ABBREVIATIONS

- High Point (HP)
- Low Point (LP)
- Top of Curb (TC)
- Top of Parapet (TP)
- Match Existing Elevation (ME)
- Pipe Invert Elevation (PIV)
- Top of Rim Elevation (RIM)



110 W. Madison Street
Yorkville, IL 60550
Phone: 630-553-4025

PROJECT
Pickerill Piggot
Forest Preserve:
Public Access
Phase 1 OSLAD
Development
 6350 Minkler Road
 Yorkville, Illinois 60560

PROJECT TEAM

uplandDesign Ltd
 Park Planning and Landscape Architecture
 24042 Ladport St, Plainfield, Illinois 60544
 815-256-0091, www.uplanddesign.com

SURVEYOR
 Prairie Land Survey Company
 2342 Woodhill Court
 Plainfield, Illinois
 Phone: 815-341-0859

CIVIL ENGINEER
 Hey and Associates, Inc.
 8756 W. Higgins Road, Suite 835
 Chicago, IL 60631
 Phone: 773-883-8200

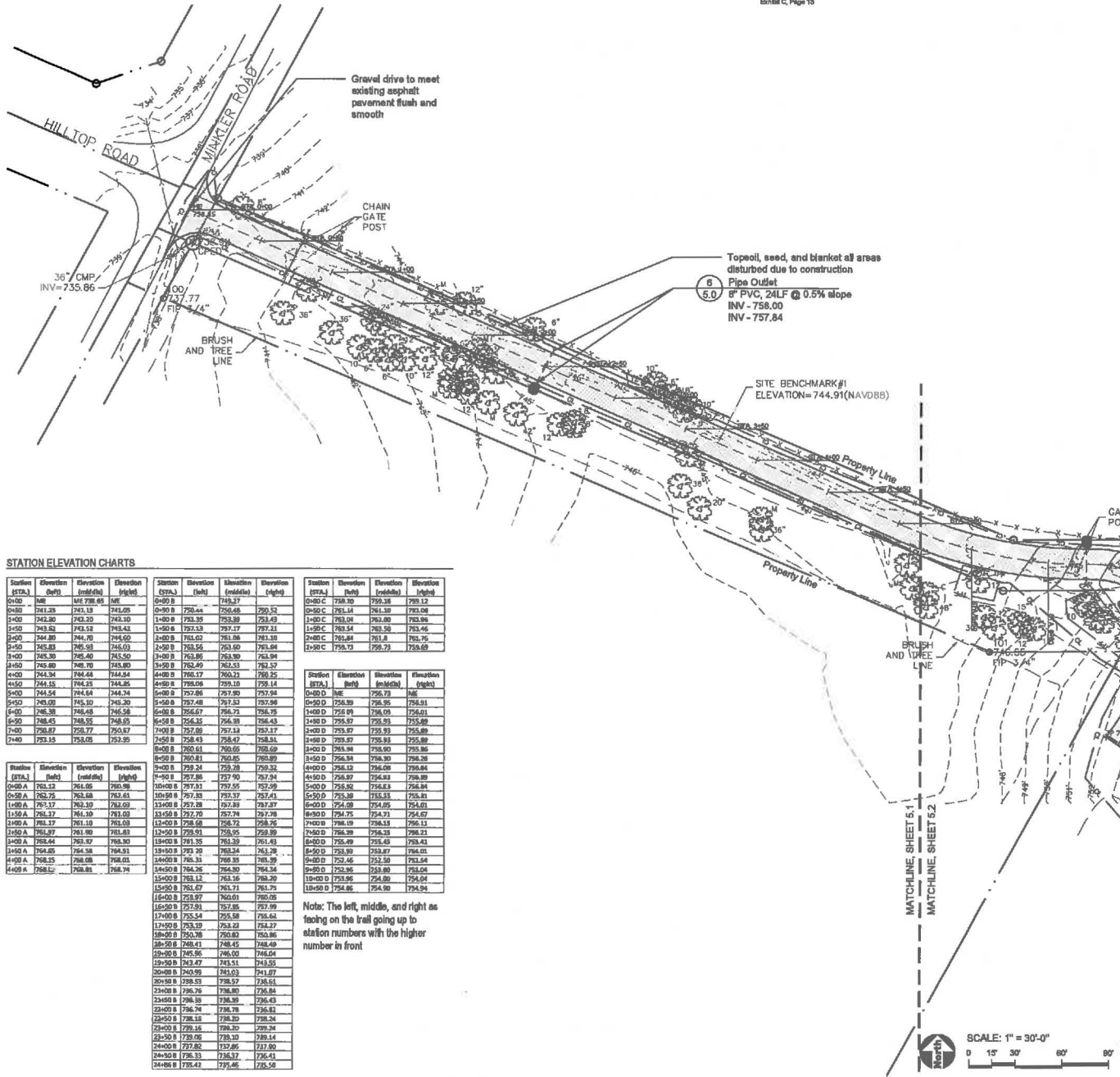
SHEET TITLE
Grading Plan -
Overall

SHEET NUMBER **4.0**

DRAW / REVISION

NO.	DATE	BY	REVISION

Project Number 237
 Copyright 2019 Upland Design Ltd.
 630-553-4025



STATION ELEVATION CHARTS

Station (STA.)	Elevation (feet)	Elevation (meters)	Elevation (feet)	Station (STA.)	Elevation (feet)	Elevation (meters)	Elevation (feet)
0+00	ME	738.45	ME	0+00 B	748.37		
0+05	741.35	741.13	741.05	0+50 B	750.44	750.45	750.52
1+00	742.80	743.33	743.10	1+00 B	753.89	753.39	753.43
1+50	743.52	743.52	743.42	1+50 B	757.33	757.17	757.31
2+00	744.80	744.70	744.60	2+00 B	761.62	761.06	761.10
2+50	745.43	745.01	744.03	2+50 B	763.55	763.40	763.44
3+00	745.30	745.40	745.50	3+00 B	763.80	763.90	763.94
3+50	745.80	746.70	745.80	3+50 B	762.49	762.53	762.57
4+00	744.34	744.44	744.24	4+00 B	763.17	763.13	763.15
4+50	744.15	744.15	744.45	4+50 B	759.08	759.10	759.14
5+00	744.54	744.64	744.74	5+00 B	757.86	757.90	757.94
5+50	745.00	745.10	745.20	5+50 B	757.48	757.33	757.38
6+00	746.38	746.48	746.58	6+00 B	755.67	755.72	755.76
6+50	748.45	748.55	748.65	6+50 B	756.35	756.38	756.43
7+00	758.87	759.17	759.87	7+00 B	757.69	757.14	757.17
7+40	753.15	753.05	753.25	7+40 B	758.43	758.47	758.51
				8+00 B	760.61	760.65	760.69
				9+00 B	760.81	760.85	760.89
				10+00 B	759.24	759.28	759.32
				11+00 B	757.89	757.90	757.94
				12+00 B	757.91	757.95	757.99
				13+00 B	757.38	757.37	757.41
				14+00 B	757.28	757.28	757.28
				15+00 B	757.70	757.74	757.78
				16+00 B	758.06	758.72	758.76
				17+00 B	758.51	759.05	759.09
				18+00 B	759.35	761.39	761.43
				19+00 B	761.30	761.34	761.38
				20+00 B	761.36	761.36	761.36
				21+00 B	761.32	761.36	761.39
				22+00 B	761.67	761.71	761.75
				23+00 B	758.97	760.01	760.05
				24+00 B	757.89	757.85	757.89
				25+00 B	755.54	755.58	755.62
				26+00 B	753.19	753.23	753.27
				27+00 B	753.79	753.83	753.87
				28+00 B	748.41	748.45	748.49
				29+00 B	745.96	746.00	746.04
				30+00 B	743.47	743.51	743.55
				31+00 B	740.91	741.03	741.15
				32+00 B	738.53	738.57	738.61
				33+00 B	736.79	736.80	736.84
				34+00 B	736.19	736.18	736.13
				35+00 B	736.74	736.78	736.82
				36+00 B	736.18	736.20	736.24
				37+00 B	735.16	735.10	735.04
				38+00 B	733.06	733.10	733.14
				39+00 B	731.82	731.85	731.89
				40+00 B	730.33	730.37	730.41
				41+00 B	729.41	729.46	729.54

Note: The left, middle, and right are facing on the trail going up to station numbers with the higher number in front

LEGEND

- 681 --- Existing Contour Line
- - - 681 - - - Proposed Contour Line
- + 680.65 Existing Spot Elevation
- + 680.65 Proposed Spot Elevation
- 2% Drainage Flow Direction
- - - Construction Limits

INDEX OF ACRONYMS AND ABBREVIATIONS

- High Point (HP)
- Low Point (LP)
- Top of Cut (TC)
- Top of Pavement (TP)
- Match Existing Elevation (ME)
- Pipe Invert Elevation (NW)
- Top of Rim Elevation (RM)



110 W. Madison Street
Yorkville, IL 60560
Phone: 630-553-4025

PROJECT
Pickerill Piggot Forest Preserve: Public Access Phase 1 OSLAD Development
6350 Minkler Road
Yorkville, Illinois 60560

PROJECT TEAM

uplandDesign Ltd
Park Planning and Landscape Architecture
24042 Lockport St, Plainfield, Illinois 60544
815-254-9031 www.uplanddesign.com

SURVEYOR
Prairie Land Survey Company
2342 Woodhill Court
Plainfield, Illinois
Phone: 815-341-0839

CIVIL ENGINEER
Hay and Associates, Inc.
8755 W. Higgins Road, Suite 835
Chicago, IL 60631
Phone: 773-693-9200

SHEET TITLE
Grading Plan - Entrance

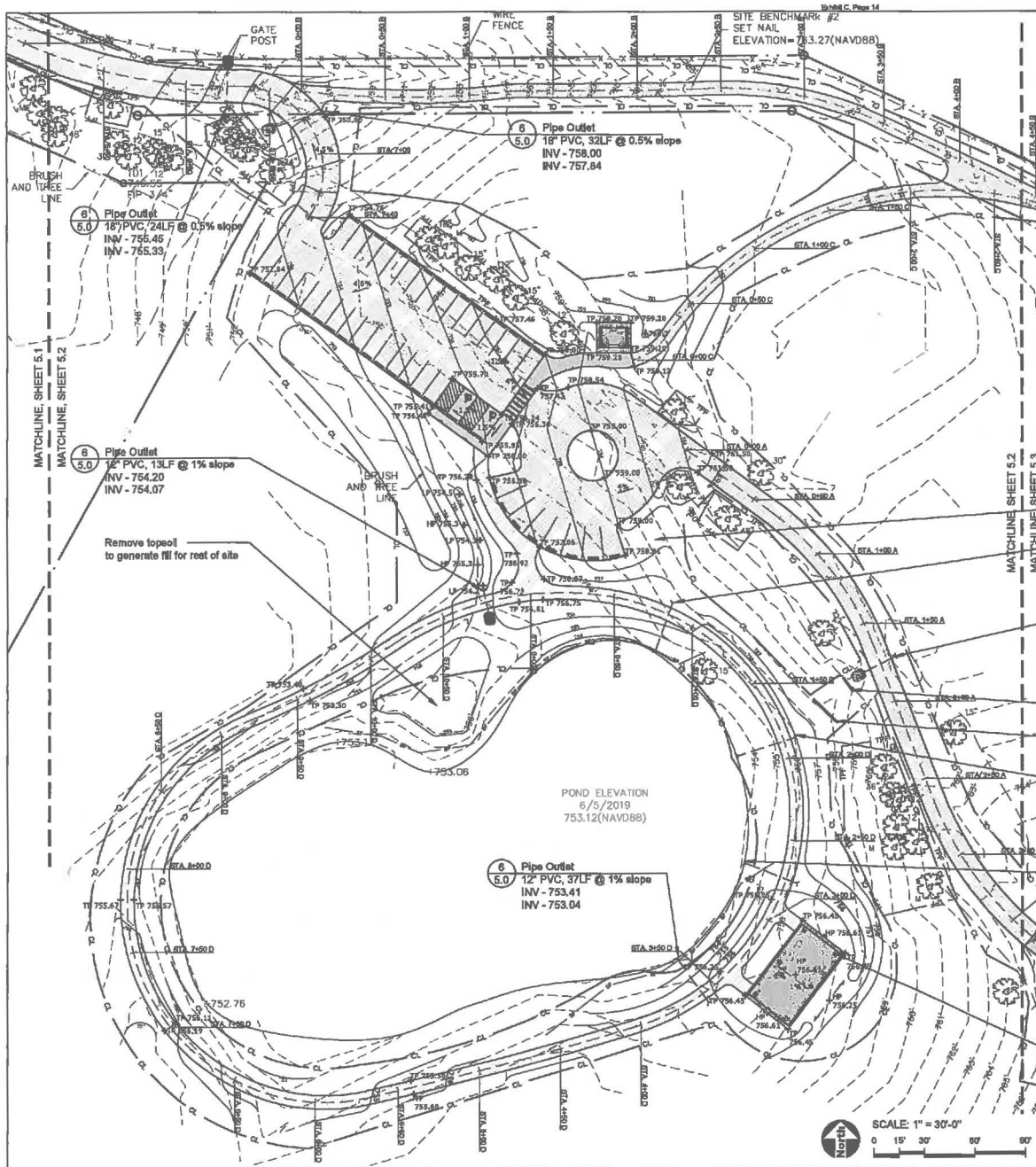
SHEET NUMBER **4.1**

DRAW / REVISION

NO.	DATE	DESCRIPTION
1		NOT FOR CONSTRUCTION

Project Number 187
Copyright 2019 Upland Design Ltd.
W:\21-Pickerill Piggot Development_VCFP001-CD-Rev 2.dwg

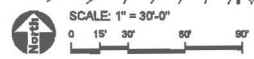
SCALE: 1" = 30'-0"
0 15' 30' 60' 90'



- LEGEND**
- 581 Existing Contour Line
 - 681 Proposed Contour Line
 - + 683.35 Existing Spot Elevation
 - + 689.66 Proposed Spot Elevation
 - 2% Drainage Flow Direction
 - CL Construction Limits

- INDEX OF ACRONYMS AND ABBREVIATIONS**
- High Point (HP)
 - Low Point (LP)
 - Top of Curb (TC)
 - Top of Pavement (TP)
 - Match Existing Elevation (ME)
 - Pipe Invert Elevation (INV)
 - Top of Rim Elevation (REM)

- Topsoil, seed, and blanket all areas disturbed due to construction
- 6 Pipe Outlet
5.0 12" PVC, 30LF @ 1% slope
INV - 754.18
INV - 753.88
- 6 Pipe Outlet
5.0 12" PVC, 20LF @ 1% slope
INV - 758.20
INV - 758.10
- 5 Ditch Check
5.0
- 5 Ditch Check
5.0 (Double Row)
- 6 Pipe Outlet
5.0 12" PVC, 35LF @ 1% slope
INV - 753.57
INV - 753.22
- 6 Pipe Outlet
5.0 12" PVC, 32LF @ 0.5% slope
INV - 754.21
INV - 754.05
- All shelter footings shall have an elevation of 756.49



110 W. Madison Street
Yorkville, IL 60560
Phone: 630-563-4025

PROJECT
Pickerill Piggot
Forest Preserve:
Public Access
Phase 1 OSLAD
Development
 6350 Minder Road
 Yorkville, Illinois 60560

PROJECT TEAM

uplandDesign ltd
 Park Planning and Landscape Architecture
 24042 Lockport St, Plainfield, Illinois 60544
 615-254-0051 www.uplanddesign.com

SURVEYOR
 Praxis Land Survey Company
 2342 Wood-ill Court
 Plainfield, Illinois
 Phone: 615-341-0659

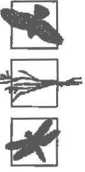
CIVIL ENGINEER
 Hey and Associates, Inc.
 8755 W. Higgins Road, Suite 835
 Chicago, IL 60631
 Phone: 773-693-0200

SHEET TITLE
Grading Plan -
Shelter &
Parking Lot

SHEET NUMBER **4.2**
DRAW / REVISION

MS/DT	85% Construction Drawings	10/02/2019
	NOT FOR CONSTRUCTION	

Project Number 137
 Copyright 2019 Upland Design Ltd.
 11/12/2019 Pickerill Piggot Development - RCP0000-02-04



110 W. Madison Street
Yorkville, IL 60590
Phone: 630-553-4025

PROJECT
**Pickerrill Piggott
 Forest Preserve:
 Public Access
 Phase 1 OSLAD
 Development**

6550 Minnier Road
Yorkville, Illinois 60590

PROJECT TEAM

uplandDesign ltd.

Soil Planning and Landscape Architects
 200 N. Yorkville Avenue, Suite 100
 Yorkville, Illinois 60594
 630-553-4001, www.uplanddesign.com

SURVEYOR
 Lunda Lundy Company
 2243 N. Mill Court
 Plainfield, Illinois
 Phone: 615-341-4659

CIVIL ENGINEER
 Hay and Associates, Inc.
 8755 W. Higgins Road, Suite 635
 Chicago, IL 60631
 Phone: 773-853-5200

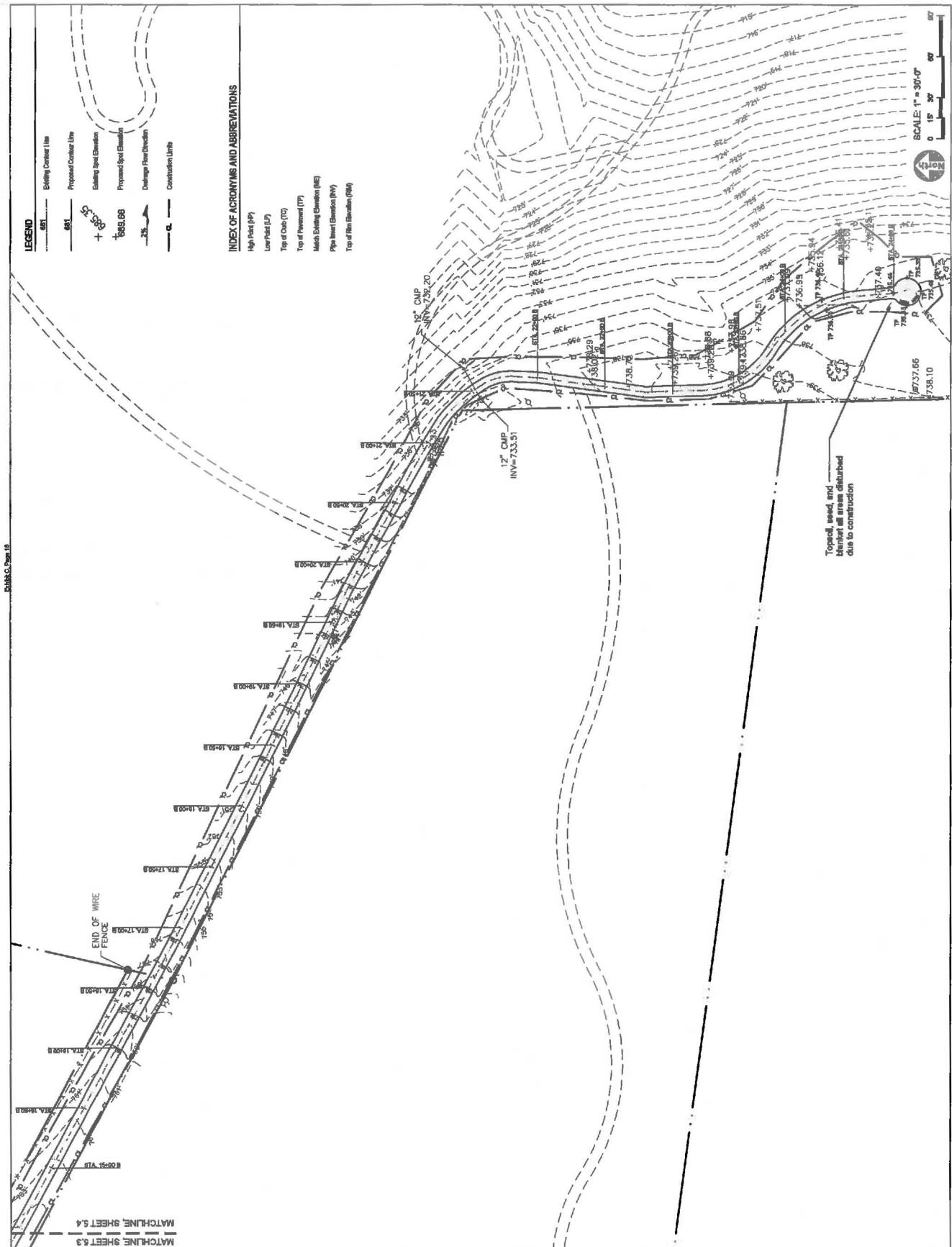
SHEET TITLE
**Grading Plan -
 Overview**

SHEET NUMBER
4.4

DRAW / REVISION

NO.	DATE	BY	DESCRIPTION
1			FOR CONSTRUCTION

Project Number: 07
 Copyright 2010 Upland Design Ltd.
 All Rights Reserved.

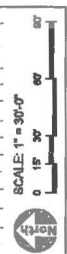


LEGEND

---	Existing Center Line
---	Proposed Center Line
+	Existing Spot Elevation
+	Proposed Spot Elevation
---	Drainage Run Direction
---	Construction Limits

INDEX OF ACRONYMS AND ABBREVIATIONS

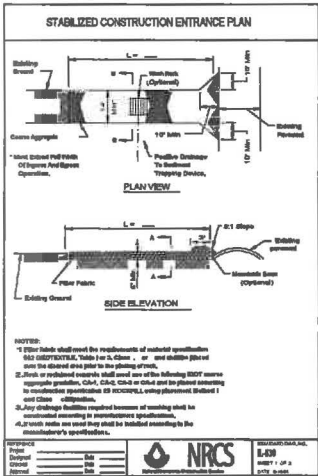
HP	High Point
LP	Low Point
TO	Top of Obstacle
TP	Top of Pavement
ME	Mean Existing Elevation
PE	Pipe Invert Elevation
RM	Top of Run Berms



Topsoil seed and drier to be distributed after construction.

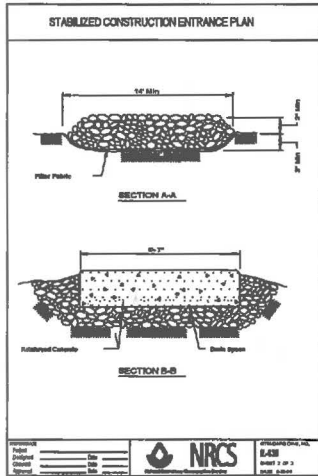
SHR-10, Plan 10

MATCHLINE SHEET 5.3
 MATCHLINE SHEET 5.4



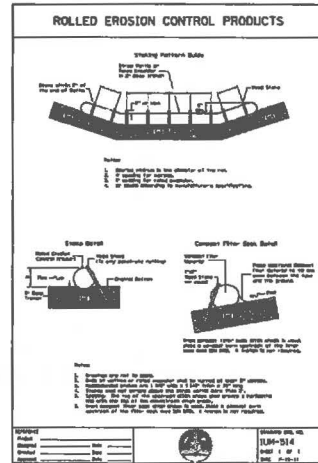
1 Stabilized Construction Entrance Plan

64NRC-0300-construction entrance_12



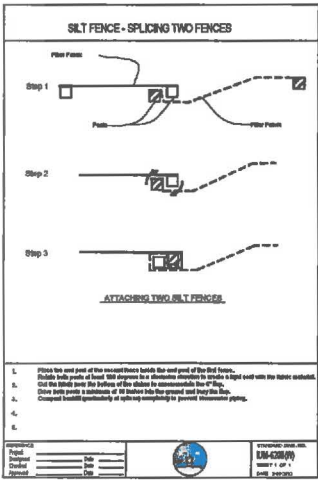
3 Erosion Control Blanket

64NRC-0300-erosion control blanket_12



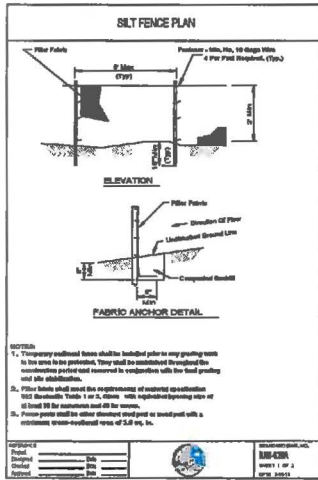
5 Ditch Check

64NRC-0160-ditch check_12



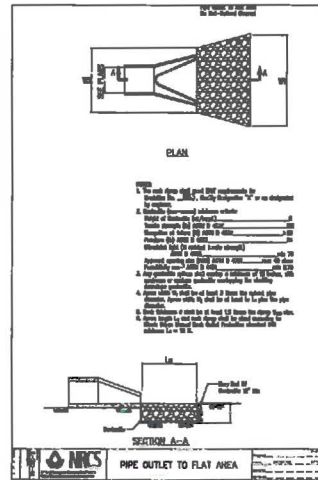
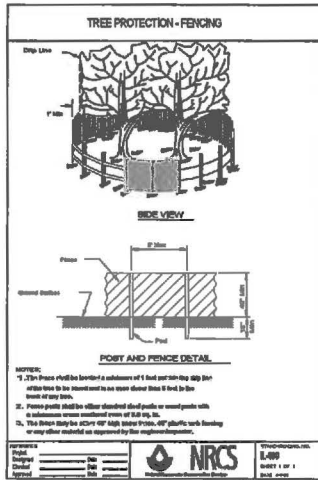
2 Silt Fence

64NRC-0200-silt fence_12



4 Tree Protection Fence

64NRC-0300-tree protection fence_12



6 Pipe Outlet

64NRC-0160-pipe outlet_12



110 W. Madison Street
Yorkville, IL 60550
Phone: 630-553-4025

PROJECT
Pickerill Piggot Forest Preserve: Public Access Phase 1 OSLAD Development
6350 Minkler Road
Yorkville, Illinois 60550

PROJECT TEAM

uplandDesign Ltd
Park Planning and Landscape Architecture
24043 Lockport St, Plainfield, Illinois 60544
618-254-0091 www.uplanddesign.com

SURVEYOR
Prairie Land Survey Company
2342 Woodhill Court
Plainfield, Illinois
Phone: 615-341-0859

CIVIL ENGINEER
Hay and Associates, Inc.
8755 W. Higgins Road, Suite 835
Chicago, IL 60631
Phone: 773-683-9200

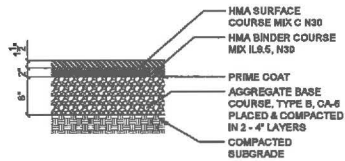
SHEET TITLE
Construction Details

SHEET NUMBER 5.0

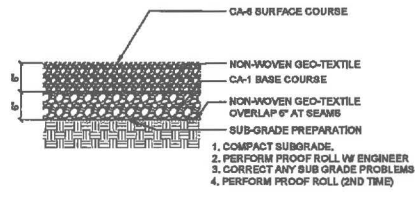
DRAW / REVISION

MBTD	894 Construction Documents	180CT2018

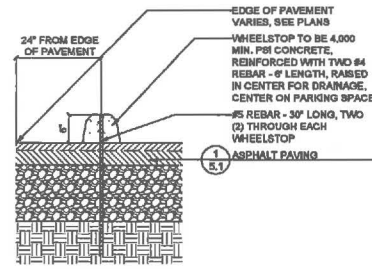
Project Number 227
Copyright 2018 Upland Design Ltd.
110 W. Madison Street, Yorkville, IL 60550



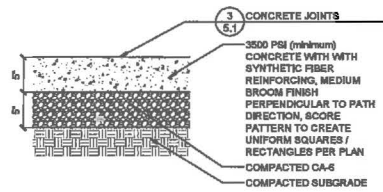
1 Asphalt Paving
SCALE: 1"=1'-0"
d-espl_parking_3,5in_12.dwg



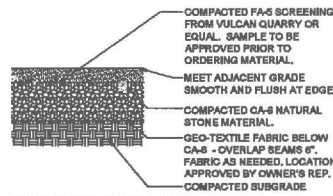
4 Gravel Section Driveway & Parking
SCALE: 1"=1'-0"
d-gravel_parking_12.dwg



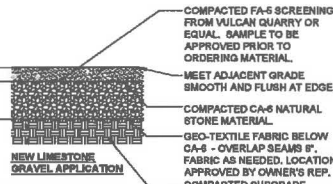
7 Wheelstop
SCALE: 1"=1'-0"
d-parking_wheelstop_12.dwg



2 Concrete Paving
SCALE: 1 1/2"=1'-0"
d-conc_pav-3.dwg



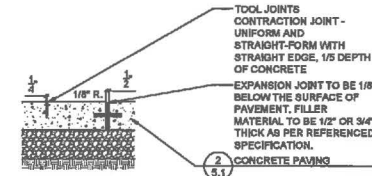
TOP DRESS EXISTING LIMESTONE GRAVEL APPLICATION



NEW LIMESTONE GRAVEL APPLICATION

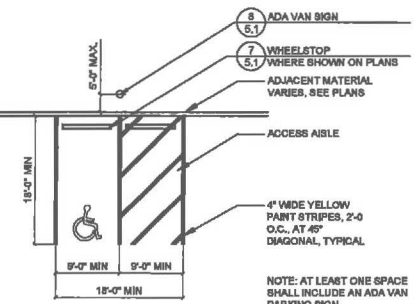
- NOTES:
1. SLOPE SURFACE PER PLANS
2. MAXIMUM CROSS SLOPE TO BE 1.5% MAXIMUM
3. GEOTEXTILE PER BID QUANTITY; PLACE AT AREAS OF UNSUITABLE SUBGRADE
4. COMPOSITION TO BE 90% MINIMUM

5 Crushed Limestone Trail
SCALE: 1"=1'-0"
Limestone-FAS A

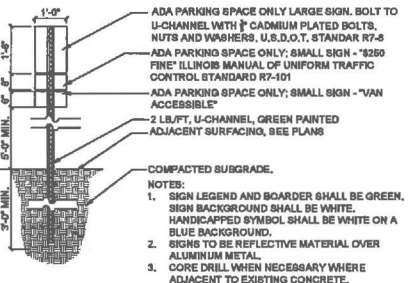


- NOTES:
1. JOINTS PLAN TAKES PRIORITY OVER NOTES EXCEPT FOR MAXIMUM SPACING.
2. CONTRACTION JOINTS TO BE PLACED 10' O.C. MAXIMUM
3. EXPANSION JOINTS TO BE PLACED 30' O.C. MAXIMUM
4. PLACE EXPANSION JOINTS BETWEEN NEW CONCRETE POURS AND INSTALL #3 EPOXY COATED BARS, 12" O.C.
5. CURB JOINTS TO MATCH CONCRETE PAVING WHERE APPLICABLE
6. NO 'CALIFORNIA JOINTS'

3 Concrete Joints
SCALE: 1 1/2"=1'-0"
d-conc_joints_8.dwg

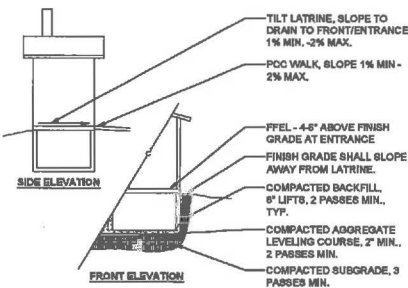


6 ADA Parking Space
SCALE: NTS
d-ADA_parking_12

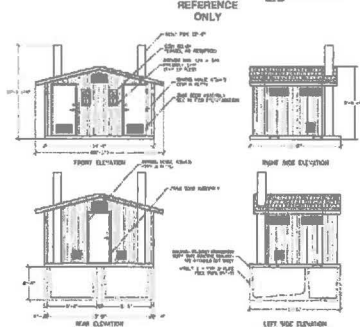
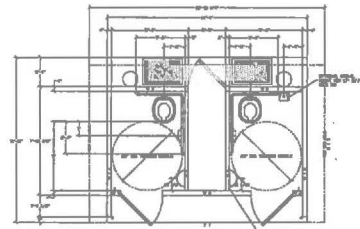


8 ADA Van Sign
SCALE: N.T.S.
d-spl_ada_van_sign_12.dwg

- Latrine Building:
1. Price to include sealed drawings - from factory- for Kendall County building permit submittal.
2. No Weather Line to building
3. Set building on concrete base per manufacturer instructions, install compacted gravel under tank per details and in cases of overly and unsuitable soil - see specifications.
4. Include solar light and solar fan from manufacturer.
5. Building Orientation - per plans (Confirm door swing prior to placing order), the black stack pipe to face south.



9 Restroom Building
SCALE: 1/4"=1'-0"
d-CRT_12



110 W. Madison Street
Yorkville, IL 60550
Phone: 630-553-4925

PROJECT
Pickerill Piggot Forest Preserve: Public Access Phase 1 OSLAD Development
6350 Minider Road
Yorkville, Illinois 60560

PROJECT TEAM

uplandDesign Ltd
Park Planning and Landscape Architecture
24042 Lockport St, Plainfield, Illinois 60544
615-234-0091, www.uplanddesign.com

SURVEYOR
Prairie Land Survey Company
2342 Woodhill Court
Plainfield, Illinois
Phone: 615-341-0858

CIVIL ENGINEER
Hey and Associates, Inc.
8755 W. Higgins Road, Suite 635
Chicago, IL 60631
Phone: 773-693-9200

SHEET TITLE
Construction Details

SHEET NUMBER
5.1

DRAW / REVISION

NO	DATE	DESCRIPTION

Project Number 127
Copyright 2018 Upland Design Ltd.
W1232-Pickerill Piggot Development-1007000-CD-001
11/18/18 10:10

